



REMARK
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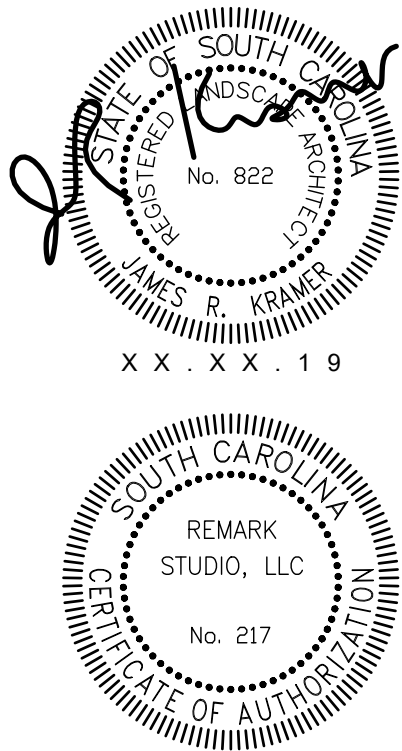
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BRENER-LLOYD RESIDENCE

Sullivan's Island, South Carolina

LOCATION
2907 I'on Avenue
September 2020

SCHEDULE OF DRAWINGS	
SHEET NO.	DESCRIPTION
L100	EXISTING CONDITIONS
L101	DEMOLITION & TREE PROTECTION PLAN
L102	SITE PLAN
L103	DRAINAGE PLAN
L200	LANDSCAPE PLAN
201	LIGHTING PLAN
L202	SCHEDULE & NOTES
L203	PLANTING DETAILS
L300	SITE DETAILS
L301	SITE DETAILS
L302	SITE DETAILS



BRENER-LLOYD
RESIDENCE
2907 I'ON AVENUE
SULLIVAN'S ISLAND, SOUTH CAROLINA

PROJECT #: 20053
DATE: 09.24.20
DRAWN BY: HCR
CHECKED BY: JRK
REVISIONS:
DATE: 03.22.21 HCR
05.04.21 HCR

COVER
SHEET

S T A T U S :
CONSTRUCTION SET

GENERAL NOTES:

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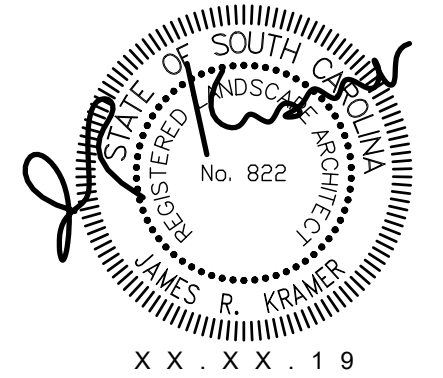
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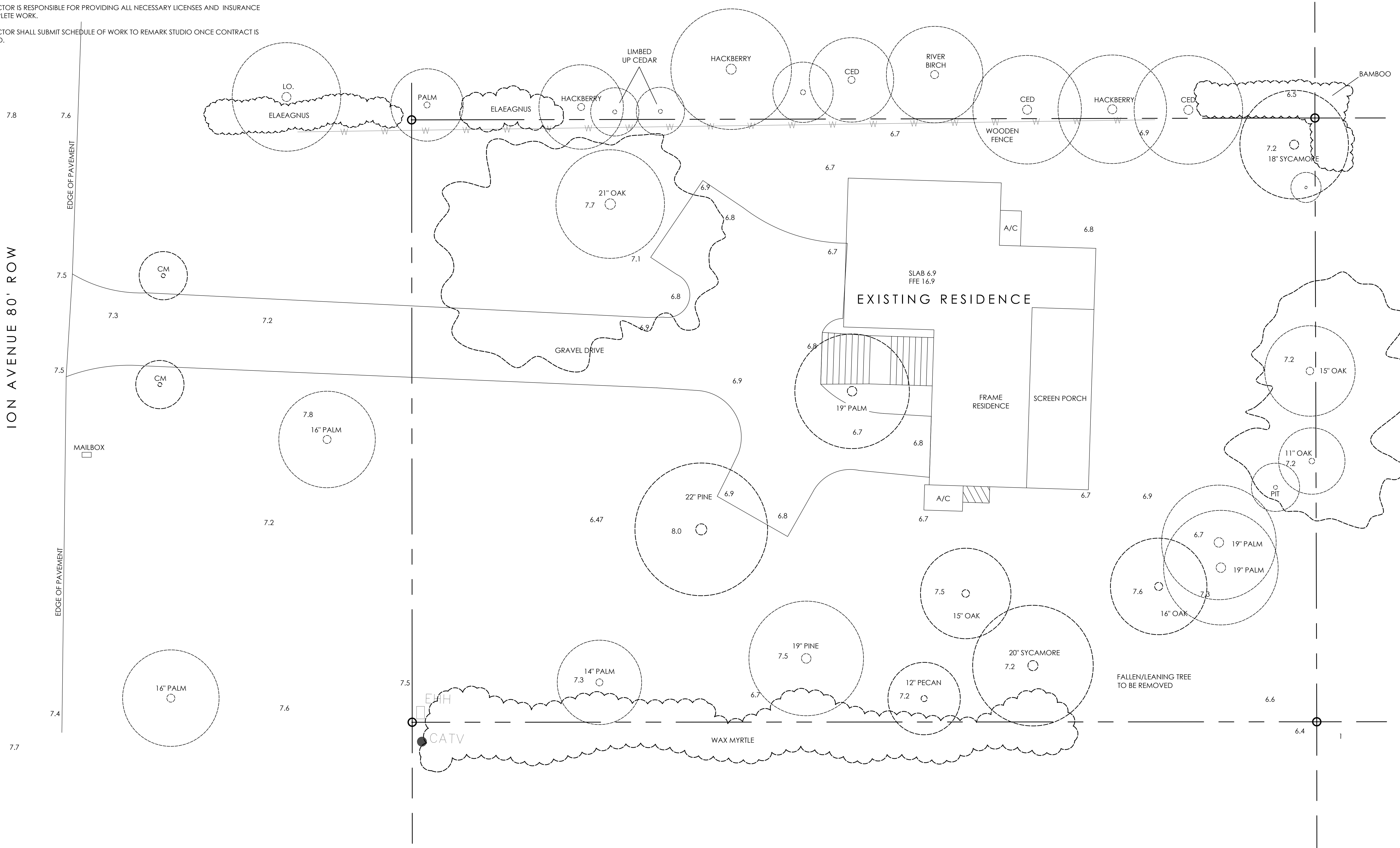
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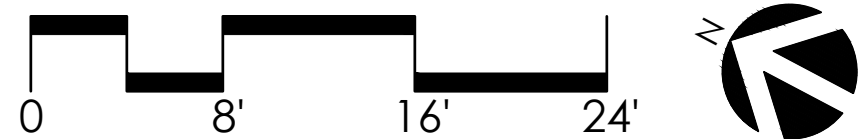
EXISTING
CONDITIONS

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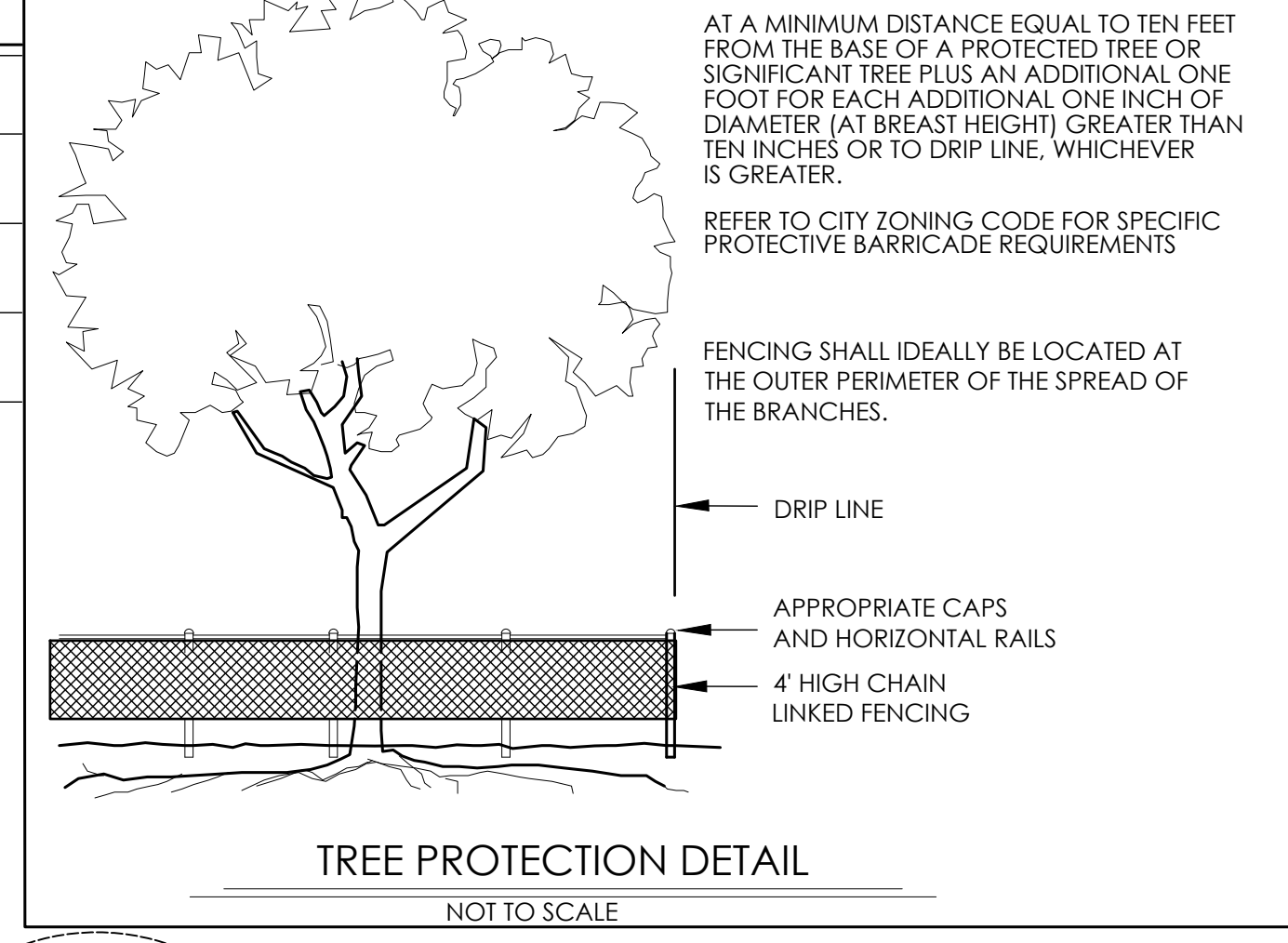
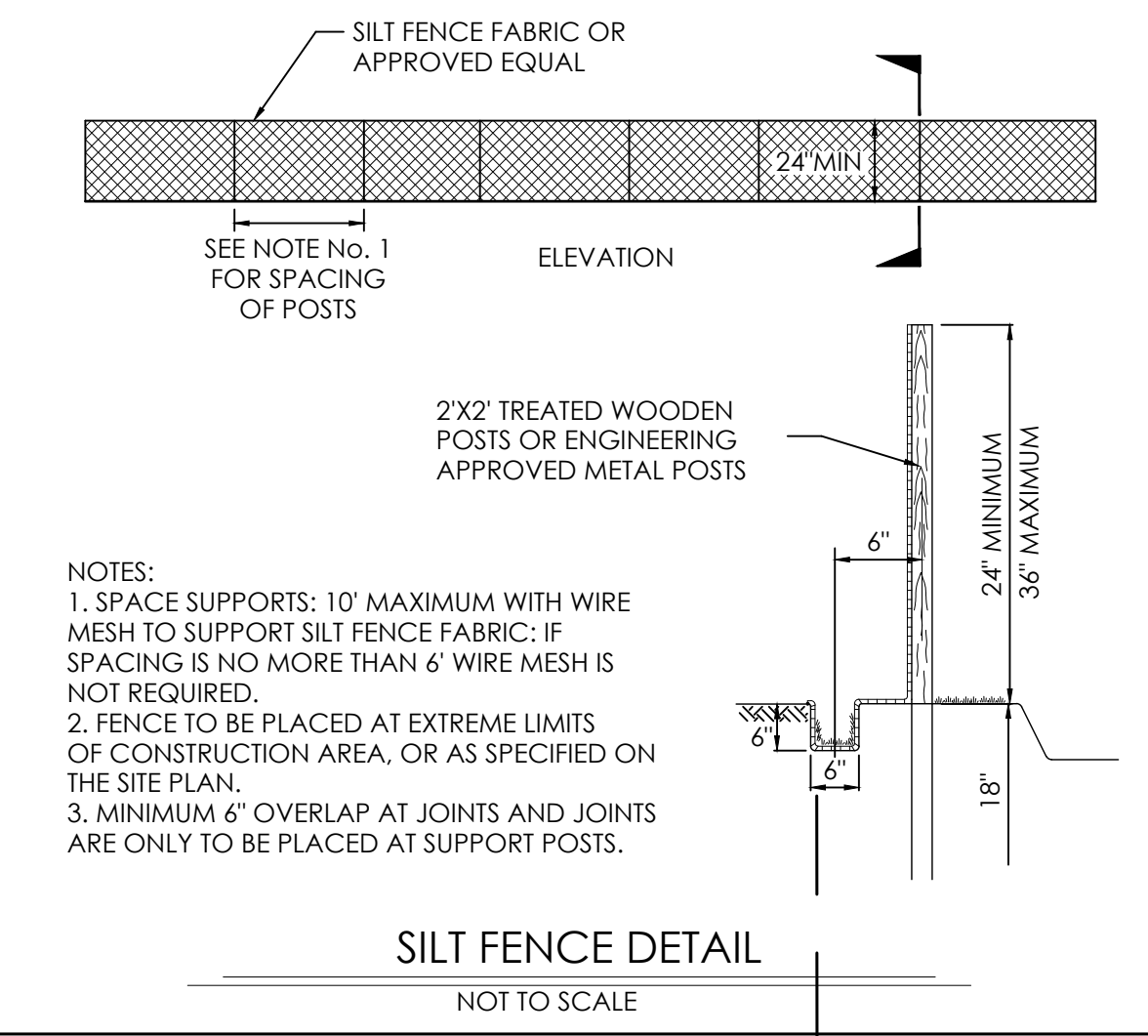
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SCALE: 1/8" = 1'-0"



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TREE REMOVAL:
 1. 22" PINE
 2. 19" LIVE OAK
 3. 17" OAK
 4. 20" SYCAMORE*
 5. 12" PECAN*
 6. 18" SYCAMORE*
 7. 19" PALM**

TOTAL: 108" / 1 PALM

*SEE ARBORIST NOTE,
 NOT COUNTED TOWARDS
 MITIGATION.

** PALMS TO BE
 REPLACED ON A 1:1
 BASIS, INCHES NOT
 INCLUDED IN
 MITIGATION.

REQUIRED TREES TO BE MITIGATED
 16" DBH AND ABOVE:

1. 22" PINE
 2. 19" LIVE OAK
 3. 17" OAK

TOTAL: 58"

PALMS

1. 19" PALM

TOTAL: 1 PALM

REQUIRED MITIGATION: 58" / 1 PALM
 PROPOSED MITIGATION: 36" / 1 PALM

3 LIVE OAKS @ 6" = 18"
 1 SABAL PALM @ 1:1
 10 SABAL PALMS @ 4" = 40"

*SABAL PALMS MAY ONLY ACCOUNT
 FOR $\frac{1}{3}$ THE TOTAL REQUIRED
 MITIGATION INCHES

10 SABAL PALMS = 18" TOWARDS
 MITIGATION

AMOUNT PAID TO TREE BANK: 836\$
 (FOR 22" PINE TREE)

DEMO & CONSTRUCTION LEGEND:	
	CHAIN LINK FENCE PROTECTION: 102 L.F. (SEE DETAIL TO THE RIGHT)
	SILT FENCE SCREENING: 482 L.F. (SEE DETAIL TO THE RIGHT)
	TREE TO BE REMOVED
	REMOVE EXISTING VEGETATION & HARDSCAPE
NOTE: DEMO AREAS OF PROPOSED PLANTINGS & HARDSCAPE	

AT A MINIMUM DISTANCE EQUAL TO TEN FEET FROM THE BASE OF A PROTECTED TREE OR SIGNIFICANT TREE PLUS AN ADDITIONAL ONE FOOT FOR EACH ADDITIONAL ONE-INCH OF DIAMETER (AT BREAST HEIGHT) GREATER THAN TEN INCHES OR TO DRIP LINE, WHICHEVER IS GREATER.

REFER TO CITY ZONING CODE FOR SPECIFIC PROTECTIVE BARRICADE REQUIREMENTS

FENCING SHALL IDEALLY BE LOCATED AT THE OUTER PERIMETER OF THE SPREAD OF THE BRANCHES.

— DRIP LINE

APPROPRIATE CAPS
AND HORIZONTAL RAILS

4' HIGH CHAIN
LINKED FENCING

N DETAIL

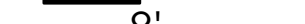
NOTES:

1. SPACE SUPPORTS: 10' MAXIMUM WITH WIRE MESH TO SUPPORT SILT FENCE FABRIC: IF SPACING IS NO MORE THAN 6' WIRE MESH IS NOT REQUIRED.
2. FENCE TO BE PLACED AT EXTREME LIMITS OF CONSTRUCTION AREA, OR AS SPECIFIED ON THE SITE PLAN.
3. MINIMUM 6" OVERLAP AT JOINTS AND JOINTS ARE ONLY TO BE PLACED AT SUPPORT POSTS.

SILT FENCE DETAIL

NOT TO SCALE

SCALE: $1/8" = 1'-0"$



0 8' 16' 24'

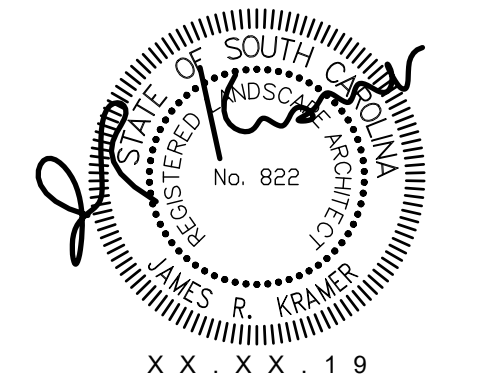


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DEMOLITION AND TREE REMOVAL PLAN

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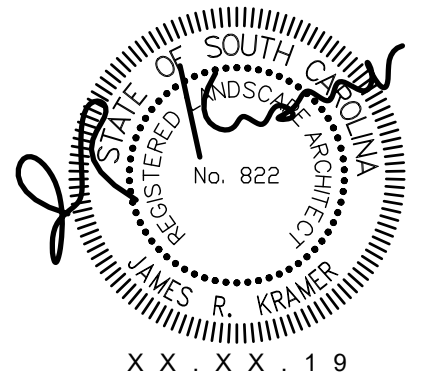
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LOT AREA	14,986 sf
LOT COVERAGE	30%, 4,496 sf max.
VEGETATED COVERAGE	50.4%, 7,564 sf
Principle Building Coverage:	2,699 sf (20% Relief)
Granted (19% relief):	2,690 sf
Impervious Coverage:	4,487 sf
Principle Building Square Ft.	4,497 sf
Allowed:	4,487 sf
Add Relief Allowed (25%):	4,487 sf
Actual Total (12% relief):	6,294 sf
Conditioned Area:	
First Floor:	2,690 sf
Second Floor:	933 sf
Total:	3,623 sf
Impervious Coverage	4,332 sf
Pervious Coverage:	
Permeable Pavers	2,480 sf
Gravel	2,017 sf

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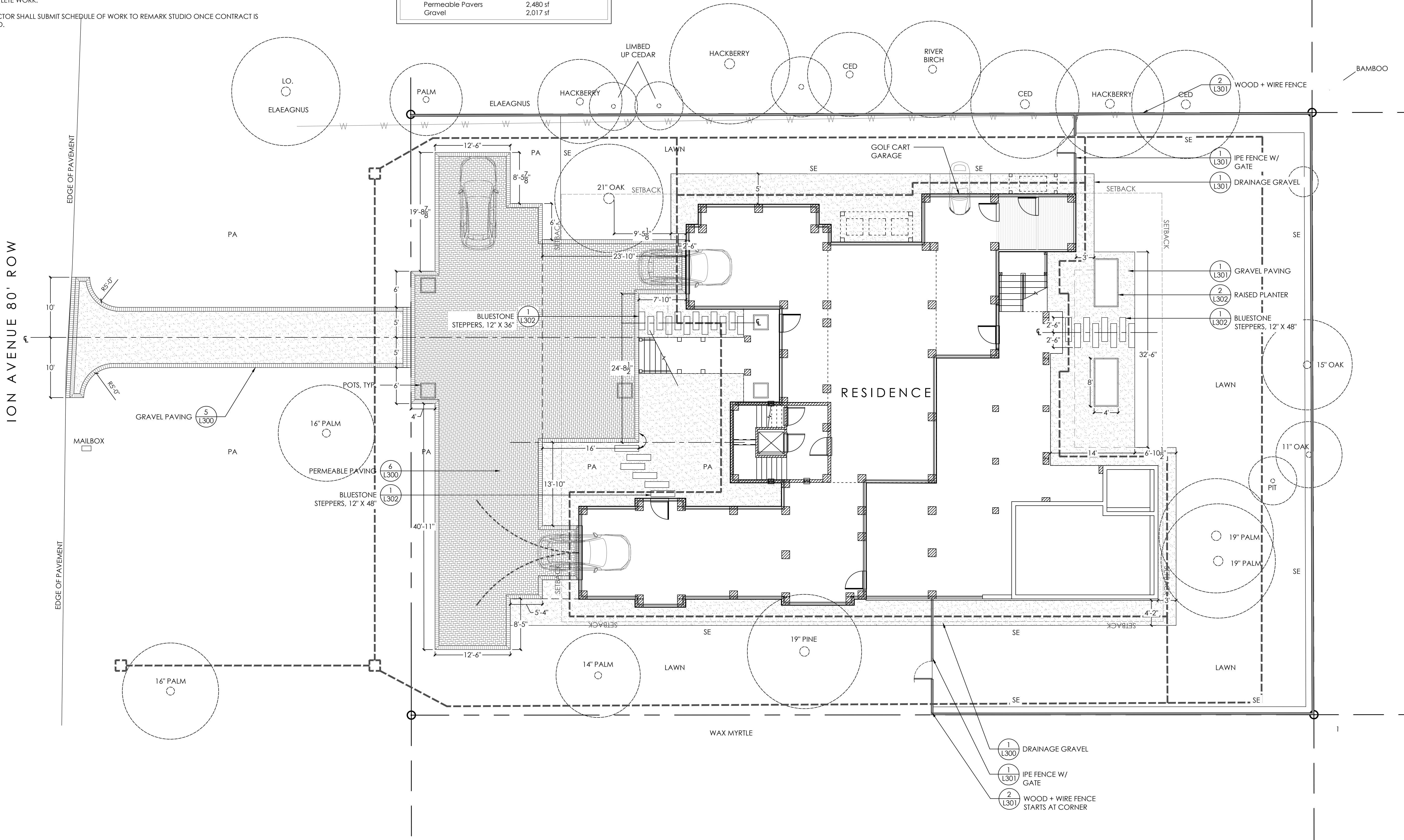
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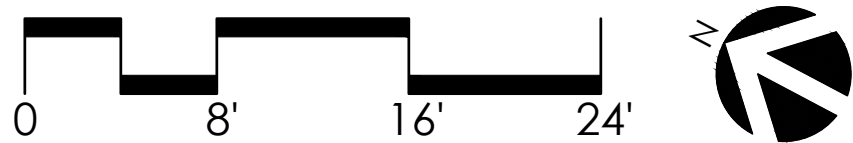
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SITE PLAN

S T A T U S :
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SCALE: 1/8" = 1'-0"



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Second Floor:	3,623 sf
Total:	4,332 sf
Impervious Coverage	2,480 sf
Pervious Coverage:	2,017 sf
Permeable Pavers	
Gravel	

NOTE:

IN ACCORDANCE WITH Z.O. SECTION 21-17 (STORMWATER ORDINANCE), I CERTIFY THE MEANS AND METHODS PROPOSED BY THIS PLAN WILL PREVENT ANY ADVERSE IMPACTS TO ADJACENT OR DOWNSTREAM PROPERTIES AS A RESULT OF THIS DEVELOPMENT.

DRAINAGE NOTES:

LOT SHALL NOT BE GRADED OR FILLED TO AN ELEVATION THAT RESULTS IN A CHANGE TO THE EXISTING STORMWATER RUN-OFF FOR SUCH LOT. THIS PLAN CERTIFIES THAT THE FILLING OR GRADING OF THE LOT WILL NOT ADVERSELY IMPACT THE DRAINAGE OF THE ADJACENT PROPERTIES IF IMPLEMENTED ACCORDING TO THIS PLAN.

CONTRACTOR TO ENSURE POSITIVE DRAINAGE AWAY FROM HOUSE.

CONTRACTOR TO ENSURE NO STORMWATER IS DIRECTED TOWARD NEIGHBORING PROPERTIES.

ADDITIONAL FILL SHALL NOT ENCR OACH INTO TREE PROTECTION ZONE.

DRAINAGE LEGEND:	
---	EXISTING CONTOUR
---	PROPOSED CONTOUR
---	DRAINAGE FLOW ARROW
---	EXISTING SPOT GRADE
---	PROPOSED SPOT GRADE
---	FRENCH DRAIN (XX L.F.)
---	CATCH BASIN

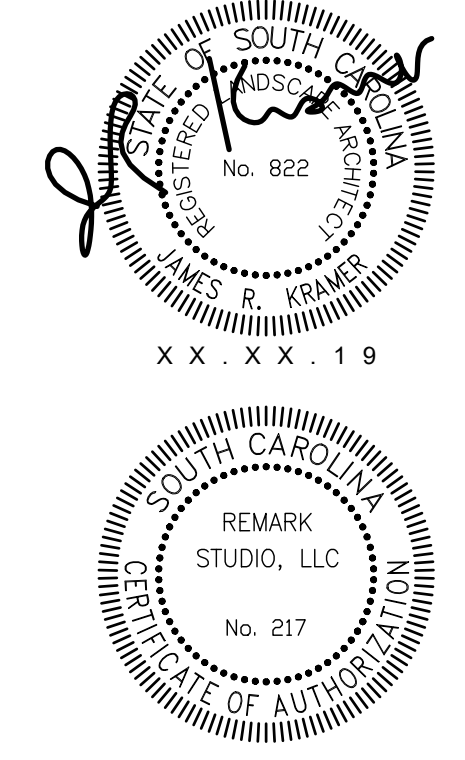
B.O.S.	= Bottom of steps
B.O.W.	= Bottom of wall
FFE	= Finish floor elevation
RIM	= Rim elevation
T.O.S.	= Top of steps
T.O.W.	= Top of wall



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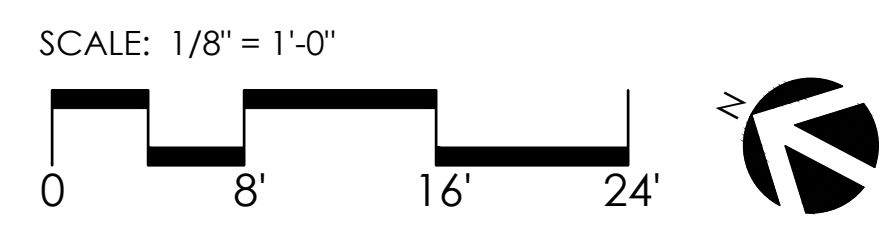
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DRAINAGE
PLAN

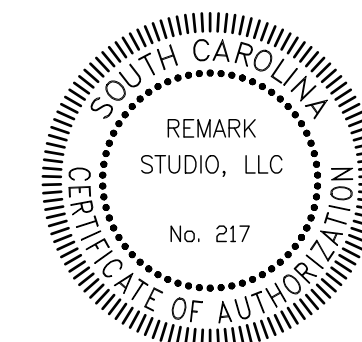
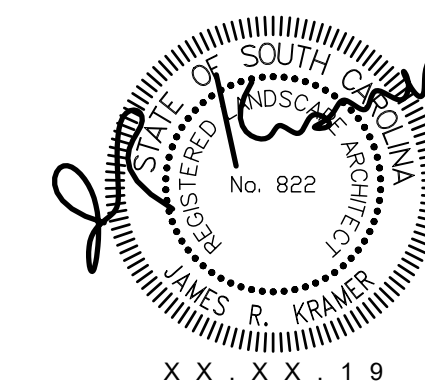
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M = mitigation tree



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LANDSCAPE PLAN

S T A T U S :
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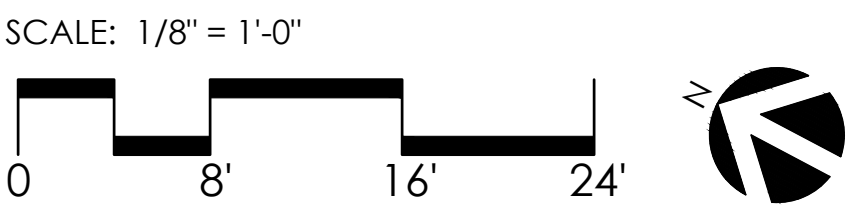
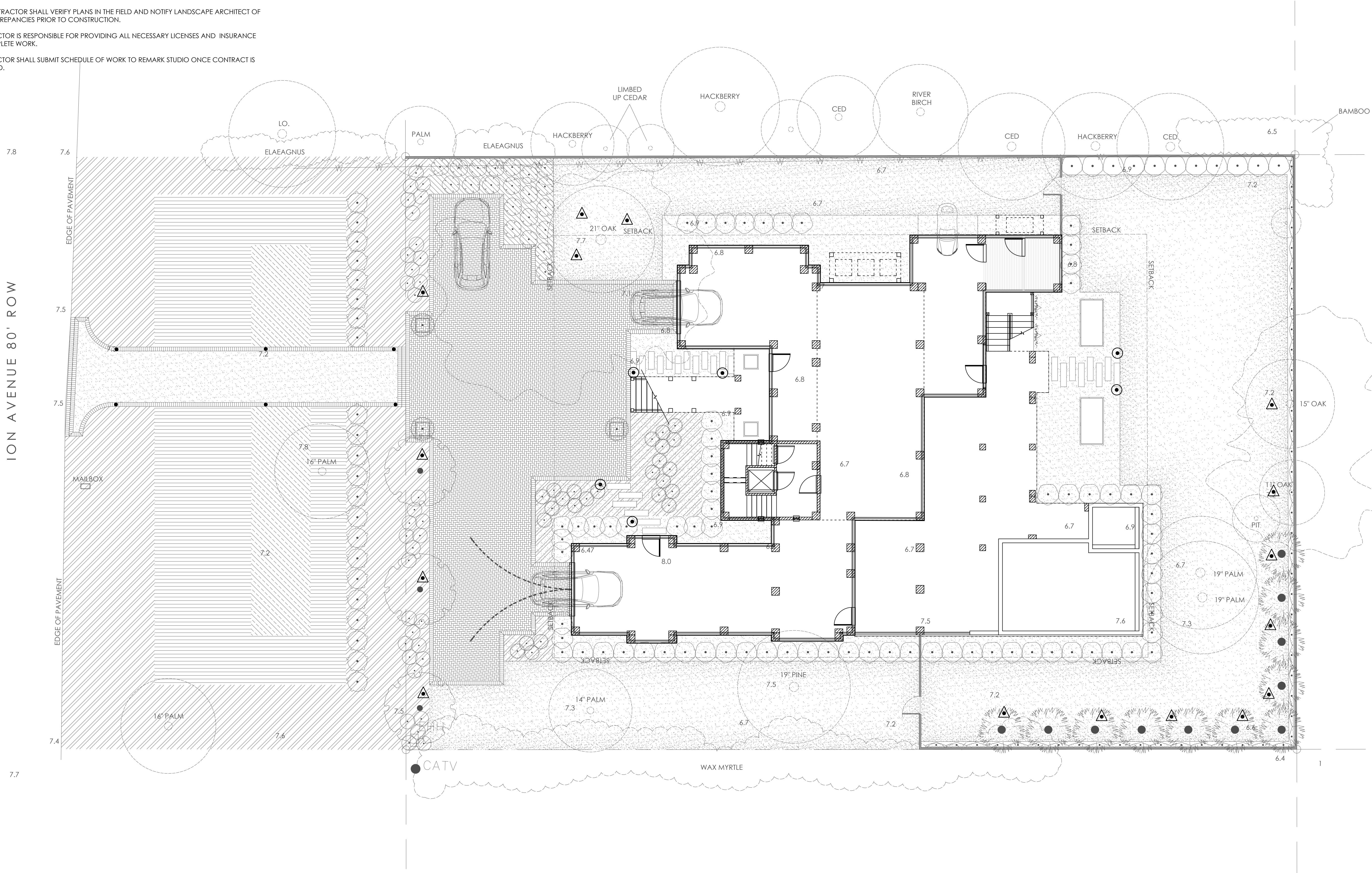
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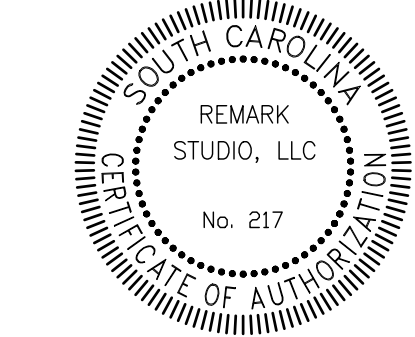
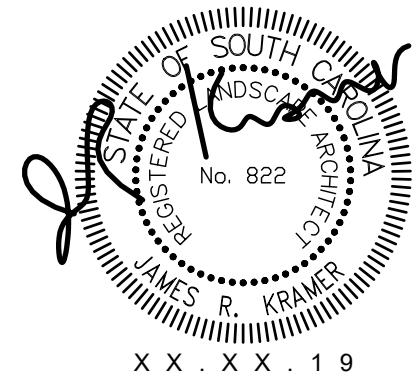
SCHEMATIC LANDSCAPE LIGHTING LEGEND	
	LED PATH LIGHT
	LED UP LIGHT
	LED WASH LIGHT
	LED DRIVE DISCS
* FINAL LIGHTING BY MOONLIGHTING (843) 853.3221	



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LANDSCAPE
LIGHTING
PLAN

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STAKING AND LAYOUT NOTES:

1. TREE PLANTINGS AND BED LINES SHALL BE STAKED BY THE CONTRACTOR FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO INSTALLATION. THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO MAKE ADJUSTMENTS TO PLANTING LOCATIONS AS NEEDED.
2. CONTRACTOR SHALL VERIFY DIMENSIONS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES.
3. USE DIMENSIONAL DATA GIVEN. DO NOT SCALE DRAWINGS.
4. CONTRACTOR SHALL LAYOUT AND ADJUST FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL REFER QUESTIONS ON MATERIALS, FINISHES, LABOR AND/OR PERFORMANCE STANDARDS NOT SPECIFIED HEREIN TO THE LANDSCAPE ARCHITECT.

GENERAL REMOVAL & CLEARING NOTES:

1. THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE & LOCAL REGS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT. CONTRACTOR TO VERIFY THAT ALL UTILITIES HAVE BEEN DISCONNECTED PRIOR TO ANY DEMOLITION
3. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE EXACT LOCATION, SIZE, TYPE, AND DEPTH OF UTILITIES, PIPING, DRYWELLS, ETC. PRIOR TO THE START OF ANY WORK. THE CONTRACTOR MUST CONTACT THE APPROPRIATE LOCAL "ONE CALL" SYSTEM TO ENSURE THAT ALL UTILITIES ARE PROPERLY AND COMPLETELY MARKED OUT IN THE FIELD PRIOR TO ANY WORK AT THE SITE. ANY DISCREPANCIES BETWEEN THE FIELD LOCATIONS AND THE PLANS SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY. THE CONTRACTOR IS ADVISED THAT UTILITY INFORMATION SHOWN ON THE PLAN IS A COMPILATION OF FIELD LOCATIONS. ABOVE GROUND STRUCTURES THAT WERE VISIBLE AND ACCESSIBLE IN THE FIELD, AND RECORD DRAWINGS AVAILABLE AT THE TIME OF THE SURVEY AND MUST BE CONFIRMED ACCORDINGLY. THE CONTRACTOR SHALL COORDINATE UTILITY DISCONNECTION WITH THE APPLICABLE UTILITY COMPANIES PRIOR TO DEMOLITION ACTIVITIES. THE CONTRACTOR IS ALSO ADVISED THAT ALL SUCH FACILITIES DISTURBED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
4. EXCAVATION SHALL BE PROPERLY BACK FILLED WITH CLEAN SUITABLE MATERIAL COMPACTED TO 95% PROCTOR. BACK FILL MATERIAL SHALL BE PLACED WITH MAXIMUM 24" LOOSE LIFTS (CONTRACTOR TO VERIFY SOIL REPORT RECOMMENDATION). THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPACTION TESTING AND SHALL SUBMIT SUCH REPORTS AND VERIFICATION. REFER TO SITE PLAN FOR ADDITIONAL INFORMATION CONCERNING CURRENT AND PROPOSED IMPROVEMENTS, ETC.
6. UNSUITABLE MATERIAL, CONSTRUCTION DEBRIS, ETC. SHALL BE PROPERLY REMOVED & DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES & LAWS.
7. CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO ANY STRUCTURES TO REMAIN. CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING THE APPROPRIATE MEASURES AS NECESSARY TO ENSURE THE STRUCTURAL STABILITY OF FOUNDATIONS/ WALLS/ AND PAVEMENT TO REMAIN, AND PROVIDE A SAFE WORK AREA.
8. G.C. SHALL TAKE APPROPRIATE MEASURES TO PROTECT PEDESTRIANS AND VEHICULAR TRAFFIC DURING ALL CLEARING ACTIVITIES.
9. CONTRACTOR TO VERIFY EXISTING CONDITIONS AS SHOWN. IF EXISTING CONDITIONS DIFFER, CONTRACTOR MUST NOTIFY THE ARCHITECT IMMEDIATELY.
10. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS & APPROVALS HAVE BEEN OBTAINED PRIOR TO STARTING GRADING OPERATIONS.
11. CLEARING AND GRADING ACTIVITIES IS BASED UPON INFORMATION PROVIDED TO OUR OFFICE AT THE TIME OF ITS PREPARATION. EXIST. ITEMS NOT IDENTIFIED ON THIS PLAN AND NOT ASSOCIATED WITH THE PROPOSED DEVELOPMENT DEPICTED ON THE SUBSEQUENT DRAWINGS ARE TO BE REMOVED AFTER DUE NOTICE OF THEIR PRESENCE TO THE ARCHITECT OF RECORD.

PLANTING NOTES:

1. CONTRACTOR TO PERFORM PERCOLATION TEST IN ALL PLANTING AREAS. IF WATER DOES NOT PERCOLATE PROPERLY, BED SHALL BE MANUALLY DEEP-AERATED.
2. IN TREE AND SHRUB PLANTING AREAS: ADD AGED DOUBLE CUT HARDWOOD MULCH AS SPECIFIED 2" DEPTH (NO PINEBARK MULCH, NO DYED MULCHES, NO CEDAR MULCHES, NO PINESTRAW). IN PERENNIAL AND ORNAMENTAL GRASS PLANTING AREAS: ADD SOIL CONDITIONER AT 1" DEPTH.
3. SEE DETAILS, INDICATING PLANTING METHODS ON SHEET L202.
4. LANDSCAPE CONTRACTOR RESPONSIBLE FOR MAINTAINING ALL INSTALLED PLANTS AND LAWN AREAS UNTIL ISSUANCE OF WRITTEN CERTIFICATE OF FINAL COMPLETION.
5. LANDSCAPE CONTRACTOR IS TO WARRANTY PLANT MATERIAL FOR (1) ONE YEAR WHICH BEGINS AT ISSUANCE OF WRITTEN CERTIFICATE OF FINAL COMPLETION.
6. PLANT MATERIAL LIST IS PREPARED FOR ESTIMATING PURPOSES ONLY. CONTRACTORS SHALL MAKE THEIR OWN QUANTITY TAKEOFFS USING DRAWINGS TO DETERMINE QUANTITIES TO THEIR SATISFACTION. REPORTING ANY DISCREPANCIES WHICH MAY AFFECT BIDDING TO LANDSCAPE ARCHITECT.
7. ALL EXISTING TREES TO BE SAVED WILL HAVE TREE BARRICADES INSTALLED AROUND THEM PRIOR TO BEGINNING OF DEMOLITION. ALL WORK IN THOSE AREAS IS TO BE DONE BY HAND. FENCES SHALL BE MAINTAINED AND KEPT IN PLACE AT ALL TIMES.
8. PROVIDE EROSION CONTROL WHERE SLOPES ARE GREATER THAN 3:1 AND WHERE EROSION KEEPS RE-OCCURRING.
9. ALL TREE, SHRUB, AND GROUND COVER MATERIALS SHALL BE PLANTED WITHIN 24 HOURS AFTER DELIVERY.
10. APPLY WEED GERMINATION INHIBITOR ("PREEN" OR EQUAL) TO PLANT BED AREAS BUT NOT IN RAIN GARDEN PLANTING AREAS DUE TO WATER QUALITY ISSUES.
11. ANY PLANTS LOCATED IN DIRECT SUN SHALL BE NURSERY SUN GROWN.
12. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY LICENSES AND INSURANCE TO COMPLETE WORK.
13. THERE SHALL BE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS WITHOUT APPROVAL BY THE LANDSCAPE ARCHITECT.
14. ALL CONSTRUCTION SHALL CONFORM TO CITY, COUNTY, STATE, AND FEDERAL REQUIREMENTS.
15. ALL PLANTINGS IN EASEMENTS ARE SUBJECT TO APPROVAL BY EASEMENT OWNER AND ARE THE SOLE RESPONSIBILITY OF THE OWNER.
16. THE OWNER HAS THE RIGHT TO REJECT ANY AND ALL BIDS.
17. PERENNIALS TO BE PLANTED AT LEAST 12" FROM PATHS, WALKS, AND CURBS.
18. ORNAMENTAL GRASSES TO BE PLANTED AT LEAST 18" FROM PATHS, WALKS, AND CURBS.
19. PLANTING LAYOUT TO BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO INSTALL.
20. 100% OF INSTALLED PLANT MATERIAL IS TO BE COVERED BY HIGH EFFICIENT IRRIGATION SYSTEM PER PREVIOUSLY APPROVED SPECIFICATIONS.
21. LARGE QUANTITIES OF GROUND COVER AND ORNAMENTAL GRASSES MAY NEED TO BE CONTRACT GROWN. LANDSCAPE CONTRACTOR MUST HAVE WRITTEN VERIFICATION OF ALL PLANT MATERIAL 45 DAYS PRIOR TO INSTALL.
22. ALL SOIL AMENDMENTS SHALL BE FROM RELIABLE SOURCES AND FREE OF WEEDS, TRASH, & POLLUTANTS.

PLANT SCHEDULE							
TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	CITM	CITRUS X MEYERI	MEYER LEMON	15 GAL.	3		
	QUEV	QUERCUS VIRGINIANA	SOUTHERN LIVE OAK	6" CAL	3		
	SABS	SABAL PALMETTO	PALMETTO	12' - 24' HT.	11	LANDSCAPE ARCHITECT TO APPROVE HEIGHTS BEFORE INSTALLATION	
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	FARJ	FARFUGIUM JAPONICUM	LEOPARD PLANT	3 GAL.	21		
	GAUL	GAURA LINDHEIMERI	GAURA	1 GAL.	34		
	MUHD	MUHLENBERGIA DUMOSA	BAMBOO MUHLY	3 GAL.	22		
	PODM	PODOCARPUS MACROPHYLLUS	PODOCARPUS	30 GAL. 5' HT. MIN.	83	FULL & VIGOROUS	
	SALO	SALVIA X 'OTAHAL'	OTAHAL BLUE SAGE	1 GAL.	25		
VINE/ESPALIER	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	CAMS	CAMELLIA SASANQUA	SASANQUA CAMELLIA	15 GAL.	2	SPECIFY ESPALIER	
VINES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	QTY	REMARKS	
	TRAC	TRACHELOSPERMUM JASMINOIDES 'CONFEDERATE'	CONFEDERATE JASMINE	3 GAL.	47		
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	REMARKS
	LOML2	NATIVE MIX LOMANDRA LONGIFOLIA SALVIA X 'OTAHAL'	BREEZEGRASS OTAHAL BLUE SAGE	1 GAL. 1 GAL.	35% @ 24" o.c. 65% @ 24" o.c.	558 SF 51 95	
	DRYE	FERN MIX DRYOPTERIS ERYTHROSORA	AUTUMN FERN	1 GAL.	50% @ 24" o.c.	215 SF	
	THEK	THELYPTERIS KUNTHII	SOUTHERN SHIELD FERN	1 GAL.	50% @ 24" o.c.	28	
	LOML2	LOMANDRA LONGIFOLIA	BREEZEGRASS	1 GAL.	24" o.c.	888	
	MUHC	MUHLENBERGIA CAPILLARIS	PINK MUHLY GRASS	3 GAL.	36" o.c.	208	
	ZOYE	ZOYSIA JAPONICA 'EMPIRE'	EMPIRE ZOYSIA GRASS	SOD		5,308 SF	

SITE	
482 L.F.	SILT FENCE (REFER TO SHEET L101 FOR LOCATIONS)
	TREE PROTECTION (REFER TO SHEET L101 FOR LOCATIONS)
	SITE GRADING AND DRAINAGE SEE SHEET L101 FOR PROPOSED ELEVATIONS
	SITE FILL
	SOIL TEST PRIOR TO ANY AMENDMENTS BEING ADDED: RESULTS AND RECOMMENDNATONS SHALL BE AVAILABLE PRIOR TO PLANTING.
	SOIL AMENDMENTS (AS NEEDED FROM SOIL TEST) • TOP SOIL • MUSHROOM COMPOST • PINE SOIL CONDITIONER
	FINAL GRADE AND CLEAN-UP
	IRRIGATION PLAN BY SIMMONS IRRIGATION
752 L.F.	FRENCH DRAIN. SEE SHEET L103 FOR LOCATION & DETAIL X ON SHEET L300.
XX L.F.	4" CONDUIT FOR IRRIGATION & ELECTRICAL
XX CYDS	MULCH: 80% AGED DOUBLE-CUT HARDWOOD & 20% MUSHROOM COMPOST, MIXED OFFSITE; 2" DEPTH ON LANDSCAPE (XX S.F. APPROX)
XX CYDS	COMPOST: CERTIFIED, WEED FREE. TO BE SPREAD AT 1" DEPTH IN PERENNIAL AND ORNAMENTAL GRASS PLANTING AREAS (XX S.F. APPROX.)
19.2 CYDS	SOIL CONDITIONER: TO BE SPREAD AT 1" DEPTH IN PERENNIAL AND ORNAMENTAL GRASS PLANTING AREAS (6,212 S.F. APPROX.)
	LED LANDSCAPE LIGHTING T.B.D.
	LED SITE LIGHTING REQUIREMENTS: COLOR RENDERING INDEX: 80 MIN. COLOR TEMPERATURE: 3,000-4,000 DEGREES KELVIN. LUMEN MAINTENANCE PROJECTION: 90% MIN. SPECIFY BUG (BACKLIGHT, UPLIGHT, GLARE) RATING SYSTEM.

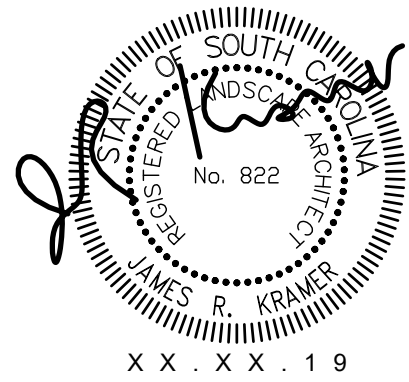
HARDSCAPE	
20 L.F.	CONCRETE APRON BUILT TO MEET SCDOT & CITY OF CHARLESTON'S R.O.W. CODES & REGULATIONS
2,248 S.F.	PERMEABLE PAVER DRIVEWAY OLD CAROLINA BRICK COMPANY COLOR: SAVANNAH GREY SIZE: OVERSIZE CONTACT: MERIDIAN @ 843-873-1610 REFER TO DETAIL 6 ON SHEET L300.
494 S.F.	GRAVEL PAVING DRIVE W/ BRICK BORDER TOP DRESS OYSTER SHELL REFER TO DETAIL 5 ON SHEET L300.
31 L.F.	IPE FENCE W/ GATES AS SHOWN. GATES TO HAVE LOCKABLE MECHANISM & MEET ALL DHEC CODES. REFER TO DETAIL 1 ON SHEET L300
313 L.F.	PERIMETER WOOD/ WIRE FENCE REFER TO DETAIL 2 ON SHEET L301
2,072 S.F.	DRAINAGE GRAVEL 789 CUMBERLAND RIVER PEEBLE REFER TO DETAIL 1 ON SHEET L300
12 EA	BLUESTONE STEPPERS SIZE: 12" X 36" X 1" COLOR: SELECT BLUE 'THERMAL FINISH' REFER TO DETAIL 1 ON SHEET L302
14 EA	SIZE 12" X 48" X 1" COLOR: SELECT BLUE 'THERMAL FINISH' REFER TO DETAIL 1 ON SHEET L302
2 QTY.	VEGETABLE PLANTERS REFER TO DETAIL 2 ON SHEET L302
2 QTY.	POTS, TBD

SCHEMATIC LANDSCAPE LIGHTING LEGEND	
	LED PATH LIGHT
	LED UP LIGHT
	LED WASH LIGHT
	LED DRIVE DISCS
* FINAL LIGHTING BY MOONLIGHTING (843) 853.3221	

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i n n o v a t i o n
c o l l a b o r a t i o n
s t e w a r d s h i p



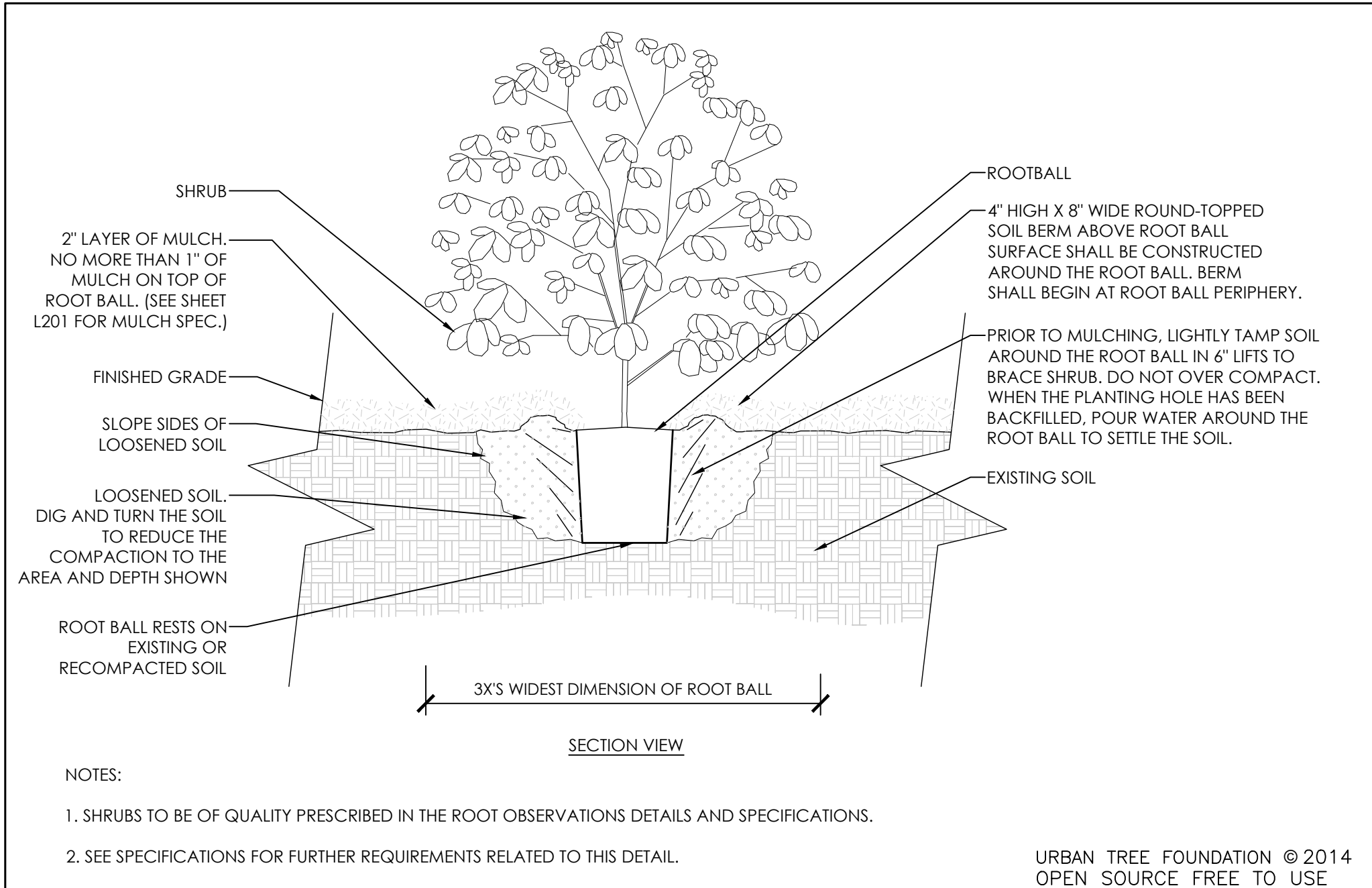
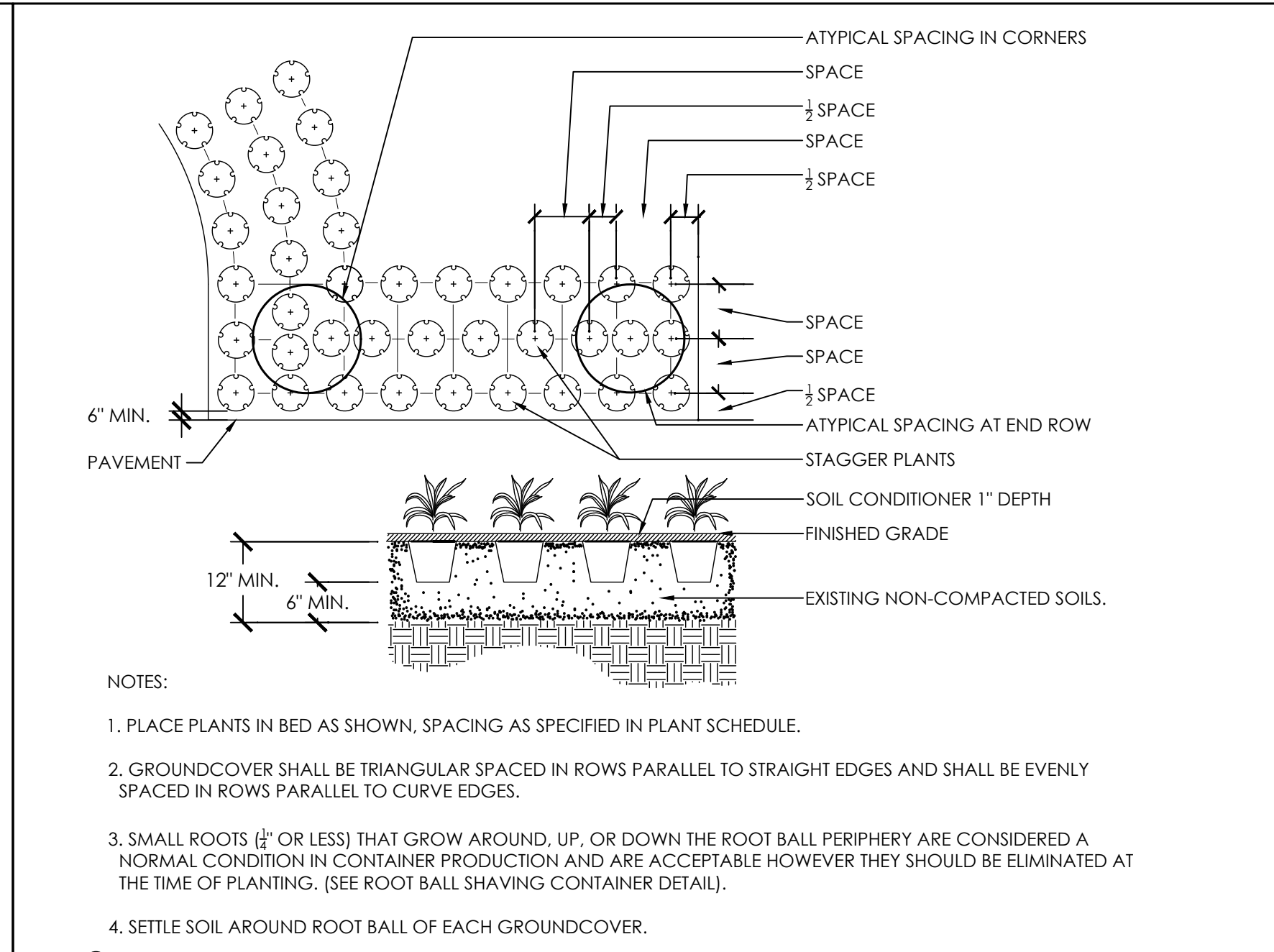
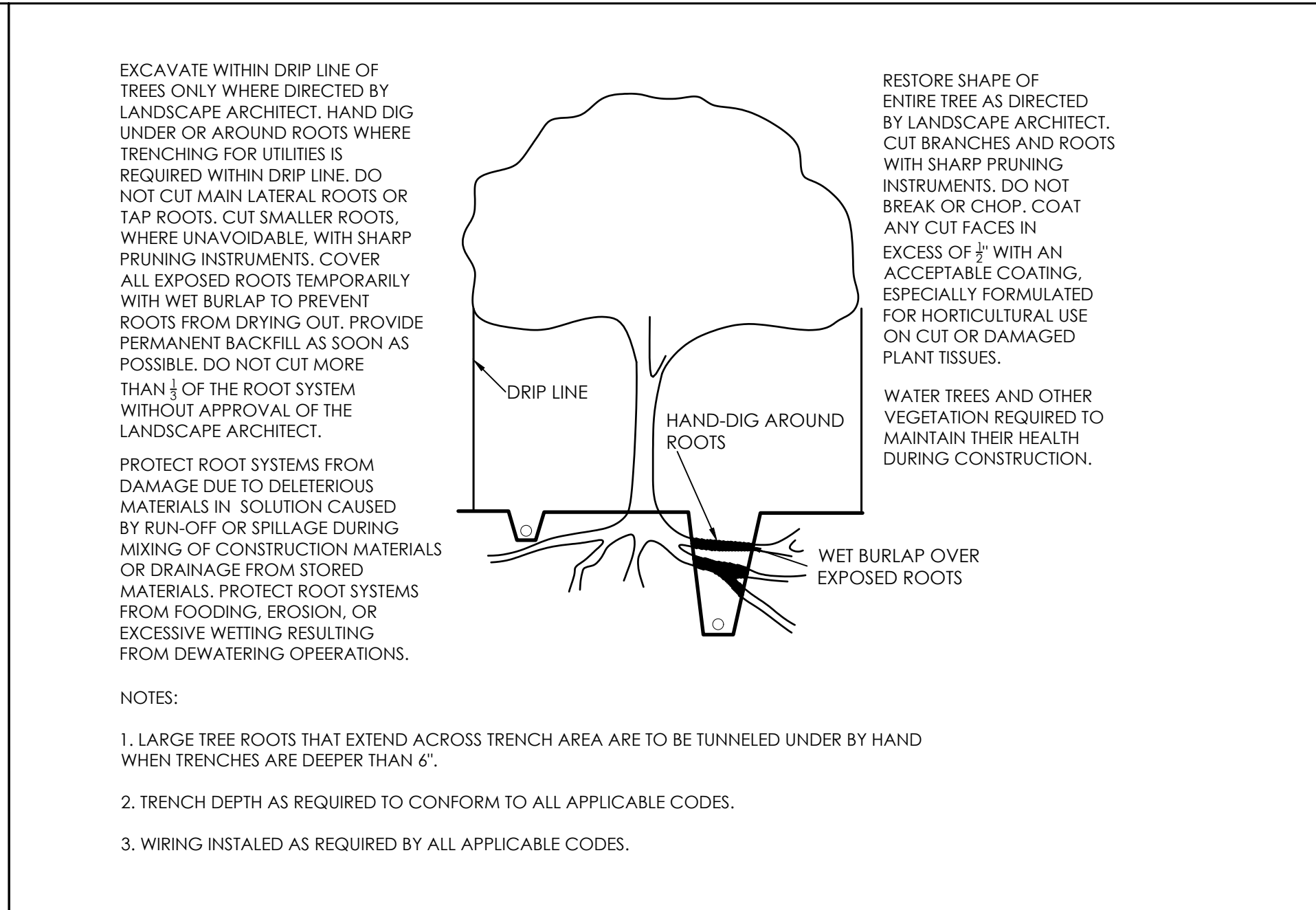
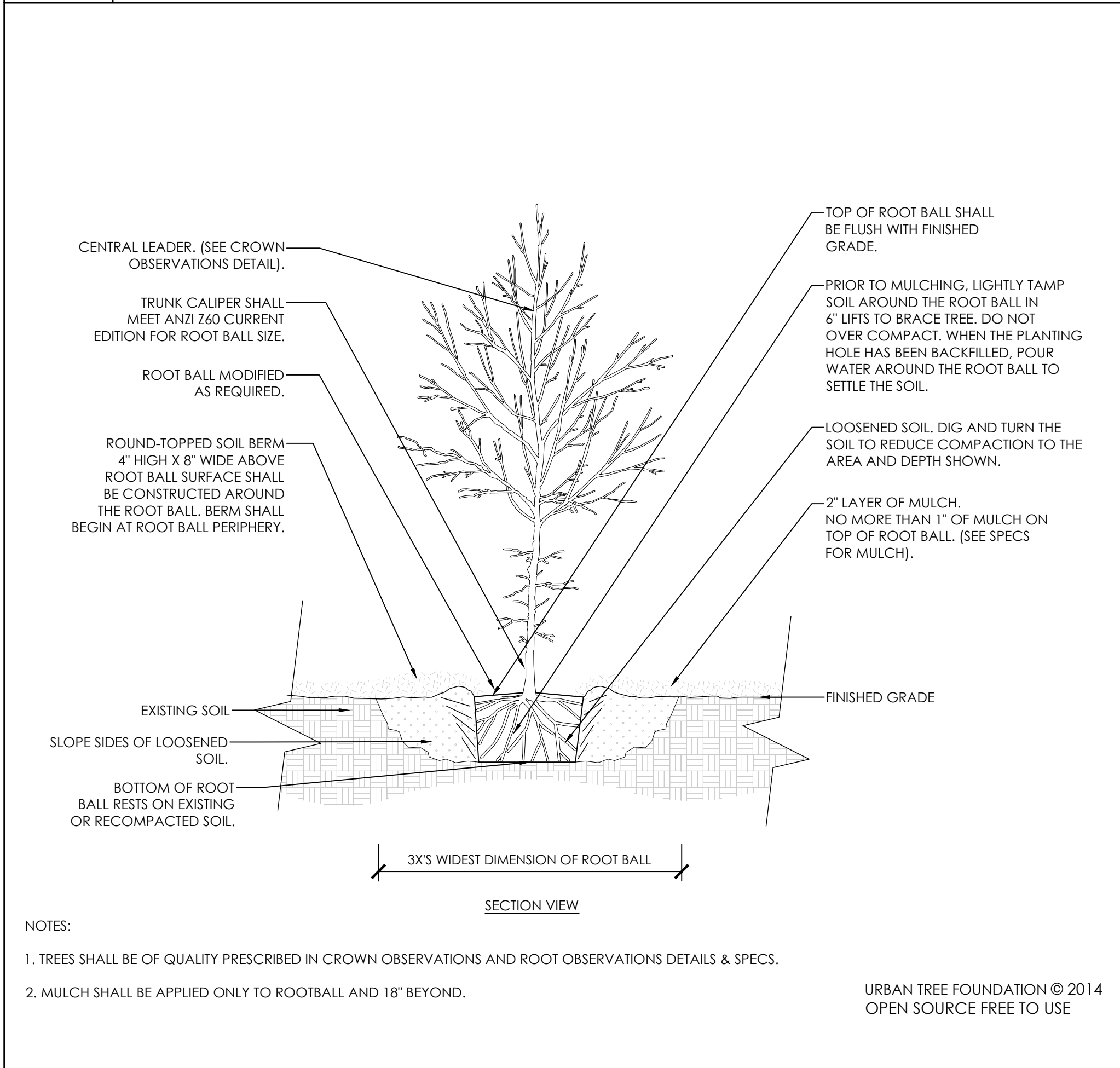
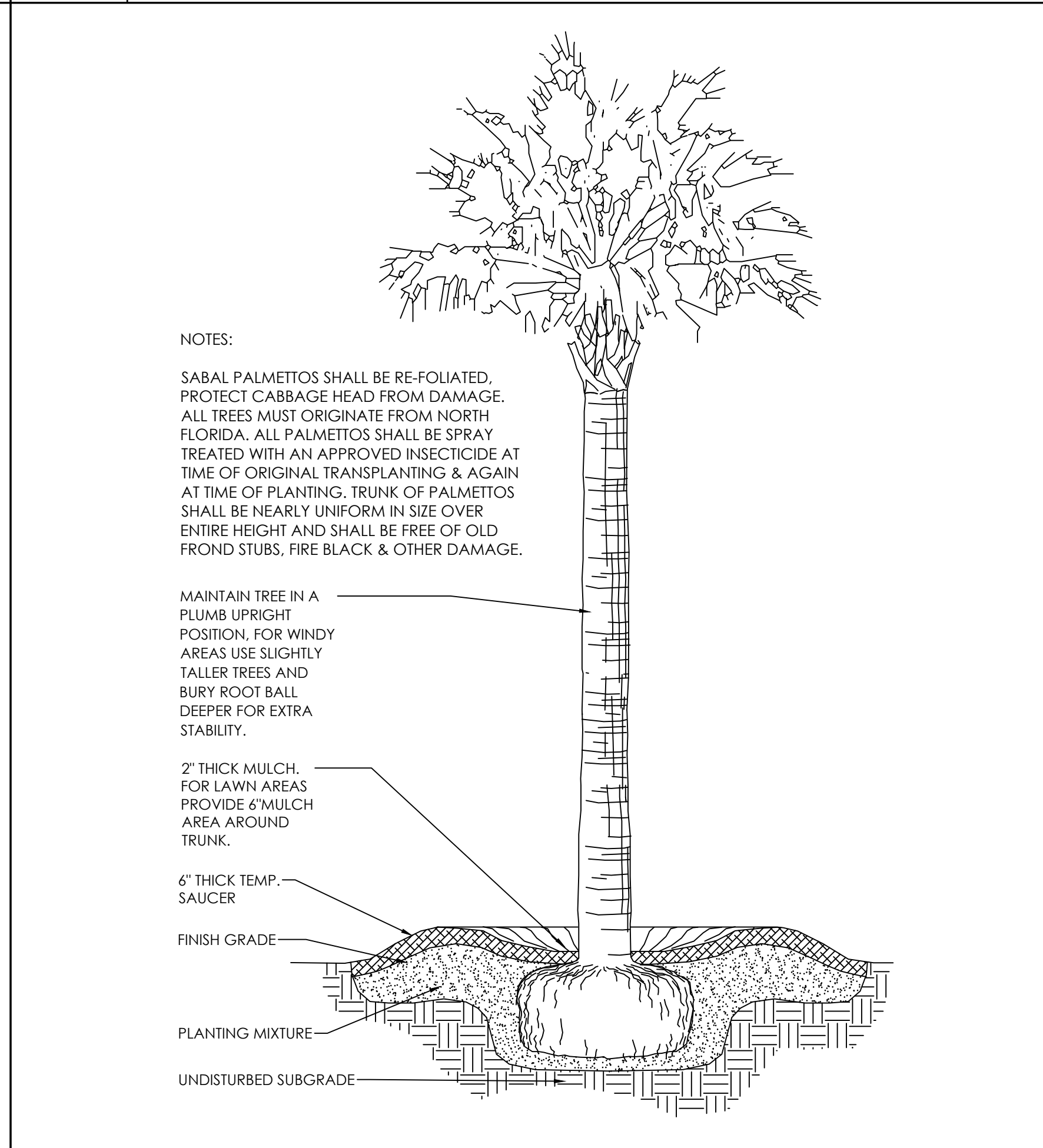
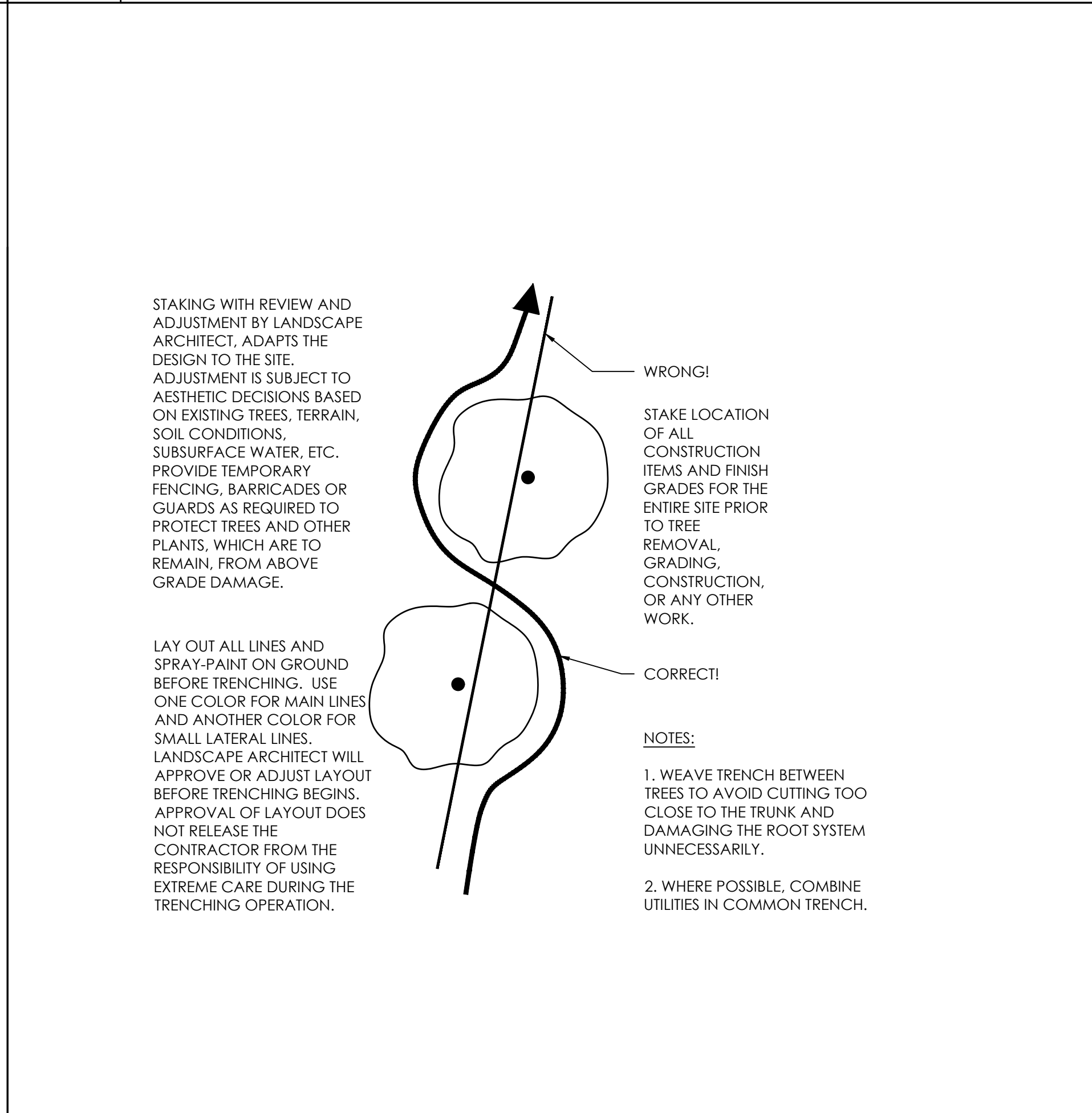
BRENER-LLOYD
RESIDENCE
29071 O'N A V E N U E
SULLIVAN'S ISLAND, SOUTH CAROLINA

PROJECT #: 20053
DATE: 09.24.20
DRAWN BY: HCR
CHECKED BY: JRK
REVISIONS:
DATE: 03.22.21 HCR
05.04.21 HCR

SCHEDULE
& NOTES

S T A T U S :
CONSTRUCTION SET

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 SHRUB 2" LAYER OF MULCH, NO MORE THAN 1" OF MULCH ON TOP OF ROOT BALL. (SEE SHEET L201 FOR MULCH SPEC.) FINISHED GRADE SLOPE SIDES OF LOOSENED SOIL LOOSENED SOIL, DIG AND TURN THE SOIL TO REDUCE THE COMPACTION TO THE AREA AND DEPTH SHOWN ROOT BALL RESTS ON EXISTING OR RECOMPACTED SOIL 3X'S WIDEST DIMENSION OF ROOT BALL SECTION VIEW NOTES: - SHRUBS TO BE OF QUALITY PRESCRIBED IN THE ROOT OBSERVATIONS DETAILS AND SPECIFICATIONS. - SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL. URBAN TREE FOUNDATION © 2014 OPEN SOURCE FREE TO USE		 ATYPICAL SPACING IN CORNERS SPACE SPACE SPACE SPACE SPACE SPACE ATYPICAL SPACING AT END ROW STAGGER PLANTS SOIL CONDITIONER 1" DEPTH FINISHED GRADE EXISTING NON-COMPACTED SOILS. 6" MIN. 12" MIN. 6" MIN. PAVEMENT NOTES: - PLACE PLANTS IN BED AS SHOWN, SPACING AS SPECIFIED IN PLANT SCHEDULE. - GROUNDCOVER SHALL BE TRIANGULAR SPACED IN ROWS PARALLEL TO STRAIGHT EDGES AND SHALL BE EVENLY SPACED IN ROWS PARALLEL TO CURVE EDGES. - SMALL ROOTS ($\frac{1}{2}$" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. (SEE ROOT BALL SHAVING CONTAINER DETAIL). - SETTLE SOIL AROUND ROOT BALL OF EACH GROUNDCOVER.		 EXCAVATE WITHIN DRIP LINE OF TREES ONLY WHERE DIRECTED BY LANDSCAPE ARCHITECT. HAND DIG UNDER OR AROUND ROOTS WHERE TRENCHING FOR UTILITIES IS REQUIRED WITHIN DRIP LINE. DO NOT CUT MAIN LATERAL ROOTS OR TAP ROOTS. CUT SMALLER ROOTS, WHERE UNAVOIDABLE, WITH SHARP PRUNING INSTRUMENTS. COVER ALL EXPOSED ROOTS TEMPORARILY WITH WET BURLAP TO PREVENT ROOTS FROM DRYING OUT. PROVIDE PERMANENT BACKFILL AS SOON AS POSSIBLE. DO NOT CUT MORE THAN $\frac{1}{4}$ OF THE ROOT SYSTEM WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT. RESTORE SHAPE OF ENTIRE TREE AS DIRECTED BY LANDSCAPE ARCHITECT. CUT BRANCHES AND ROOTS WITH SHARP PRUNING INSTRUMENTS. DO NOT BREAK OR CHOP, COAT ANY CUT FACES IN EXCESS OF $\frac{1}{2}$" WITH AN ACCEPTABLE COATING, ESPECIALLY FORMULATED FOR HORTICULTURAL USE ON CUT OR DAMAGED PLANT TISSUES. WATER TREES AND OTHER VEGETATION REQUIRED TO MAINTAIN THEIR HEALTH DURING CONSTRUCTION. DRIP LINE HAND-DIG AROUND ROOTS WET BURLAP OVER EXPOSED ROOTS NOTES: - LARGE TREE ROOTS THAT EXTEND ACROSS TRENCH AREA ARE TO BE TUNNELED UNDER BY HAND WHEN TRENCHES ARE DEEPER THAN 6". - TRENCH DEPTH AS REQUIRED TO CONFORM TO ALL APPLICABLE CODES. - WIRING INSTALED AS REQUIRED BY ALL APPLICABLE CODES.	
1	SHRUB PLANTING DETAIL	2	GROUNDCOVER PLANTING DETAIL	3	TRENCHING DETAIL - SECTION
N.T.S.		N.T.S.		N.T.S.	
 CENTRAL LEADER. (SEE CROWN OBSERVATIONS DETAIL). TRUNK CALIPER SHALL MEET ANZI Z60 CURRENT EDITION FOR ROOT BALL SIZE. ROOT BALL MODIFIED AS REQUIRED. ROUND-TOPPED SOIL BERM 4" HIGH X 8" WIDE ABOVE ROOT BALL SURFACE SHALL BE CONSTRUCTED AROUND THE ROOT BALL. BERM SHALL BEGIN AT ROOT BALL PERIPHERY. EXISTING SOIL SLOPE SIDES OF LOOSENED SOIL BOTTOM OF ROOT BALL RESTS ON EXISTING OR RECOMPACTED SOIL. 3X'S WIDEST DIMENSION OF ROOT BALL SECTION VIEW NOTES: - TREES SHALL BE OF QUALITY PRESCRIBED IN CROWN OBSERVATIONS AND ROOT OBSERVATIONS DETAILS & SPECS. - MULCH SHALL BE APPLIED ONLY TO ROOTBALL AND 18" BEYOND. URBAN TREE FOUNDATION © 2014 OPEN SOURCE FREE TO USE		 NOTES: SABAL PALMETTOS SHALL BE RE-FOLIATED, PROTECT CABBAGE HEAD FROM DAMAGE. ALL TREES MUST ORIGINATE FROM NORTH FLORIDA. ALL PALMETTOS SHALL BE SPRAY TREATED WITH AN APPROVED INSECTICIDE AT TIME OF ORIGINAL TRANSPLANTING & AGAIN AT TIME OF PLANTING. TRUNK OF PALMETTOS SHALL BE NEARLY UNIFORM IN SIZE OVER ENTIRE HEIGHT AND SHALL BE FREE OF OLD FROND STUBS, FIRE BLACK & OTHER DAMAGE. MAINTAIN TREE IN A PLUMB UPRIGHT POSITION. FOR WINDY AREAS USE SLIGHTLY TALLER TREES AND BURY ROOT BALL DEEPER FOR EXTRA STABILITY. 2" THICK MULCH. FOR LAWN AREAS PROVIDE 6" MULCH AREA AROUND TRUNK. 6" THICK TEMP. SAUCER FINISH GRADE PLANTING MIXTURE UNDISTURBED SUBGRADE		 STAKING WITH REVIEW AND ADJUSTMENT BY LANDSCAPE ARCHITECT, ADAPTS THE DESIGN TO THE SITE. ADJUSTMENT IS SUBJECT TO AESTHETIC DECISIONS BASED ON EXISTING TREES, TERRAIN, SOIL CONDITIONS, SUBSURFACE WATER, ETC. PROVIDE TEMPORARY FENCING, BARRICADES OR GUARDS AS REQUIRED TO PROTECT TREES AND OTHER PLANTS, WHICH ARE TO REMAIN, FROM ABOVE GRADE DAMAGE. LAY OUT ALL LINES AND SPRAY-PAINT ON GROUND BEFORE TRENCHING. USE ONE COLOR FOR MAIN LINES AND ANOTHER COLOR FOR SMALL LATERAL LINES. LANDSCAPE ARCHITECT WILL APPROVE OR ADJUST LAYOUT BEFORE TRENCHING BEGINS. APPROVAL OF LAYOUT DOES NOT RELEASE THE CONTRACTOR FROM THE RESPONSIBILITY OF USING EXTREME CARE DURING THE TRENCHING OPERATION. WRONG! STAKE LOCATION OF ALL CONSTRUCTION ITEMS AND FINISH GRADES FOR THE ENTIRE SITE PRIOR TO TREE REMOVAL, GRADING, CONSTRUCTION, OR ANY OTHER WORK. CORRECT! NOTES: - WEAVE TRENCH BETWEEN TREES TO AVOID CUTTING TOO CLOSE TO THE TRUNK AND DAMAGING THE ROOT SYSTEM UNNECESSARILY. - WHERE POSSIBLE, COMBINE UTILITIES IN COMMON TRENCH.	
4	TREE PLANTING DETAIL	5	PALM TREE DETAIL	6	TRENCHING DETAIL - SECTION
N.T.S.		N.T.S.		N.T.S.	

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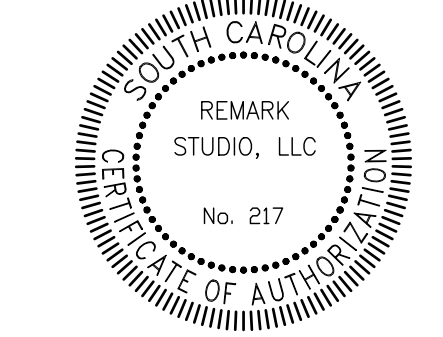
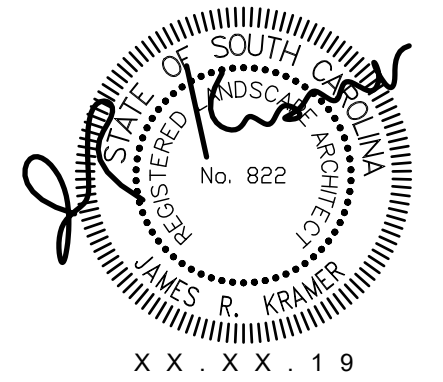
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s t e w a r d s h i p



BRENER-LLOYD
RESIDENCE
29071 O'N A V E N U E
SULLIVAN'S ISLAND, SOUTH CAROLINA

PROJECT #: 20053

DATE: 09.24.20

DRAWN BY: HCR

CHECKED BY: JRK

REVISIONS:

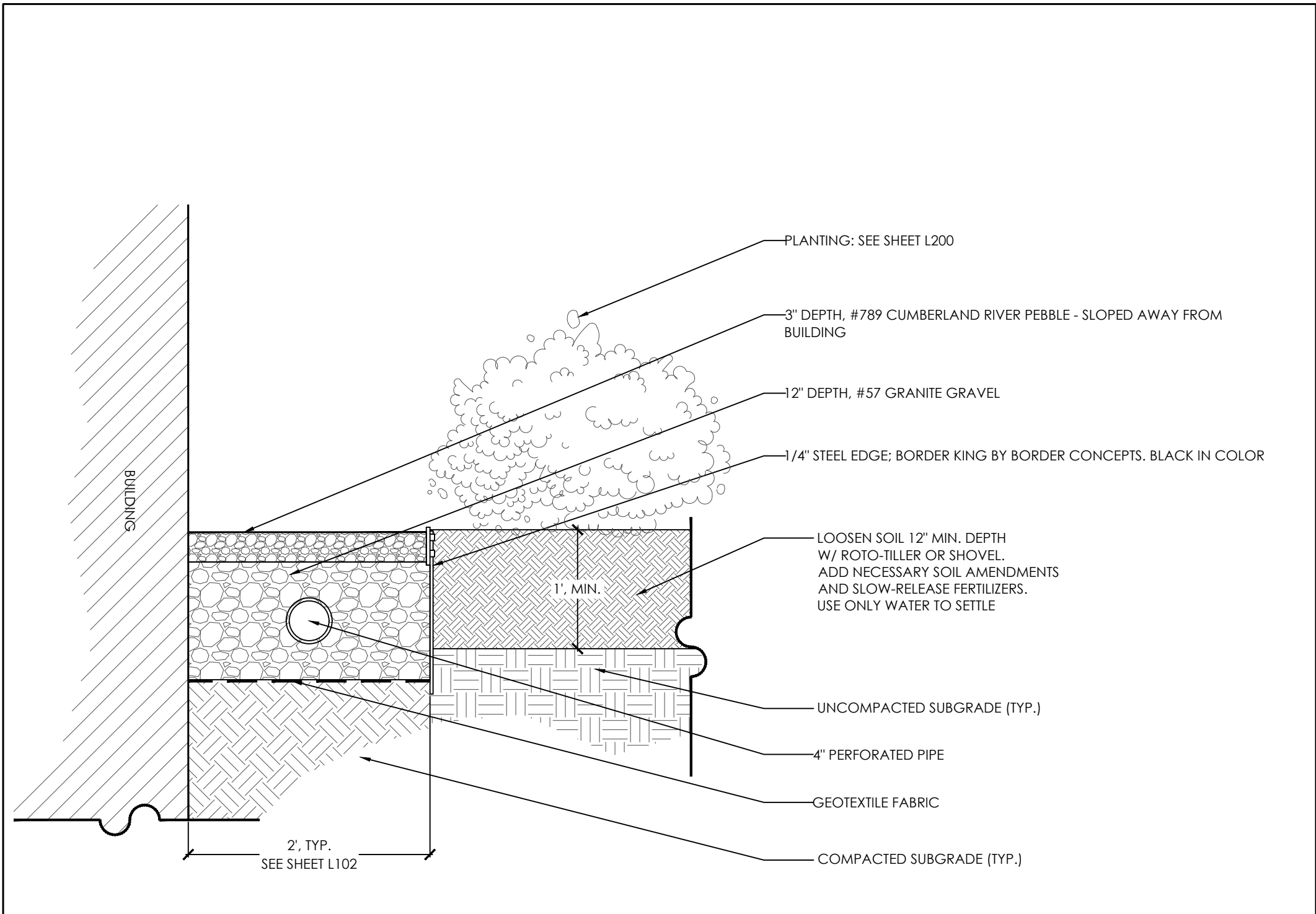
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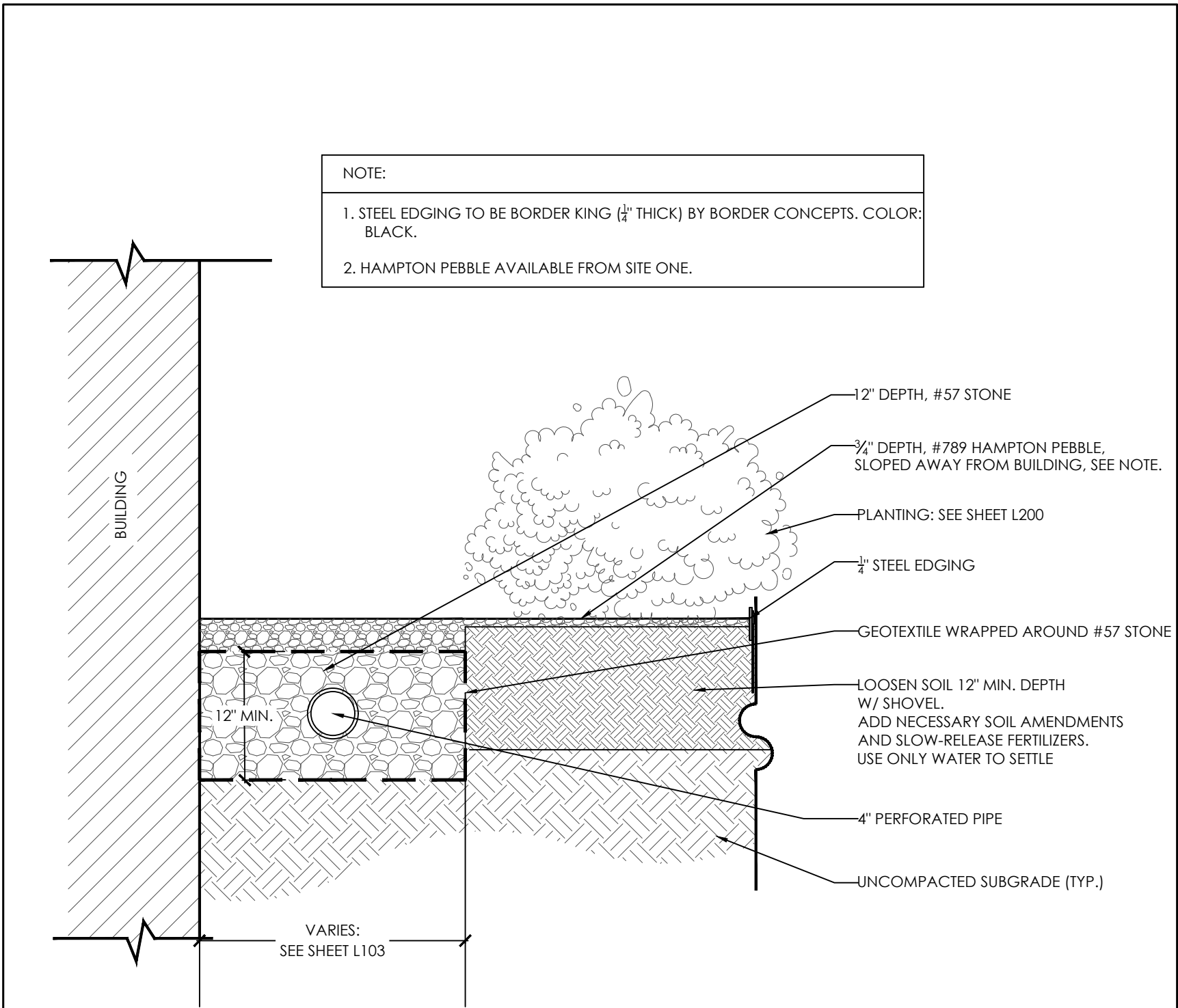
PLANTING
DETAILS

S T A T U S :
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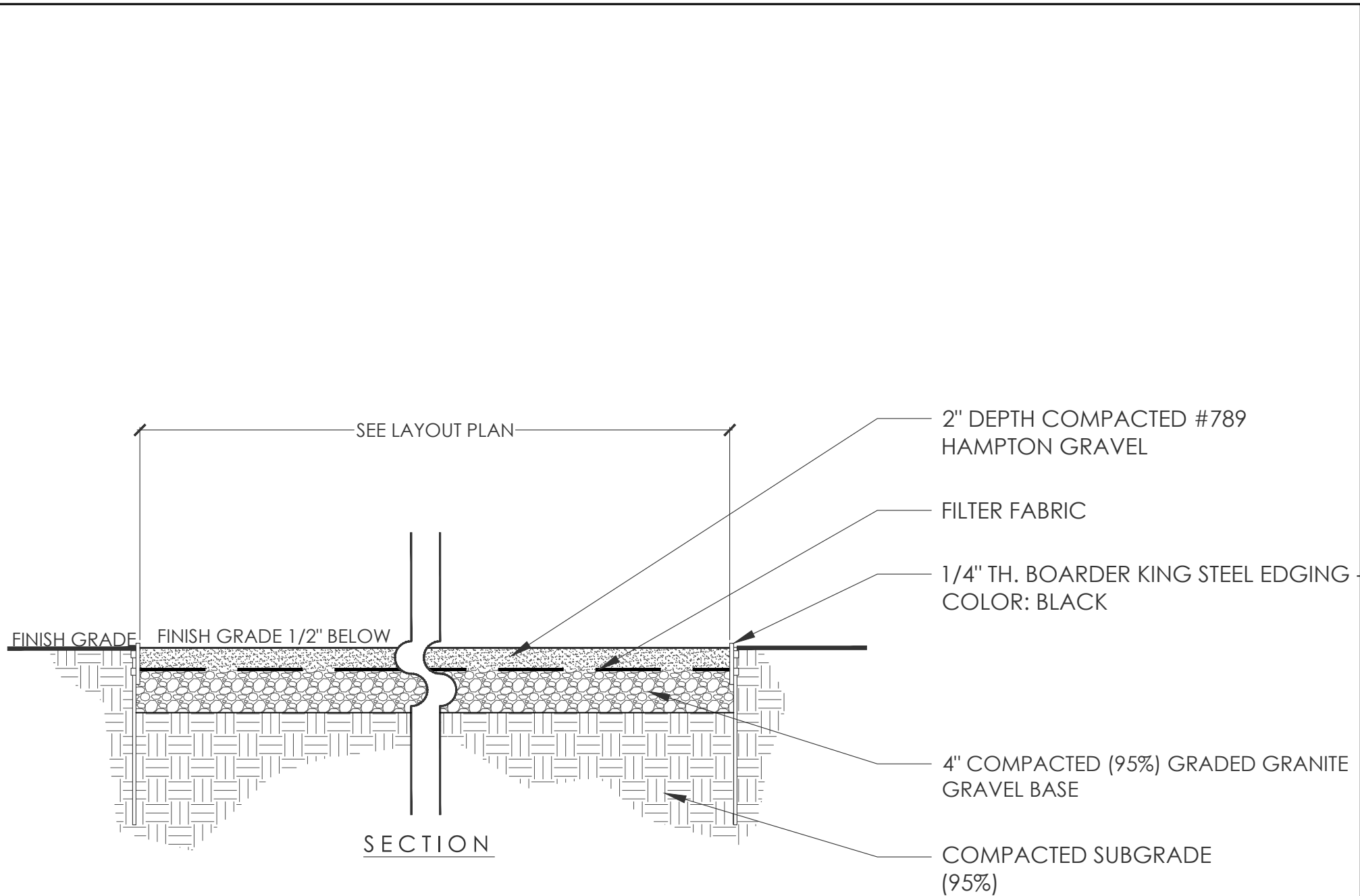
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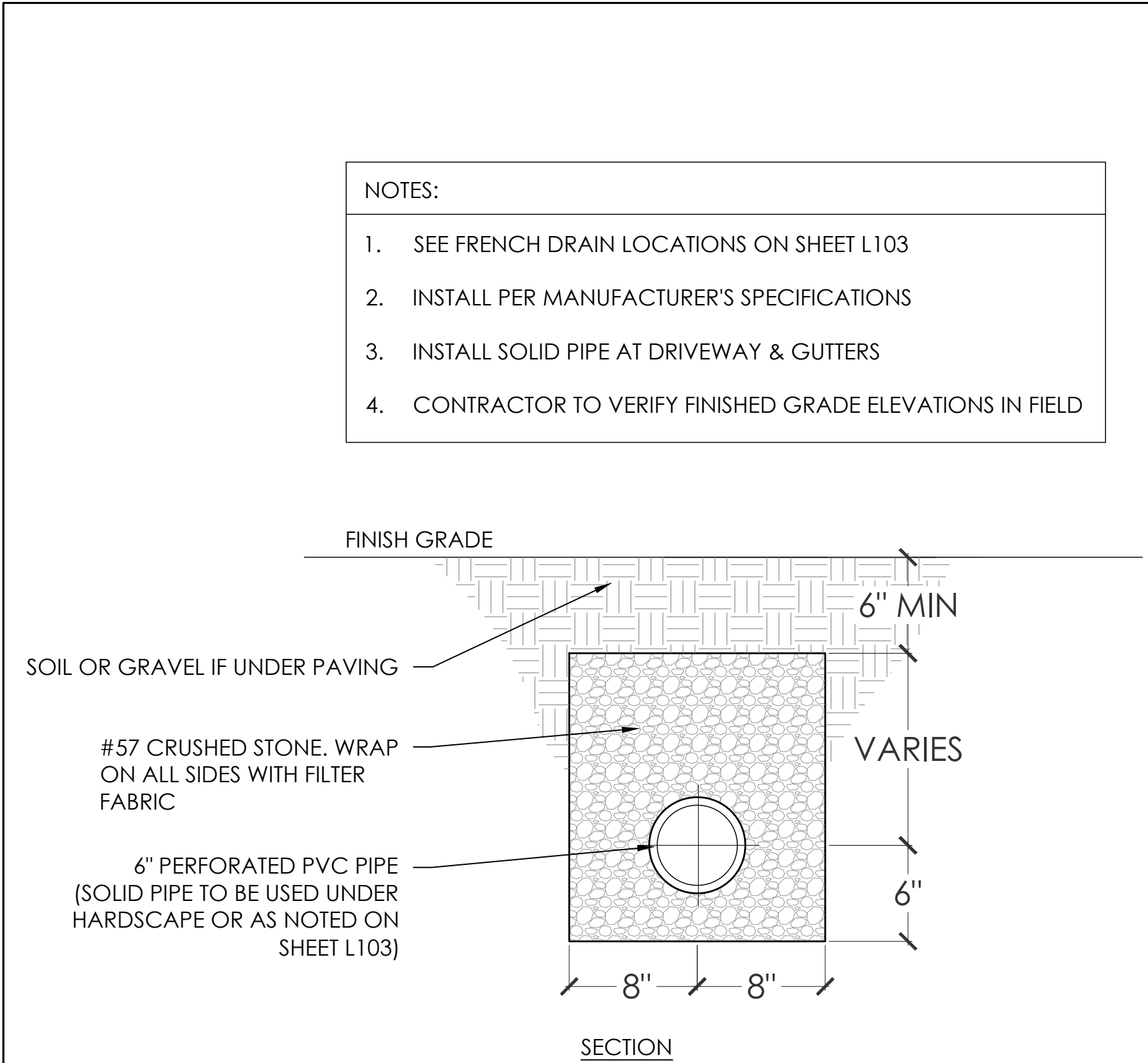
1	DRAINAGE GRAVEL
1" = 1'-0"	



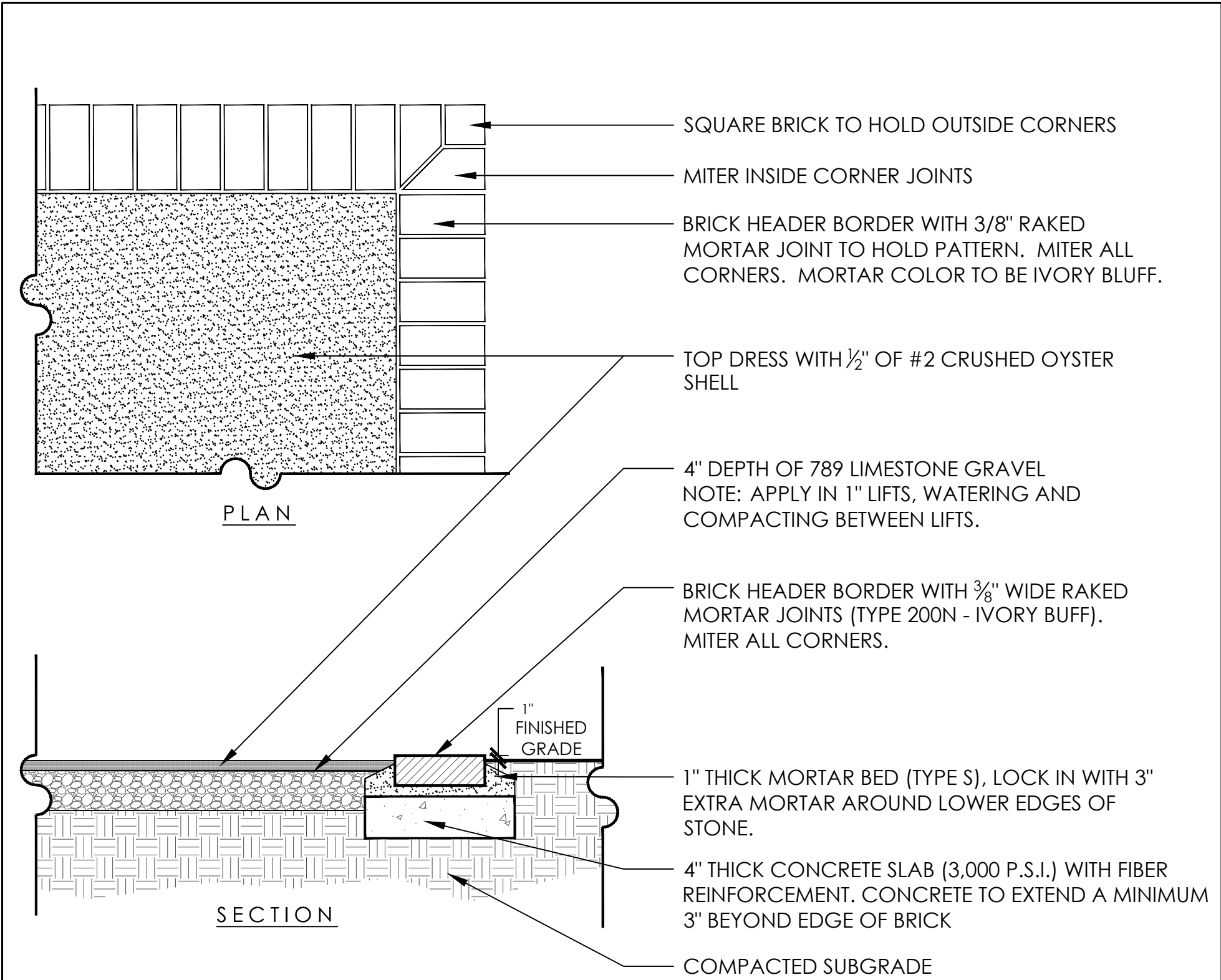
2	PLANTING WITH GRAVEL PAVING
1" = 1'-0"	



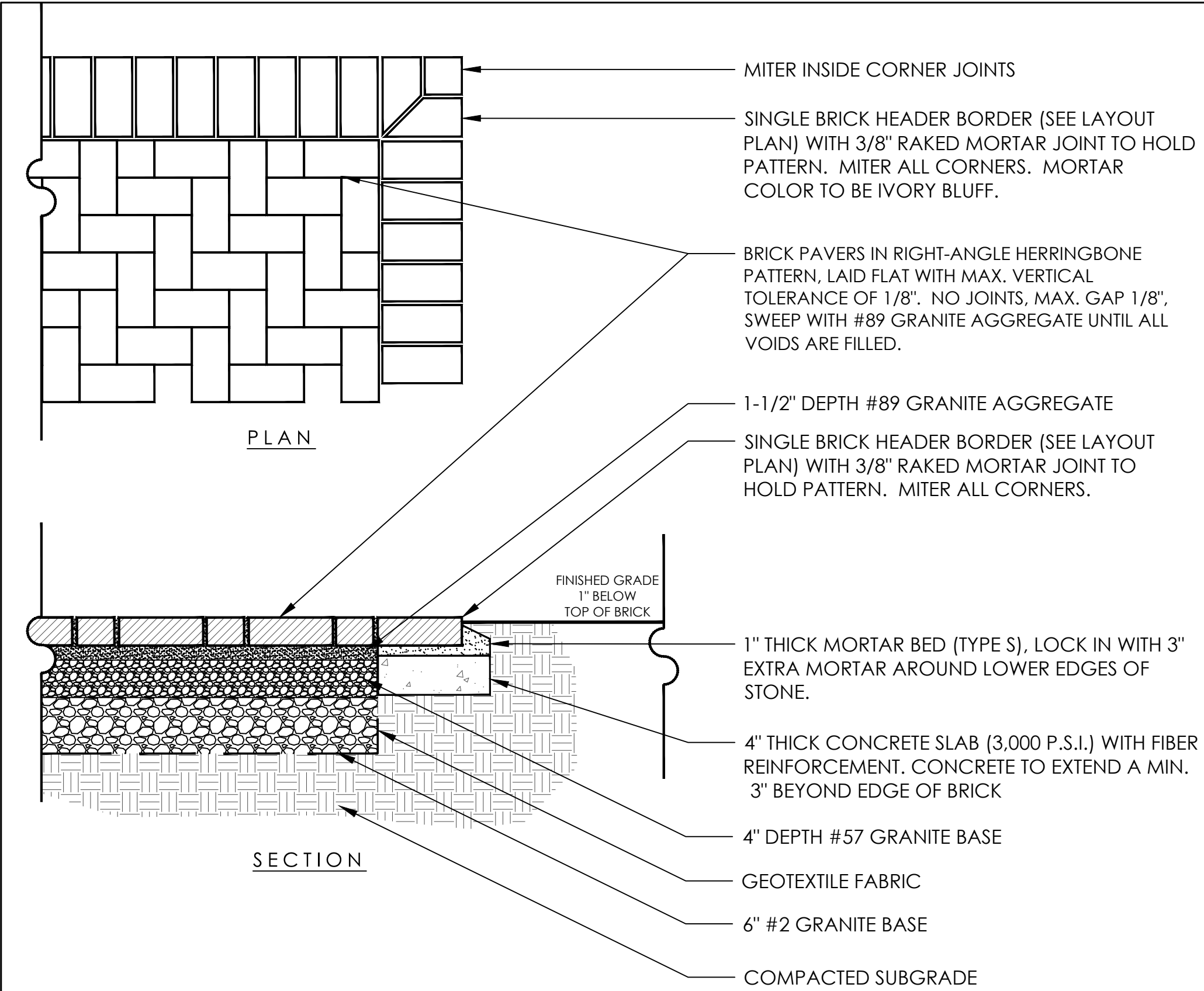
3	GRAVEL PAVING
1" = 1'-0"	



4	FRENCH DRAIN
1" = 1'-0"	



5	GRAVEL DRIVING
1" = 1'-0"	

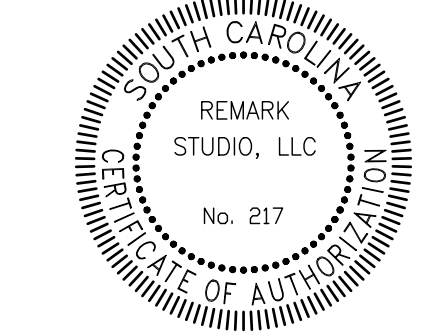
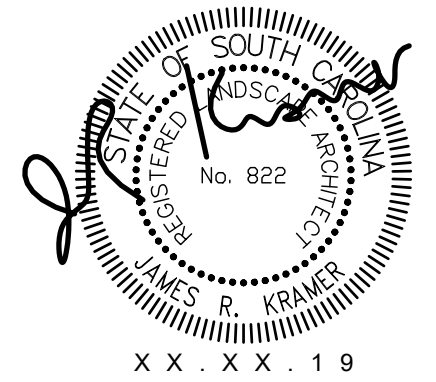


6	PERMEABLE BRICK PAVING
1" = 1'-0"	

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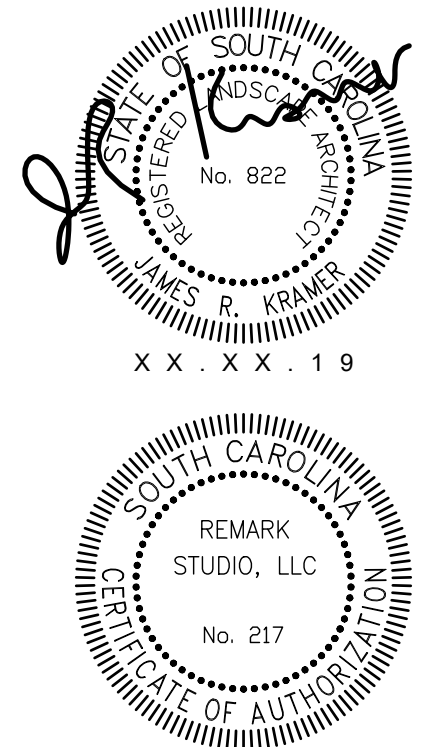
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SITE
DETAILS

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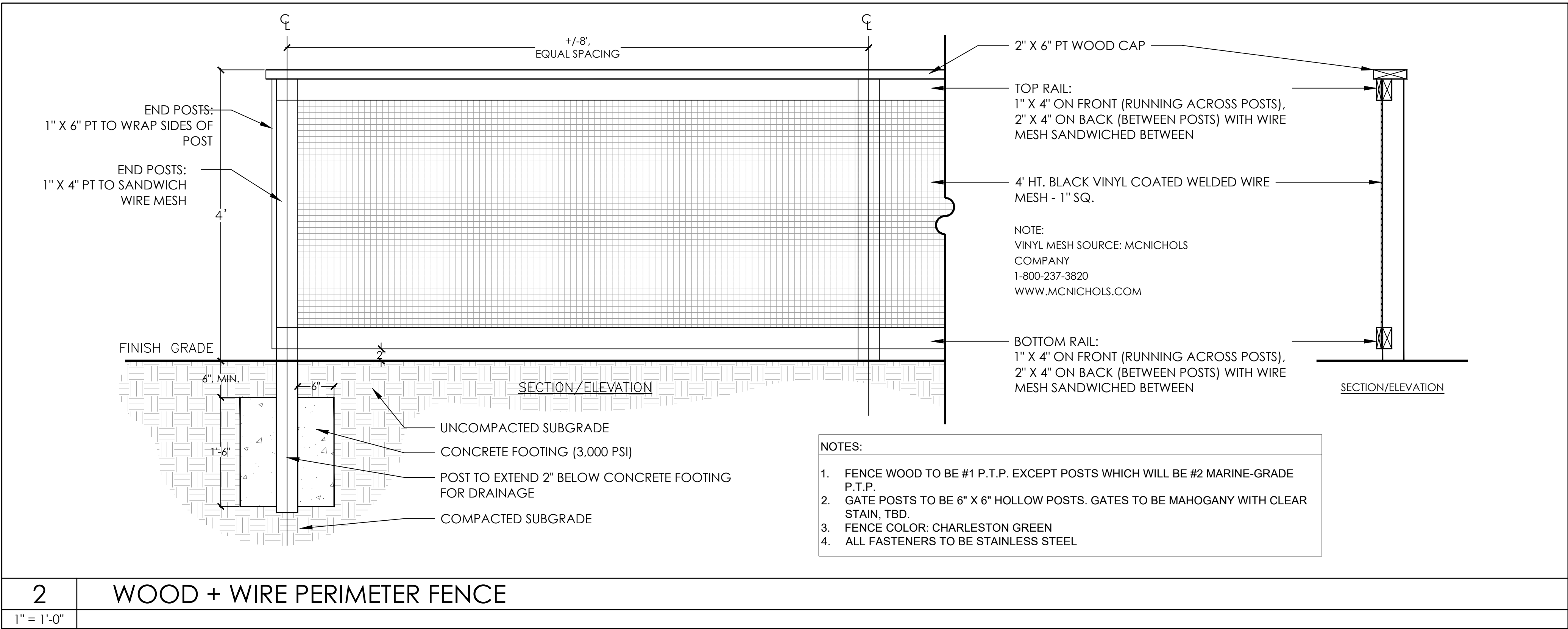
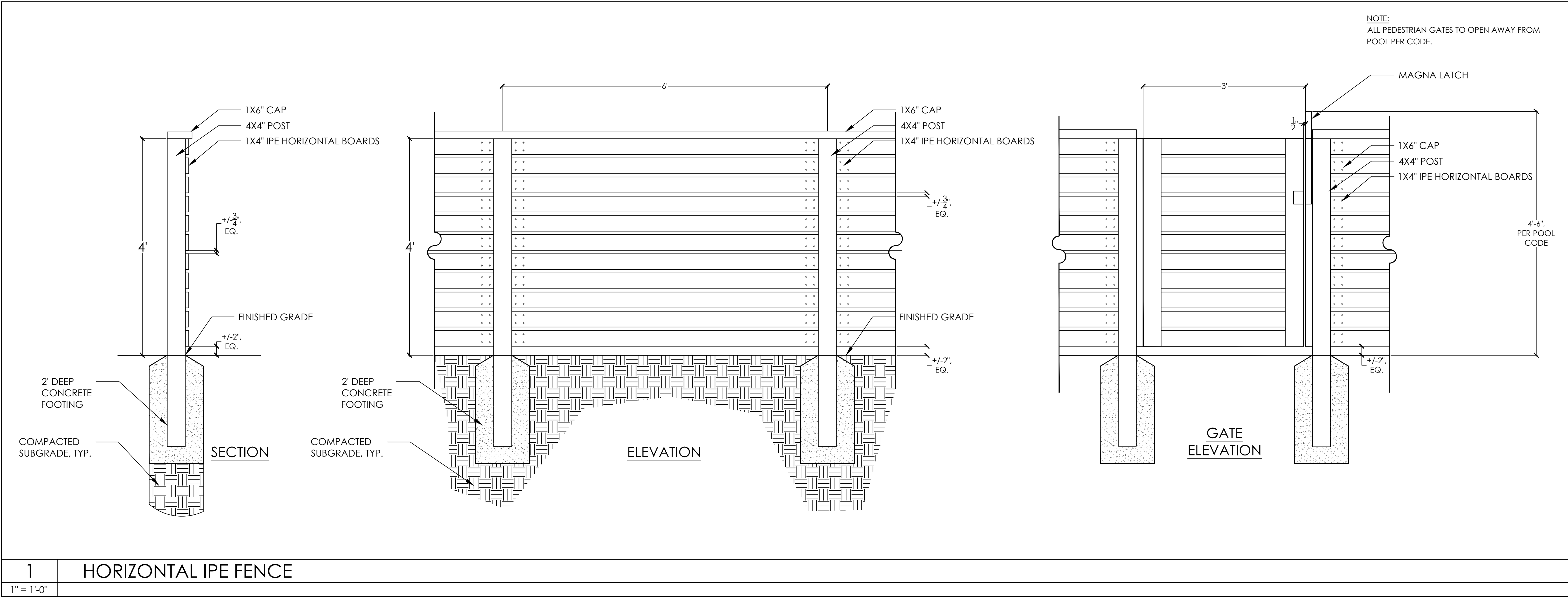


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29071, ON AVENUE
SULLIVAN'S ISLAND, SOUTH CAROLINA

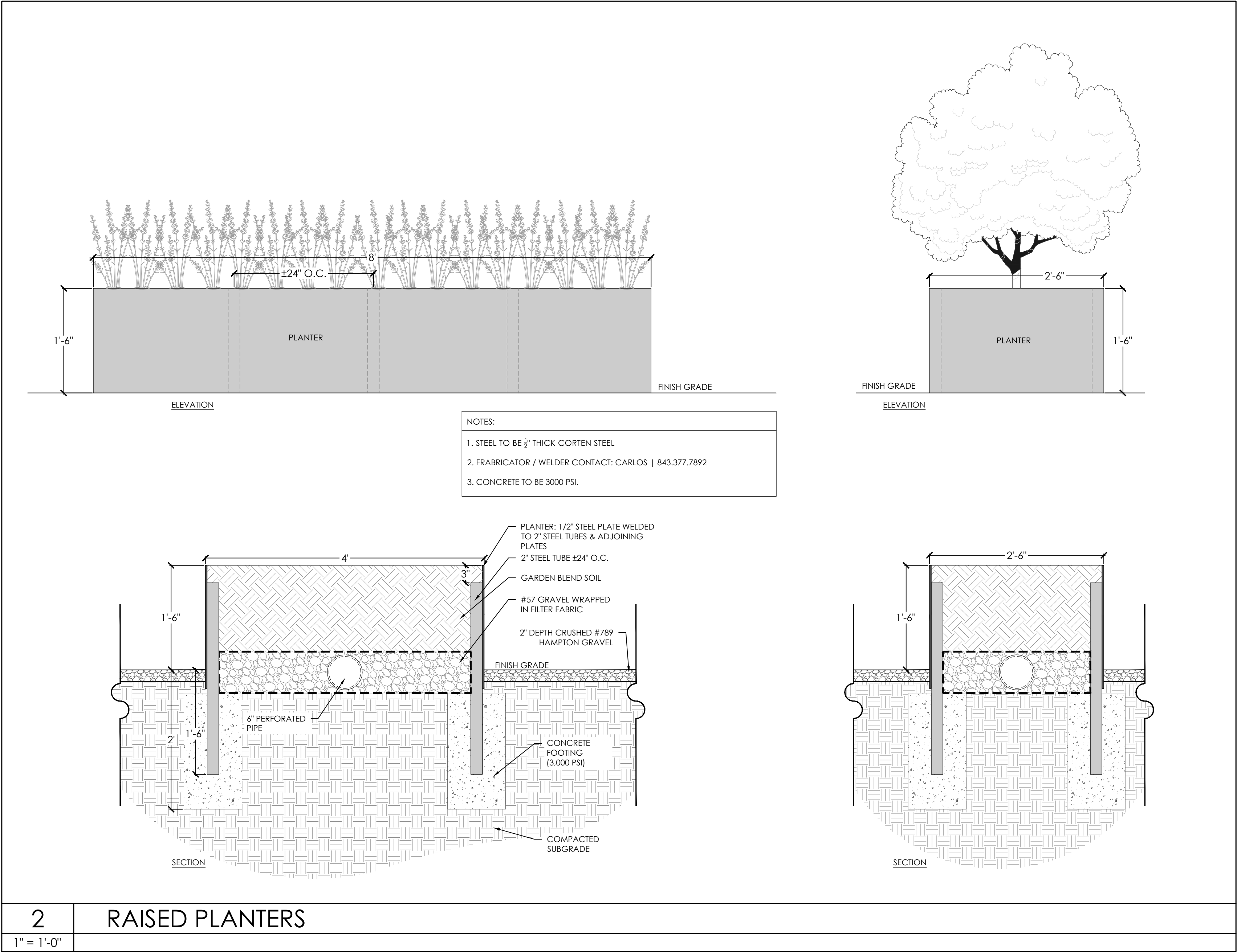
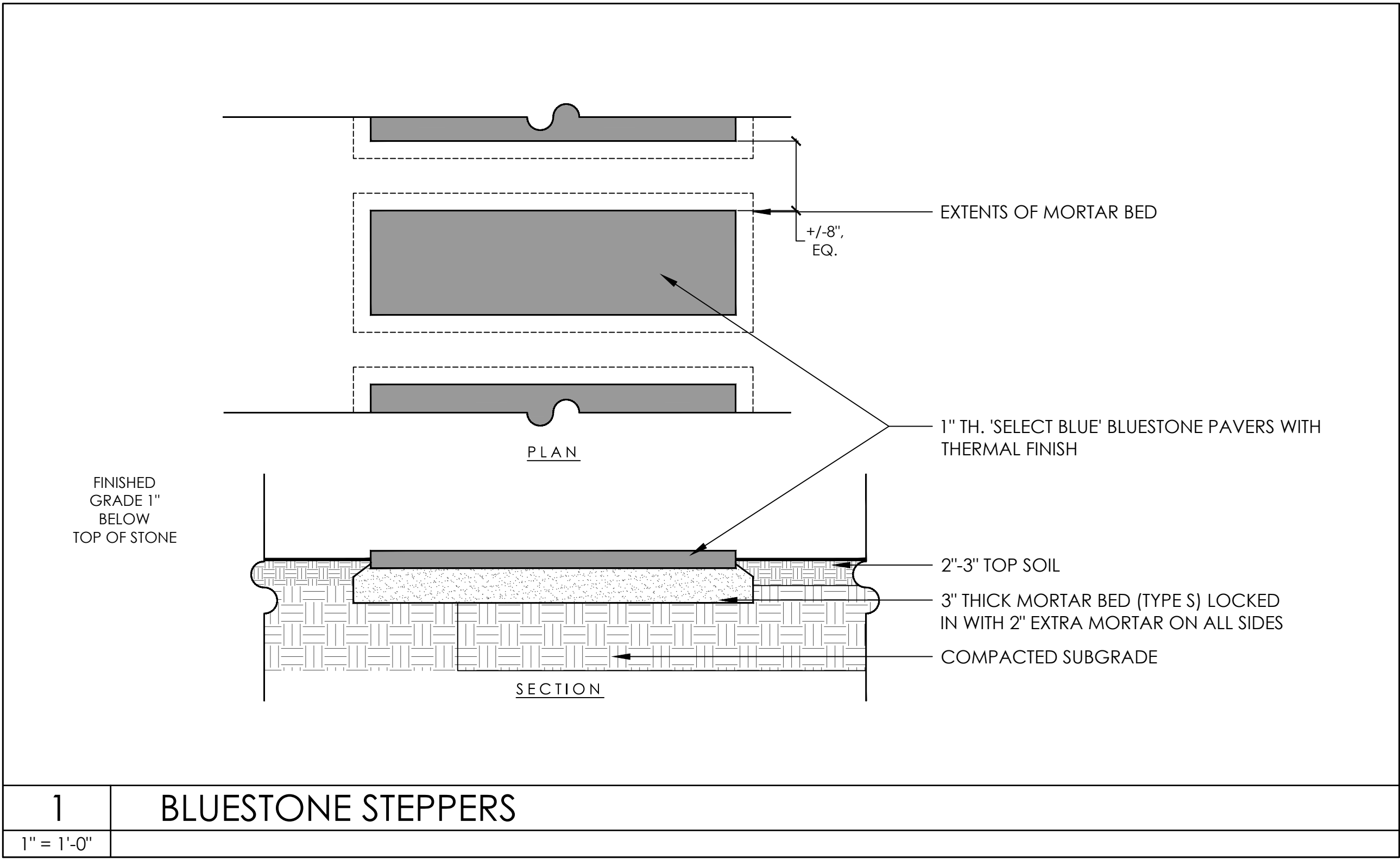
PROJECT #: 20053
DATE: 09.24.20
DRAWN BY: HCR
CHECKED BY: JRK
REVISIONS:
DATE: 03.22.21 HCR
05.04.21 HCR

SITE
DETAILS

STATUS:
CONSTRUCTION SET



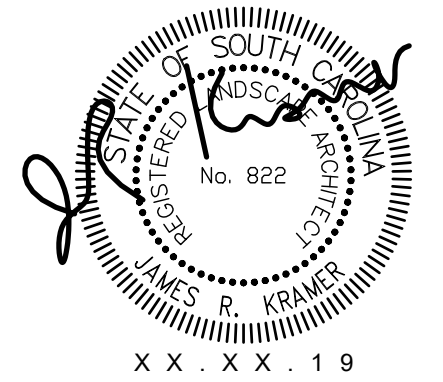
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BRENER-LLOYD
RESIDENCE
2907 L'ON AVENUE
SULLIVAN'S ISLAND, SOUTH CAROLINA

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SITE
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