

**STORM WATER DESIGN  
STATEMENT**

In accordance with Z.O. Section 21-17(Stormwater Ordinance), I certify the means and methods proposed by this Certified Stormwater Plan will prevent any adverse impacts to adjacent or downstream properties as a result of the development.

I, David Tomblin am a registered landscape architect in the State of South Carolina. The attached plans for 3203 Marshall Boulevard are in accordance with Z.O. Section 21-17 (Stormwater Ordinance) & I certify the means & methods proposed in this plan will prevent any adverse impacts to adjacent or downstream properties as a result of the permitted development.

**IMPERVIOUS COVERAGE INFORMATION**

NARRATIVE--ALL EXISTING IMPERVIOUS & PERVIOUS BUILT COVERAGE(OUTSIDE OF ARMY CORP. REVETMENT) ARE BEING DEMOLISHED & REMOVED FROM SITE PRIOR TO NEW CONSTRUCTION. THIS INCLUDES EXISTING RESIDENCE, CONCRETE DRIVEWAY & PERVIOUS WALKWAY. NEW CONSTRUCTION IMPERVIOUS COVERAGE TO CONSIST OF A NEW RESIDENCE, POOL, DECKS & STAIRS OUTLINED IN ARCHITECTURAL PLANS. NEW CONSTRUCTION PERVIOUS COVERAGE TO CONSIST OF A NEW PERMEABLE CONCRETE PAVEMENT DRIVEWAY(SEE DETAIL SHEET L102) & PERMEABLE STONE WALKWAY (SEE DETAIL SHEET L102). DRIVEWAY PAVERS ARE PRE-MANUFACTURED WITH EDGE OFFSETS ALLOWING AT MINIMUM 2" PER HOUR ABSORPTION INTO 8" ROCK INFILTRATION SUB-BASE. PERMEABLE STONE WALKWAY TO CONSIST OF 3" SLATE CHIPS OVER A 3' DEEP STONE BASE INFILTRATION BASIN PICKING UP GUTTERED ROOF DRAINAGE ALONG THIS SIDE OF HOUSE (DRAINAGE SWALE WITH SIMILAR INFILTRATION BASIN ON OTHER SIDE OF HOUSE PICKING UP OTHER GUTTERED ROOF DRAINAGE). THESE PERVIOUS SYSTEMS COMBINED WITH THE EXISTING SANDY HIGH PERCOLATION SOILS ARE INCREASING THE SITES ABILITY TO RETAIN STORMWATER OVER PRE-DEMOLITION CONDITIONS.

IMPERVIOUS LOT COVERAGE CALCULATIONS	
LOT SQUARE FOOTAGE	20,480 S.F.

BUILDING FOOTPRINT MAIN	2,977 S.F.
OPEN AND COVERED PORCHES	1,106 S.F.
STEPS AND WALKS	277 S.F.
POOL	376 S.F.

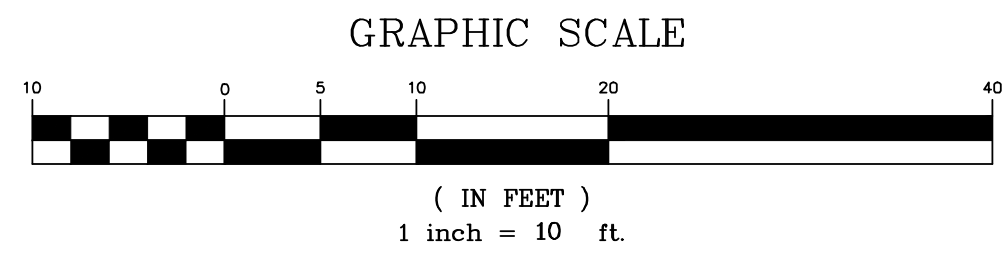
TOTAL IMPERVIOUS LOT COVERAGE 4,736 S.F.

LOT COVERAGE=4,736 S.F. /20,480 S.F. =(23% OF SITE)

**PERVIOUS COVERAGE INFORMATION**

PERVIOUS LOT COVERAGE CALCULATIONS	
LOT SQUARE FOOTAGE	20,480 S.F.
PERVIOUS DRIVEWAY	1,789 S.F.
PERVIOUS PATH	330.5 S.F.
TOTAL PERVIOUS COVERAGE	2,119.5 S.F.

LOT COVERAGE=2,119.5 S.F. /20,480 S.F. =(10.4% OF SITE)



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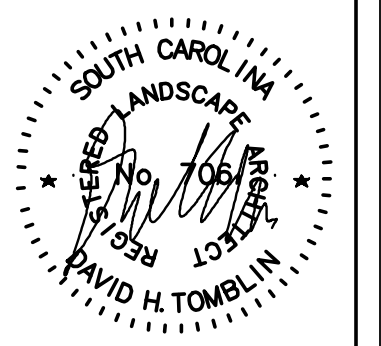
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LANDSCAPE ARCHITECTURAL SERVICES  
FOR  
**BARKOWITZ RESIDENCE**

LOT 1 BLOCK 16 OF MARSHALL RESERVATION - TMS # 529-12-00-106  
33203 MARSHALL BOULEVARD  
SULLIVAN'S ISLAND  
SOUTH CAROLINA

JOB NUMBER  
**025075**

DHT / DHT / 7.3.25
DRAWN BY-CHECKED BY-DATE
REVISED

SHEET TITLE  
**STORMWATER  
PLAN**

SHEET NUMBER  
**L101**  
OF  
**4**

REVIEW SET--NOT FOR CONSTRUCTION

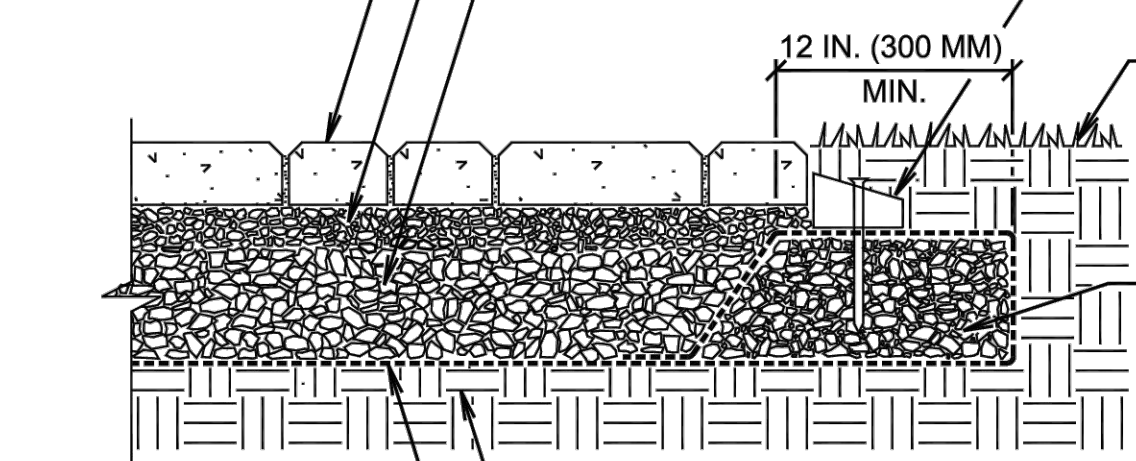
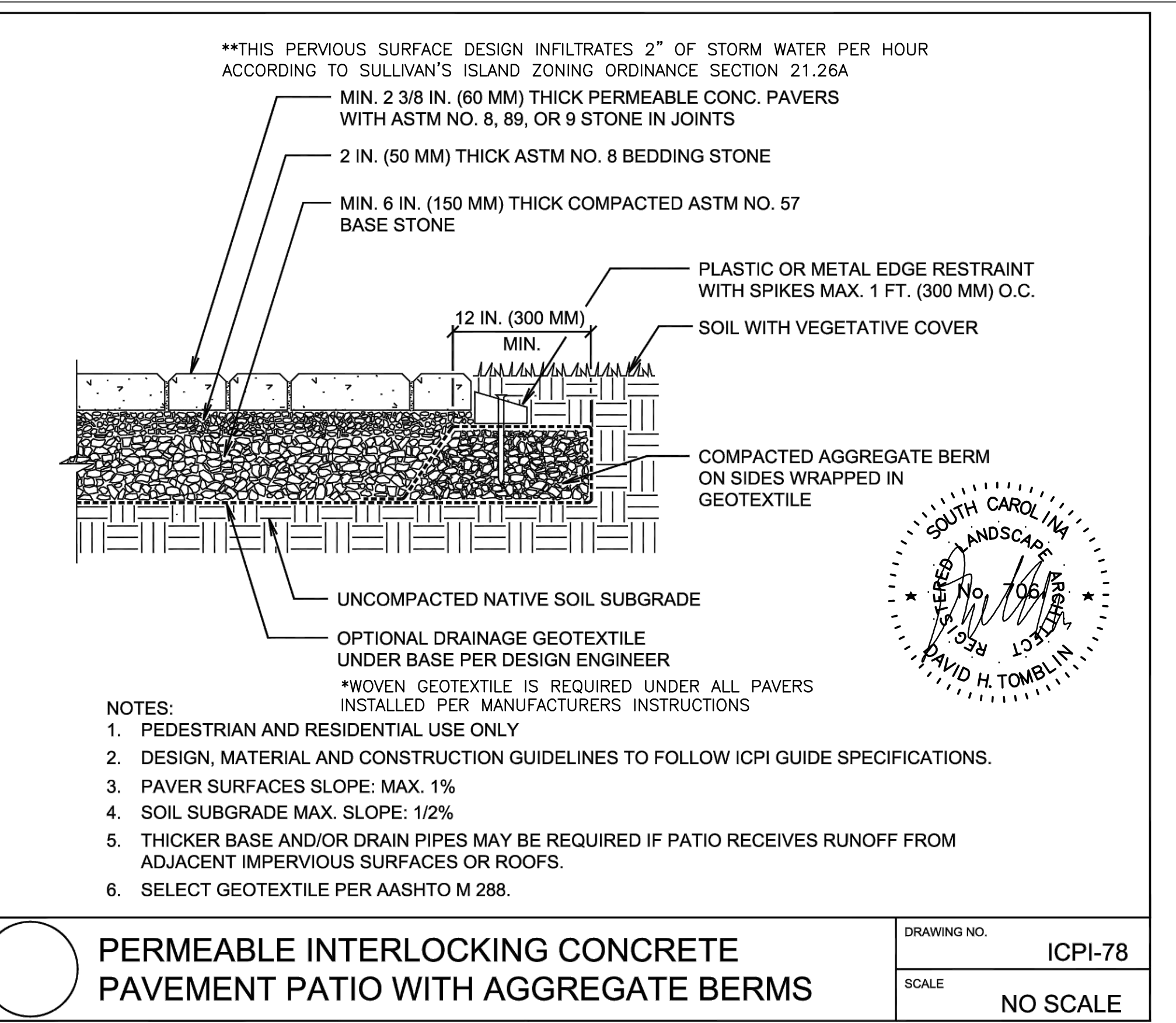


SUMMARY OF DRAINAGE DESIGN

1. EXISTING DRAINAGE PATTERN FOR LOT IS TO BE RETAINED WITH NO SHEET FLOW DIRECTIONS TO BE CHANGED.  
2. LIMITED ROOF GUTTERING IS CURRENTLY PROPOSED. ROOF DRAINAGE WILL BE CAPTURED IN PIPED FRENCH DRAIN SYSTEM.  
3. EXISTING PROPERTY LINE & ADJACENT PROPERTY LANDSCAPE BEDS ARE TO BE RETAINED. THESE BEDS ARE PREVENTING DRAINAGE ON TO ADJACENT RESIDENCES.

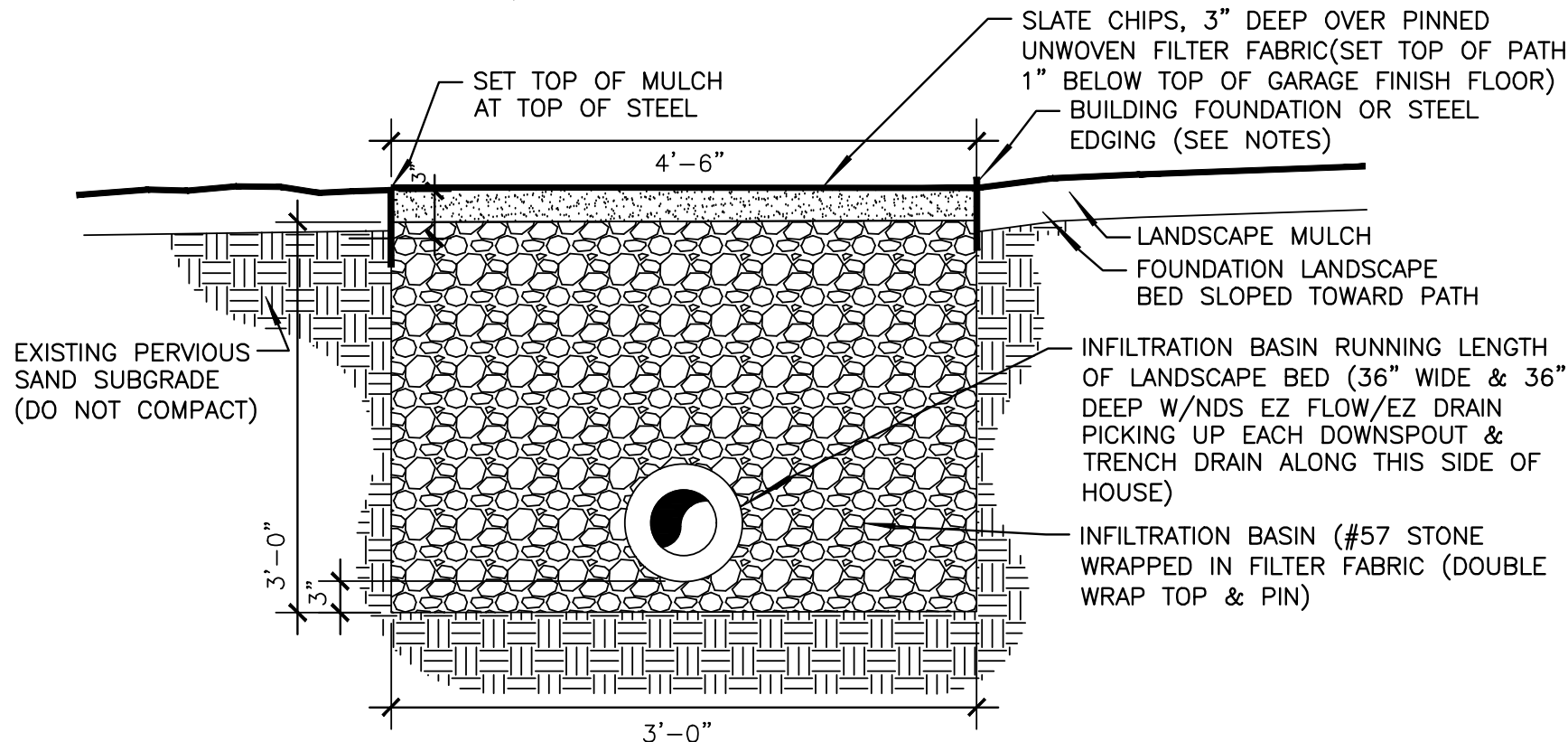
GRADING & DRAINAGE NOTES

1. PRIOR TO CONSTRUCTION CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING AND PROPOSED UTILITIES. IF CONFLICTS EXIST WITH PROPOSED WORK CONTACT LANDSCAPE ARCHITECT, OWNER & GENERAL CONTRACTOR IMMEDIATELY. DO NOT PROCEED WITH CONSTRUCTION.  
2. PRIOR TO ANY GRADING WORK COORDINATE ON-SITE MEETING WITH LANDSCAPE ARCHITECT, OWNER & GENERAL CONTRACTOR TO REVIEW EXISTING CONDITIONS & PROPOSED WORK. REVIEW PROPOSED GRADING FOR SITE TO INSURE THAT POSITIVE DRAINAGE CAN BE ACHIEVED WITHOUT DRAINING ONTO ADJACENT PROPERTIES OR CONFLICTING WITH ANY TREE SAVE AREAS.  
3. PRIOR TO WORK VERIFY THAT FULL ARB & MUNICIPAL SIGN OFF HAS BEEN GIVEN & PROPER PERMITTING IS IN PLACE.  
4. ALL EROSION CONTROL MEASURES INCLUDING SILT FENCE & CONSTRUCTION ENTRANCE DETAILING TO COMPLY & MEET ALL MUNICIPAL STANDARDS.  
5. LANDSCAPE BEDS ADJACENT TO FOUNDATION TO BE BERMED 6" IN ALL AREAS POSSIBLE THAT DO NOT AFFECT POSITIVE DRAINAGE OR TREE SAVE AREAS. REVIEW THIS BERMING DURING PRE-CONSTRUCTION MEETING WITH LANDSCAPE ARCHITECT, OWNER & GENERAL CONTRACTOR.  
6. WITHIN TREE SAVE AREAS LIMIT FINE GRADING FILL TO 1" OR LESS ABOVE EXISTING GRADE & NO MACHINE GRADING ALLOWED. REVIEW ANY PROPOSED HAND GRADING WITHIN TREE PROTECTION ZONES WITH LANDSCAPE ARCHITECT PRIOR TO WORK. TO NOT PLACE FILL ON MAIN ROOT ARCH OF TREE.  
7. ALL DRIVES & WALKS TO HAVE LESS THAN 5% SLOPE & COMPLY WITH AMERICAN DISABILITIES ACT GUIDELINES. ALL DRIVES & WALKS TO HAVE A MINIMUM OF 1% SLOPE TO PREVENT PONDING OF WATER. CONTACT LANDSCAPE ARCHITECT IMMEDIATELY IF THESE PARAMETERS CAN NOT BE PROVIDED. DO NOT INSTALL WORK.  
8. FOR AREAS REQUIRING GRADING WITH SLOPES 3:1 OR GREATER STABILIZE SLOPE IMMEDIATELY WITH FINAL LANDSCAPING OR TEMPORARY MEASURES TO PREVENT EROSION.  
9. PRIOR TO ANY WORK VERIFY THIS LOTS FLOOD ELEVATION & MUNICIPAL FLOOD REQUIREMENTS FOR ANY REQUIRED INCREASE IN FINISH FLOOR ELEVATION ABOVE FLOOD ELEVATION REQUIRED BY MUNICIPAL BUILDING CODE (IE+2'). ONCE VERIFIED CONTACT LANDSCAPE ARCHITECT, GENERAL CONTRACTOR & ARCHITECT IMMEDIATELY IF CONFLICTS OCCUR WITH PROPOSED ARCHITECTURAL DESIGN OF STRUCTURES DESIGNED TO BE ABOVE OR BELOW REQUIRED MUNICIPAL FLOOD ELEVATION.  
10. PRIOR TO WORK FORWARD PROPOSED GRADING & LANDSCAPE DRAWINGS TO ARCHITECT FOR REVIEW. COORDINATE PRE-CONSTRUCTION ON-SITE MEETING WITH GENERAL CONTRACTOR, ARCHITECT & LANDSCAPE ARCHITECT TO REVIEW PROPOSED SITE WORK, GRADING, STAIR LANDINGS, GUTTERING SYSTEMS, MECHANICAL LOCATIONS, LANDSCAPING & UTILITY ROUTING.  
11. ALL EXISTING CONDITION INFORMATION TAKEN FROM PLATT BY BRITT LAND SURVEYING DATED 6/12/24.



PERVIOUS PATH DETAIL

(VIEW FACES FRONT OF PROPERTY)  
3/4"=1'-0"



- NOTES:  
1) STEEL EDGING TO BE BORDER CONCEPTS-BORDER KING STEEL EDGING(BLACK) OR EQUAL. INSTALL AS PER MANUFACTURERS INSTRUCTIONS UTILIZING 16' CONTINUOUS RUNS WHEREVER POSSIBLE.  
2) PRIOR TO WORK REVIEW EXISTING CONDITIONS WITH LANDSCAPE ARCHITECT.  
3) PROVIDE 3-2" SLEEVES EVENLY ALONG PATH FOR IRRIGATION & LOW VOLTAGE LIGHTING.  
4) HARD PIPE ALL DOWNSPOUTS WITH SCHEDULE 40 PVC TO EZ FLOW/EZ DRAIN.

BEST MANAGEMENT PRACTICES(BMPs) FOR SITE

\*\*\*NOTE THE FOLLOWING IS INTENDED AS THE MINIMUM STORM WATER POLLUTION CONTROL REQUIREMENTS TO BE IMPLEMENTED & FOLLOWED THROUGH THE ENTIRE CONSTRUCTION PROCESS. IT IS THE GENERAL CONTRACTORS RESPONSIBILITY TO WEEKLY INSPECT ENTIRE PROPERTY TO VERIFY ALL REQUIREMENTS ARE BEING FOLLOWED. RECORD INSPECTION DATE & ANY NOTED DEFICIENCIES & REPARATIVE MEASURES TAKEN IN BMP INSPECTION LOG STORED IN ON-SITE PERMIT BOX. AFTER ANY RAIN EVENT GENERAL CONTRACTOR TO INSPECT SILT FENCE & MAKE ANY REPAIRS NECESSARY. IF MUNICIPAL INSPECTOR, ARCHITECT, LANDSCAPE ARCHITECT OR OWNER DEEMS ADDITIONAL BMP MEASURES ARE REQUIRED DURING CONSTRUCTION, GENERAL CONTRACTOR TO IMPLEMENT AS NEEDED.

1. PRIOR TO ANY WORK INSTALL SILT FENCE, TREE PROTECTION & CONSTRUCTION ENTRANCE MEETING OR EXCEEDING MUNICIPAL REQUIREMENTS. CONTACT MUNICIPALITY FOR ALL REQUIRED INSPECTIONS & APPROVALS OF THESE ITEMS.  
2. ANY ERODED SEDIMENTS & OTHER POLLUTANTS MUST BE RETAINED ON SITE & MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND. GENERAL CONTRACTOR IS RESPONSIBLE FOR IMMEDIATE REPAIR & REMOVAL OF ANY SEDIMENTS, POLLUTANTS OR TRASH IN THE PUBLIC RIGHT OF WAY & ADJACENT PROPERTIES. THIS INCLUDES DAMAGE TO LAWN WITHIN RIGHT OF WAY FROM FOOT OR VEHICULAR TRAFFIC.  
3. STOCKPILES OF EARTH & OTHER CONSTRUCTION RELATED MATERIAL MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY FORCES OF WIND OR WATER. ANY STOCKPILES OF EARTH BEING TEMPORARILY STAGED OUTSIDE OF CONSTRUCTION LAY DOWN AREA NOTED ON THIS PLAN TO BE REMOVED & REPAIRED IMMEDIATELY.  
4. FUELS, OILS, SOLVENTS & OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING & ARE NOT TO CONTAMINATE THE SOIL & SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY & DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE LANDSCAPE OR INTO THE DRAINAGE SYSTEM.  
5. NON-STORMWATER RUNOFF FROM EQUIPMENT & VEHICLE WASHING & ANY OTHER ACTIVITY SHALL BE CONTAINED AT THE PROJECT SITE.  
6. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC RIGHT OF WAY OR ANY DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.  
7. TRASH & CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPACLE TO PREVENT CONTAMINATION OF RAINWATER & DISPERSAL BY WIND.  
8. SEDIMENTS & OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICULAR OR FOOT TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC RIGHT OF WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY & MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.  
9. ANY SLOPES WITH DISTURBED SOILS OR DENUDED OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND & WATER.  
10. IF TROPICAL FORCE WINDS OR GREATER ARE PREDICTED TO IMPACT SITE GENERAL CONTRACTOR IS RESPONSIBLE TO BEGIN SECURING THE SITE 24 HOURS PRIOR TO EVENT. GENERAL CONTRACTOR IS RESPONSIBLE FOR REMOVING OR SECURING ANY & ALL ITEMS THAT CAN ACT AS PROJECTILES OR BECOME AIRBORNE AS TRASH & DEBRIS.

\*\*\* AS THE PROJECT GENERAL CONTRACTOR, I HAVE READ & UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION & CONSTRUCTION MATERIALS & I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME \_\_\_\_\_  
(GENERAL CONTRACTOR)

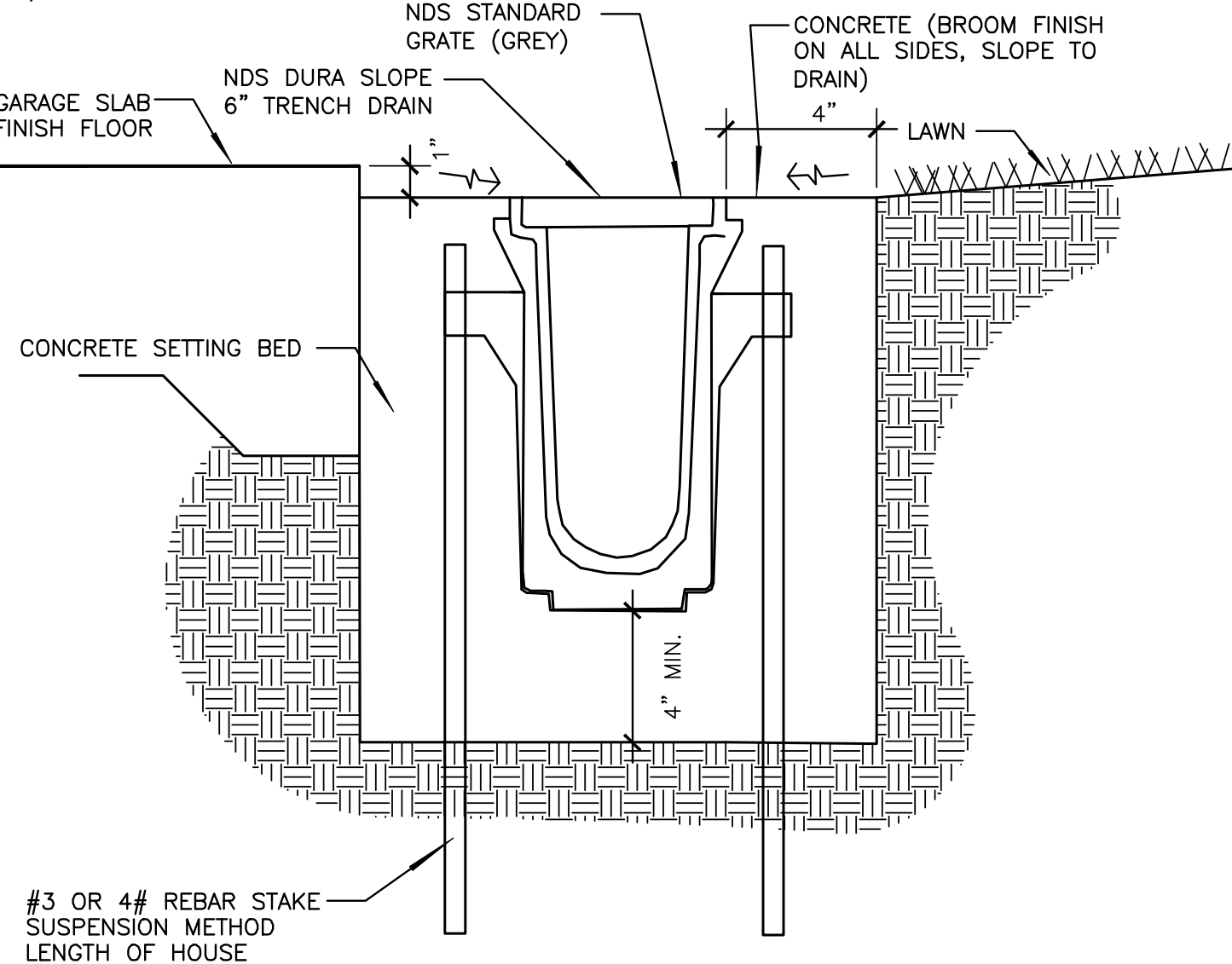
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_  
(GENERAL CONTRACTOR)

NDS DURA SLOPE TRENCH DRAIN DETAIL

NOT TO SCALE

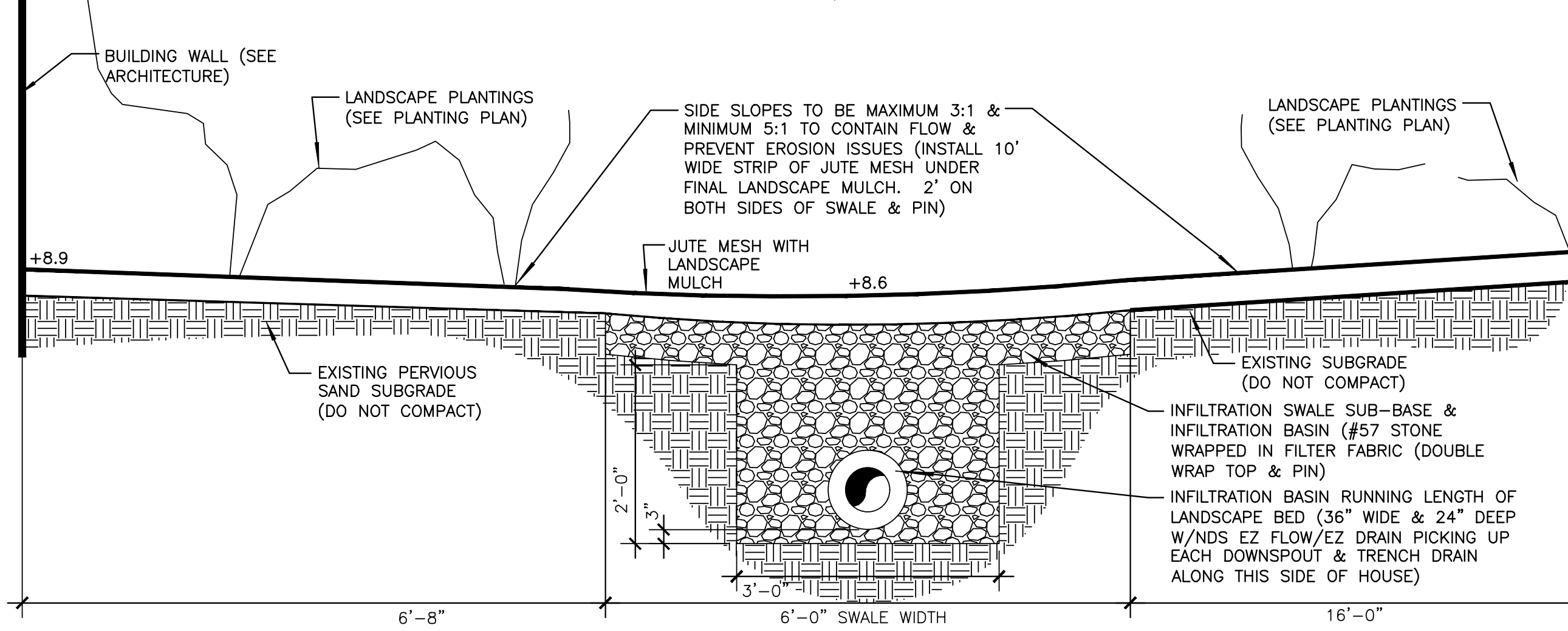
GENERAL NOTES

- 1) ALL TRENCH DRAIN COMPONENTS TO BE INSTALLED PER MANUFACTURERS INSTRUCTION BY A CONTRACTOR EXPERIENCED IN INSTALLING NDS DURA-SLOPE TRENCH DRAIN.  
2) PRIOR TO ANY WORK COORDINATE ON-SITE MEETING WITH LANDSCAPE ARCHITECT, ARCHITECT & GENERAL CONTRACTOR TO REVIEW GRADING PLAN & PROPOSED SWALE LOCATIONS & IN PARTICULAR FOUNDATION FRENCH DRAIN & ROOF GUTTER SYSTEMS TIE INS.  
3) LANDSCAPE ARCHITECT AND OWNER RESERVE THE RIGHT TO REJECT CONSTRUCTION DUE TO POOR WORKMANSHIP.  
4) HARD PIPE BOTH CONNECTIONS TO INFILTRATION BASINS



LANDSCAPE DRAINAGE SWALE DETAIL

(THIS VIEW FACES FRONT OF PROPERTY)  
3/4"=1'-0"



GENERAL NOTES

- 1) PRIOR TO ANY WORK VERIFY LOCATION OF ALL UTILITIES.  
2) PRIOR TO ANY WORK COORDINATE ON-SITE MEETING WITH LANDSCAPE ARCHITECT, ARCHITECT & GENERAL CONTRACTOR TO REVIEW GRADING PLAN & PROPOSED SWALE LOCATIONS & IN PARTICULAR FOUNDATION FRENCH DRAIN & ROOF GUTTER SYSTEMS TIE INS.  
3) LANDSCAPE ARCHITECT AND OWNER RESERVE THE RIGHT TO REJECT CONSTRUCTION DUE TO POOR WORKMANSHIP.  
4) HARD PIPE ALL DOWNSPOUTS WITH SCHEDULE 40 PVC TO EZ FLOW/EZ DRAIN.

PROPERTY LINE (PRIOR TO ANY WORK VERIFY THAT ALL PROPOSED GRADES CAN BE ACHIEVED WITH OUT GRADING ON ADJACENT PROPERTY OR TRAPPING WATER ON ADJACENT PROPERTY)

REVIEW SET-NOT FOR CONSTRUCTION

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LANDSCAPE ARCHITECTURAL SERVICES  
FOR  
**BARKOWITZ RESIDENCE**  
LOT 1 BLOCK 1B OF MARSHALL RESERVATION - TMS # 529-12-00-106  
33203 MARSHALL BOULEVARD  
SULLIVAN'S ISLAND  
SOUTH CAROLINA

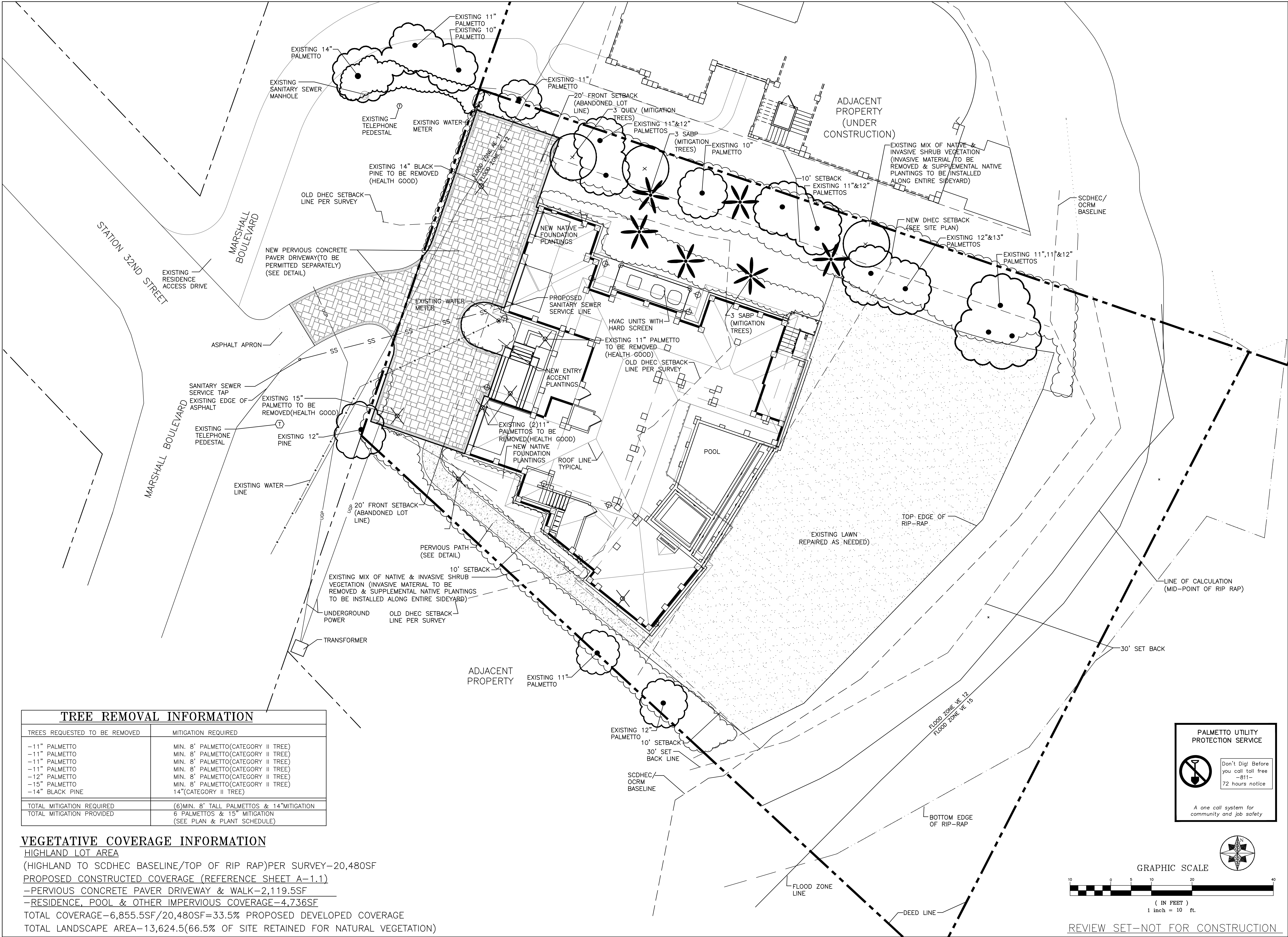
JOB NUMBER  
**025075**

DHT	/	DHT	/	7.3.25
DRAWN BY	-	CHECKED BY	-	DATE
REVISED				

SHEET TITLE  
**STORMWATER  
PLAN DETAILS &  
NOTES**

SHEET NUMBER  
**L102**  
OF  
**4**  
2  
4





TREE REMOVAL INFORMATION	
TREES REQUESTED TO BE REMOVED	MITIGATION REQUIRED
-11" PALMETTO	MIN. 8' PALMETTO(CATEGORY II TREE)
-11" PALMETTO	MIN. 8' PALMETTO(CATEGORY II TREE)
-11" PALMETTO	MIN. 8' PALMETTO(CATEGORY II TREE)
-11" PALMETTO	MIN. 8' PALMETTO(CATEGORY II TREE)
-12" PALMETTO	MIN. 8' PALMETTO(CATEGORY II TREE)
-15" PALMETTO	MIN. 8' PALMETTO(CATEGORY II TREE)
-14" BLACK PINE	14"(CATEGORY II TREE)
TOTAL MITIGATION REQUIRED	(6)MIN. 8' TALL PALMETTOS & 14"MITIGATION
TOTAL MITIGATION PROVIDED	6 PALMETTOS & 15" MITIGATION (SEE PLAN & PLANT SCHEDULE)

VEGETATIVE COVERAGE INFORMATION  
HIGHLAND LOT AREA

(HIGHLAND TO SCDHEC BASELINE/TOP OF RIP RAP)PER SURVEY-20,480SF  
PROPOSED CONSTRUCTED COVERAGE (REFERENCE SHEET A-1.1)  
-PERVIOUS CONCRETE PAVER DRIVEWAY & WALK-2,119.5SF  
-RESIDENCE, POOL & OTHER IMPERVIOUS COVERAGE-4,736SF  
TOTAL COVERAGE-6,855.5SF/20,480SF=33.5% PROPOSED DEVELOPED COVERAGE  
TOTAL LANDSCAPE AREA-13,624.5(66.5%OF SITE RETAINED FOR NATURAL VEGETATION)

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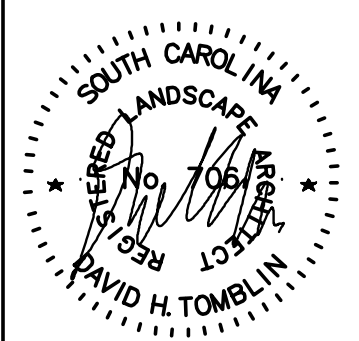
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SHEET TITLE  
TREE MITIGATION  
& PRELIMINARY  
LANDSCAPE PLAN

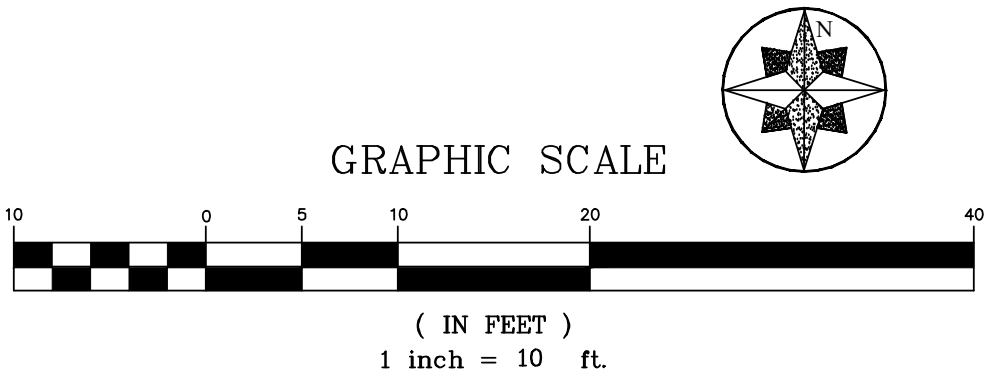
SHEET NUMBER  
L103  
OF  
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LANDSCAPE NOTES:

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED; INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT. LAYOUT TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY; HAVE NORMAL GROWTH HABITS; WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE FROM DEFECTS AND INJURIES.
4. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN VIGOROUS GROWING CONDITION. PROVISION SHALL BE MADE FOR A GROWTH GUARANTEE OF AT LEAST ONE YEAR FROM THE DATE OF ACCEPTANCE FOR TREES AND SHRUBS. REPLACEMENTS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING PLANTING SEASON. ALL REPLACEMENTS SHALL HAVE A GUARANTEE EQUAL TO THAT STATED ABOVE.
6. INSOFAR AS IT IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. ANY PLANTS NOT INSTALLED DURING THIS PERIOD WILL BE REJECTED.
7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN HORT.
8. ALL PLANTS SHALL BE PLANTED IN AMENDED TOP SOIL THAT IS THOROUGHLY WATERED AND TAMPED AS BACK FILLING PROGRESSES. PLANTING MIX TO BE AS SHOWN ON PLANTING DETAILS WITH 4" OF CLEAN COMPOST TILLED IN ALL PLANTING AREAS. CONTACT LANDSCAPE ARCHITECT FOR SOIL TEST AND FERTILIZER AS SPECIFIED, SUBMIT PURCHASE ORDERS TO LANDSCAPE ARCHITECT.
9. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE BALL ONLY.
10. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. DURING SUMMER CONDITIONS ALL PLANT MATERIAL SHALL BE SPRAYED WITH 'WILT-PRUF' OR EQUAL AS PER MANUFACTURER'S INSTRUCTIONS.
11. NO PLANT, EXCEPT GROUND COVERS, SHALL BE PLANTED LESS THAN TWO FEET FROM EXISTING STRUCTURES AND SIDEWALKS. PRUNE ALL MATERIAL OUT OF SIDEWALKS, DRIVES AND VISION TRIANGLES.
12. SET ALL PLANTS PLUMB AND STRAIGHT. SET AT SUCH LEVEL THAT, A NORMAL OR NATURAL RELATIONSHIP TO THE CROWN OF THE PLANT WITH THE GROUND SURFACE WILL BE ESTABLISHED. LOCATE PLANT IN THE CENTER OF THE PIT.
13. ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS BEFORE PLANTING UTILIZING CLEAN, SHARP TOOLS. IT IS ADVISABLE TO PRUNE APPROXIMATELY 1/3 OF THE GROWTH OF LARGE TREES (2" CALIPER AND OVER) BY THE REMOVAL OF SUPERFLUOUS BRANCHES, THOSE WHICH CROSS, THOSE WHICH RUN PARALLEL, ETC. MAIN LEADER OF TREES WILL NOT BE CUT BACK. LONG SIDE BRANCHES, HOWEVER, MUST BE SHORTENED.
14. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE NATURAL CHARACTER OF PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS.
15. TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. ALL TREES 4 INCHES AND OVER IN CALIPER SHALL BE GUYED. SMALLER TREES SHALL BE STAKED. GUYING WIRES AND STAKES SHALL BE INSTALLED AS INDICATED. THE LANDSCAPE CONTRACTOR SHALL REMOVE STAKING, GUYING & TREE WRAP AT THE END OF THE ONE YEAR MAINTENANCE & GUARANTEE PERIOD.
16. THE TRUNKS OF ALL TREES SHALL BE WRAPPED AS SOON AS POSSIBLE AFTER PLANTING ACCORDING TO STANDARD PROCEDURES AND AS INDICATED.
17. PRIOR TO ANY LANDSCAPE OR IRRIGATION WORK VERIFY EXISTING CONDITIONS.
18. PRIOR TO CONSTRUCTION CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING AND PROPOSED UTILITIES. IF CONFLICTS EXIST WITH PROPOSED LOCATIONS OF PLANT MATERIAL CONTACT LANDSCAPE ARCHITECT IMMEDIATELY, DO NOT PLANT MATERIAL.T MATERIAL.
19. ALL VINE MATERIAL, TRASH AND INVASIVE SHRUB SPECIES TO BE REMOVED FROM ALL LANDSCAPE AREAS.
20. ALL DIMENSIONS ARE B.O.C.(BACK OF CURB) UNLESS OTHERWISE SPECIFIED.
21. ALL UTILITIES AND OTHER EXISTING CONDITIONS SHOWN ARE IN NO WAY AS-BUILT CONDITIONS. CONTRACTOR MUST VERIFY ALL EXISTING CONDITIONS PRIOR TO CONSTRUCTION. EXISTING UTILITIES AND OTHER EXISTING CONDITIONS MAY VARY GREATLY DUE TO UNDOCUMENTED CONSTRUCTION.
22. ALL PLANTING AREAS TO RECEIVE 4" OF PINE STRAW FOR FINAL TOP MULCHING.
23. LANDSCAPE CONTRACTOR TO COORDINATE ON-SITE MEETING WITH ARCHITECT, GENERAL CONTRACTOR & LANDSCAPE ARCHITECT TO REVIEW EXISTING CONDITIONS & PROPOSED WORK PRIOR TO ANY IRRIGATION OR LANDSCAPE INSTALLATION.
24. SUBMIT IRRIGATION PLAN FOR APPROVAL PRIOR TO ANY WORK. IRRIGATION TO PROVIDE WATER TO ALL NEW PLANTINGS AND LAWN AREAS.
25. PRIOR TO ANY WORK VERIFY FULL APPROVAL FROM OWNER & SULLIVANS ISLAND.
26. SEE SHEET L101 & L102-STORMWATER PLAN, NOTES & DETAILS FOR ADDITIONAL INFORMATION.

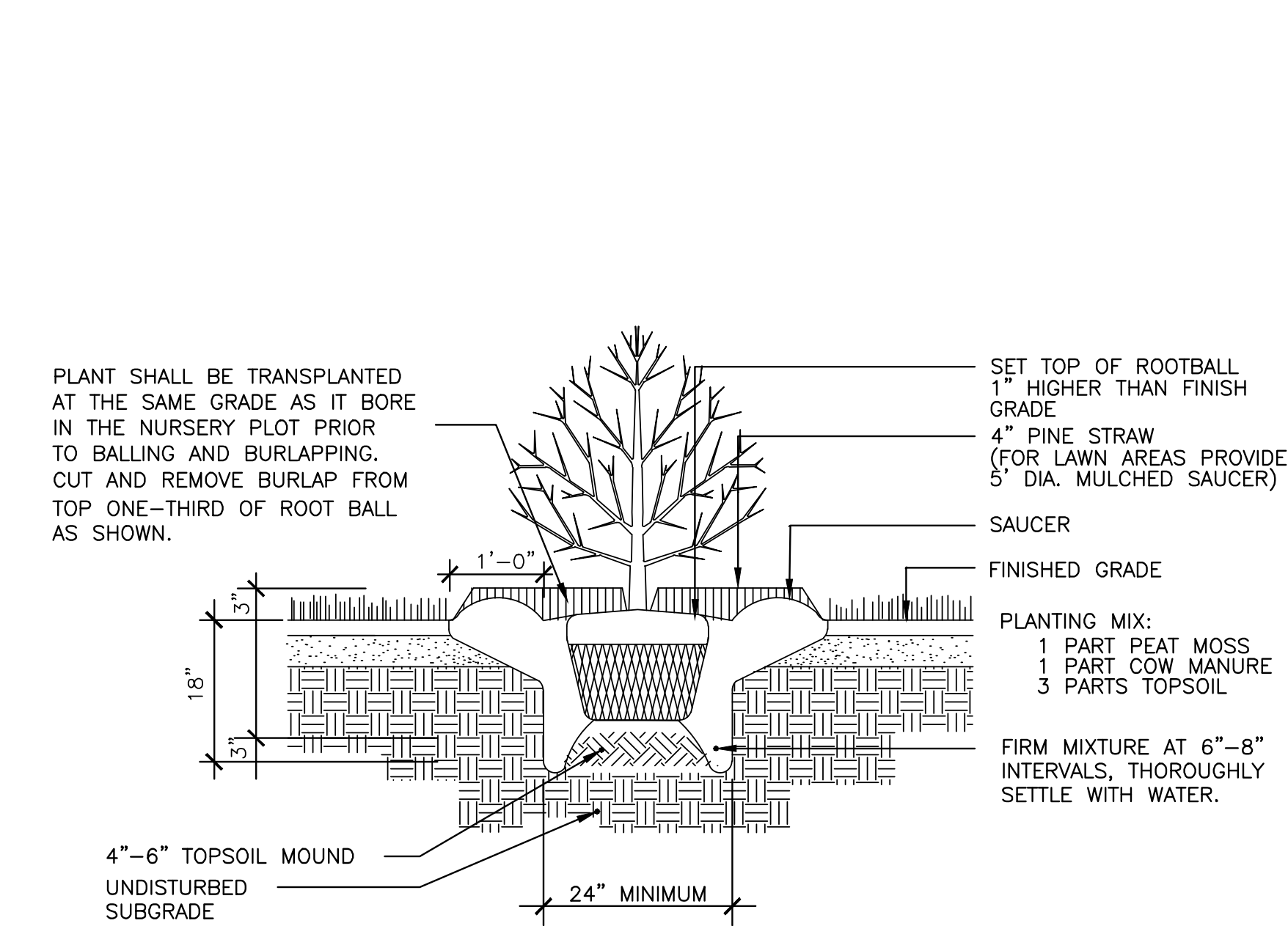
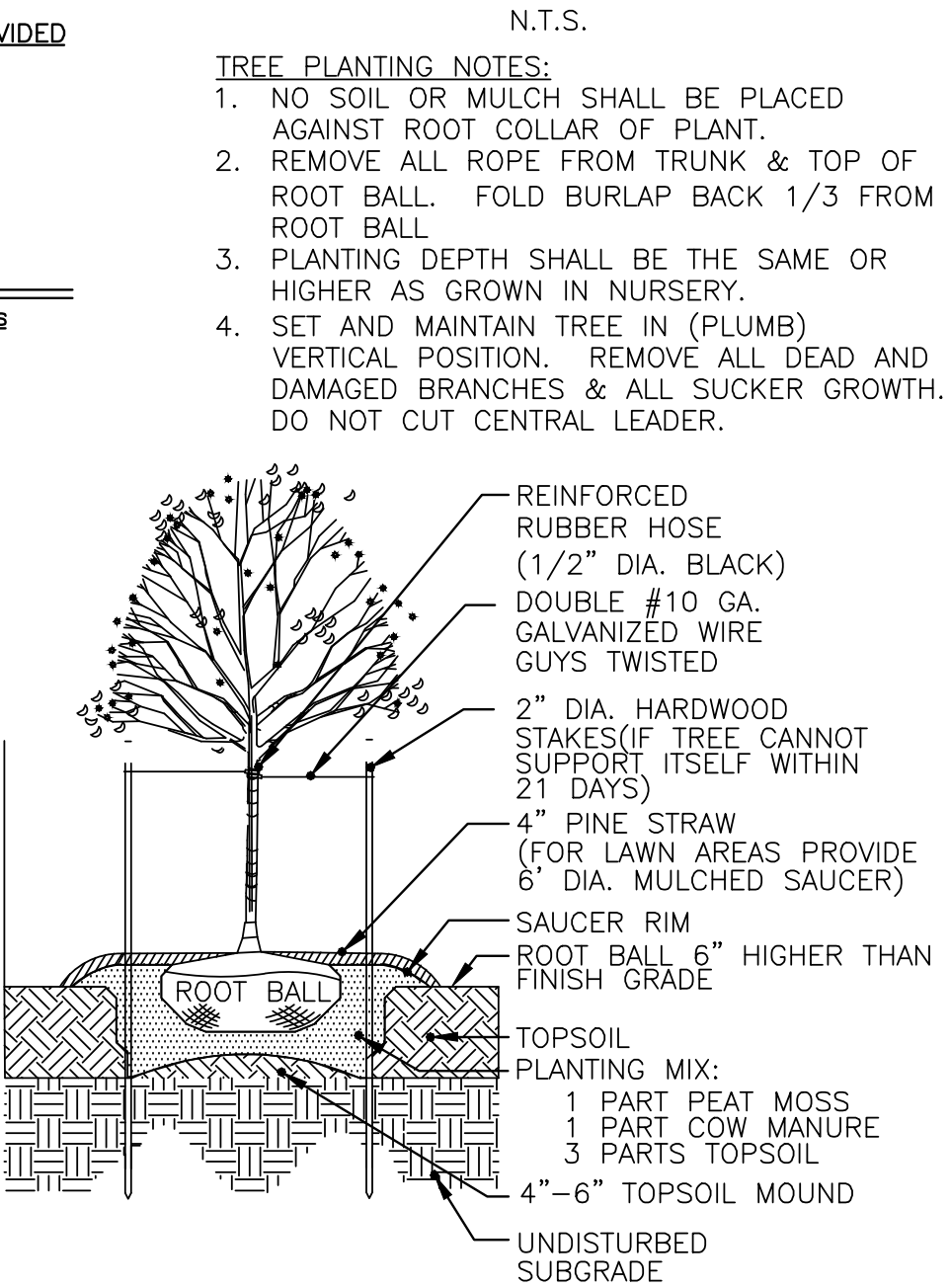
PRELIMINARY PLANT SCHEDULE

QUANTITY/ ABBRV CANOPY TREE	BOTANICAL/COMMON	HEIGHT	SPREAD	CONT	CALIPER	NOTES	TOTAL MITIGATION PROVIDED
3 QUEV	Quercus Virginiana Live Oak	15'min.	5'min.	B&B/Cont.	5" min.	Well Formed	15"
PALMETTOS							
6 SABP	Sabal Palmetto Cabbage Palm	10'min.	=	Bare Root	=	*Full Refoliated Specimen 8" Clear trunk	6-Palmettos
							15" & 6-Palmettos

PLANT SCHEDULE EXPLANATORY NOTES:

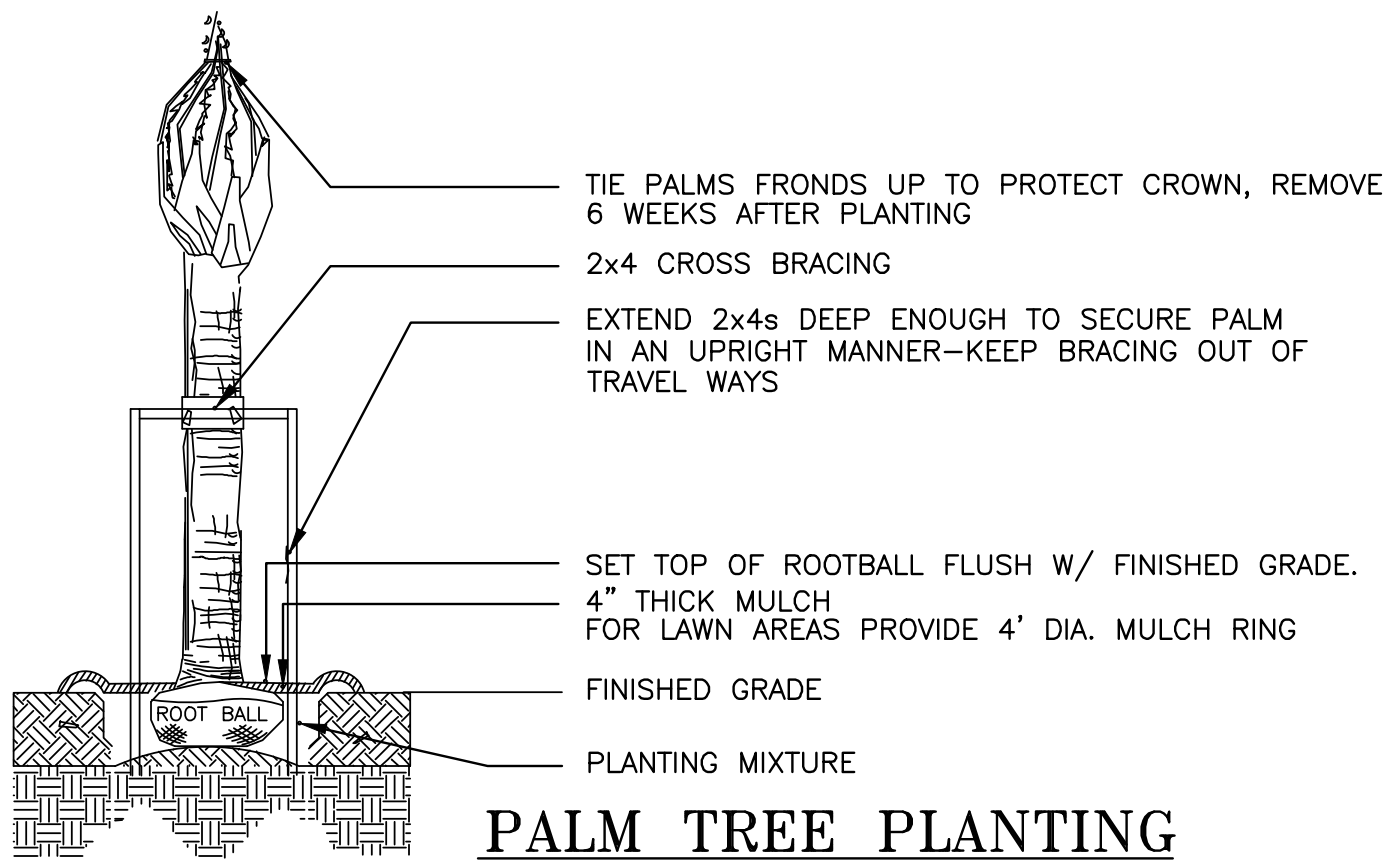
- 1.THE FOLLOWING PLANT SCHEDULES ARE PREPARED AS A SELECTION OF PLANTING MATERIALS.
- 2.WHERE AN ABBREVIATION IS SHOWN, FOLLOWING NOTES APPLY:  
QUAN - QUANTITY OF PLANT MATERIALS REQUIRED FOR PROJECT.  
(NOTE: CONTRACTOR RESPONSIBLE TO VERIFY QUANTITIES INDICATED.)  
ABBRY - BOTANICAL ABBREVIATION.  
BOTANICAL/COMMON - NAME OF PLANT MATERIAL.  
HEIGHT - HEIGHT OF PLANT MATERIAL.  
SPREAD - DIAMETER OF PLANT MATERIAL.  
CONT - CONTAINER TYPE WHICH PLANT MATERIAL IS ENCASED UPON SITE DELIVERY.  
(SIZE SHALL TAKE PRECEDENCE OVER CONTAINER.)  
SPACING- DISTANCE FROM CENTER OF EACH PLANT.(PLAN SHALL TAKE PRECEDENCE OVER SCHEDULE.)  
CAL - CALIPER/DIAMETER OF TRUNK. (REFER TO SPECS FOR MORE SPECIFIC INFORMATION.)  
CALIPER SHALL TAKE PRECEDENCE OVER HEIGHT & SPREAD.  
NOTES - SPECIFIC NOTES FURTHER SPECIFYING OR DESCRIBING PLANT MATERIAL.
- 3.VERIFY QUANTITIES SHOWN ON PLANT SCHEDULE AND PLANT MATERIAL SHOWN ON PLANTING PLAN.

TREE PLANTING DETAIL



DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL

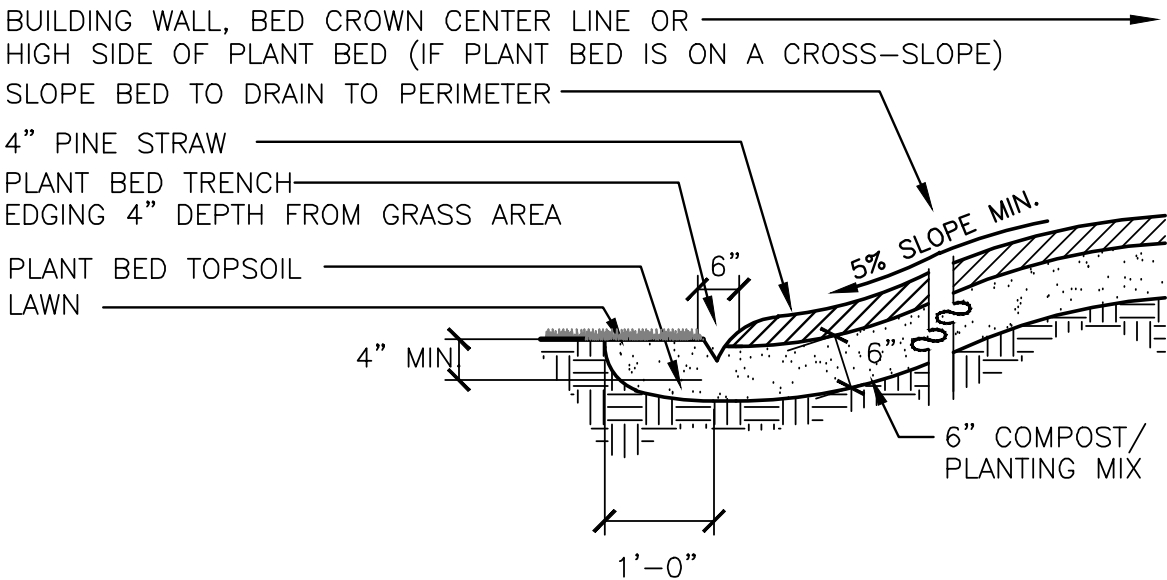
N.T.S.



PALM TREE PLANTING

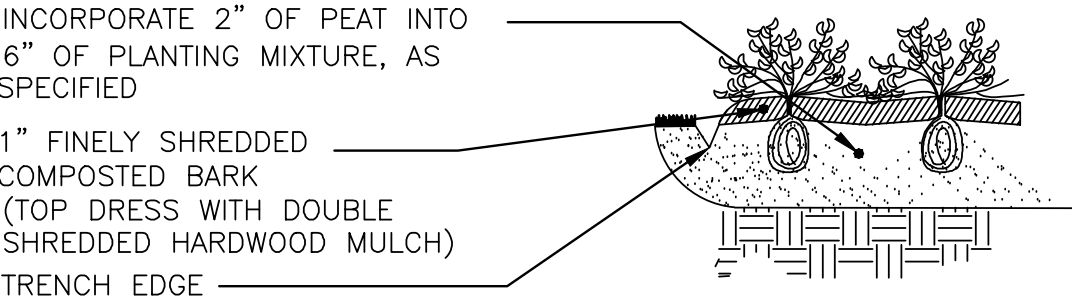
N.T.S.

- NOTES:
- ALL PALMS SHALL BE SPRAY TREATED WITH APPROVED INSECTICIDE AT TIME OF ORIGINAL TRANSPLANTING AND AGAIN AT TIME OF PLANTING. TRUNK OF PALMS SHALL BE NEARLY UNIFORM IN SIZE OVER ENTIRE HEIGHT AND SHALL BE FREE OF DEAD FRONDS, FIRE STUBS, OR OTHER DAMAGE.
  - COORDINATE ROOTBALL SIZE WITH PLANTER WIDTHS.
  - MAINTAIN TREE IN A PLUMB UPRIGHT POSITION.
  - ALL CABLE CLAMPS, TURNBUCKLES & BOLTS, TO BE RUST RESIST.
  - PALMS 30 GAL. OR SMALLER (LESS THAN 8') DO NOT NEED STAKING UNLESS STABILITY BECOMES A PROBLEM. SEE SCHEDULE FOR SIZES.
  - LOCATE GUYS WITHIN PLANT BEDS.
  - REMOVE ALL STRAPS AND GUYS AFTER (1) YEAR.



TRENCH EDGE DETAIL

N.T.S.

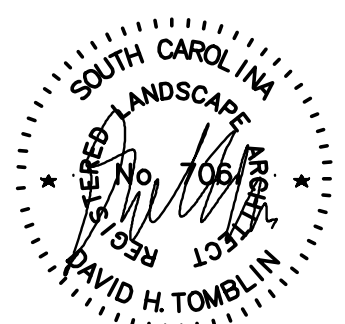


GROUNDCOVER/ANNUAL PLANTING

N.T.S.

REVIEW SET-NOT FOR CONSTRUCTION

**T**  
THE  
TOMBLIN COMPANY, LLC  
LANDSCAPE  
ARCHITECTURE  
LAND PLANNING  
HISTORIC  
RENOVATION  
AMERICAN SOCIETY  
OF  
LANDSCAPE ARCHITECTS  
716 FORT SUMTER DRIVE  
CHARLESTON  
SOUTH CAROLINA  
1.843.412.2894  
FAX 1.843.406.2721  
tomblincompany.com



LANDSCAPE ARCHITECTURAL SERVICES  
FOR  
**BARKOWITZ RESIDENCE**  
LOT 1 BLOCK 1B OF MARSHALL RESERVATION - TMS # 529-12-00-106  
33203 MARSHALL BOULEVARD  
SULLIVAN'S ISLAND  
SOUTH CAROLINA

JOB NUMBER  
**025075**

DHT / DHT / 7.3.25  
DRAWN BY-CHECKED BY-DATE  
REVISED \_\_\_\_\_  
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SHEET TITLE  
PLANT SCHEDULE,  
LANDSCAPE NOTES  
& DETAILS

SHEET NUMBER  
**L104** 4  
OF  
**4** 4