



NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	01/15/25
3	BID SET	01/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		

**DLB CUSTOM HOME DESIGN, INC.**  
PHONE: 843-303-2879  
EMAIL: [DLBCUSTOMHOMEDSIGN@GMAIL.COM](mailto:DLBCUSTOMHOMEDSIGN@GMAIL.COM)  
[WWW.DLBCUSTOMHOMEDSIGN.COM](http://WWW.DLBCUSTOMHOMEDSIGN.COM)

---

**DALY AND SAWYER  
CONSTRUCTION CO**  
855 COLEMAN BLVD  
MT. PLEASANT, SC 29464  
(843) 884-7195

JOB NO.:	2411
DESIGN BY:	DLB
DRAWN BY:	DLB
DATE:	6/18/2025
SCALE:	1/4" = 1'-0" U.N.O.

A-1.0





**GENERAL NOTE:**

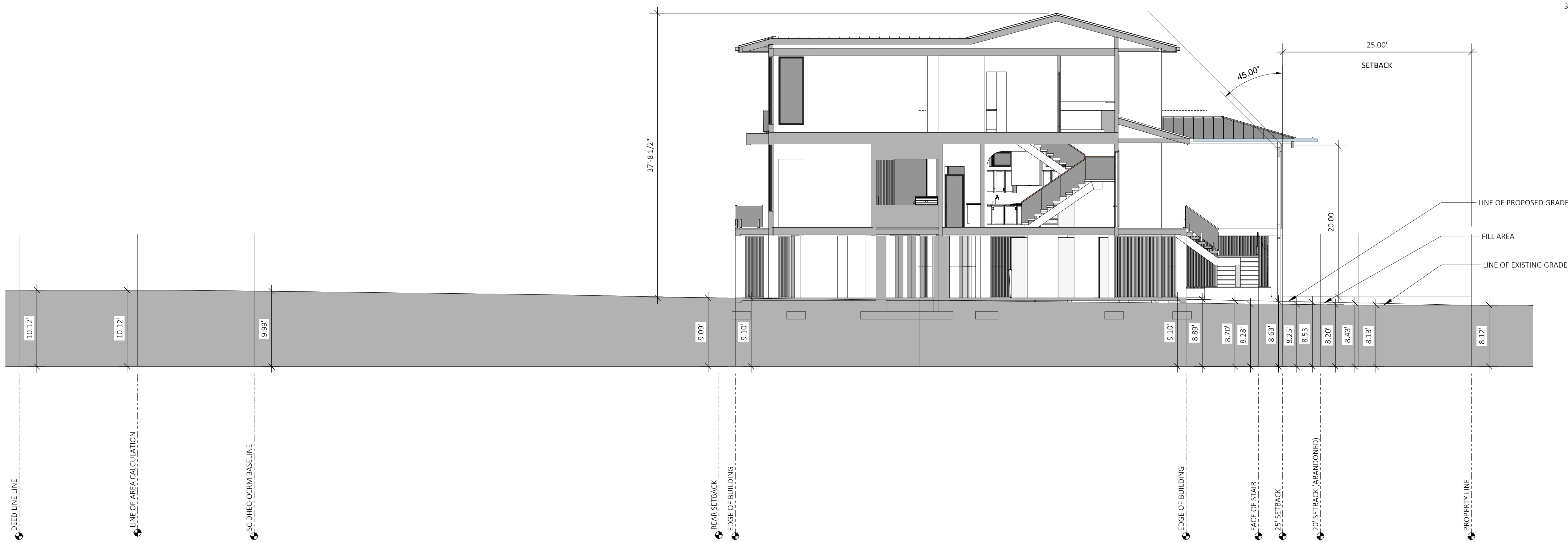
**DRB APPROVAL GRANTED ON 2/20/2025 WITH FRONT SETBACK RELIEF AND ADDITIONAL 500 SQ. FT. OF PRINCIPAL BUILDING SQUARE FOOTAGE**

DLB  
Custom Home  
Design, Inc.  
Charleston, SC  
101084

COPYRIGHT 2024 ALL RIGHTS  
RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY  
PERSON, UNLESS ACTING UNDER THE  
DIRECTION OF DLB CUSTOM HOME  
DESIGN, TO ALTER THIS DOCUMENT  
OR ITS ELECTRONIC DRAWINGS  
AND DOCUMENTATION MAY NOT BE  
REPRODUCED IN ANY FORM WITHOUT  
WRITTEN PERMISSION.  
  
THIS DRAWING WAS PREPARED AT  
THE SCALE INDICATED.  
IF ACCURACIES IN THE STATED  
SCALE MAY BE INTRODUCED WHEN  
DRAWINGS ARE REPRODUCED BY  
ANY MEANS. USE THE GRAPHIC  
SCALE BAR TO DETERMINE THE  
ACTUAL SCALE.

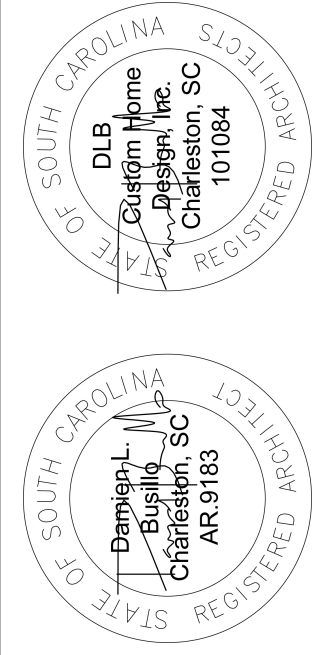
**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16,

SHEET TITLE:	SITE PLAN SECOND FLOOR
SHEET NO.	



1 SITE SECTION  
SCALE 1/8" = 1'-0"

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT. PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

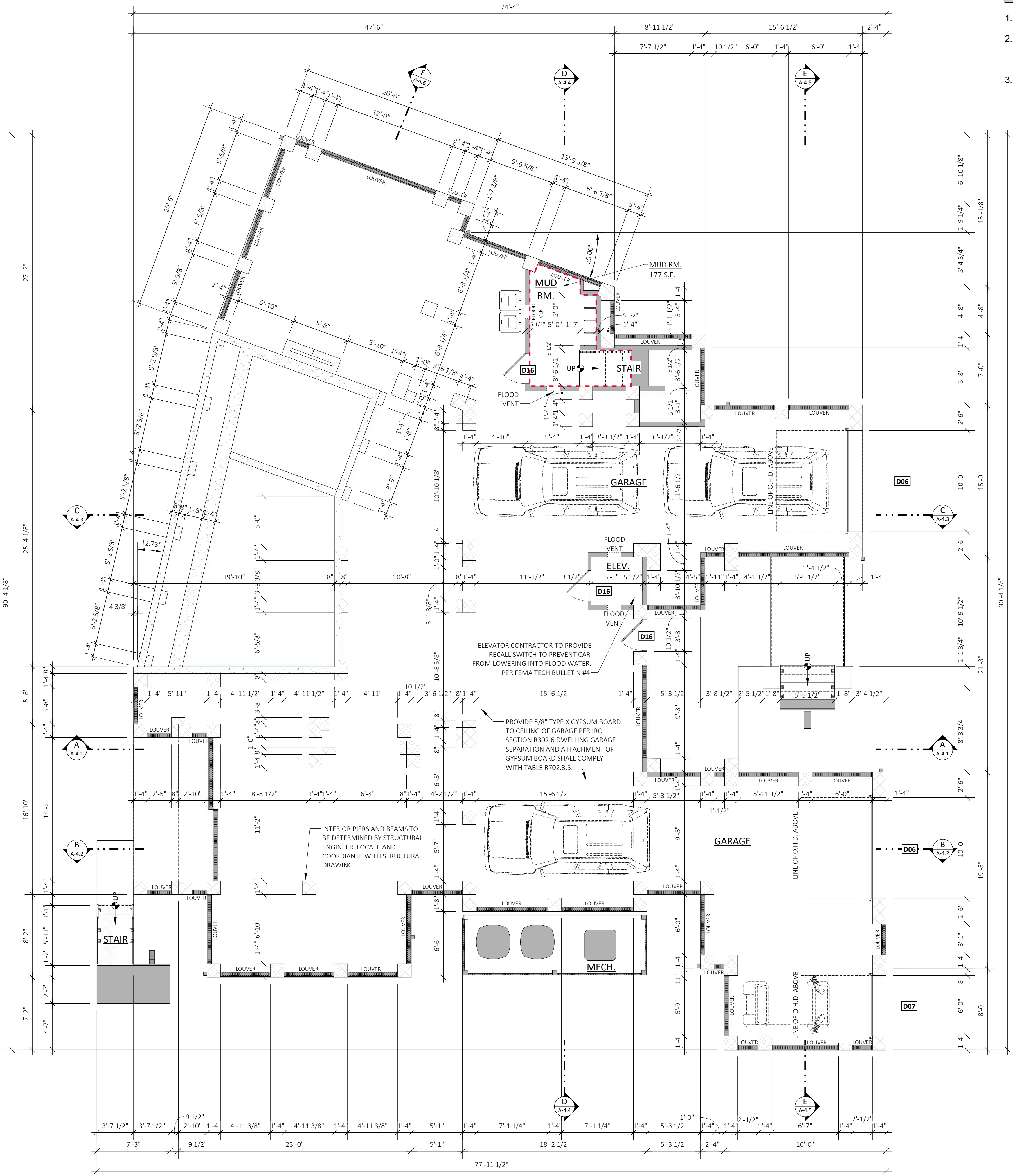
D.L.B. CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLB@DLBCUSTOMHOMEDSIGN.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO.  
MT. PLEASANT, SC 29464  
(843) 884-7195

BARKOWITZ RESIDENCE  
ARCHITECTURAL PLANS  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
SITE SECTION  
SHEET NO.



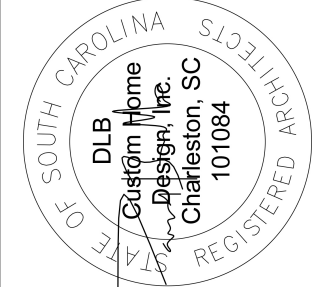


1 GROUND FLOOR PLAN  
SCALE 3/16" = 1'-0"

GROUND FLOOR NOTES

- ONLY CLASS 4 AND 5 FLOOD RESISTANT MATERIALS SHALL BE INSTALLED BELOW THE DESIGN FLOOD ELEVATION. PER FEMA TECHNICAL BULLETIN 2.
- NO ELECTRICAL, PLUMBING, MECHANICAL EQUIPMENT OR DUCTWORK WILL BE INSTALLED BELOW DESIGN FLOOD ELEVATION EXCEPT FOR A MAIN SERVICE DISCONNECT, THE TWO CODE REQUIRED EXTERIOR GFCI RECEPTICALS ON THE FRONT AND BACK OF THE STRUCTURE, AND ONE GFCI LIGHT SWITCH.
- USE 5/8" TYPE X GYPSUM BOARD FOR THE CEILING OF THE GARAGE AND STORAGE AREAS FOR PROPERTY SEPARATION BETWEEN GARAGE SPACE AND HABITABLE SPACE ABOVE.

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS, AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED.  
INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

D.L.B. CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO.  
101084  
MT. PLEASANT, SC 29464  
(843) 884-7195

BARKOWITZ RESIDENCE  
ARCHITECTURAL PLANS  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

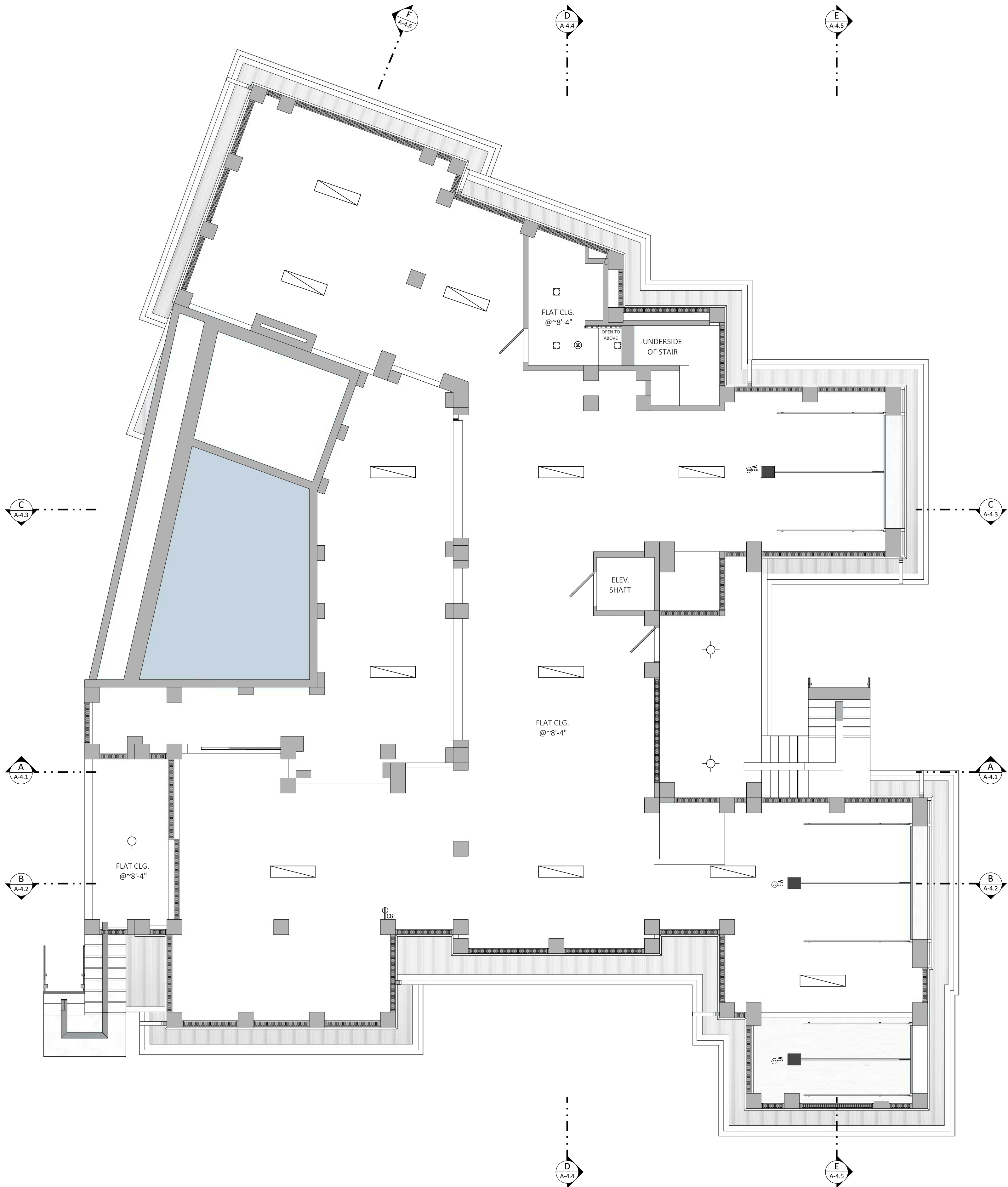
JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
GROUND FLOOR PLAN

SHEET NO.

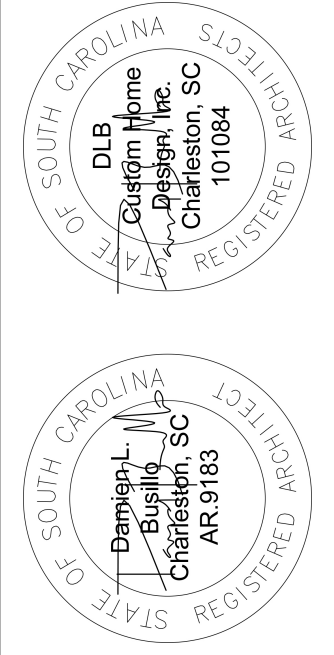
A-2.0





CEILING HEIGHTS AND OTHER INFORMATION  
SHOWN ON REFLECTED CEILING PLANS ARE NOMINAL  
OR APPROXIMATE AND INTENDED TO DEMONSTRATE  
DESIGN INTENT AND NOT TAKEN LITERALLY. ALWAYS REFER  
TO FLOOR PLANS, ELEVATIONS AND SECTIONS FOR SPECIFIC  
PLATE HEIGHTS AND BEARING LOCATIONS.

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF DLB CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
1000 E. 10TH ST.  
MT. PLEASANT, SC 29464  
(843) 884-7195

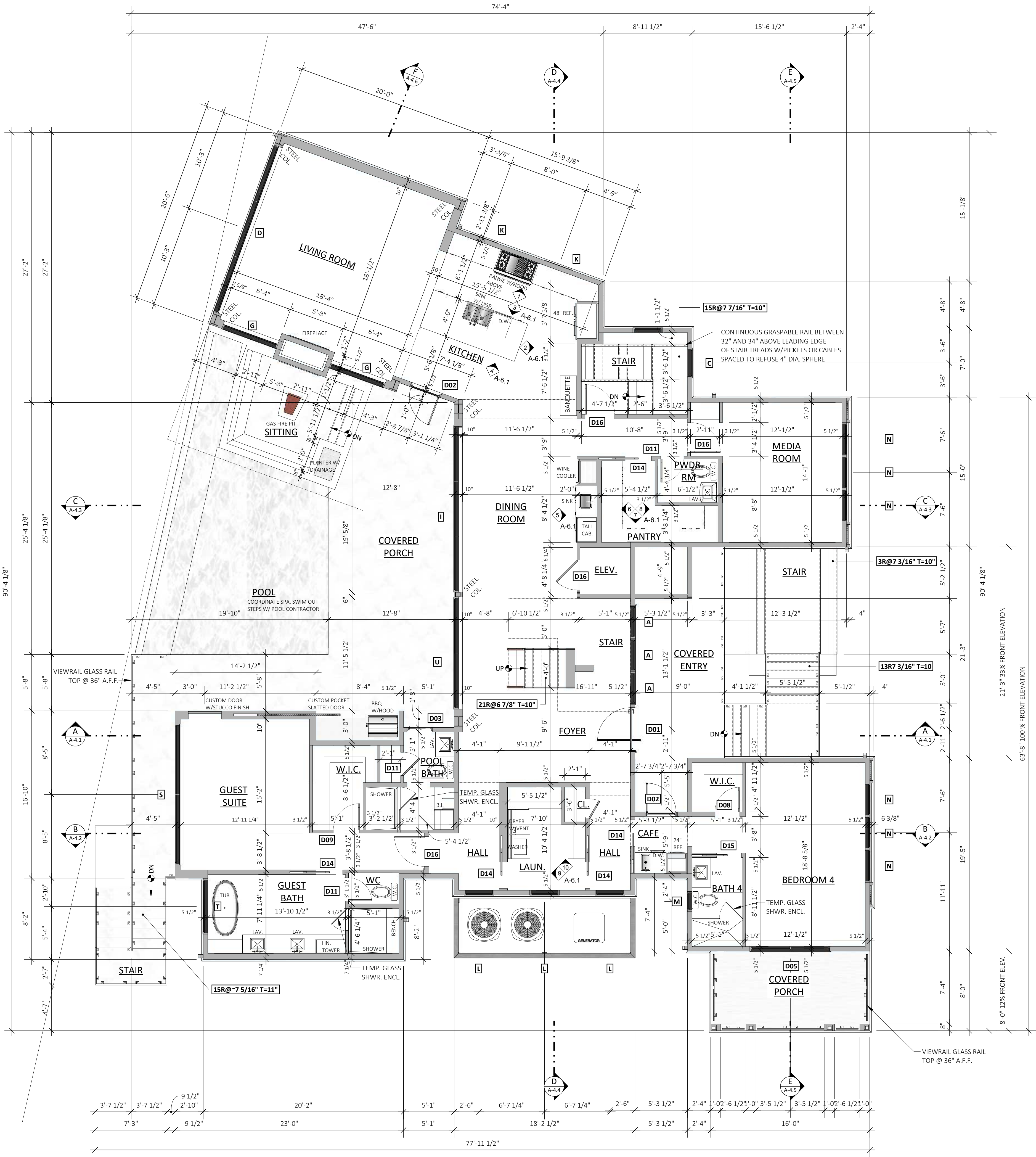
**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
**GROUND FLOOR  
REFLECTED  
CEILING PLAN**  
SHEET NO.

**A-2.0.1**

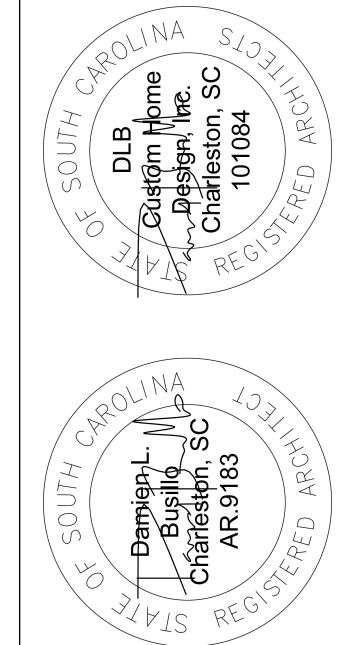




1 FIRST FLOOR PLAN  
SCALE 3/16" = 1'-0"

AREA CALCULATIONS	
AREA NAME	AREA S.F.
FIRST FLOOR	2959
SECOND FLOOR	1484
TOTAL HEATED	4443
MAX. ALLOWED PBSF	4444.9
FRONT PORCH	244
GARAGE	2999
POOL DECK	704
S.F. BALCONY	820
BEDROOM 4 PORCH	155
TOTAL UNHEATED	4922
GROSS	9365

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/9/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT. PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

D.L.B. CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: D.L.B.CUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBSCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO.  
MT. PLEASANT, SC 29464  
(843) 884-7195

BARKOWITZ RESIDENCE  
ARCHITECTURAL PLANS  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND,  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

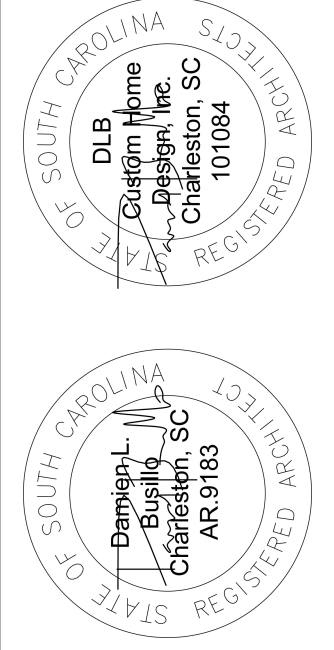
SHEET TITLE:  
FIRST FLOOR PLAN  
SHEET NO.  
A-2.1





CEILING HEIGHTS AND OTHER INFORMATION  
SHOWN ON REFLECTED CEILING PLANS ARE NOMINAL  
OR APPROXIMATE AND INTENDED TO DEMONSTRATE  
DESIGN INTENT AND NOT TAKEN LITERALLY. ALWAYS REFER  
TO FLOOR PLANS, ELEVATIONS AND SECTIONS FOR SPECIFIC  
PLATE HEIGHTS AND BEARING LOCATIONS.

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS  
RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY  
PERSON, UNLESS ACTING UNDER THE  
DIRECTION OF DLB CUSTOM HOME  
DESIGN, TO ALTER THIS DOCUMENT,  
PRINTED OR ELECTRONIC DRAWINGS  
AND DOCUMENTATION MAY NOT BE  
REPRODUCED IN ANY FORM WITHOUT  
WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT  
THE SCALE INDICATED.  
INACCURACIES IN THE STATED  
SCALE MAY BE INTRODUCED WHEN  
DRAWINGS ARE REPRODUCED BY  
ANY MEANS. USE THE GRAPHIC  
SCALE BAR TO DETERMINE THE  
ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDESIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDESIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO.  
CONSTRUCTION CO.  
MT. PLEASANT, SC 29464  
(843) 884-7195

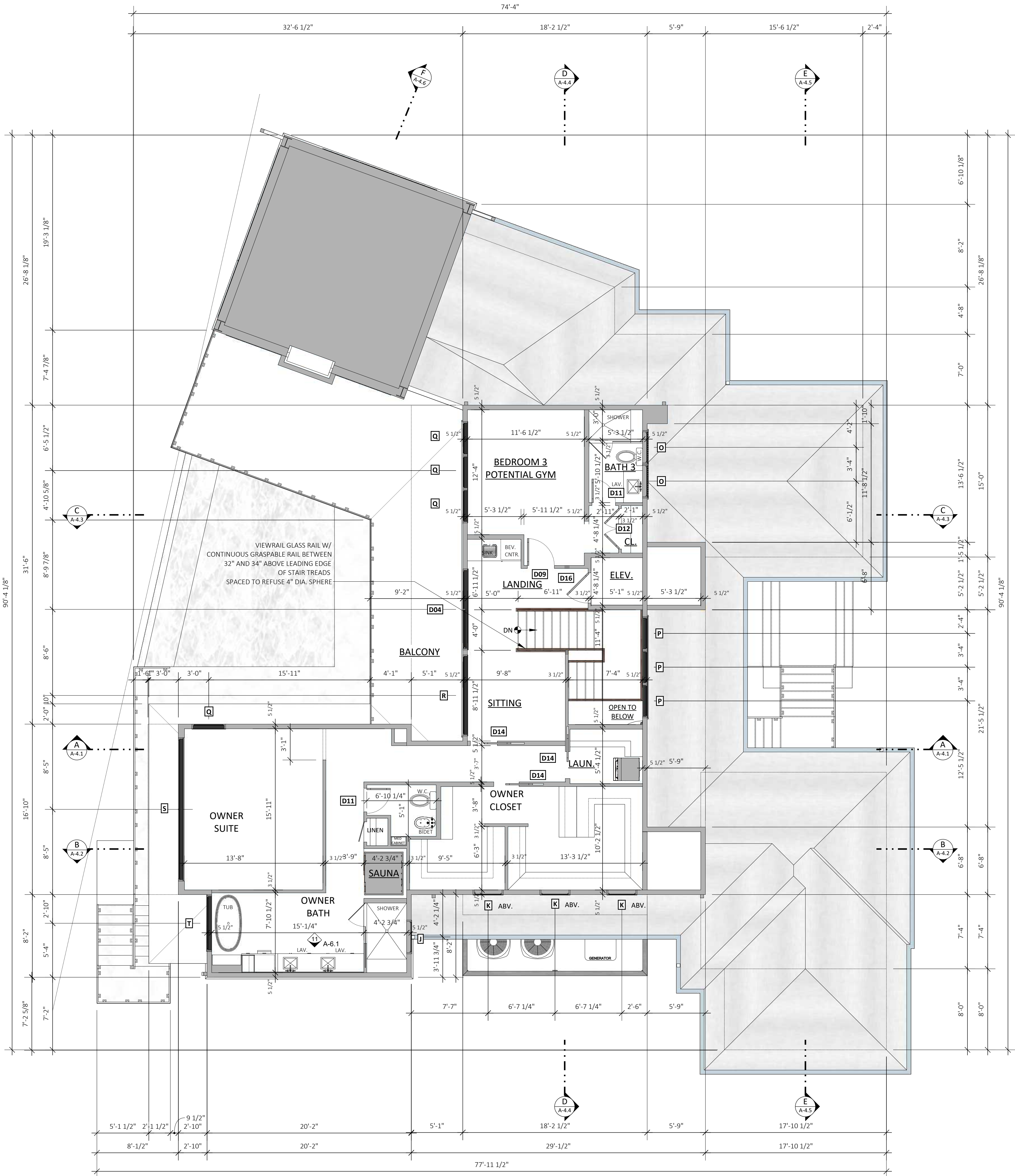
**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

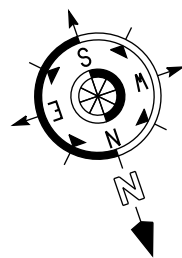
SHEET TITLE:  
**FIRST FLOOR  
REFLECTED  
CEILING PLAN**  
SHEET NO.

**A-2.1.1**

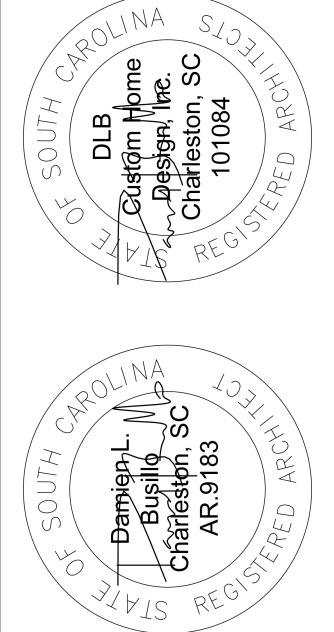




1 SECOND FLOOR PLAN  
SCALE 3/16" = 1'-0"



NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF DLB CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED.  
INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2079  
EMAIL: DLB@DLBCUSTOMHOMEDSIGN.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DALLY AND SAWYER  
CONSTRUCTION CO.  
MT. PLEASANT, SC 29464  
(843) 884-7195

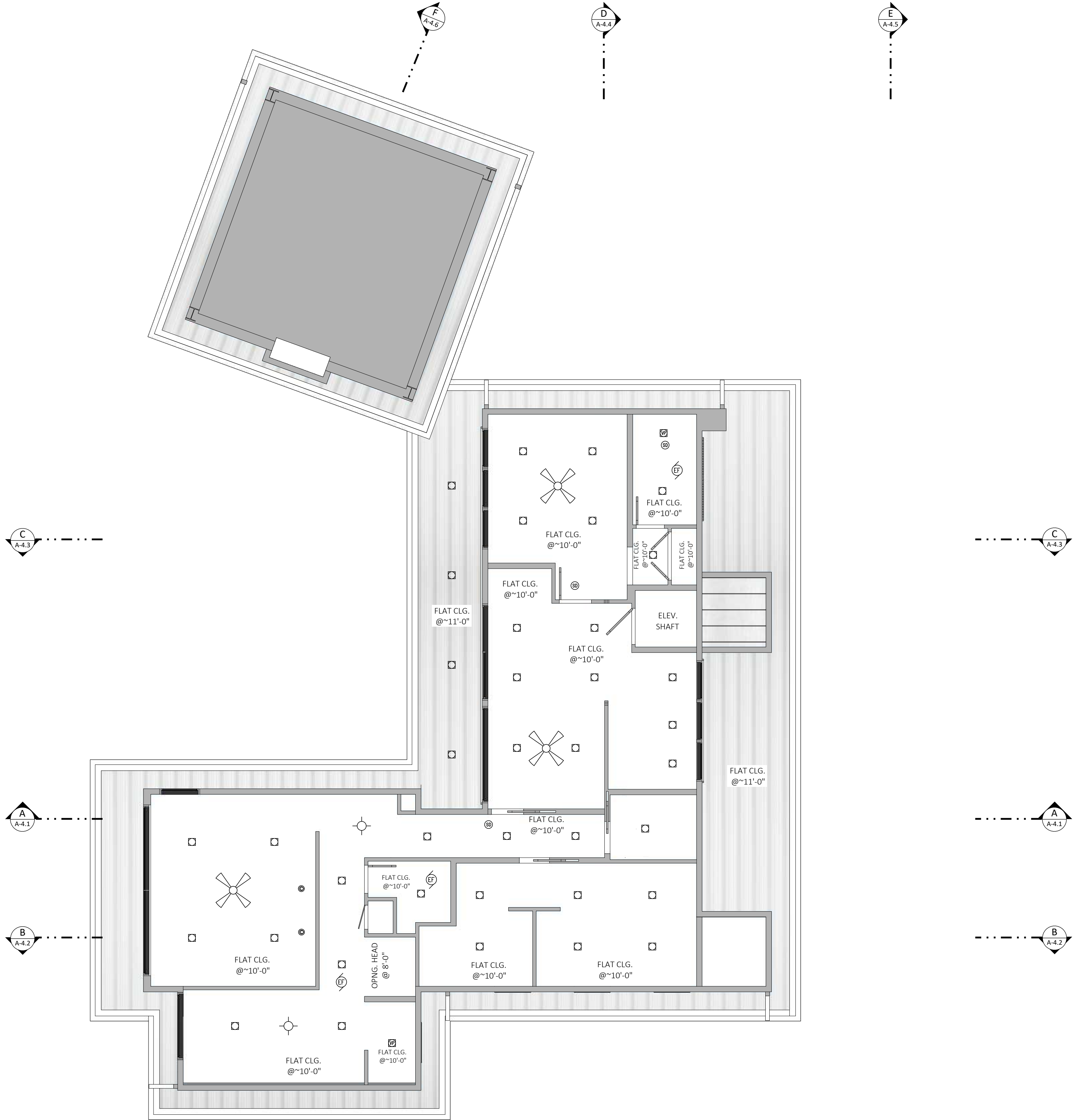
BARKOWITZ RESIDENCE  
ARCHITECTURAL PLANS  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
SECOND FLOOR PLAN  
SHEET NO.

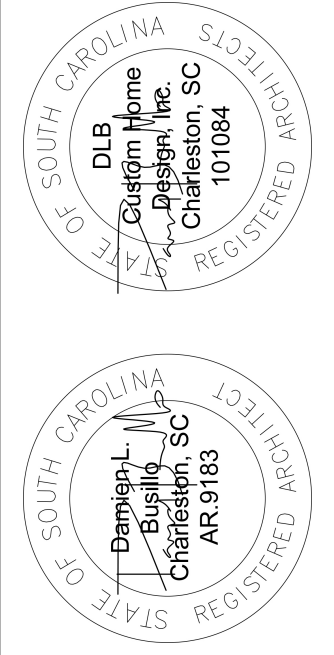
A-2.2





CEILING HEIGHTS AND OTHER INFORMATION  
SHOWN ON REFLECTED CEILING PLANS ARE NOMINAL  
OR APPROXIMATE AND INTENDED TO DEMONSTRATE  
DESIGN INTENT AND NOT TAKEN LITERALLY. ALWAYS REFER  
TO FLOOR PLANS, ELEVATIONS AND SECTIONS FOR SPECIFIC  
PLATE HEIGHTS AND BEARING LOCATIONS.

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF DLB CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
3003 MARSHALL BLVD.  
MT. PLEASANT, SC 29464  
(843) 884-7195

**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16,

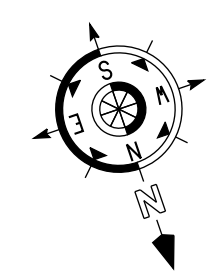
JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
**SECOND FLOOR  
REFLECTED  
CEILING PLAN**

SHEET NO.


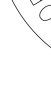
A-2.2.1





1 **ROOF PLAN**  
SCALE 3/16" = 1'-0"

ROOF AREA CALCULATION	
MAIN ROOF AREA	2424 S.F.
OTHER ROOF AREA	2424 S.F.
TOTAL ROOF AREA	4848 S.F.
MAIN ROOF AS PERCENTAGE	
2424/4887 =	50%

**DLB CUSTOM HOME DESIGN, INC.**  
PHONE: 843-303-2979  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM

---

**DALY AND SAWYER**  
**CONSTRUCTION CO**  
855 COLEMAN BLVD  
MT. PLEASANT, SC 29464  
(843) 884-7195

JOB NO.:	2411
DESIGN BY:	DLB
DRAWN BY:	DLB
DATE:	6/18/2025
SCALE:	1/4" = 1'-0" U.N.O.

## ROOF PLAN

## A-2.3

FIRST FLOOR ROOM FINISH SCHEDULE							
SPACE NAME	AREA	FLOOR	BASE	CEILING	CROWN	WAINSCOT	NOTE
BEDROOM 4	242	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	NONE
BEDROOM 4 > BATH 4	46	TILE	1x10	DRYWALL	2 PIECE	NO	NONE
BEDROOM 4 > CAFE	30	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	CUSTOM CASEWORK PROVIDE SHOP DRAWING
BEDROOM 4 > CLOSET	25	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	ROD AND SHELF
BEDROOM 4 > COVERED PORCH	128	NATURAL STONE	NO BASE	T&G DECKING	1 PIECE	NO	NONE
COVERD PORCH	437	NATURAL STONE	NO BASE	T&G DECKING	1 PIECE	NO	NONE
COVERED ENTRY	190	NATURAL STONE	NO BASE	T&G DECKING	1 PIECE	NO	NONE
DINING ROOM	232	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	NONE
ELEVATOR SHAFT	25	CONCRETE SEALANT	NO BASE	5/8" FIRERATED DRYWALL	NONE	NO	NONE
F.F. HALL	101	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	NONE
FOYER	320	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	NONE
GUEST SUITE	239	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	NONE
GUEST SUITE > CLOSET	49	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	CUSTOM CASEWORK PROVIDE SHOP DRAWING
GUEST SUITE > GUEST BATH	153	TILE	1x10	DRYWALL	2 PIECE	NO	NONE
HALL > CLOSET	8	HARDWOOD	1x10	DRYWALL	NONE	NO	ROD AND SHELF
KITCHEN	274	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	CUSTOM CASEWORK PROVIDE SHOP DRAWING
KITCHEN > PANTRY	67	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	CUSTOM CASEWORK PROVIDE SHOP DRAWING
LAUNDRY	76	TILE	1x10	DRYWALL	2 PIECE	NO	PROVIDE FLOOR DRAIN AND PAN
LIVING ROOM	345	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	NONE
MEDIA ROOM	187	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	CUSTOM CASEWORK PROVIDE SHOP DRAWING
MEDIA ROOM > VESTIBULE	42	HARDWOOD	1x10	DRYWALL	2 PIECE	NO	NONE
OPEN DECK	167	NATURAL STONE	NO BASE	NONE	NONE	NO	NONE
POOL BATH	67	TILE	1x10	DRYWALL	2 PIECE	NO	CUSTOM CASEWORK PROVIDE SHOP DRAWING
POOL BATH > CLOSET	8	TILE	1x10	DRYWALL	NONE	NO	5 SHELVES
POWDER ROOM	27	TILE	1x10	DRYWALL	2 PIECE	NO	NONE
STAIR F.F. TO G.F.	89	HARDWOOD	1x10	DRYWALL	1 PIECE	NO	NONE

SECOND FLOOR ROOM FINISH SCHEDULE							
SPACE NAME	AREA	FLOOR	BASE	CEILING	CROWN	WAINSCOT	NOTE
BALCONY	661	WATERPROOFING WITH IPE WOOD DECKING	NO BASE	NONE	NONE	NO	NONE
BEDROOM 3	175	HARDWOOD	1x8	DRYWALL	1 PIECE	NO	NONE
BEDROOM 3 > BATH 3	49	TILE	1x8	DRYWALL	1 PIECE	NO	NONE
BEDROOM 3 > CLOSET	10	HARDWOOD	1x8	DRYWALL	NONE	NO	ROD AND SHELF
LANDING	68	HARDWOOD	1x8	DRYWALL	1 PIECE	NO	NONE
OWNERS SUITE	218	WATERPROOFING WITH IPE WOOD DECKING	NO BASE	T&G DECKING	1 PIECE	NO	NONE
OWNERS SUITE > CLOSET	219	HARDWOOD	1x8	DRYWALL	1 PIECE	NO	CUSTOM CASEWORK PROVIDE SHOP DRAWING
OWNERS SUITE > OWNERS BATH	225	TILE	1x8	DRYWALL	1 PIECE	NO	NONE
OWNERS SUITE > SAUNA	21	COORDINATE WITH SANA MFR.	NO BASE	NONE	NONE	NO	COORDINATE ALL FINISHES W / SAUNA MFR.
S.F. LAUNDRY	42	TILE	1x8	DRYWALL	NONE	NO	PROVIDE FLOOR DRAIN AND PAN
SITTING ROOM	182	HARDWOOD	1x8	DRYWALL	2 PIECE	NO	NONE

GROUND FLOOR ROOM FINISH SCHEDULE							
SPACE NAME	AREA	FLOOR	BASE	CEILING	CROWN	WAINSCOT	NOTE
AREA UNDER FRONT PORCH	161	BRICK PAVERS	NO BASE	T&G DECKING	1 PIECE	NO	NONE
G.F. COVERED PATIO	112	BRICK PAVERS	NO BASE	T&G DECKING	1 PIECE	NO	NONE
G.F. MUD ROOM	65	TILE	1x8	5/8" FIRERATED DRYWALL	1 PIECE	NO	CUSTOM B.I. CUBBIES
GARAGE	3174	CONCRETE SEALANT	1x4	5/8" FIRERATED DRYWALL	NONE	NO	NONE

ROOM FINISH SCHEDULE NOTES:

- WATER RESISTANT GYPSUM BOARD CANNOT BE USED FOR WALLS IN SHOWER COMPARTMENTS OR IN AREAS OF HIGH HUMIDITY OR AREAS EXPOSED TO WATER PER R702.3.7, R702.3.7.1.

DOOR SCHEDULE				
TAG	TYPE AND SIZE	MANUFACTURER	MATERIAL	REMARKS
D01	DOOR EXTERIOR PIVOT 54x120			
D02	DOOR EXTERIOR SWING 36x108	EURO-WALL VISTA TL IMPACT SYSTEM		
D03	DOOR EXTERIOR SWING 28x108	EURO-WALL VISTA TL IMPACT SYSTEM		
D04	DOOR EXTERIOR SLIDING 2P 96x120	EURO-WALL VISTA TL IMPACT SYSTEM		
D05	DOOR EXTERIOR SLIDING 2P 98x120	EURO-WALL VISTA TL IMPACT SYSTEM		
D06	DOOR EXTERIOR OVERHEAD 120x84	CLOPAY		
D07	DOOR EXTERIOR OVERHEAD 72x84	CLOPAY		
D08	DOOR INTERIOR SWING 30x96			
D09	DOOR INTERIOR SWING 32x96			
D10	DOOR INTERIOR SWING 24x96			
D11	DOOR INTERIOR SWING 28x96			
D12	DOOR INTERIOR SWING 24x96 PAIR			
D14	DOOR INTERIOR POCKET 32x96			
D15	DOOR INTERIOR POCKET 30x96			
D16	DOOR INTERIOR SWING 36x96			

DOOR NOTES:

- ALL INTERIOR DOORS TO BE FLUSH PANEL SOLID CORE TRUSTILE TMF 1000 SERIES, OR AS SELECTED BY ARCHITECT AND BE 1 3/4" THICK
- ALL INTERIOR DOORS COLORS, TEXTURES, AND HARDWARE TO BE EMTEK AS SELECTED BY OWNER AND INTERIOR DESIGNER
- CLOPAY CANYON RIDGE MODERN "PLANK" CLEAR CYPRESS GARAGE DOORS. DP-50 MIN. RATED ON ALL EXTERIOR DOORS.
- HARDWARE CONTRACTOR TO REVIEW KEYING WITH OWNER PRIOR TO PLACING HARDWARE ORDER.
- EXTERIOR DOORS WITH GLASS TO HAVE IMPACT RESISTANT GLAZING
- PROVIDE RATED NON-RATED ACCESS DOORS AT GROUND FLOOR AND AS CALLED OUT ON FLOOR PLANS. ALL ELEVATOR DOORS TO HAVE 30 MIN. RATING AND BE SELF CLOSING.
- EXTERIOR DOORS TO HAVE STANDARD INTERIOR FINISH AS SELECTED BY OWNER AND DESIGNER. EXTERIOR TO MATCH WINDOW CLADDING.
- GARAGE DOOR GLAZED OPENING PROTECTION FOR WINDBORNE DEBRIS SHALL MEET THE REQUIRMENTS OF AN APPROVED IMPACT RESISTING STANDARD AS INDICATED BY THE PERMANENT STICKER INDICATING COMPLIANCE

SCHEDULE OF ALLOWANCES		
ALLOW	\$30,000.00	BATHROOM CASEWORK AND CABINETS
ALLOW	\$75,000.00	KITCHEN CASEWORK AND CABINETS
ALLOW	\$25,000.00	OWNERS CLOSET CASEWORK AND CABINETS
ALLOW	\$50,000.00	CABINETS AND BUILT INS
ALLOW	\$70,000.00	COUNTERTOPS
ALLOW	\$40,000.00	PLUMBING FIXTURES
ALLOW	\$25,000.00	PENDELT AND DECORATIVE LIGHT FIXTURES
ALLOW	\$85,000.00	SUPPLY AND INSTALL APPLIANCES
ALLOW	\$8,000.00	MIRRORS AND BATH ACCESSORIES
ALLOW	\$13,500.00	SHOWER DOORS
ALLOW	\$60,000.00	WINDOW TREATMENTS
ALLOW	\$45,000.00	SMART HOME AUTOMATION, VIDEO AND AUDIO SYSTEMS
ALLOW	\$12,500.00	LOW VOLTAGE DECK AND STEP LIGHTING
ALLOW	\$14.00	PER S.F. FOR TILE MATERIAL
ALLOW	\$10.00	PER S.F. FOR HARDWOOD FLOORING MATERIAL
ALLOW	\$18,000.00	FOR FIREPLACE INSTALL AND TILE SURROUND
ALLOW	ALLOW	GENERAC BACKUP GENERATOR
ALLOW	\$40.00	PRE SQUARE YARD CARPET AND PADDING
ALLOW	\$18,500.00	INTERIOR AND ENTRY DOOR HARDWARE
ALLOW	\$95,000.00	LANDSCAPING AND IRRIGATION

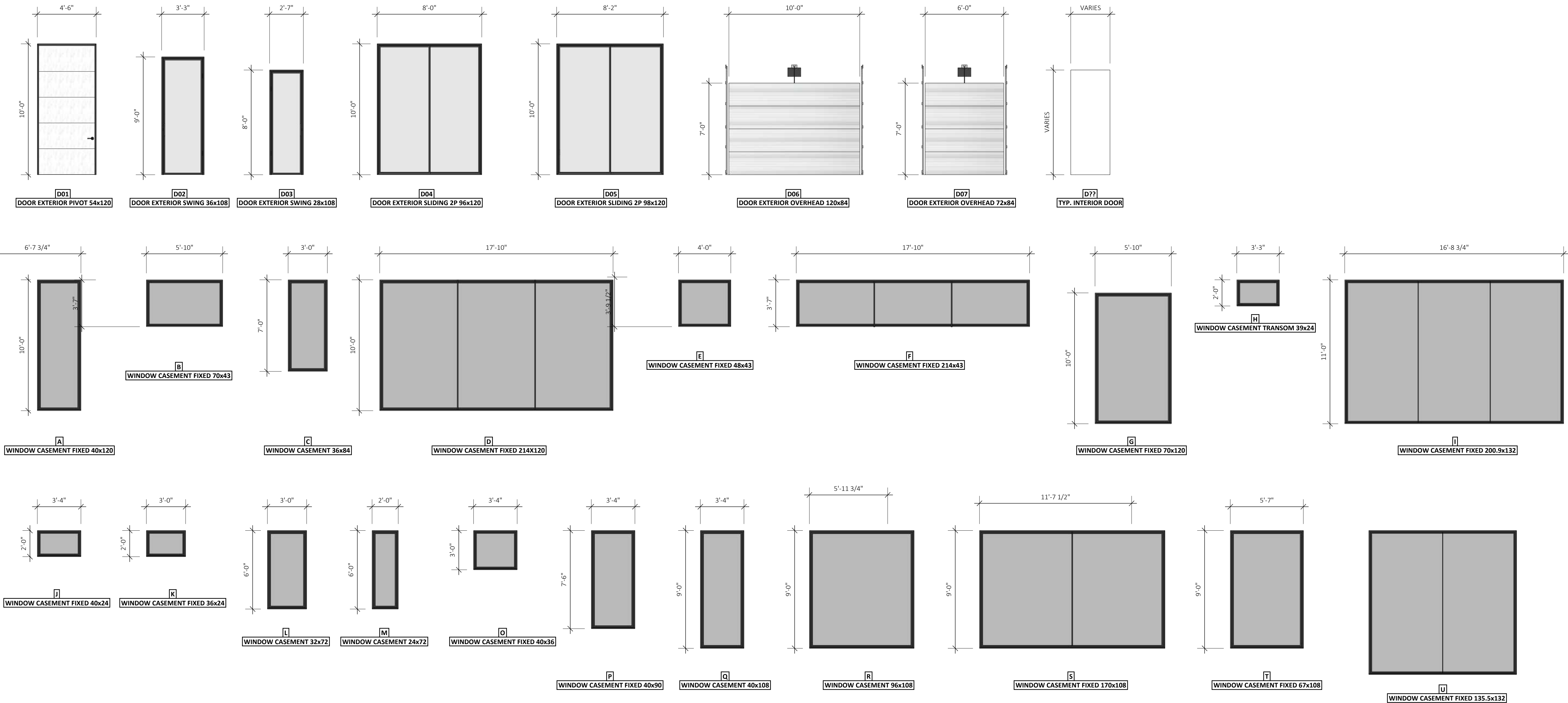
WINDOW SCHEDULE				
TAG	TYPE AND SIZE	MANUFACTURER	MATERIAL	REMARKS
?				
A	WINDOW CASEMENT FIXED 40x120	EURO-WALL VISTA TL IMPACT SYSTEM		
B	WINDOW CASEMENT FIXED 70x43	EURO-WALL VISTA TL IMPACT SYSTEM		
C	WINDOW CASEMENT 36x84	EURO-WALL VISTA TL IMPACT SYSTEM		
D	WINDOW CASEMENT FIXED 214X120	EURO-WALL VISTA TL IMPACT SYSTEM		
E	WINDOW CASEMENT FIXED 48x43	EURO-WALL VISTA TL IMPACT SYSTEM		
F	WINDOW CASEMENT FIXED 214x43	EURO-WALL VISTA TL IMPACT SYSTEM		
G	WINDOW CASEMENT FIXED 70x120	EURO-WALL VISTA TL IMPACT SYSTEM		
H	WINDOW CASEMENT TRANSOM 39x24	EURO-WALL VISTA TL IMPACT SYSTEM		
I	WINDOW CASEMENT FIXED 200.9x132	EURO-WALL VISTA TL IMPACT SYSTEM		
J	WINDOW CASEMENT FIXED 40x24	EURO-WALL VISTA TL IMPACT SYSTEM		
K	WINDOW CASEMENT FIXED 36x24	EURO-WALL VISTA TL IMPACT SYSTEM		
L	WINDOW CASEMENT 32x72	EURO-WALL VISTA TL IMPACT SYSTEM		
M	WINDOW CASEMENT 24x72	EURO-WALL VISTA TL IMPACT SYSTEM		
N	WINDOW CASEMENT 40x96	EURO-WALL VISTA TL IMPACT SYSTEM		
O	WINDOW CASEMENT FIXED 40x36	EURO-WALL VISTA TL IMPACT SYSTEM		
P	WINDOW CASEMENT FIXED 40x90	EURO-WALL VISTA TL IMPACT SYSTEM		
Q	WINDOW CASEMENT 40x108	EURO-WALL VISTA TL IMPACT SYSTEM		
R	WINDOW CASEMENT 96x108	EURO-WALL VISTA TL IMPACT SYSTEM		
S	WINDOW CASEMENT FIXED 170x108	EURO-WALL VISTA TL IMPACT SYSTEM		
T	WINDOW CASEMENT FIXED 67x108	EURO-WALL VISTA TL IMPACT SYSTEM		
U	WINDOW CASEMENT FIXED 135.5x132	EURO-WALL VISTA TL IMPACT SYSTEM		

- ALL WINDOWS SHALL HAVE A MINIMUM DOUBLE PANE AND LOW-E GLAZING AND MEET IMPACT PROTECTION REQUIREMENTS. ALL WINDOWS TO MEET 2021 IBC CODE REQUIREMENTS FOR (DP) DESIGN PRESSURE. SEE STRUCTURAL DRAWINGS. ALL WINDOWS IN ACCORDANCE WITH 2021 IRC SECTION R308.4 ALL WINDOWS TO HAVE IMPACT RESISTANT GLAZING.
- ALL WINDOW HEIGHTS ARE NOMINAL. VERIFY ROUGH OPENING DIMENSIONS WITH WINDOW MANUFACTURER BEFORE PLACING WINDOW ORDER. NOTIFY ARCHITECT OF ANY DISCREPANCIES.
- ALL WINDOWS BY EURO-WALL VISTA TL IMPACT SERIES, PROVIDE PRICE ALTERNATIVE FOR MARVIN SIGNATURE ULTIMATE OR ARCHITECT APPROVED EQUIV. OPERABLE WINDOWS TO HAVE SCREENS AS DETERMINED BY OWNER. ALL BEDROOMS (AND ROOMS WITH CLOSETS) TO HAVE WINDOWS THAT MEET THE CLEAR OPENING REQUIREMENT FOR EGRESS.
- WINDOW COLOR TO BE "BRONZE". INTERIOR FINISH TO BE WHITE OAK (EURO-WALL). FINISH HARDWARE TO BE SELECTED BY OWNER.
- ALL GANGS OF WINDOWS TO BE FACTORY JOINED
- ALL WINDOW AND DOORS TO HAVE IMPACT RESISTANT GLAZING AND MEET TEST CRITERIA IN IRC 308.3.1

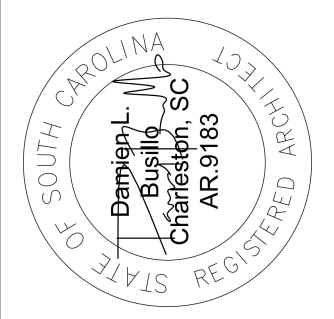
CONTRACTOR NOTES:

- COORDINATE ALL ROUGH OPENING DIMENSIONS TO ENSURE PROPER CONSTRUCTION
- VERIFY ALL WINDOW AND DOOR STYLES AND ALIGNMENTS. PROVIDE ARCHITECT WITH SHOP DRAWINGS FOR FINAL APPROVAL PRIOR TO PLACING ORDER.
- FIELD VERIFY DIMENSIONS AND ROUGH OPENINGS AS WELL AS WINDOW STYLE, DOOR SWINGS, AND WINDOW SWINGS PRIOR TO PLACING ORDER.

DOOR AND WINDOW ELEVATION 1/4" = 1'-0"



NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, INC., TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS, AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

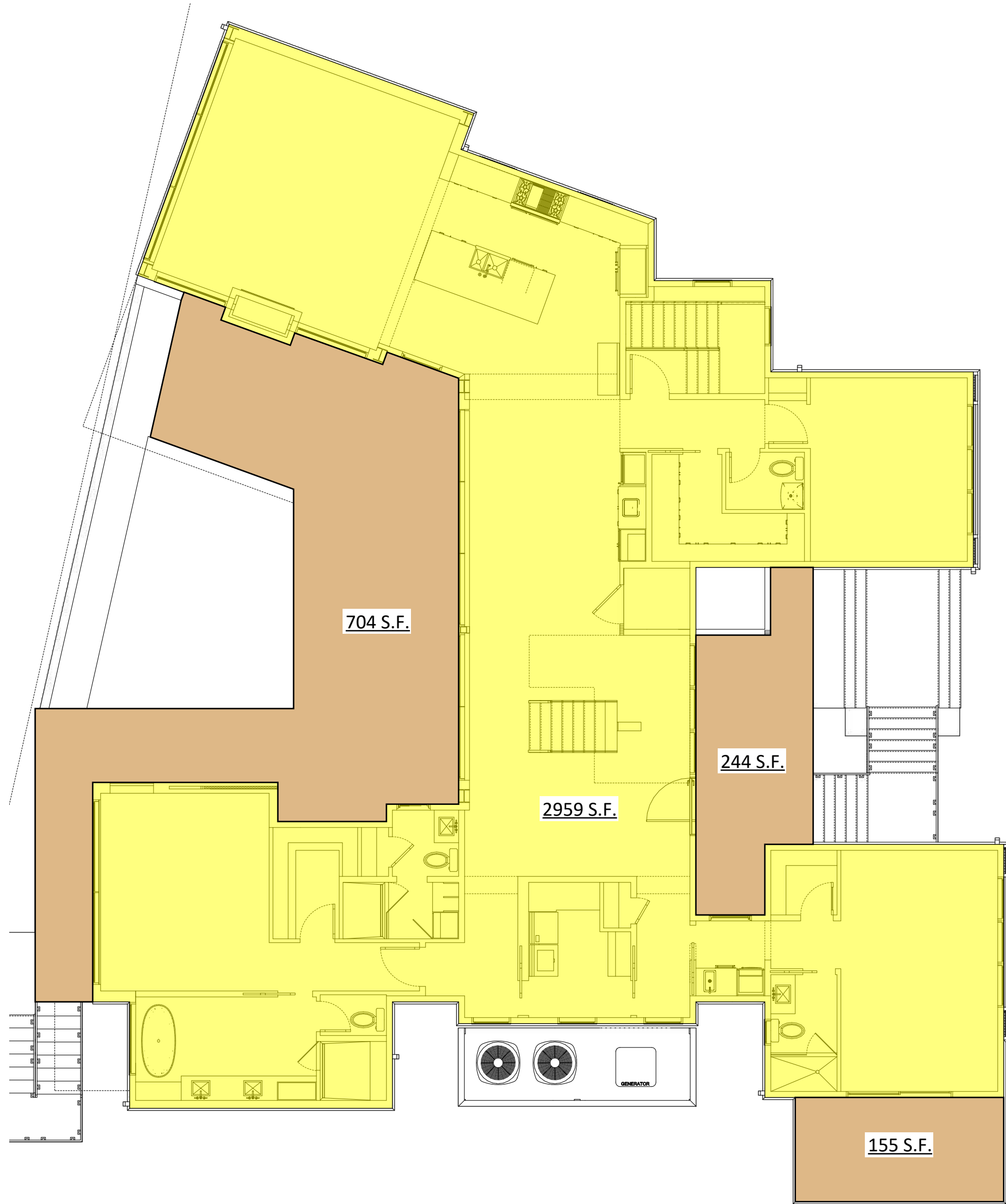
DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2079  
EMAIL: DLB@DLBCUSTOMHOMEDSIGN.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER CONSTRUCTION CO.  
MT. PLEASANT, SC 29464  
(843) 884-7195

**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

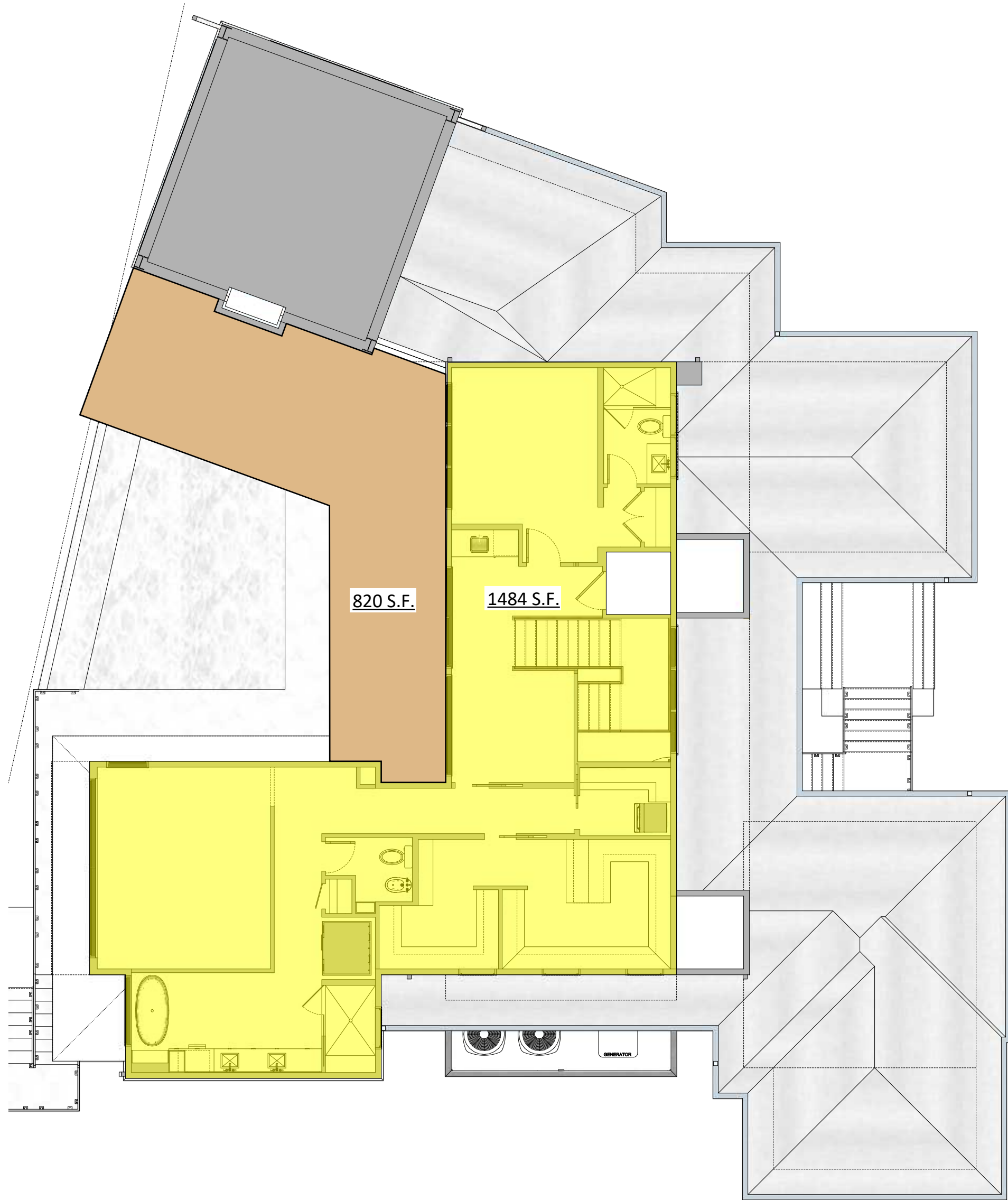
SHEET TITLE: **SCHEDULES AND DETAILS**  
SHEET NO.





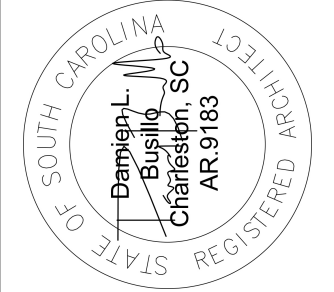
1 FIRST FLOOR PLAN  
SCALE 1/8" = 1'-0"

AREA CALCULATIONS	
AREA NAME	AREA S.F.
FIRST FLOOR	2959
SECOND FLOOR	1484
TOTAL HEATED	4443
MAX. ALLOWED PBSF	4444.9
FRONT PORCH	244
GARAGE	2999
POOL DECK	704
S.F. BALCONY	820
BEDROOM 4 PORCH	155
TOTAL UNHEATED	4922
GROSS	9365



2 SECOND FLOOR PLAN  
SCALE 1/8" = 1'-0"

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED.  
INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

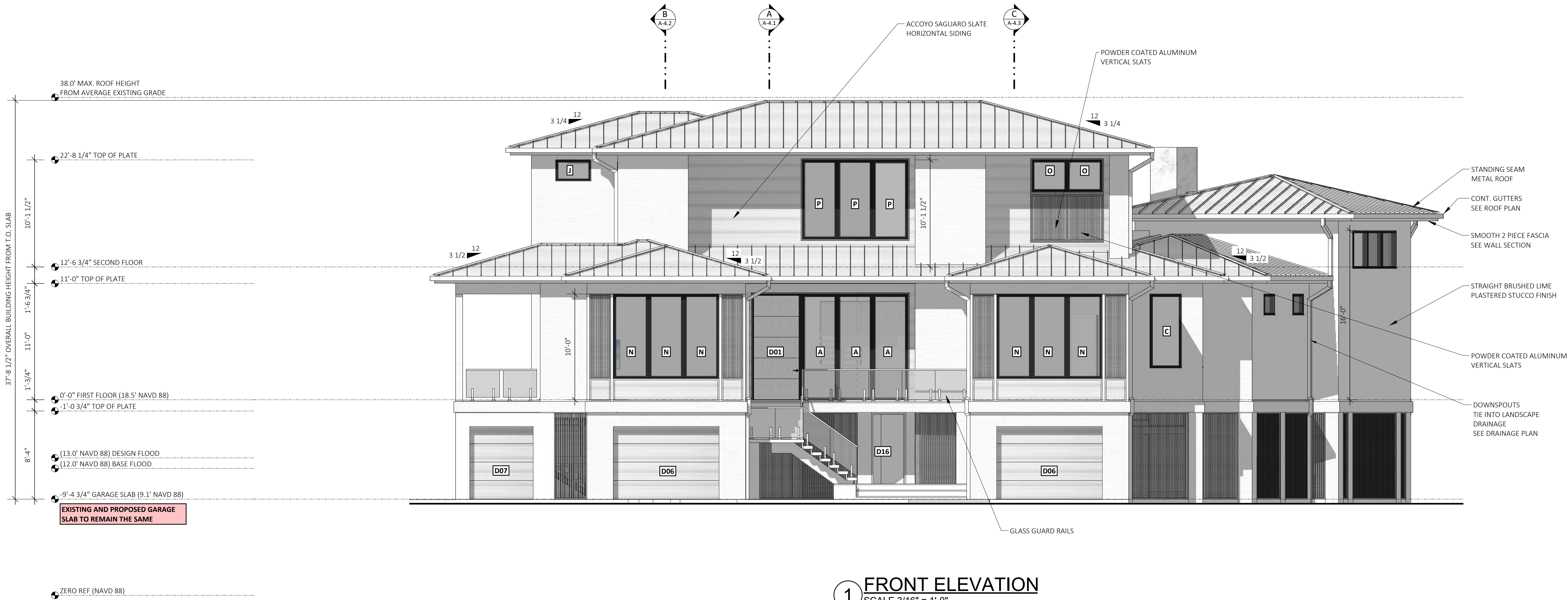
D.L.B. CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2079  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
101084  
MT. PLEASANT, SC 29464  
(843) 884-7195

BARKOWITZ RESIDENCE  
ARCHITECTURAL PLANS  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: D.L.B.  
DRAWN BY: D.L.B.  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

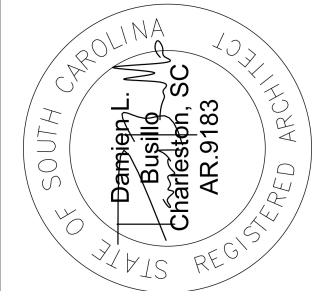
SHEET TITLE:  
GRAPHIC AREAS  
SHEET NO.





1 FRONT ELEVATION  
SCALE 3/16" = 1'-0"

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF DLB CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
MT PLEASANT, SC 29464  
(843) 884-7195

BARKOWITZ RESIDENCE  
ARCHITECTURAL PLANS  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND, SC  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
FRONT ELEVATION  
SHEET NO.

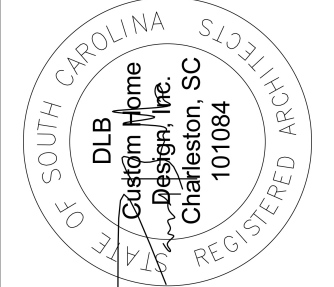
A-3.1





1 FRONT ELEVATION IN CONTEXT  
SCALE 3/16" = 1'-0"

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT. PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

D.L.B. CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2079  
EMAIL: DLB@DLBCUSTOMHOMEDSIGN.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
1000 E. 10TH ST.  
MT. PLEASANT, SC 29564  
(843) 884-7195

BARKOWITZ RESIDENCE  
ARCHITECTURAL PLANS  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
FRONT ELEVATION  
IN CONTEXT  
SHEET NO.

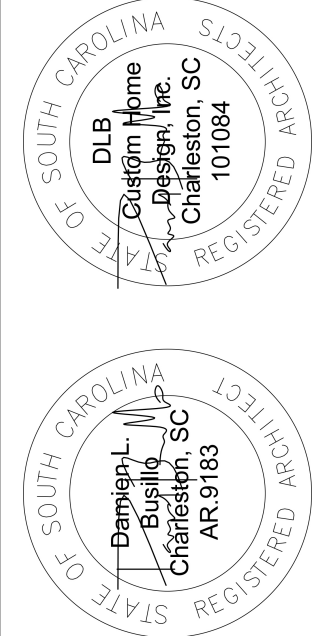
A-3.1.1





1 BACK ELEVATION  
SCALE 3/16" = 1'-0"

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF DLB CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

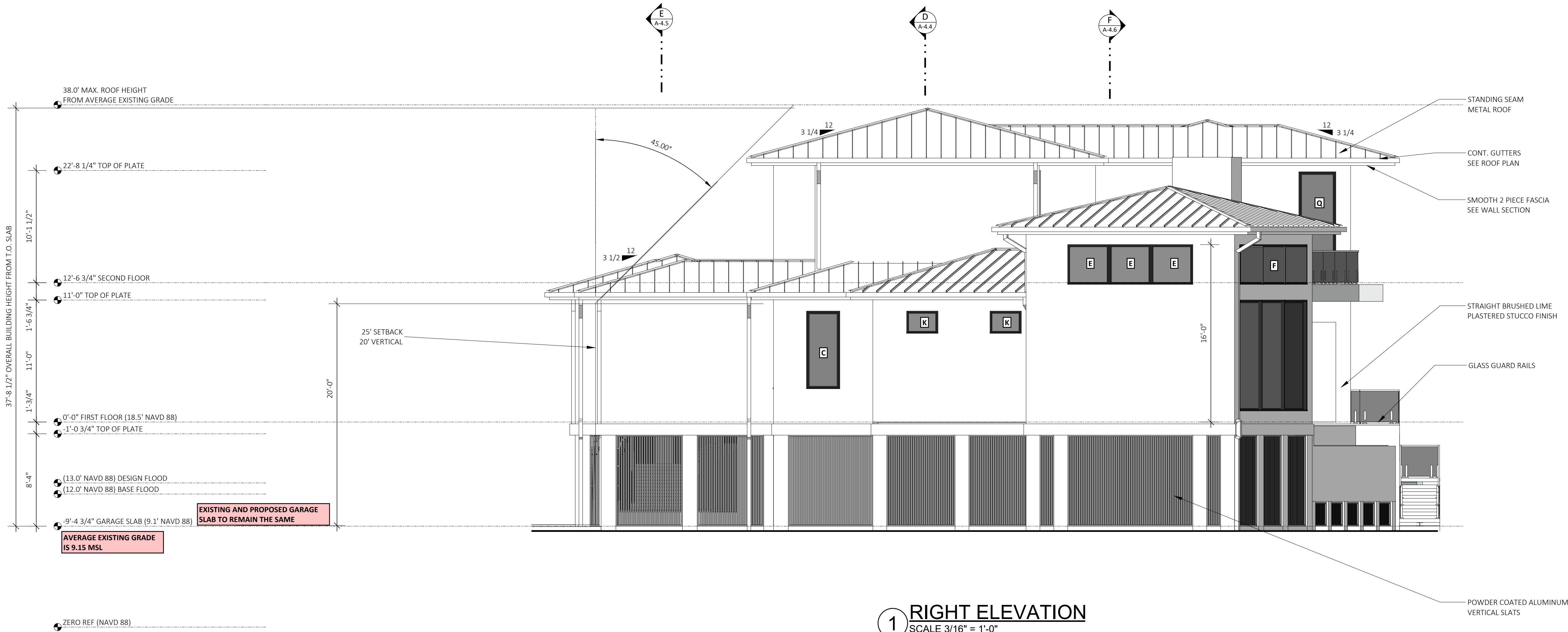
DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
1010 EASANT, SC 29464  
(843) 884-7195

BARKOWITZ RESIDENCE  
ARCHITECTURAL PLANS  
3203 MARSHALL BLVD.  
SULLIVAN ISLAND, SC  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

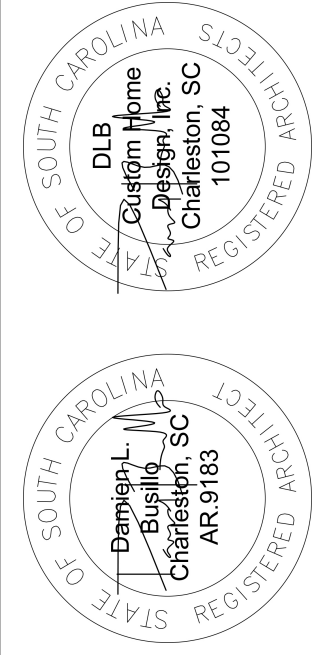
JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
BACK ELEVATION  
SHEET NO.

A-3.2



NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF DLB CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS, AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
D.B. SAWYER  
CONSTRUCTION CO.  
3203 MARSHALL BLVD.  
SULLIVAN ISLAND, SC 29464  
(843) 884-7195

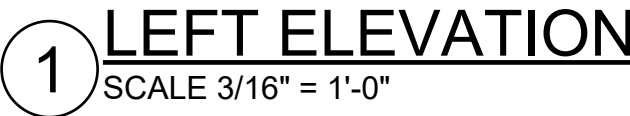
**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVAN ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
**RIGHT ELEVATION**

SHEET NO.  
**A-3.3**



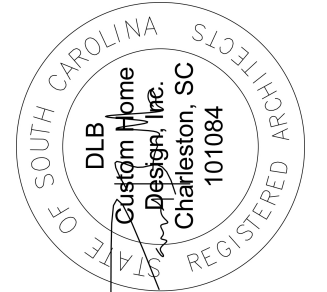


### A-3.4





NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC. DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

D.L.B. CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLB@DLBCUSTOMHOMEDSIGN.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
3000 E. 10TH AVE.  
MT. PLEASANT, SC 29464  
(843) 884-7195

**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16,

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

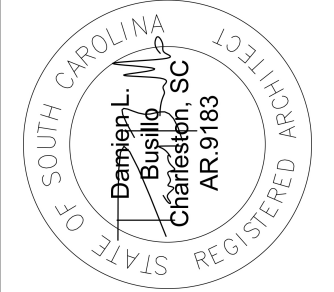
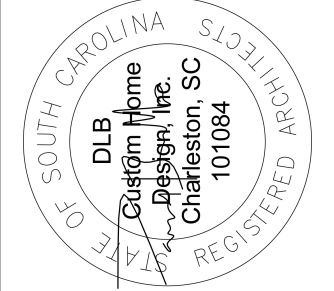
SHEET TITLE:  
**FRONT PERSPECTIVE**

SHEET NO.





NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED.  
INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

D.L.B. CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND, SC 29964  
(843) 884-7195

**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16,

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
**FRONT PERSPECTIVE**

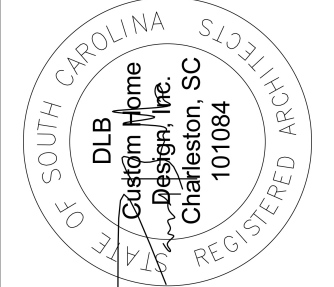
SHEET NO.

**A-3.6**





NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF DLB CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC. DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
MT PLEASANT, SC 29464  
(843) 884-7195

**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16,

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

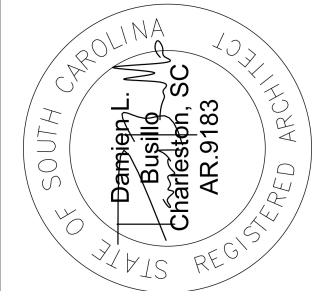
SHEET TITLE:  
**BACK PERSPECTIVE**

SHEET NO.  
**A-3.7**





NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF DLB CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED.  
INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
MT. PLEASANT, SC 29464  
(843) 884-7195

**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16,

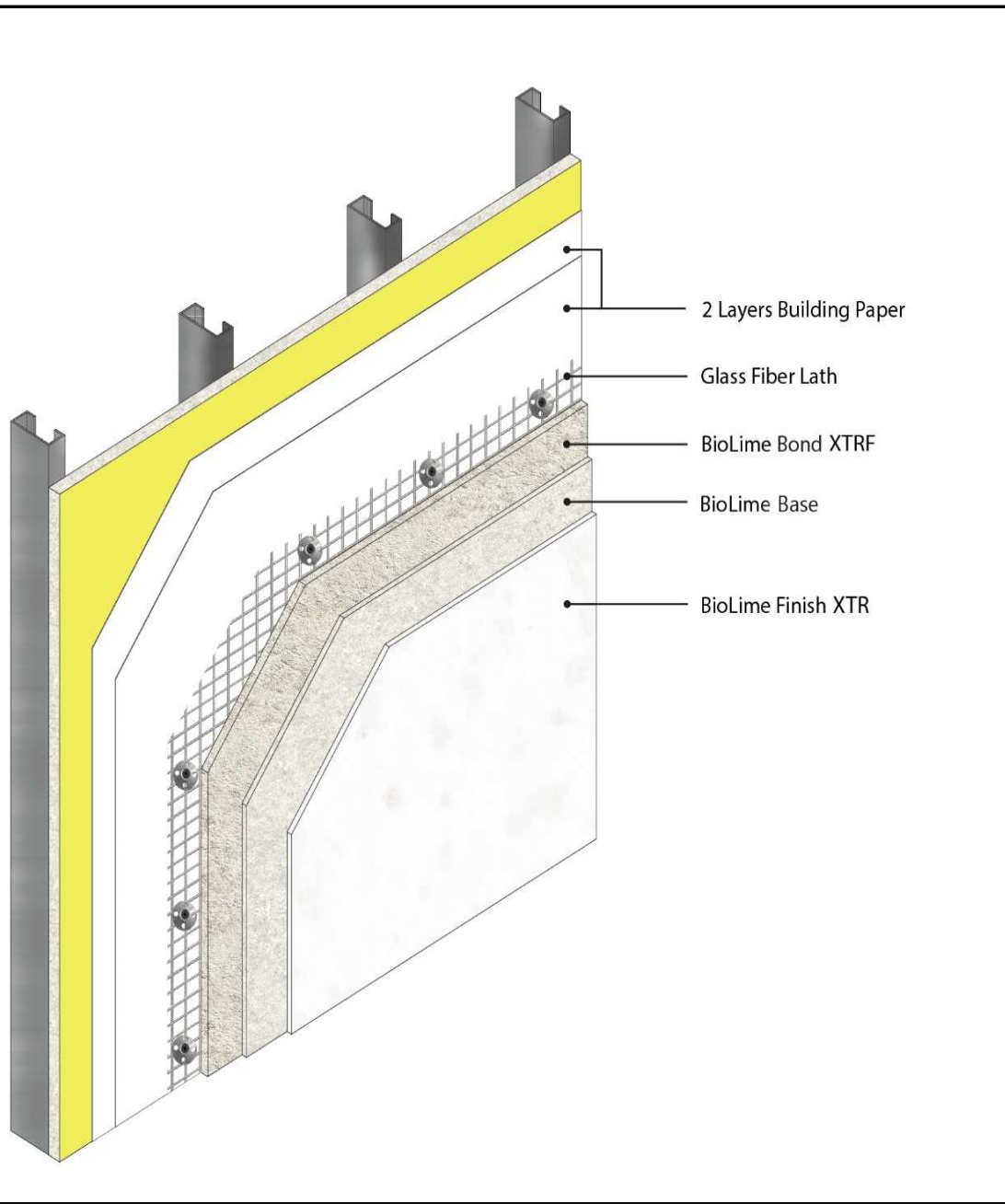
JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
**BACK PERSPECTIVE**

SHEET NO.

**A-3.8**

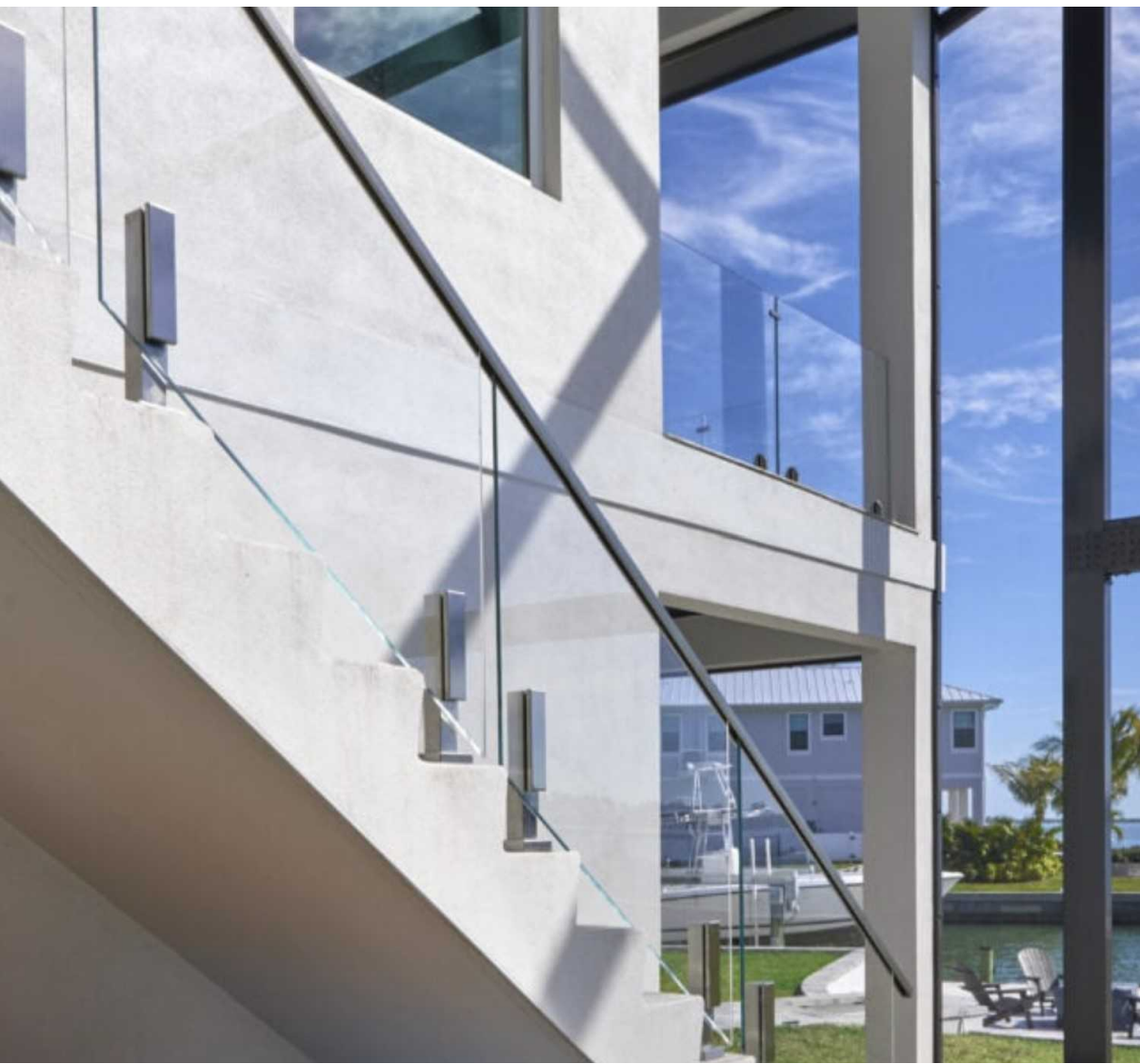




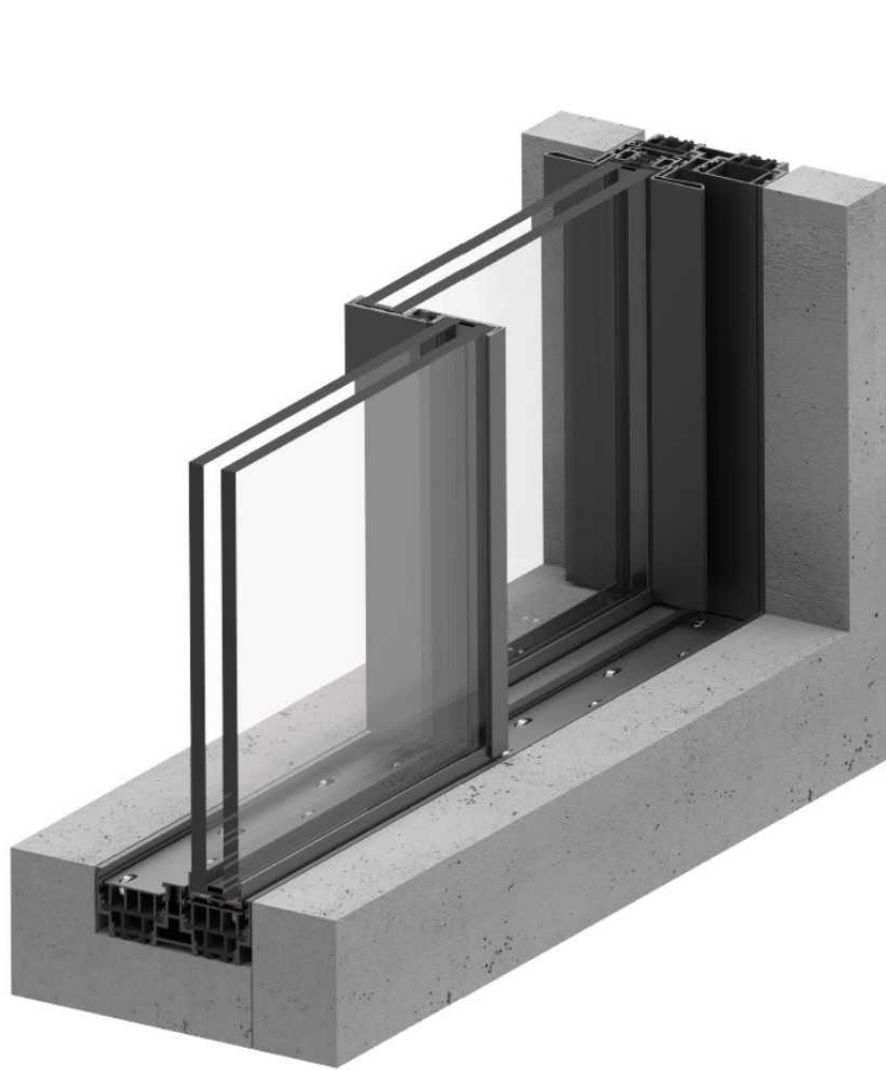
BIOLIME EXTERIOR LIME PLASTER FINISH, EXTRA FINE



24 GAUGE MECHANICALLY SEAMED METAL ROOF



VIEWRAIL GLASS RAILING SYSTEM WITH ASCEND TALON SPIGOTS



PANORAMAH AH38 EXTERIOR WINDOWS AND DOORS



KNOTWOOD ALUMINUM SLATTED SCREEN SYSTEM IN CHARCOAL ASH WOOD GRAIN



ACCOYA SHIPLAP SIDING



CLOPAY GARAGE DOOR

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		

STATE OF SOUTH CAROLINA

DLB

Daily and Sawyer Construction Co.

Charleston, SC

01084

REGISTERED

STATE OF SOUTH CAROLINA

Daniel L. Barkowitz, Inc.

Charleston, SC

0439163

REGISTERED

COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF DLB CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS, AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED.  
INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.

PHONE: 843-303-2079

EMAIL: DLB@DLBCUSTOMHOMEDSIGN.COM

WWW.DLBCUSTOMHOMEDSIGN.COM

DAILY AND SAWYER CONSTRUCTION CO.

1000 E. 10TH AVE.

MT. PLEASANT, SC 29564

(843) 884-7195

BARKOWITZ RESIDENCE

ARCHITECTURAL PLANS

3203 MARSHALL BLVD.

SULLIVAN ISLAND

CHARLESTON COUNTY, SC

LOT 1, BLOCK 16,

JOB NO.:

2411

DESIGN BY:

DLB

DRAWN BY:

DLB

DATE:

6/18/2025

SCALE:

1/4" = 1'-0" U.N.O.

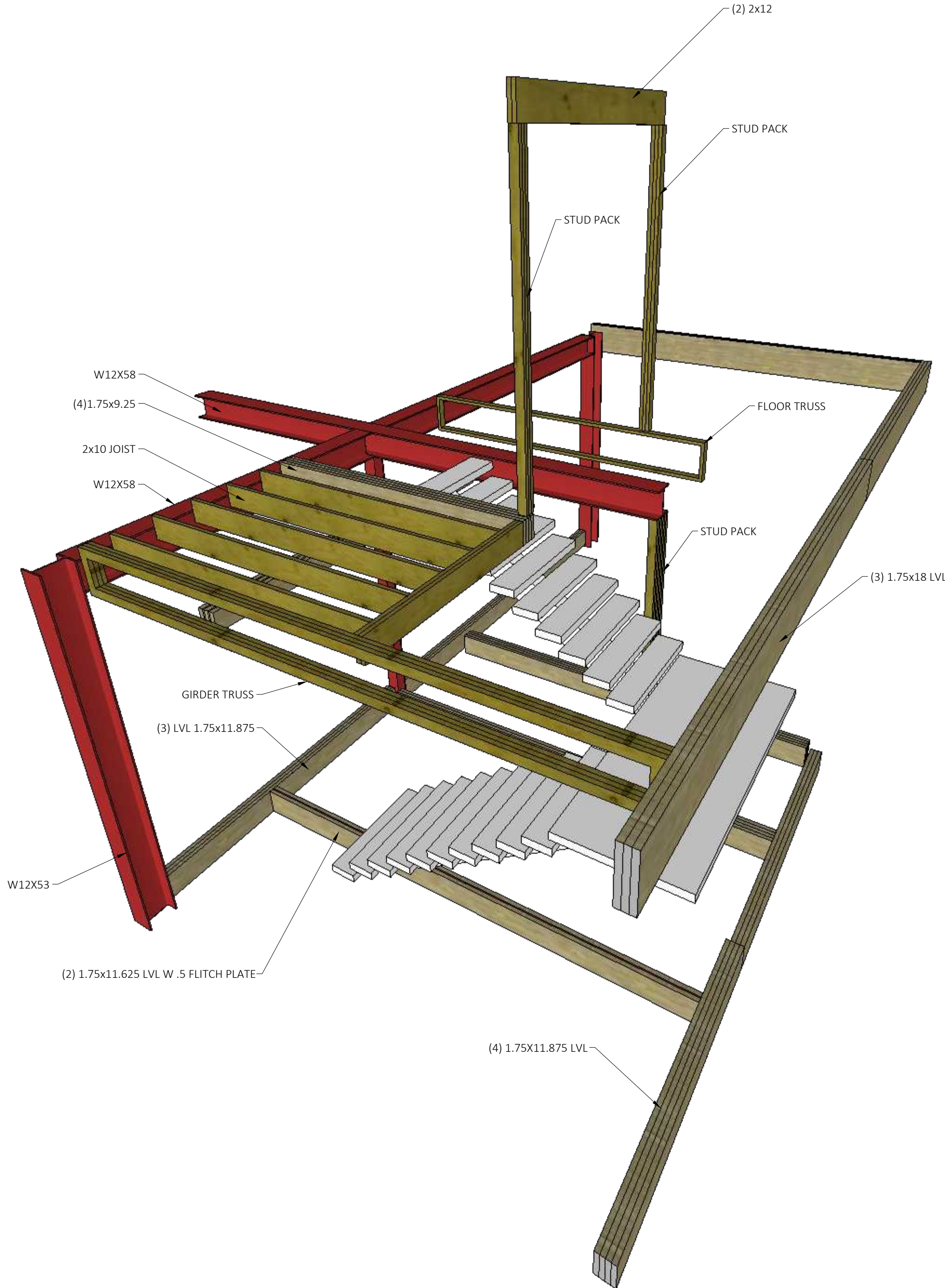
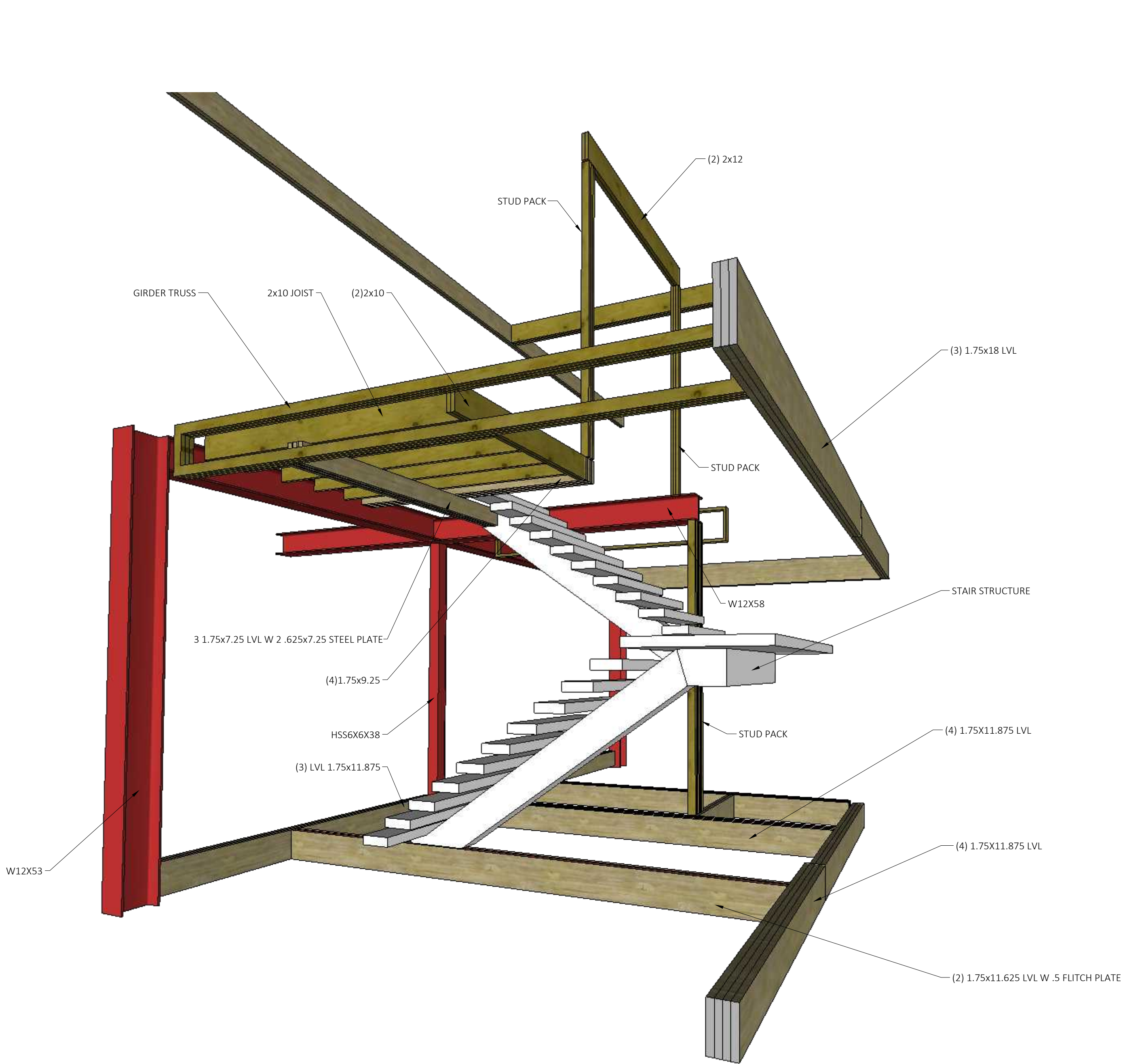
SHEET TITLE:

EXTERIOR MATERIALS

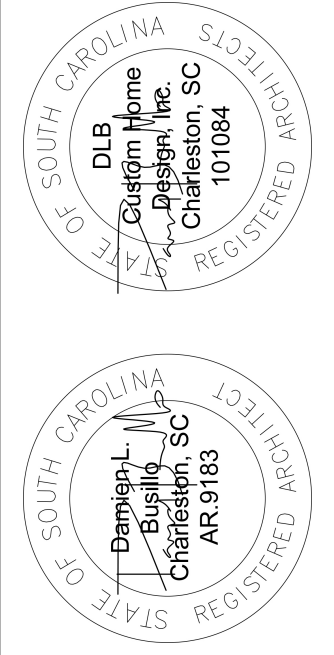
SHEET NO.

A-3.9





NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF DLB CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLB@DLBCUSTOMHOMEDSIGN.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
1000 EASANT, SC 29464  
MT. PLEASANT, SC 29464  
(843) 884-7195

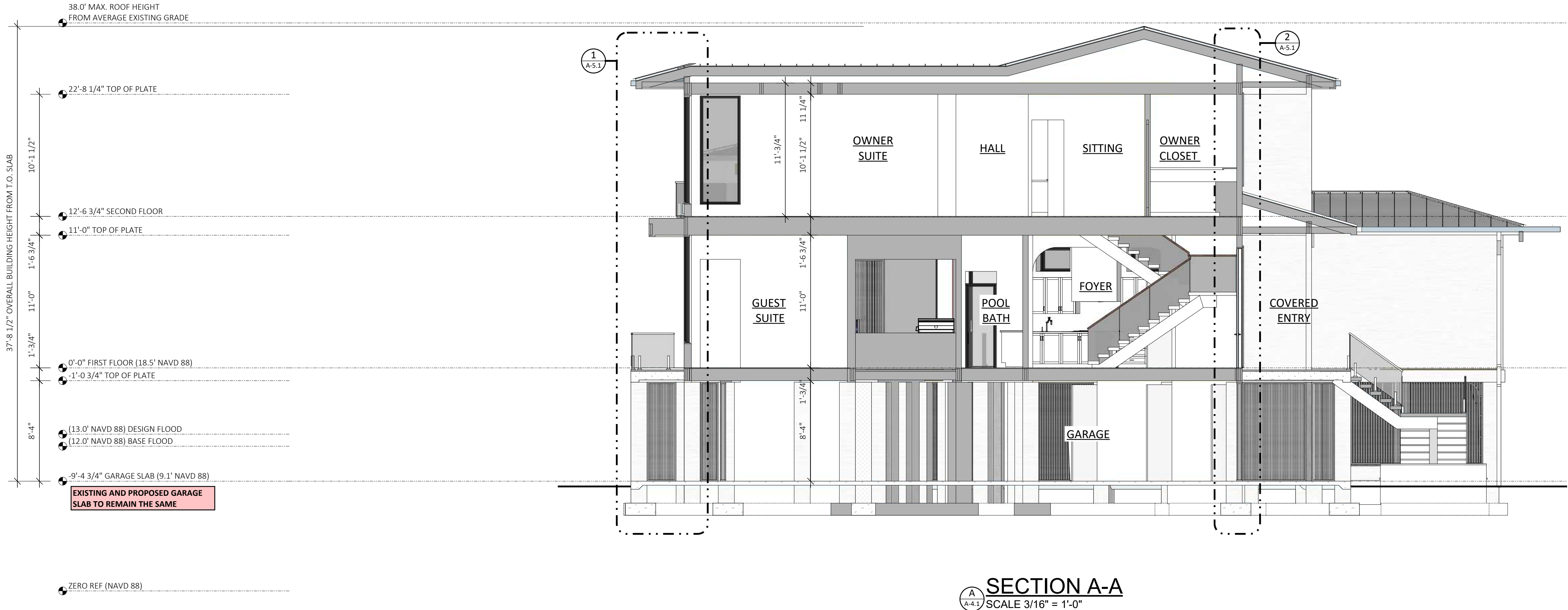
**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND,  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16,

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
**STAIR STRUCTURE  
PERSPECTIVES**  
SHEET NO.

A-3.10





NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

D.L.B. CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
1000 EASANT, SC 29464  
MT 716ASANT, SC 29464  
(843) 884-7195


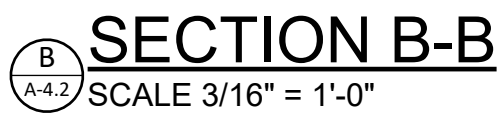
BARKOWITZ RESIDENCE  
ARCHITECTURAL PLANS  
3203 MARSHALL BLVD.  
SULLIVAN ISLAND, SC  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16,

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
BUILDING SECTION  
AND DETAILS  
SHEET NO.

A-4.1





**DLB CUSTOM HOME DESIGN, INC.**  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM

---

**DAILY AND SAWYER**  
**CONSTRUCTION CO**  
855 COLEMAN BLVD  
MT. PLEASANT, SC 29464  
(843) 864-7195

**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16;

JOB NO.: 2411

DESIGN BY: DLB

DRAWN BY: DLB

DATE: 6/18/2025

SCALE: 1/4" = 1'-0" U.N.O.

**SHEET TITLE:**

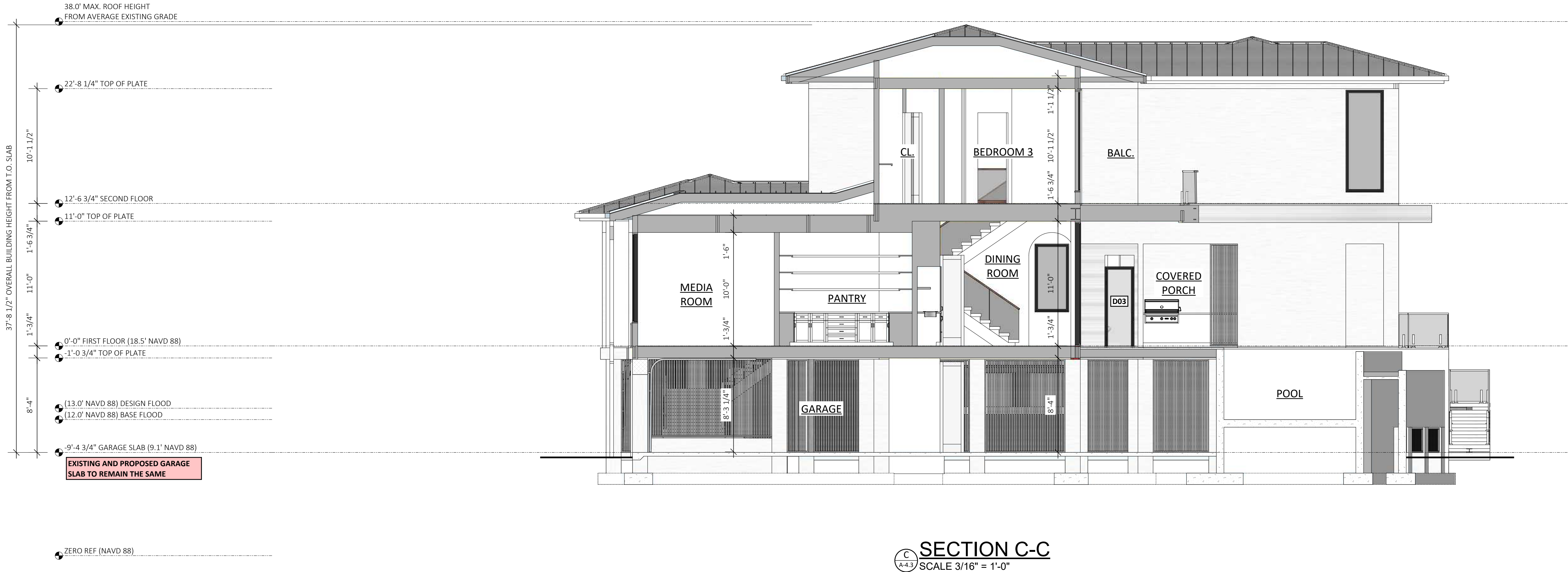
SHEET TITLE:

BUILDING SECTION  
AND DETAILS

SHEET NO.

A-4.2





NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF DLB CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS, AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
1000 E. LASANT, SC 29464  
(843) 884-7195

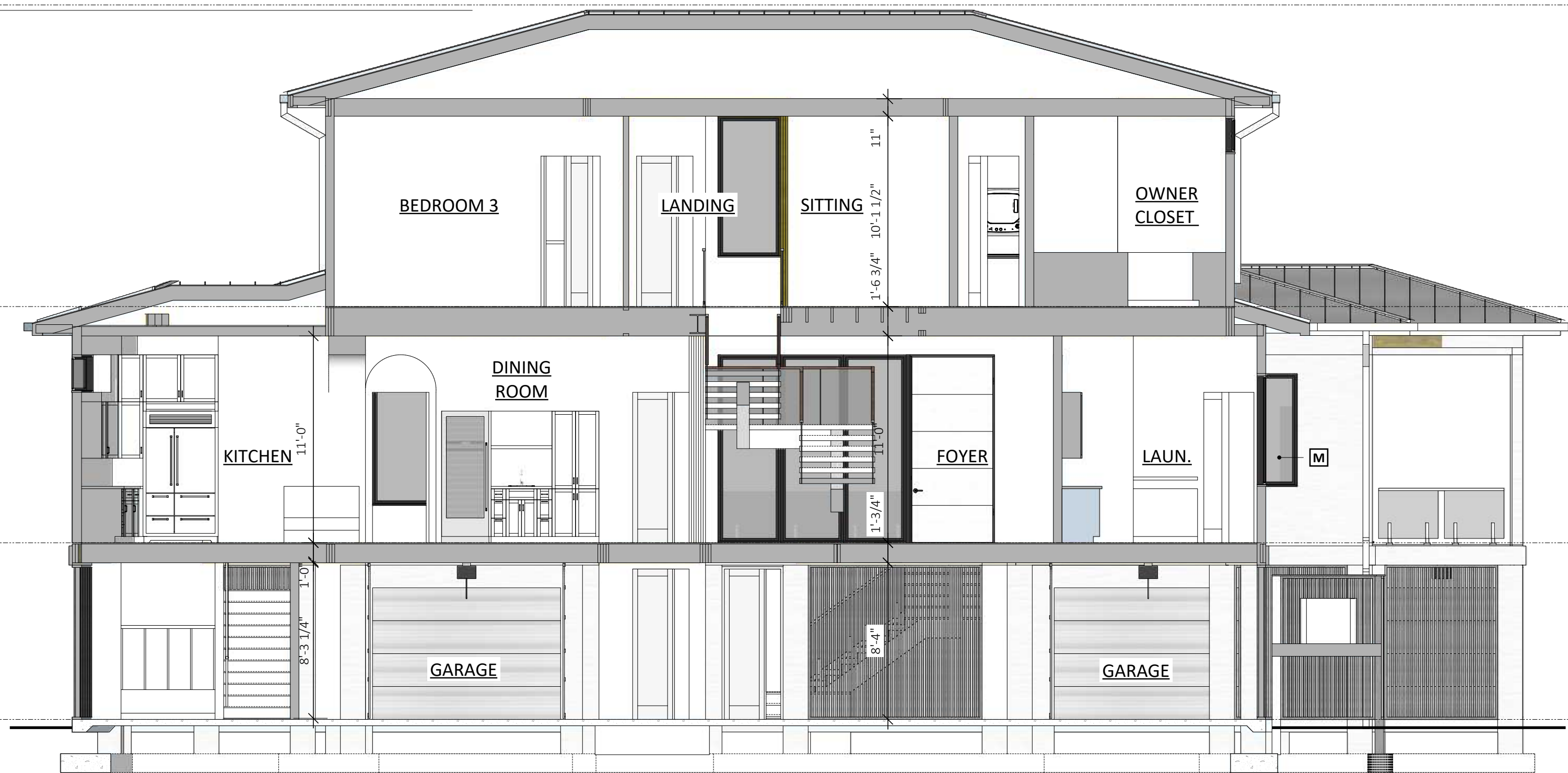
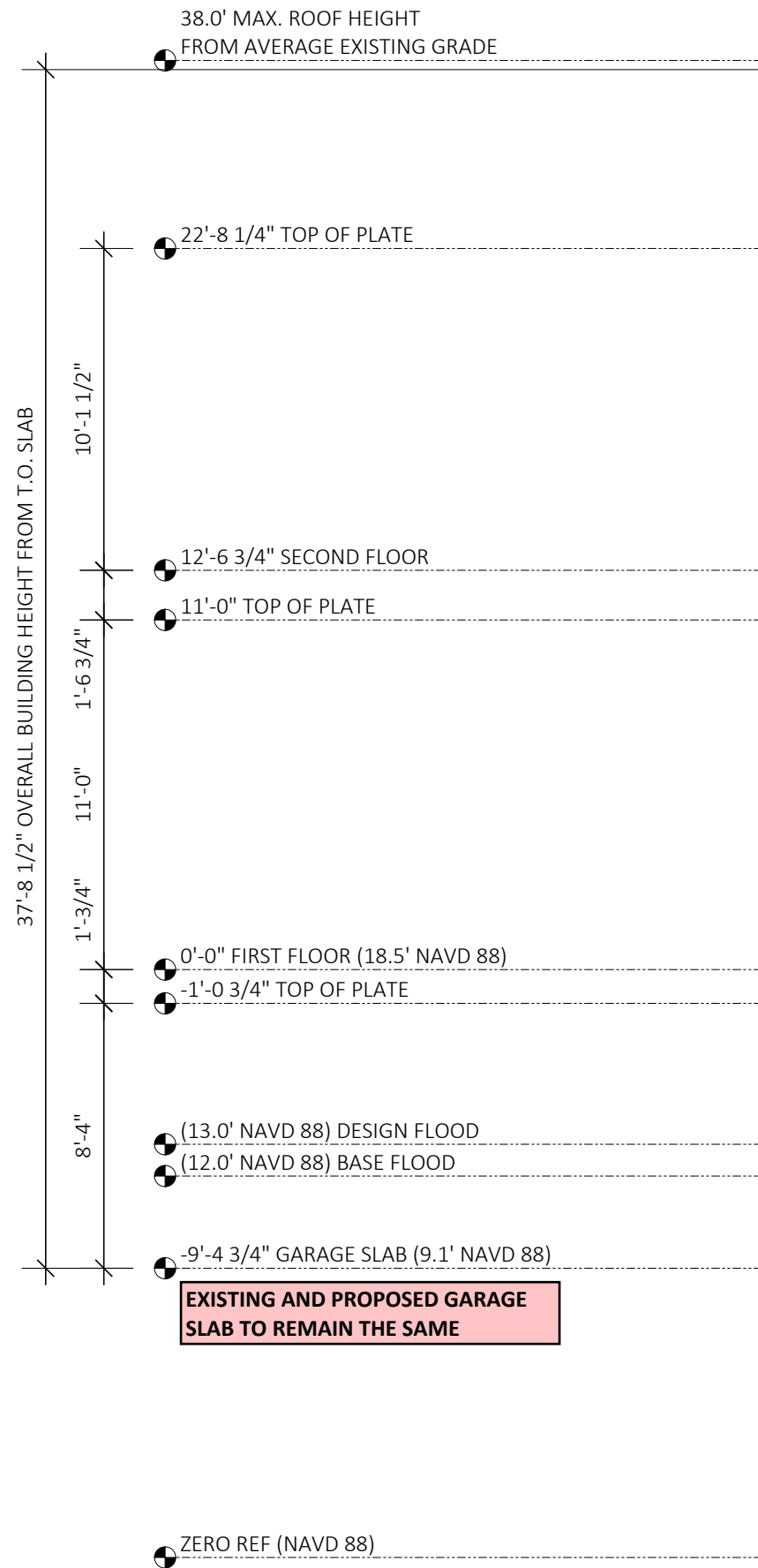
BARKOWITZ RESIDENCE  
ARCHITECTURAL PLANS  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND, SC  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
BUILDING SECTION  
AND DETAILS

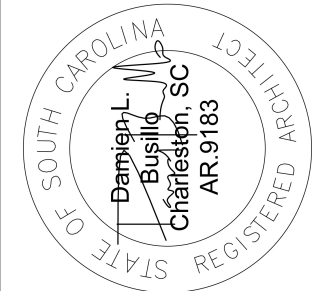
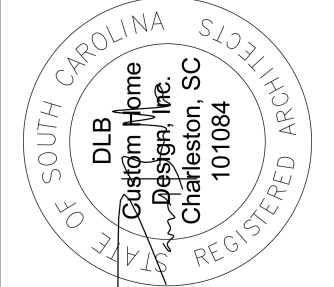
SHEET NO.





**SECTION D-D**  
SCALE 3/16" = 1'-0"

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF DLB CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS, AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLB@DLBCUSTOMHOMEDSIGN.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO.  
MT. PLEASANT, SC 29464  
(843) 884-7195

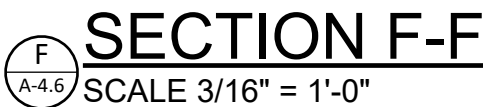
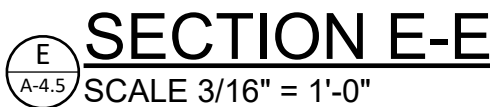
**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND, SC  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16,

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
**BUILDING SECTION  
AND DETAILS**

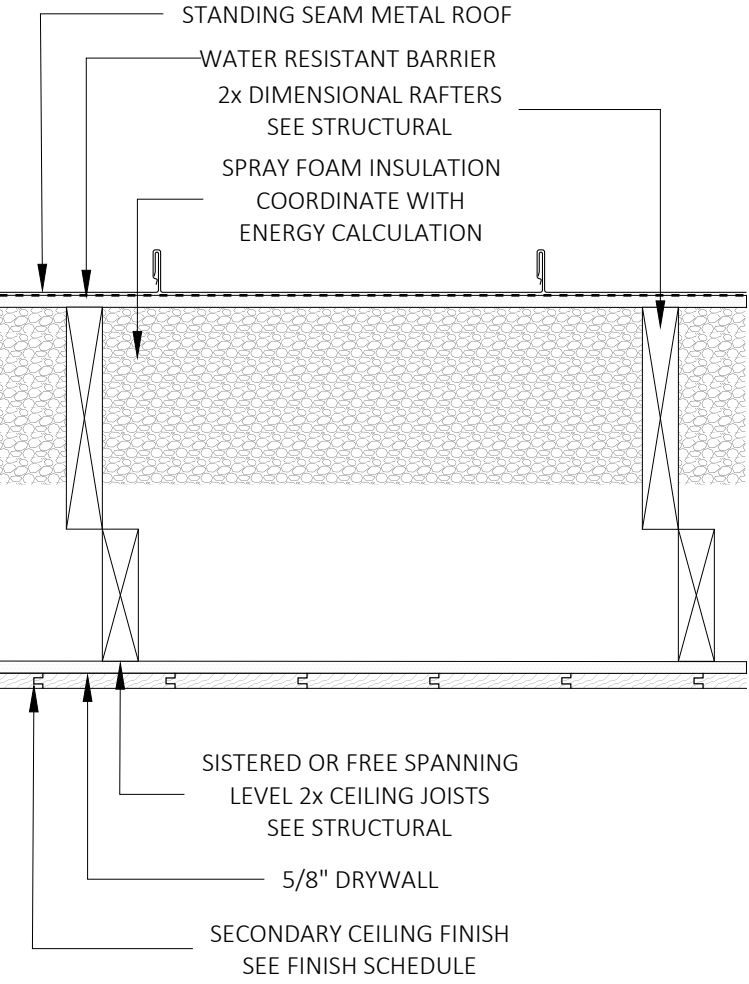
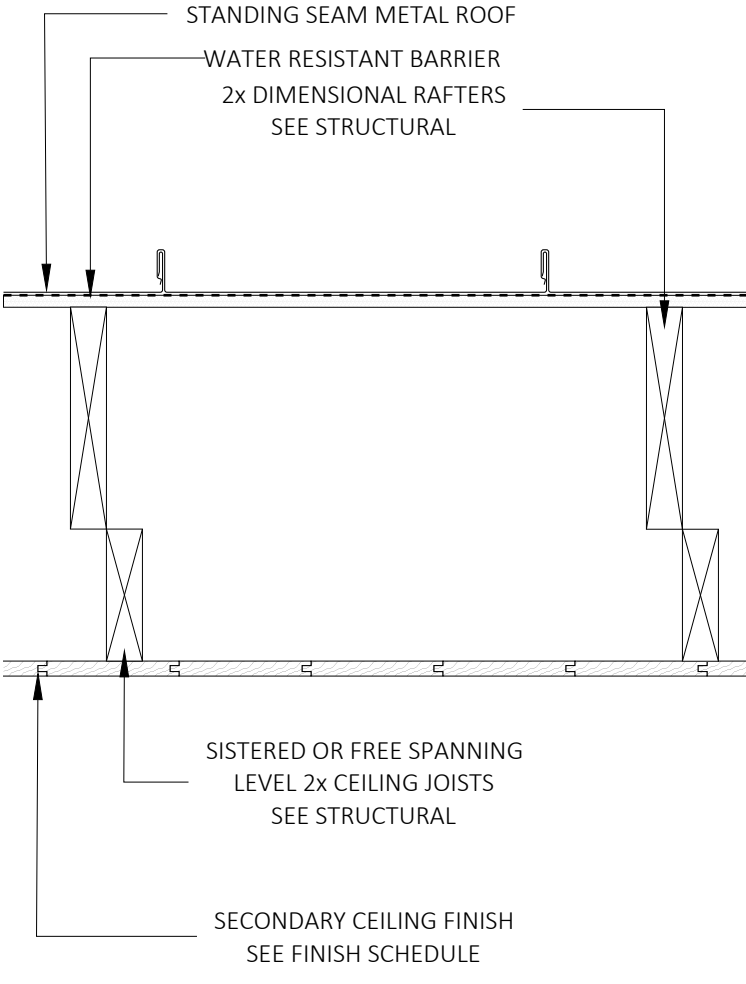
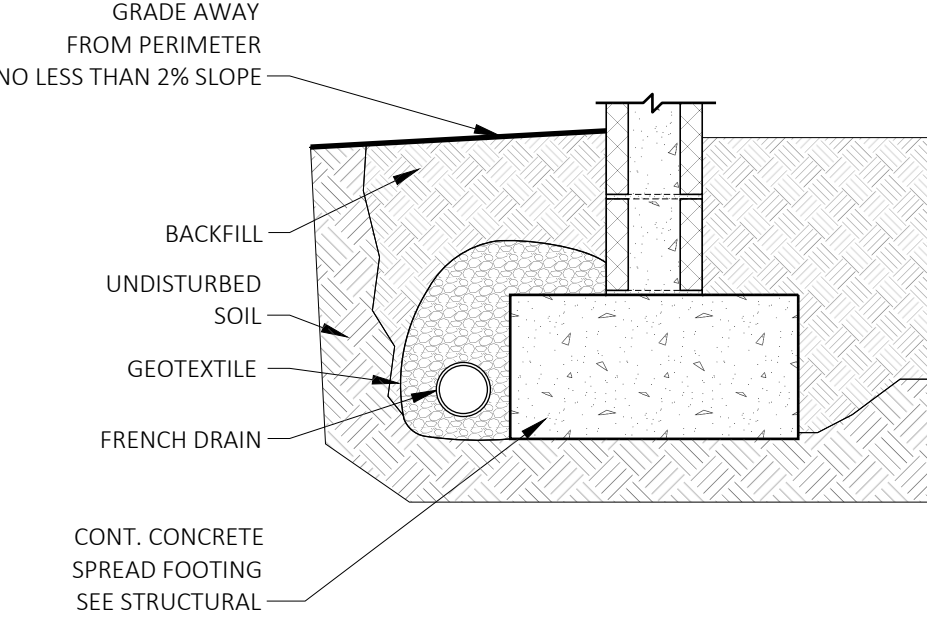
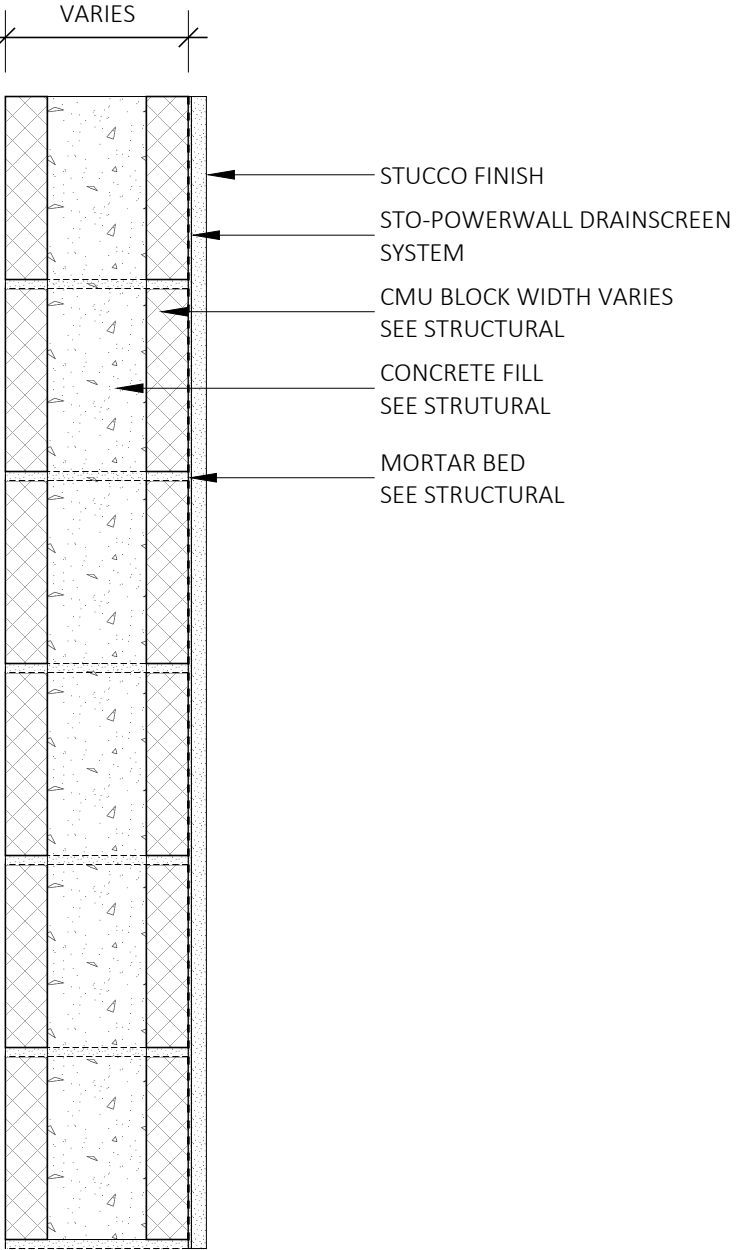
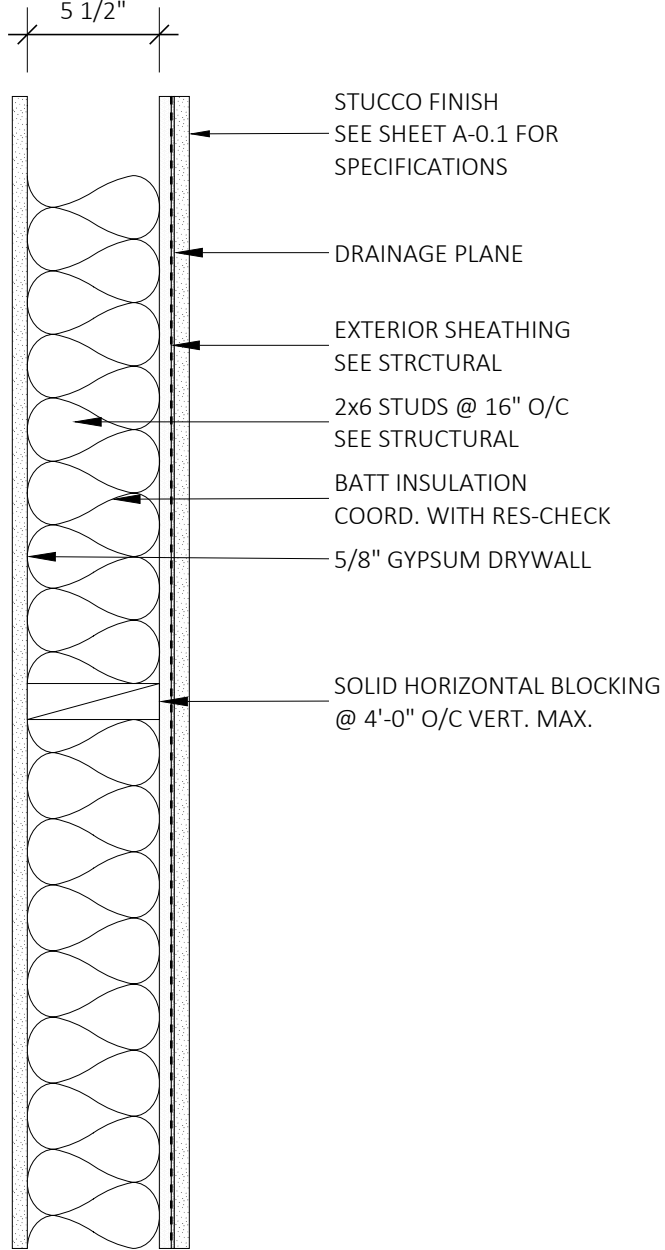
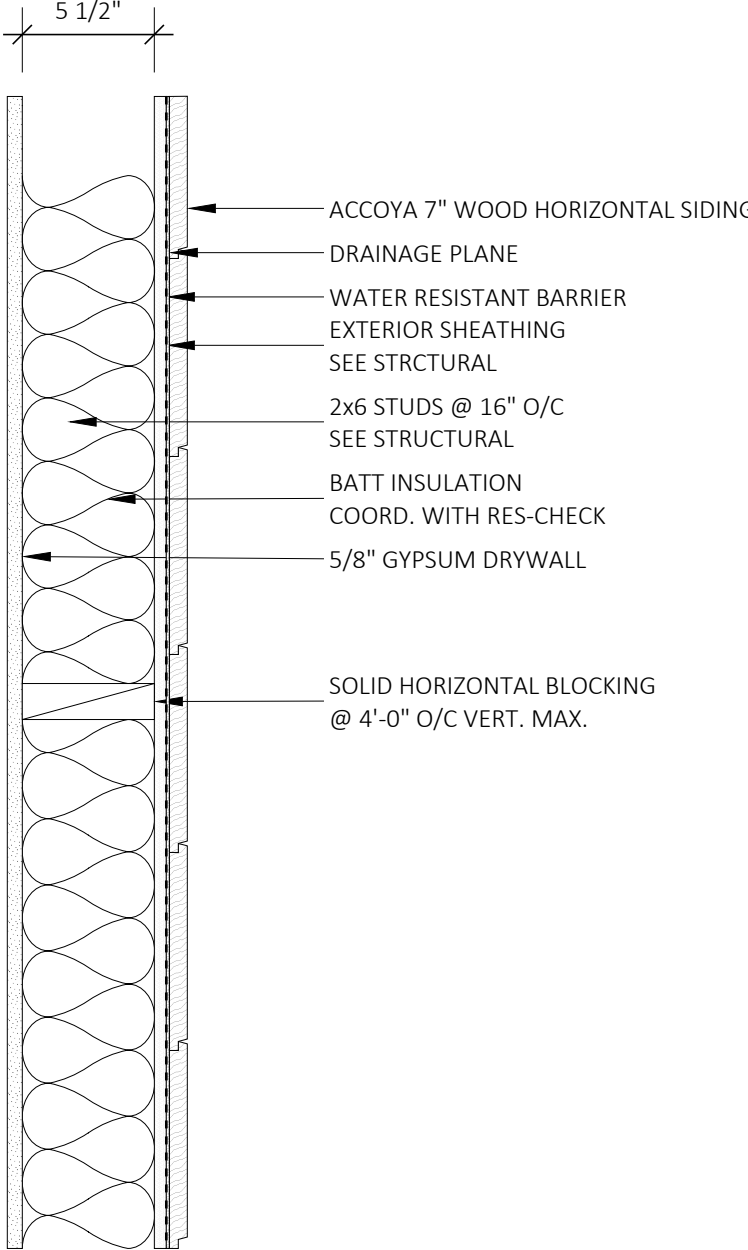
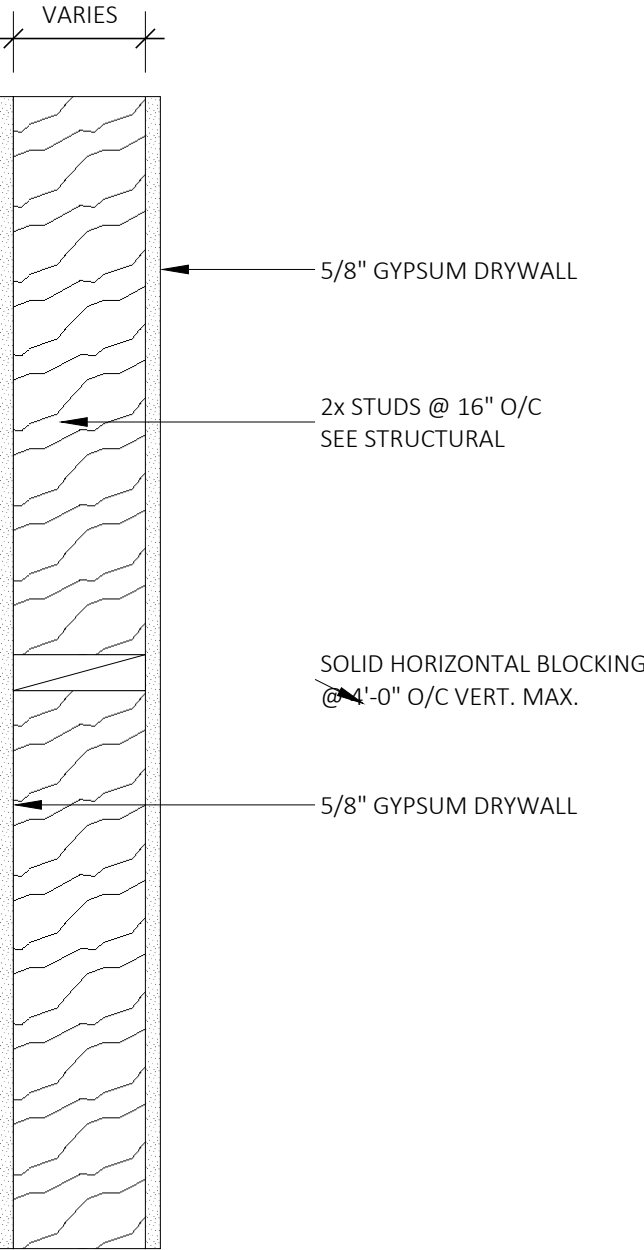
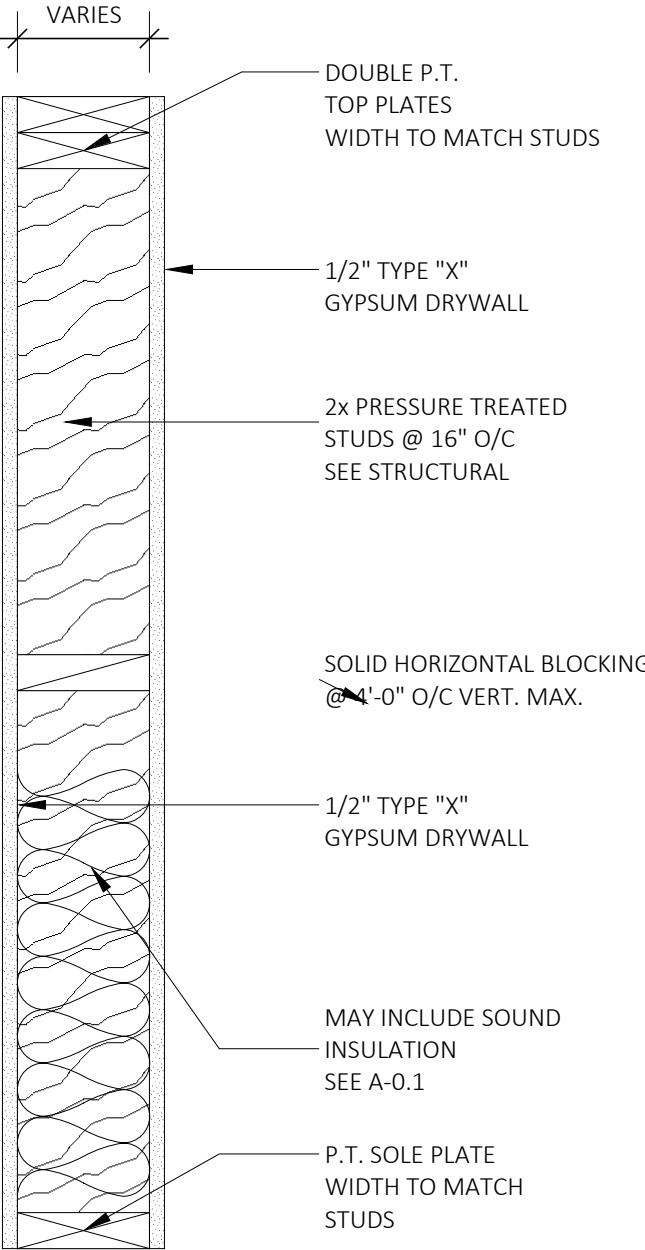
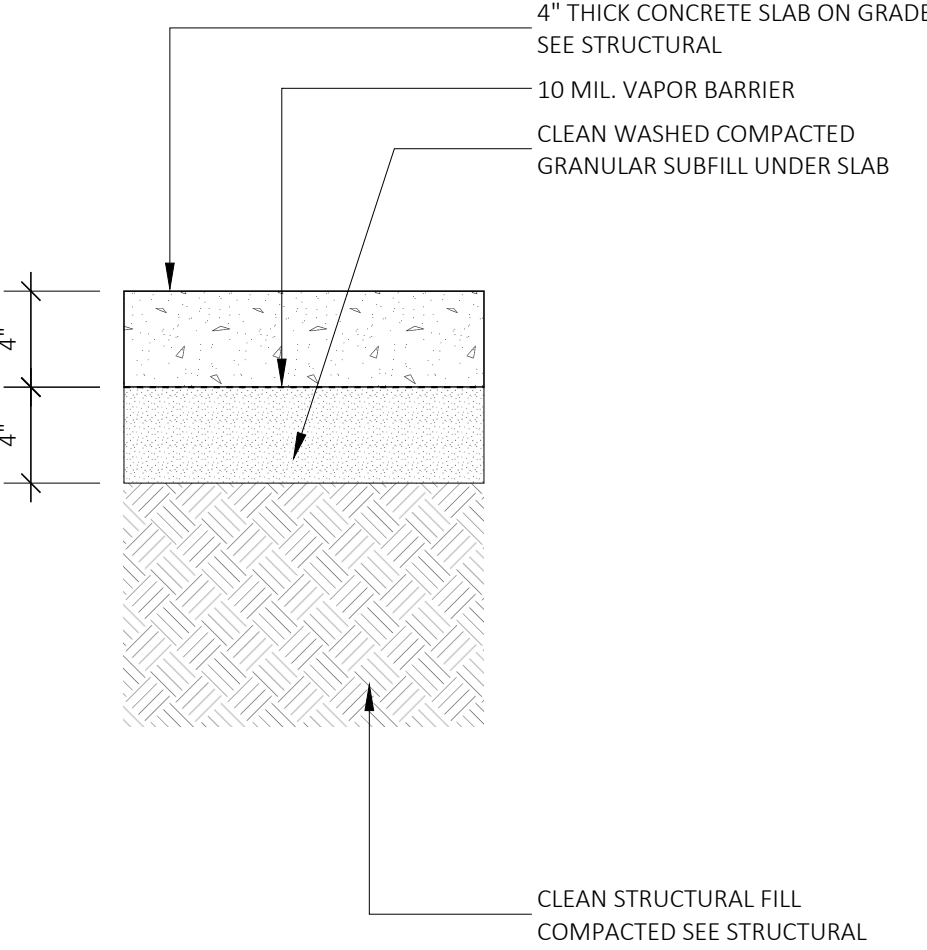
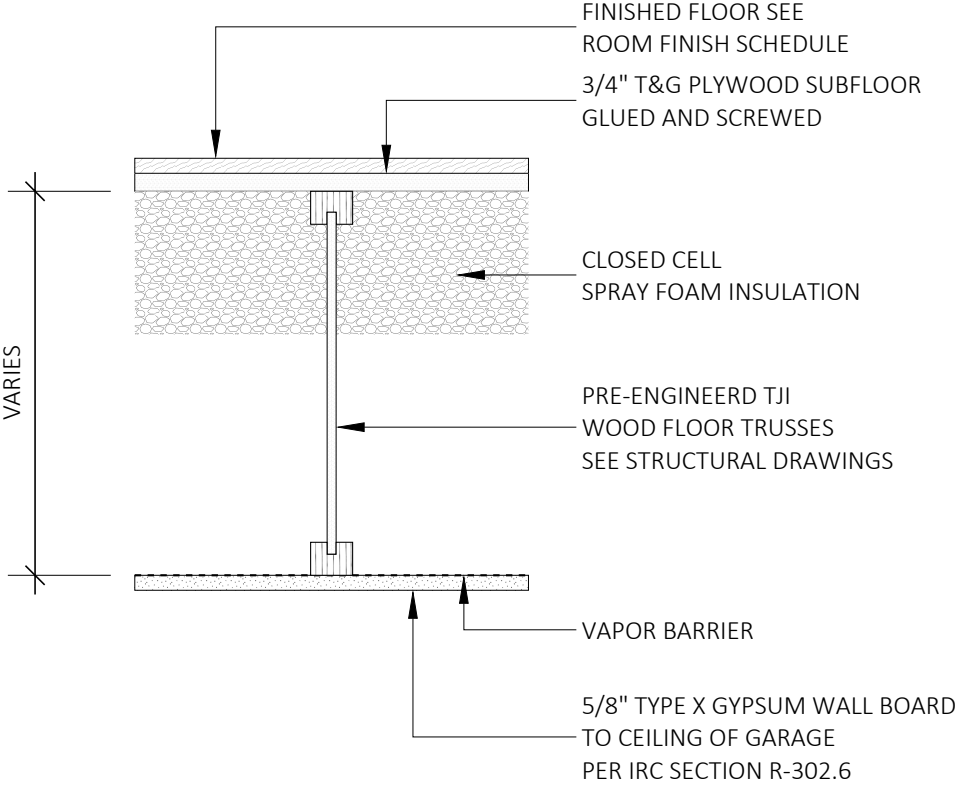
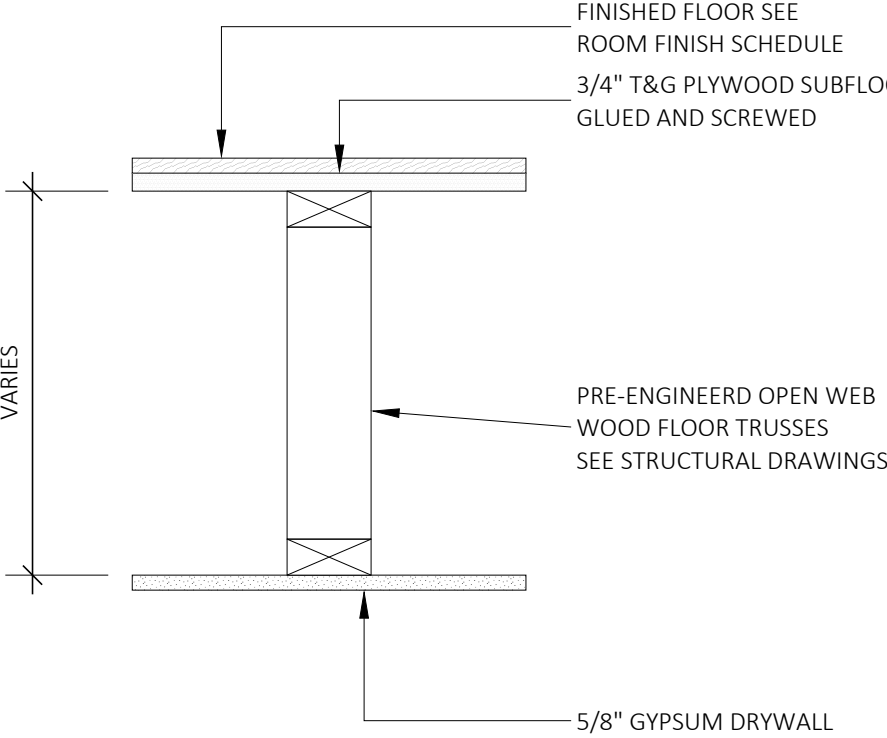
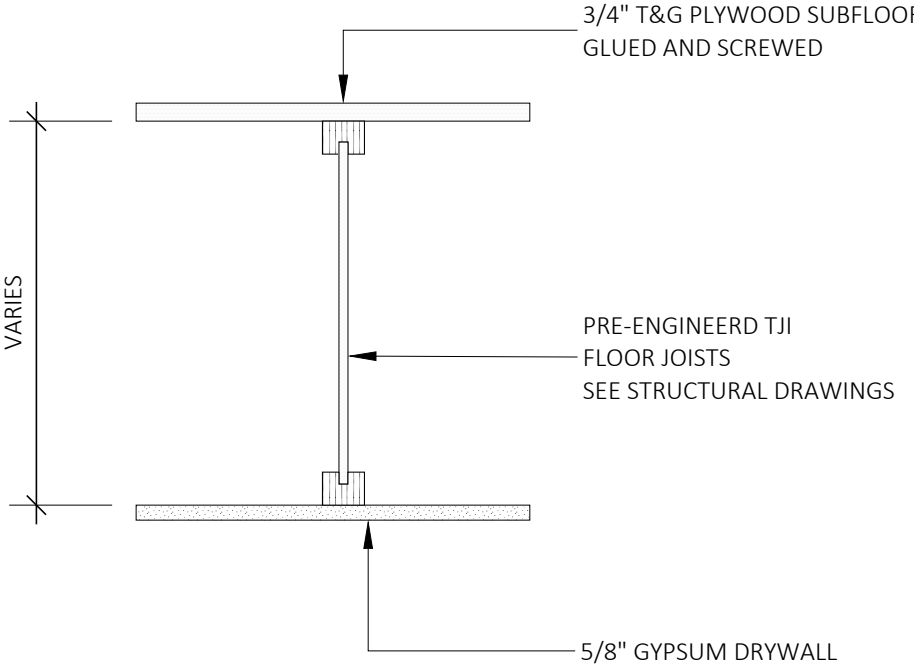
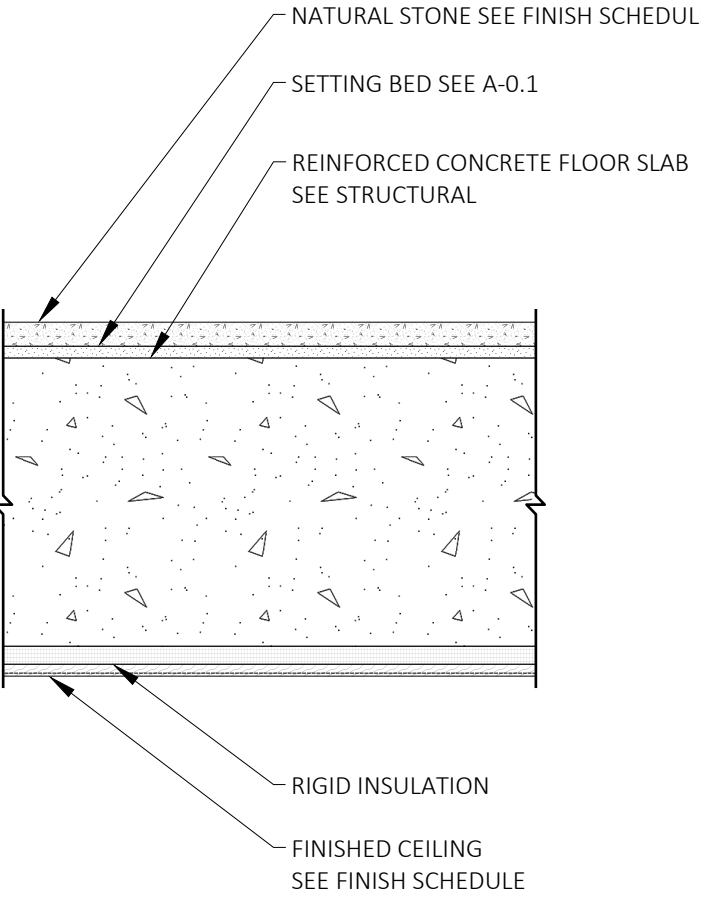
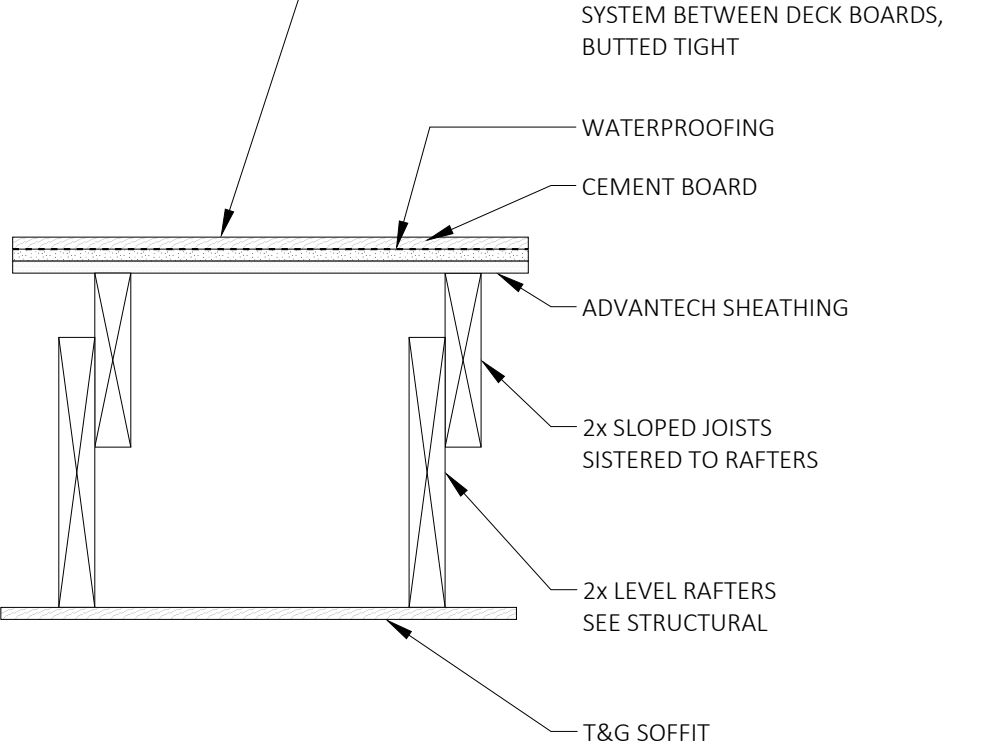
SHEET NO.



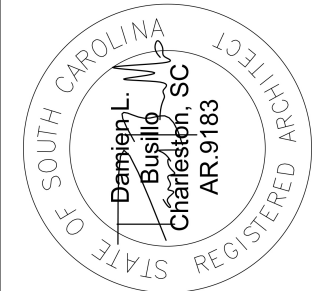


A-4.5



 <p><b>R1 METAL ROOF ON DIMENSIONAL LUMBER OVER INTERIOR</b> SCALE 1 1/2" = 1'-0"</p>	 <p><b>R2 METAL ROOF ON DIMENSIONAL LUMBER OVER EXTERIOR</b> SCALE 1 1/2" = 1'-0"</p>				 <p><b>TYPICAL PERIMETER DRAINAGE DETAIL</b> SCALE 3/4" = 1'-0"</p>
 <p><b>W0 EXTERIOR CMU WALL</b> SCALE 1 1/2" = 1'-0"</p>	 <p><b>W1 EXTERIOR FRAME WALL</b> SCALE 1 1/2" = 1'-0"</p>	 <p><b>W1 EXTERIOR FRAME WALL</b> SCALE 1 1/2" = 1'-0"</p>	 <p><b>W3 INTERIOR FRAME PARTITION</b> SCALE 1 1/2" = 1'-0"</p>	 <p><b>W4 GROUND FLOOR INTERIOR FRAME</b> SCALE 1 1/2" = 1'-0"</p>	
 <p><b>F0 TYPICAL SLAB ON GRADE</b> SCALE 1 1/2" = 1'-0"</p>	 <p><b>F1 PRE-ENG. TJI OVER GARAGE</b> SCALE 1 1/2" = 1'-0"</p>	 <p><b>F2 PRE-ENGINEERED OPEN WEB JOISTS</b> SCALE 1 1/2" = 1'-0"</p>	 <p><b>F3 PRE-ENGINEERED TJI'S</b> SCALE 1 1/2" = 1'-0"</p>	 <p><b>F4 FORMED AND POURED CONCRETE SLAB</b> SCALE 1 1/2" = 1'-0"</p>	 <p><b>F5 WOOD DECK OVER WATERPROOFING &amp; DIMENSIONAL LUMBER</b> SCALE 1 1/2" = 1'-0"</p>

NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS, AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

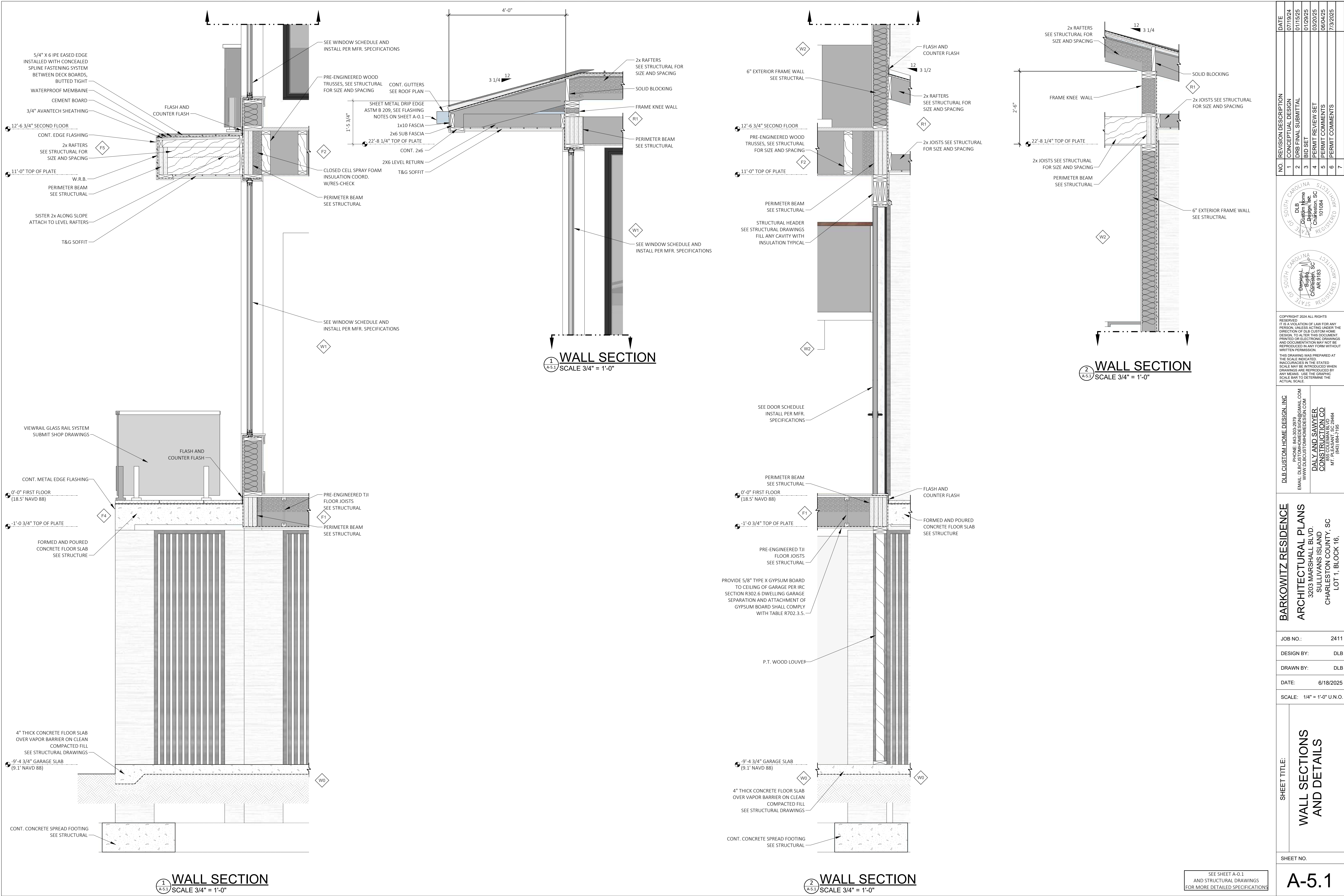
D.L.B. CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLB@DLBCUSTOMHOMEDSIGN.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
MT. PLEASANT, SC 29464  
(843) 884-7195

**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVAN ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
**FLOOR WALL AND ROOF ASSEMBLIES**  
SHEET NO.





NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/9/2025
7		

STATE OF SOUTH CAROLINA  
D.B. Design Home, Inc.  
Charleston, SC 29404  
REGISTERED ARCHITECT  
#439163

STATE OF SOUTH CAROLINA  
D.B. Design Home, Inc.  
Charleston, SC 29404  
REGISTERED ARCHITECT  
#439163

COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.B. DESIGN HOME, INC., TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS, AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

DLB CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLB@DLBCUSTOMHOMEDSIGN.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
1010 EASANT, SC 29404  
(843) 884-7195

BARKOWITZ RESIDENCE  
ARCHITECTURAL PLANS  
3203 MARSHALL BLVD.  
SULLIVAN ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

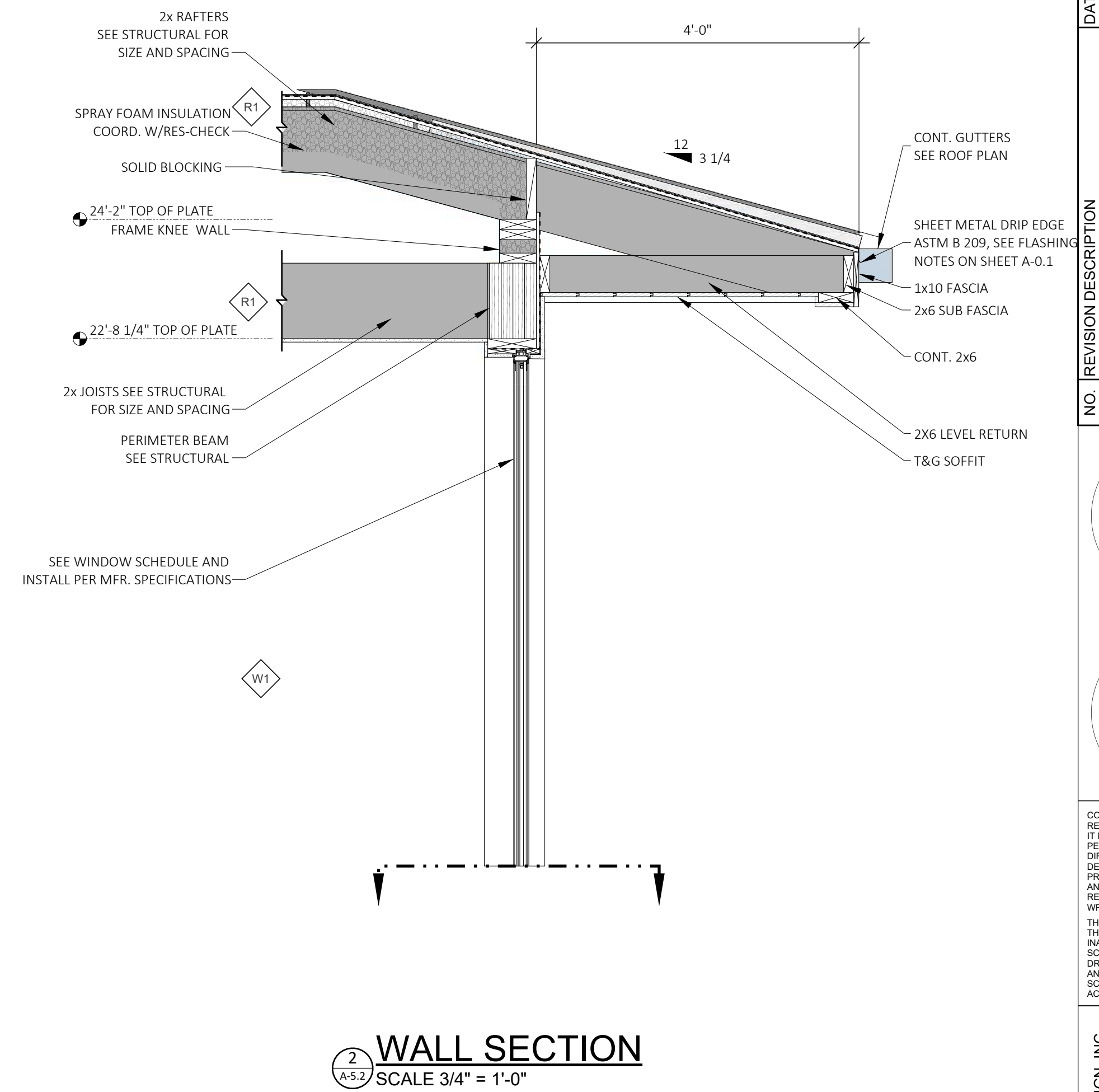
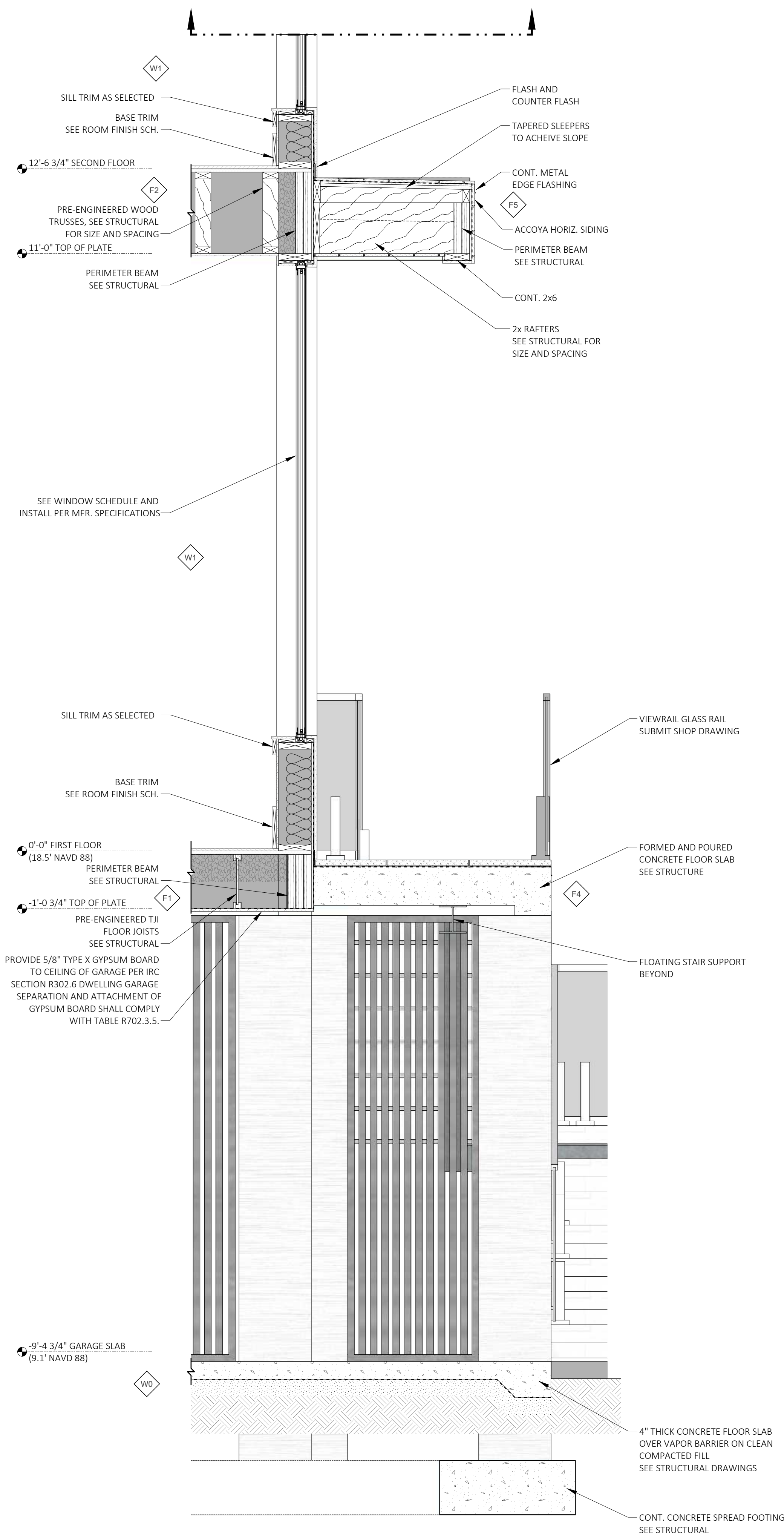
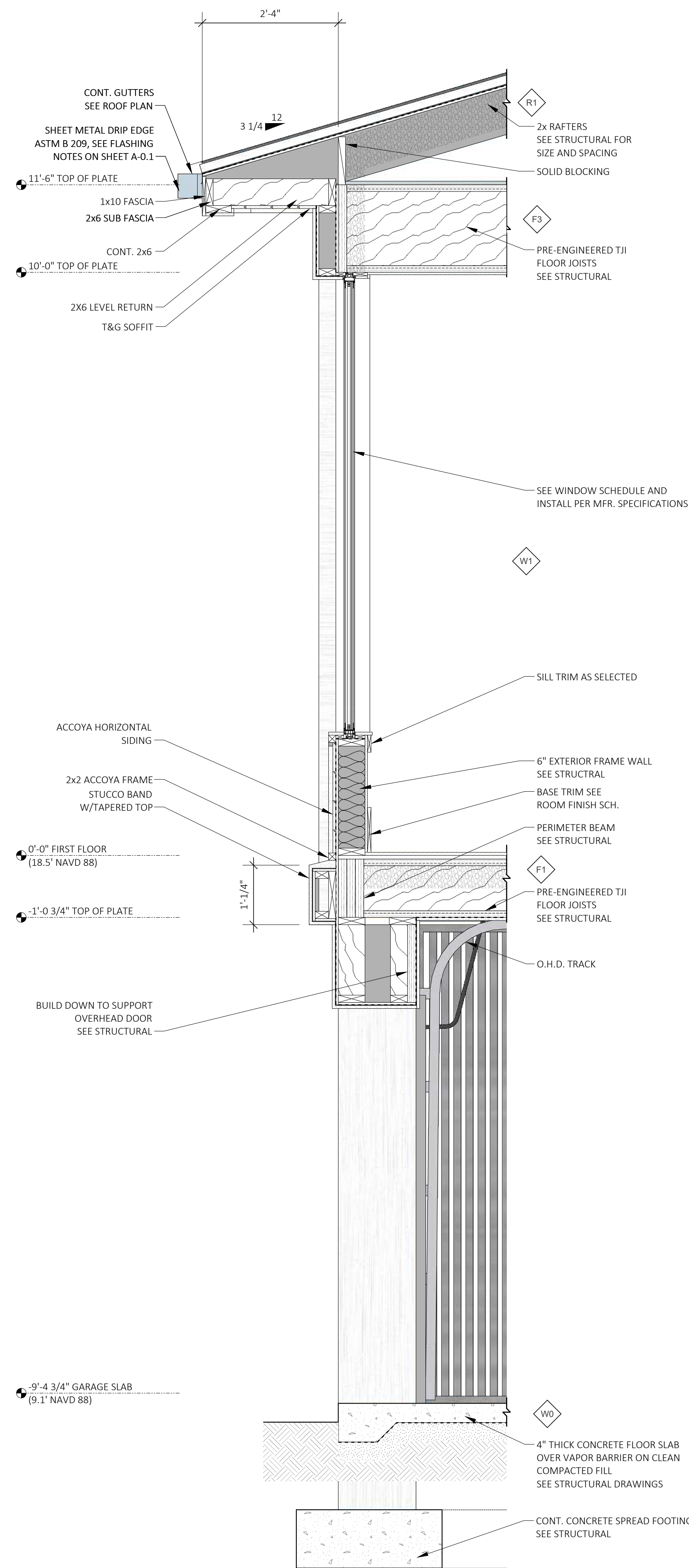
JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
WALL SECTIONS  
AND DETAILS

SHEET NO.  
A-5.1

SEE SHEET A-0.1  
AND STRUCTURAL DRAWINGS  
FOR MORE DETAILED SPECIFICATIONS





NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	01/15/25
3	BID SET	01/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS  
 RESERVED  
 IS A VIOLATION OF LAW FOR ANY  
 PERSON, UNLESS ACTING UNDER THE  
 AUTHORITY OF DLB CUSTODY HOME  
 SIGN, TO ALTER THIS DOCUMENT,  
 PRINTED OR ELECTRONIC DRAWINGS  
 AND DOCUMENTATION MAY NOT BE  
 REPRODUCED IN ANY FORM WITHOUT  
 WRITTEN PERMISSION.  
 THIS DRAWING WAS PREPARED AT  
 THE SCALE INDICATED.  
 ACCURACIES IN THE STATED  
 SCALE MAY BE INTRODUCED WHEN  
 DRAWINGS ARE REPRODUCED BY  
 ANY MEANS. USE THE GRAPHIC  
 SCALE BAR TO DETERMINE THE  
 TUAL SCALE.

**DALY AND SAWYER  
CONSTRUCTION CO.**  
855 COLEMAN BLVD  
MT. PLEASANT, SC 29464  
(843) 864-7195

**DRANKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16,

OB NO.:	2411
DESIGN BY:	DLB
DRAWN BY:	DLB
DATE:	6/18/2025
SCALE:	1/4" = 1'-0" U.N.O.

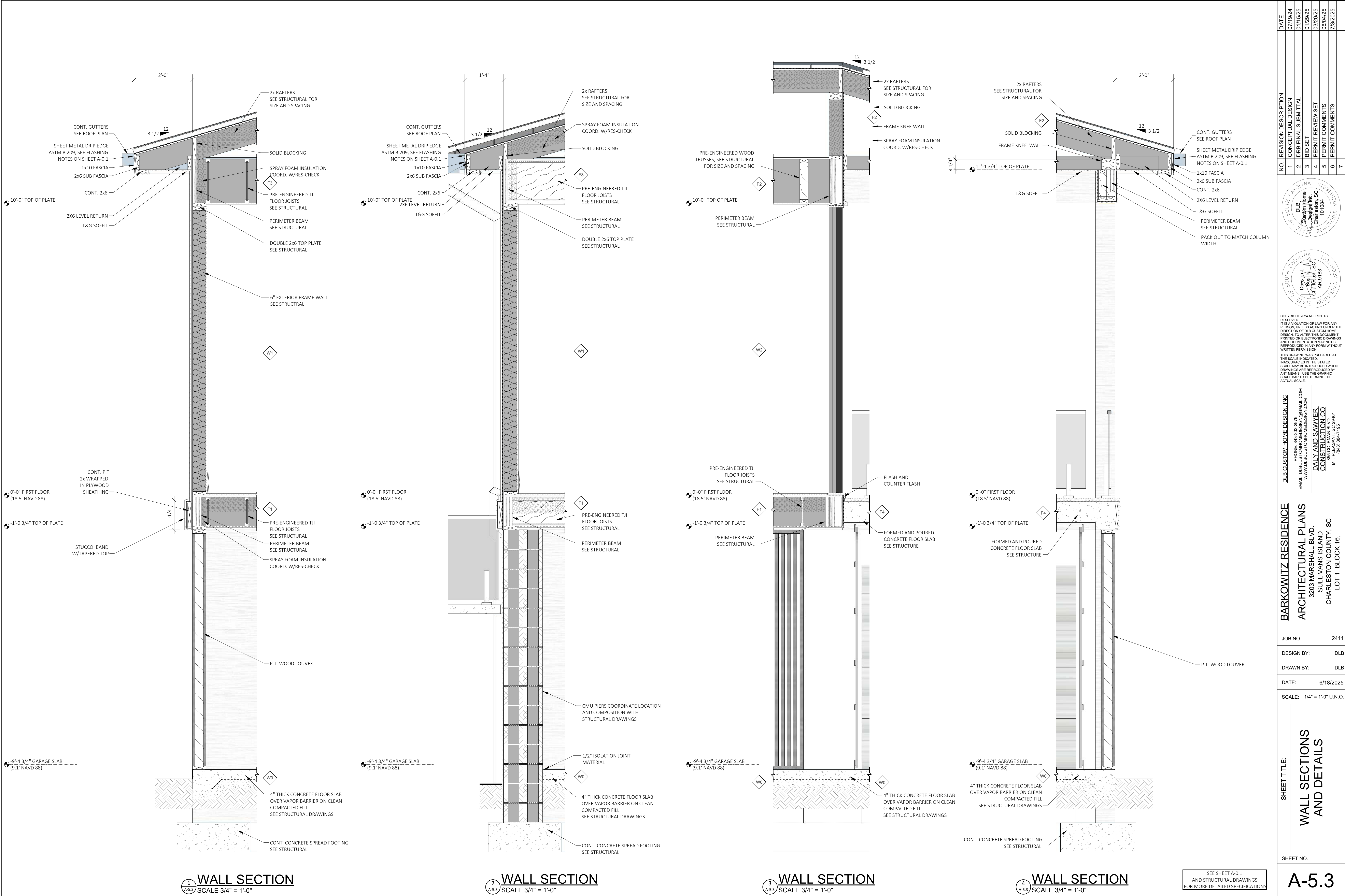
WALL SECTION  
AND DETAIL

HEET NO.

SEE SHEET A-0.1  
AND STRUCTURAL DRAWINGS  
FOR MORE DETAILED SPECIFICATIONS

## A-5.2





NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	06/04/25
7	PERMIT COMMENTS	7/9/2025

STATE OF SOUTH CAROLINA  
D.B. Design, Inc.  
Charleston, SC  
101084  
REGISTERED ARCHITECT  
4839163

STATE OF SOUTH CAROLINA  
D.B. Design, Inc.  
Charleston, SC  
101084  
REGISTERED ARCHITECT  
4839163

COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.B. DESIGN HOME, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS, AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

D.B. DESIGN HOME  
PHONE: 843-303-2879  
EMAIL: D.B.DESIGN@GMAIL.COM  
WWW.D.B.DESIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
MT. PLEASANT, SC 29464  
(843) 884-7195

BARKOWITZ RESIDENCE

ARCHITECTURAL PLANS

3203 MARSHALL BLVD.

SULLIVAN ISLAND

CHARLESTON COUNTY, SC

LOT 1, BLOCK 16.

JOB NO.: 2411

DESIGN BY: DLB

DRAWN BY: DLB

DATE: 6/18/2025

SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:

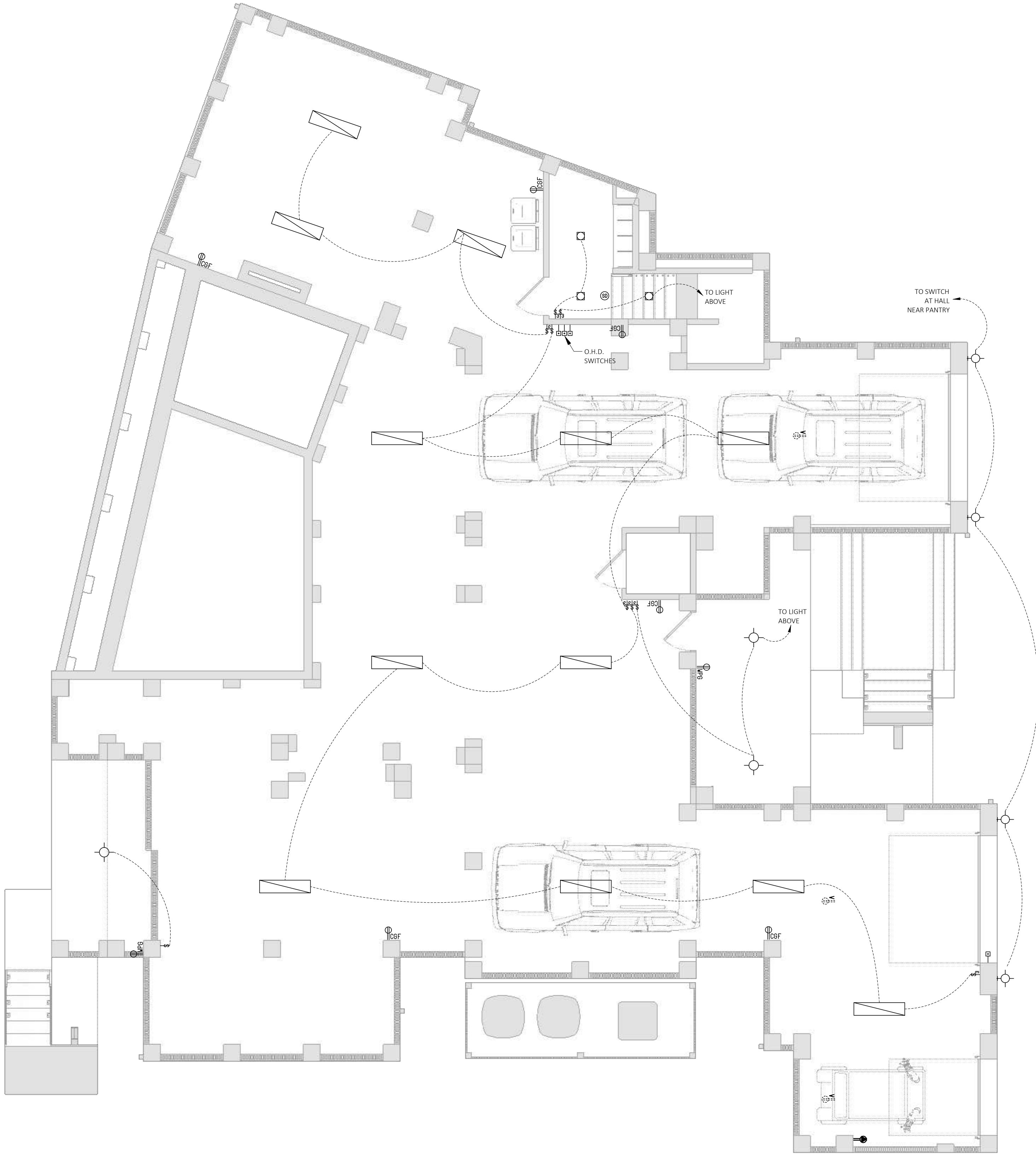
WALL SECTIONS AND DETAILS

SHEET NO.

A-5.3

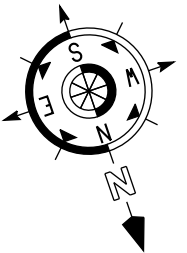


ELECTRICAL SYMBOLS LEGEND			
	DUPLEX RECEPTICAL AT 12 A.F.F.		RECEPTICAL 220 VOLT
	DUPLEX RECEPTICAL IN BASEBOARD		SINGLE RECEPTICAL DEDICATED
	DUPLEX RECEPTICAL ABOVE COUNTER		SINGLE RECEPTICAL DEDICATED SWITCHED
	DUPLEX RECEPTICAL GROUND FAULT		RECEPTICAL UNDER COUNTER
	DUPLEX RECEPTICAL ABOVE COUNTER/GFI		DUPLEX RECEPTICAL ARC FAULT
	DUPLEX RECEPTICAL HALF SWITCHED		DUPLEX RECEPT. ARC FAULT 1/2 SWITCHED
	DUPLEX RECEPTICAL WATER PROOF GFI		JUNCTION BOX
	DUPLEX RECEPTICAL UNDER COUNTER		FAN BOX
	QUADPLEX RECEPTICAL WATER PROOF GFI		ELECTRICAL METER
	DUPLEX RECEPTICAL WATER PROOF GFI		SWITCH DISCONNECT
	DUPLEX RECEPTICAL ABOVE		BREAKER PANEL
	SWITCH SINGLE POLE		FLOURESENT LIGHT FIXTURE
	SWITCH 3 WAY		FLOURESENT LIGHT STRIP FIXTURE
	SWITCH 4 WAY		INCANDESCENT LIGHT CEILING MOUNT
	SWITCH RHIOSTAT		INCANDESCENT LIGHT WALL MOUNT
	SWITCH DIMMER		RECESSED LIGHT FIXTURE
	SWITCH KEYED		RECESSED LIGHT VAPOR PROOF
	SWITCH PUSH BOTTON		RECESSED LIGHT FIXTURE, DIRECTIONAL
	SECURITY KEYPAD		LOW VOLTAGE TRANSFORMER
	DOOR CHIME		SECURITY LIGHT
	LOW VOLTAGE DOOR RELEASE		STEP LIGHT OR POST LIGHT, WATERPROOF
	SMOKE AND CARBON MONOXIDE DETECTOR		SPEAKER IN CEILING
	SMOKE DETECTOR LOW VOLTAGE		VOLUME CONTROL
	CARBON MONOXIDE DETECTOR		TELEVISION JACK PREWIRE
	EXHAUST FAN		TELEPHONE OUTLET 12" A.F.F.
	EXHAUST FAN / LIGHT COMBO		TELEPHONE OUTLET FLUSH IN FLOOR
	CEILING FAN		PHONE / DATA OUTLET
	HVAC THERMOSTAT		HOSE BIB
	INTERCOM AT 60" A.F.F.		
	CENTRAL VACUME INLET		

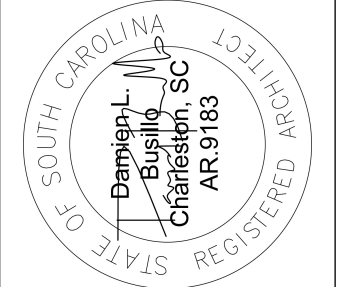
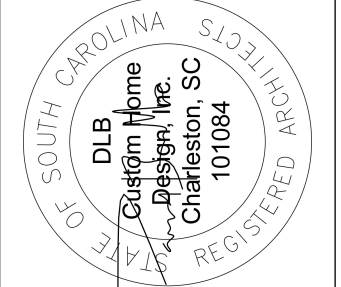


#### GENERAL ELECTRICAL NOTES

- ALL SYMBOLS SHOW THE DESIRED LOCATIONS AND WILL BE FINALIZED DURING THE WALK-THROUGH WITH THE ELECTRICIAN. ADDITIONAL LOCATIONS MAY BE REQUIRED BY CODE.
- ALL SWITCHES FOR RECESSED LIGHTS AND SURFACE MOUNTED TO HAVE DIMMER CONTROLS. TIMER SWITCHING FOR ALL EXHAUST FANS
- VERIFY AND COORDINATE ALL POWER REQUIREMENTS FOR EQUIPMENT AND APPLIANCES WITH OWNER AND ARCHITECT
- VERIFY WITH OWNER ALL LOCATIONS FOR CABLE, INTERNET, AND PHONE LOCATIONS.
- PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS AS SELECTED BY OWNER. PROVIDE ALLOWANCE FOR WIFI ACCESS POINTS, CAMERAS, AND SMOKE DETECTORS.
- COORDINATE ALL LANDSCAPE AND EXTERIOR LIGHTING WITH THE LANDSCAPE ARCHITECT AND CONTRACTOR.
- PROVIDE ALLOWANCE FOR SECURITY AND ALARM SYSTEM AND WIRING AS SELECTED BY OWNER.
- PROVIDE BUILT IN LIGHTING IN THE MASTER CLOSET CABINETRY
- PROVIDE CENTRAL VACUUM. VERIFY DISTANCES OF VACUUM LOCATIONS WITH MANUFACTURER. PROVIDE CABINET VAC AT KITCHEN ISLAND AND CEILING MOUNTED VACUUM IN BETWEEN GARAGE BAYS
- PROVIDE IN LINE DAMPERS FOR EXHAUST FANS. TO BE PLASTIC W/ RUBBER GASKETS
- EXHAUST FANS 110 CFM MIN. VENTED TO OUTSIDE.
- OVERHEAD DOOR RECEPTICALS IN GARAGE SHALL HAVE GROUND FAULT INTERRUPT PROTECTION.
- PLACE ARC FAULT RECEPTICALS WHERE REQUIRED AND IN COMPLIANCE WITH 2021 IRC E3 209.16
- PLACE TAMPER RESISTANT RECEPTICALS WHERE REQUIRED AND IN COMPLIANCE WITH 2021 IRC E 4002.14
- E4203.1.3 NOT LESS THAN ONE 125 VOLT, 15 OR 20 AMPERE RECEPTICAL SUPPLIED BY A GENERAL-PURPOSE BRANCH CIRCUIT SHALL BE LOCATED NOT LESS THAN 6 FEET FROM AND NOT MORE THAN 20 FEET FROM THE INSIDE WALL OF PERMANENTLY INSTALLED POOLS AND OUTDOOR SPAS AND HOT TUBS. THIS RECEPTICAL SHALL BE LOCATED NOT MORE THAN 6 FEET, 6 INCHES ABOVE THE FLOOR, PLATFORM OR GRADE LEVEL SERVING THE POOL, SPA OR HOT TUB.
- 680.22(A)(1)
- E3801.7 OUTDOOR OUTLETS, NOT LESS THAN ONE RECEPTICAL OUTLET THAT IS READILY ACCESSIBLE FROM GRADE LEVEL AND LOCATED NOT MORE THAN 6'-6" ABOVE GRADE, SHALL BE INSTALLED OUTDOORS AT THE FRONT AND BACK OF EACH DWELLING UNIT HAVING DIRECT ACCESS TO GRADE LEVEL, BALCONIES, DECKS AND PORCHES THAT ARE ACCESSIBLE FROM INSIDE WITHIN 4' HORIZONTALLY OF THE DWELLING UNIT SHALL HAVE AT LEAST ONE RECEPTICAL OUTLET ACCESSIBLE FROM THE BALCONY, DECK OR PORCH. THE RECEPTICAL SHALL BE LOCATED NOT MORE THAN 6'-6" ABOVE THE BALCONY, DECK OR PORCH SURFACE. 210.52(E)



NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS, AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED.  
INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

D.L.B. CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLB@DLBCUSTOMHOMEDSIGN.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
MT D EASANT SC 29464  
(843) 884-7195

**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVANS ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

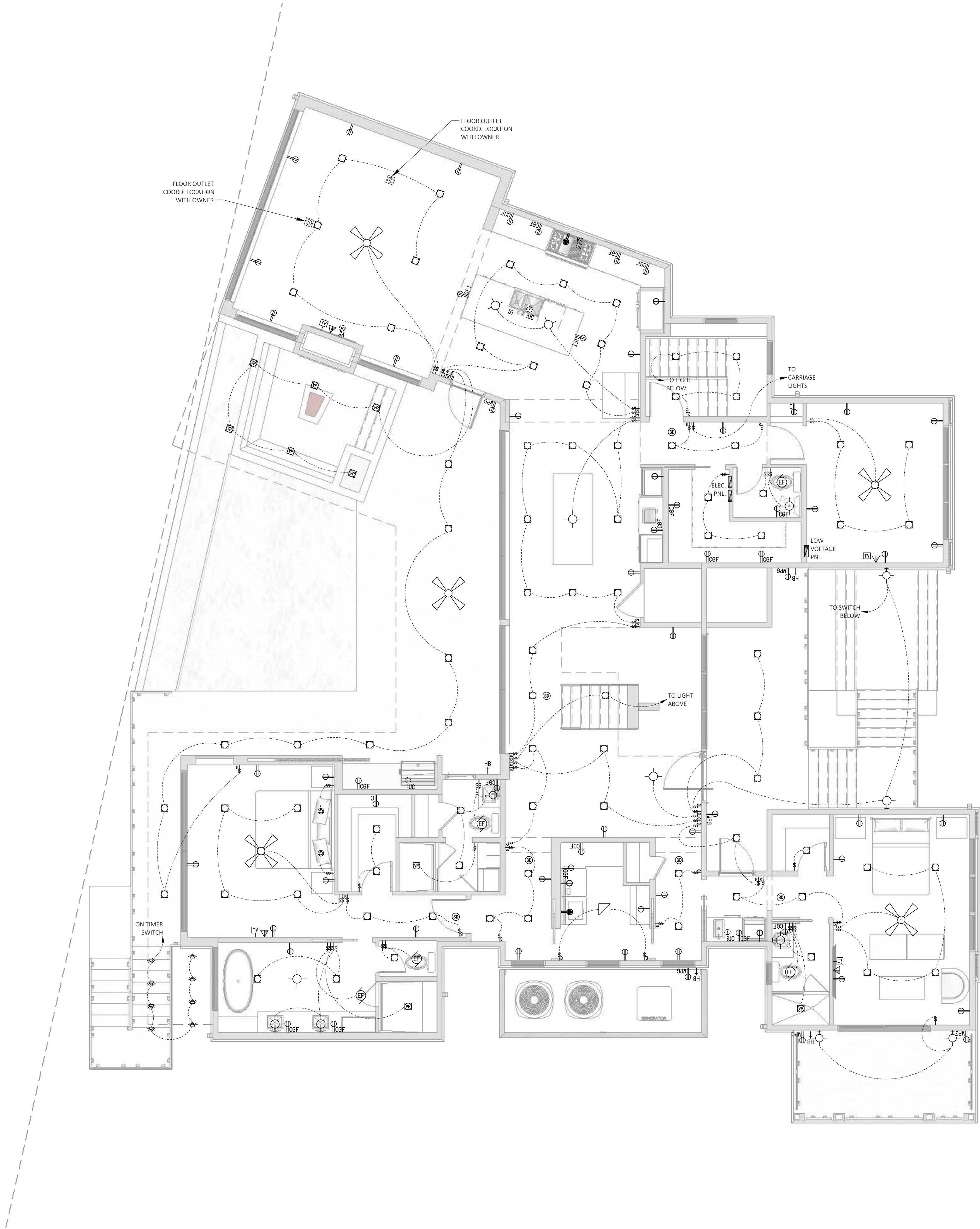
JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
**GROUND FLOOR  
ELECTRICAL PLAN**  
SHEET NO.

**E-0**

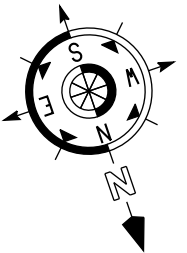


ELECTRICAL SYMBOLS LEGEND			
	DUPLEX RECEPTICAL AT 12 A.F.F.		RECEPTICAL 220 VOLT
	DUPLEX RECEPTICAL IN BASEBOARD		SINGLE RECEPTICAL DEDICATED
	DUPLEX RECEPTICAL ABOVE COUNTER		SINGLE RECEPTICAL DEDICATED SWITCHED
	DUPLEX RECEPTICAL GROUND FAULT		RECEPTICAL UNDER COUNTER
	DUPLEX RECEPTICAL ABOVE COUNTER/GFI		DUPLEX RECEPTICAL ARC FAULT
	DUPLEX RECEPTICAL HALF SWITCHED		DUPLEX RECEPT. ARC FAULT 1/2 SWITCHED
	DUPLEX RECEPTICAL WATER PROOF GFI		JUNCTION BOX
	DUPLEX RECEPTICAL UNDER COUNTER		FAN BOX
	QUADPLEX RECEPTICAL WATER PROOF GFI		ELECTRICAL METER
	DUPLEX RECEPTICAL WATER PROOF GFI		SWITCH DISCONNECT
	DUPLEX RECEPTICAL ABOVE		BREAKER PANEL
	SWITCH SINGLE POLE		FLOURESENT LIGHT FIXTURE
	SWITCH 3 WAY		FLOURESENT LIGHT STRIP FIXTURE
	SWITCH 4 WAY		INCANDESCENT LIGHT CEILING MOUNT
	SWITCH RHIOSTAT		INCANDESCENT LIGHT WALL MOUNT
	SWITCH DIMMER		RECESSED LIGHT FIXTURE
	SWITCH KEYED		RECESSED LIGHT VAPOR PROOF
	SWITCH PUSH BOTTON		RECESSED LIGHT FIXTURE, DIRECTIONAL
	SECURITY KEYPAD		LOW VOLTAGE TRANSFORMER
	DOOR CHIME		SECURITY LIGHT
	LOW VOLTAGE DOOR RELEASE		STEP LIGHT OR POST LIGHT, WATERPROOF
	SMOKE AND CARBON MONOXIDE DETECTOR		SPEAKER IN CEILING
	SMOKE DETECTOR LOW VOLTAGE		VOLUME CONTROL
	CARBON MONOXIDE DETECTOR		TELEVISION JACK PREWIRE
	EXHAUST FAN		TELEPHONE OUTLET 12" A.F.F.
	EXHAUST FAN / LIGHT COMBO		TELEPHONE OUTLET FLUSH IN FLOOR
	CEILING FAN		PHONE / DATA OUTLET
	HVAC THERMOSTAT		HOSE BIB
	INTERCOM AT 60" A.F.F.		
	CENTRAL VACUME INLET		

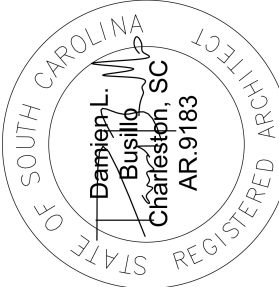


GENERAL ELECTRICAL NOTES

- ALL SYMBOLS SHOW THE DESIRED LOCATIONS AND WILL BE FINALIZED DURING THE WALK-THROUGH WITH THE ELECTRICIAN. ADDITIONAL LOCATIONS MAY BE REQUIRED BY CODE.
- ALL SWITCHES FOR RECESSED LIGHTS AND SURFACE MOUNTED TO HAVE DIMMER CONTROLS. TIMER SWITCHING FOR ALL EXHAUST FANS
- VERIFY AND COORDINATE ALL POWER REQUIREMENTS FOR EQUIPMENT AND APPLIANCES WITH OWNER AND ARCHITECT
- VERIFY WITH OWNER ALL LOCATIONS FOR CABLE, INTERNET, AND PHONE LOCATIONS.
- PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS AS SELECTED BY OWNER. PROVIDE ALLOWANCE FOR WIFI ACCESS POINTS, CAMERAS, AND SMOKE DETECTORS.
- COORDINATE ALL LANDSCAPE AND EXTERIOR LIGHTING WITH THE LANDSCAPE ARCHITECT AND CONTRACTOR.
- PROVIDE ALLOWANCE FOR SECURITY AND ALARM SYSTEM AND WIRING AS SELECTED BY OWNER.
- PROVIDE BUILT IN LIGHTING IN THE MASTER CLOSET CABINETRY.
- PROVIDE CENTRAL VACUUM. VERIFY DISTANCES OF VACUUM LOCATIONS WITH MANUFACTURER. PROVIDE CABINET VAC AT KITCHEN ISLAND AND CEILING MOUNTED VACUUM IN BETWEEN GARAGE BAYS
- PROVIDE IN LINE DAMPERS FOR EXHAUST FANS. TO BE PLASTIC W/ RUBBER GASKETS
- EXHAUST FANS 110 CFM MIN. VENTED TO OUTSIDE.
- OVERHEAD DOOR RECEPTICALS IN GARAGE SHALL HAVE GROUND FAULT INTERRUPT PROTECTION.
- PLACE ARC FAULT RECEPTICALS WHERE REQUIRED AND IN COMPLIANCE WITH 2021 IRC E3 209.16
- PLACE TAMPER RESISTANT RECEPTICALS WHERE REQUIRED AND IN COMPLIANCE WITH 2021 IRC E 4002.14
- E4203.1.3 NOT LESS THAN ONE 125 VOLT, 15 OR 20 AMPERE RECEPTICAL SUPPLIED BY A GENERAL-PURPOSE BRANCH CIRCUIT SHALL BE LOCATED NOT LESS THAN 6 FEET FROM AND NOT MORE THAN 20 FEET FROM THE INSIDE WALL OF PERMANENTLY INSTALLED POOLS AND OUTDOOR SPAS AND HOT TUBS. THIS RECEPTICAL SHALL BE LOCATED NOT MORE THAN 6 FEET, 6 INCHES ABOVE THE FLOOR, PLATFORM OR GRADE LEVEL SERVING THE POOL, SPA OR HOT TUB.
- 680.22(A)(1)
- E3801.7 OUTDOOR OUTLETS, NOT LESS THAN ONE RECEPTICAL OUTLET THAT IS READILY ACCESSIBLE FROM GRADE LEVEL AND LOCATED NOT MORE THAN 6'-6" ABOVE GRADE, SHALL BE INSTALLED OUTDOORS AT THE FRONT AND BACK OF EACH DWELLING UNIT HAVING DIRECT ACCESS TO GRADE LEVEL, BALCONIES, DECKS AND PORCHES THAT ARE ACCESSIBLE FROM INSIDE WITHIN 4' HORIZONTALLY OF THE DWELLING UNIT SHALL HAVE AT LEAST ONE RECEPTICAL OUTLET ACCESSIBLE FROM THE BALCONY, DECK OR PORCH. THE RECEPTICAL SHALL BE LOCATED NOT MORE THAN 6'-6" ABOVE THE BALCONY, DECK OR PORCH SURFACE. 210.52(E)



NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, INC., TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS, AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED.  
INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

D.L.B. CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: D.L.B.CUSTOMHOMEDESIGN@GMAIL.COM  
WWW.DLBSCUSOMHOMEDESIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
MT. PLEASANT, SC 29464  
(843) 884-7195

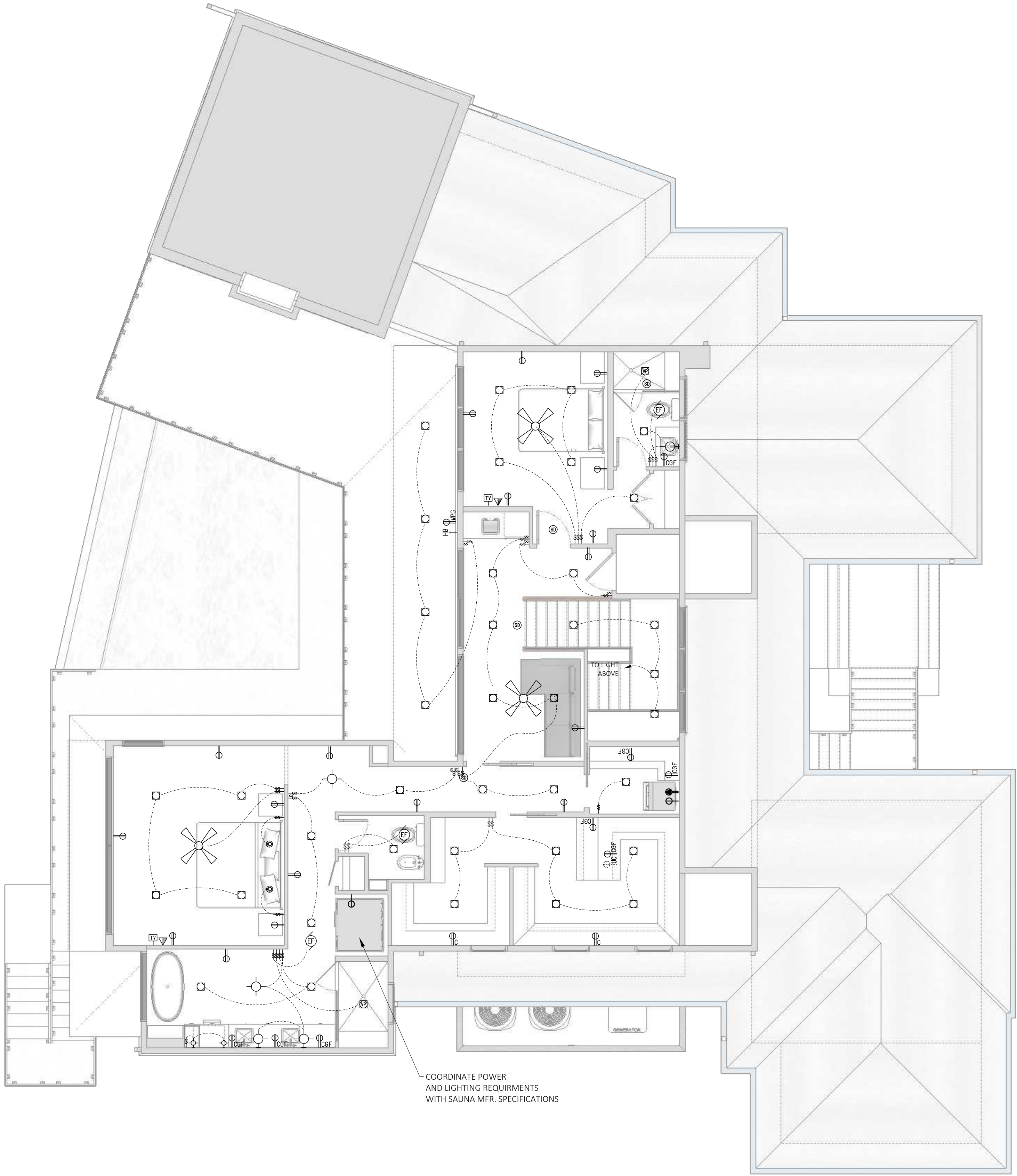
BARKOWITZ RESIDENCE  
ARCHITECTURAL PLANS  
3203 MARSHALL BLVD.  
SULLIVAN ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
FIRST FLOOR  
ELECTRICAL PLAN  
SHEET NO.

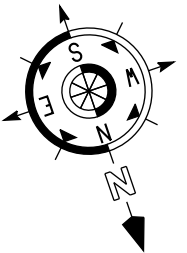


ELECTRICAL SYMBOLS LEGEND			
	DUPLEX RECEPTICAL AT 12 A.F.F.		RECEPTICAL 220 VOLT
	DUPLEX RECEPTICAL IN BASEBOARD		SINGLE RECEPTICAL DEDICATED
	DUPLEX RECEPTICAL ABOVE COUNTER		SINGLE RECEPTICAL DEDICATED SWITCHED
	DUPLEX RECEPTICAL GROUND FAULT		RECEPTICAL UNDER COUNTER
	DUPLEX RECEPTICAL ABOVE COUNTER/GFI		DUPLEX RECEPTICAL ARC FAULT
	DUPLEX RECEPTICAL HALF SWITCHED		DUPLEX RECEPT. ARC FAULT 1/2 SWITCHED
	DUPLEX RECEPTICAL WATER PROOF GFI		JUNCTION BOX
	DUPLEX RECEPTICAL UNDER COUNTER		FAN BOX
	QUADPLEX RECEPTICAL WATER PROOF GFI		ELECTRICAL METER
	DUPLEX RECEPTICAL WATER PROOF GFI		SWITCH DISCONNECT
	DUPLEX RECEPTICAL ABOVE		BREAKER PANEL
	SWITCH SINGLE POLE		FLOURESENT LIGHT FIXTURE
	SWITCH 3 WAY		FLOURESENT LIGHT STRIP FIXTURE
	SWITCH 4 WAY		INCANDESCENT LIGHT CEILING MOUNT
	SWITCH RHIOSTAT		INCANDESCENT LIGHT WALL MOUNT
	SWITCH DIMMER		RECESSED LIGHT FIXTURE
	SWITCH KEYED		RECESSED LIGHT VAPOR PROOF
	SWITCH PUSH BOTTON		RECESSED LIGHT FIXTURE, DIRECTIONAL
	SECURITY KEYPAD		LOW VOLTAGE TRANSFORMER
	DOOR CHIME		SECURITY LIGHT
	LOW VOLTAGE DOOR RELEASE		STEP LIGHT OR POST LIGHT, WATERPROOF
	SMOKE AND CARBON MONOXIDE DETECTOR		SPEAKER IN CEILING
	SMOKE DETECTOR LOW VOLTAGE		VOLUME CONTROL
	CARBON MONOXIDE DETECTOR		TELEVISION JACK PREWIRE
	EXHAUST FAN		TELEPHONE OUTLET 12" A.F.F.
	EXHAUST FAN / LIGHT COMBO		TELEPHONE OUTLET FLUSH IN FLOOR
	CEILING FAN		PHONE / DATA OUTLET
	HVAC THERMOSTAT		HOSE BIB
	INTERCOM AT 60" A.F.F.		
	CENTRAL VACUME INLET		



GENERAL ELECTRICAL NOTES

- ALL SYMBOLS SHOW THE DESIRED LOCATIONS AND WILL BE FINALIZED DURING THE WALK-THROUGH WITH THE ELECTRICIAN. ADDITIONAL LOCATIONS MAY BE REQUIRED BY CODE.
- ALL SWITCHES FOR RECESSED LIGHTS AND SURFACE MOUNTED TO HAVE DIMMER CONTROLS. TIMER SWITCHING FOR ALL EXHAUST FANS
- VERIFY AND COORDINATE ALL POWER REQUIREMENTS FOR EQUIPMENT AND APPLIANCES WITH OWNER AND ARCHITECT
- VERIFY WITH OWNER ALL LOCATIONS FOR CABLE, INTERNET, AND PHONE LOCATIONS.
- PROVIDE SMOKE AND CARBON MONOXIDE DETECTORS AS SELECTED BY OWNER. PROVIDE ALLOWANCE FOR WIFI ACCESS POINTS, CAMERAS, AND SMOKE DETECTORS.
- COORDINATE ALL LANDSCAPE AND EXTERIOR LIGHTING WITH THE LANDSCAPE ARCHITECT AND CONTRACTOR.
- PROVIDE ALLOWANCE FOR SECURITY AND ALARM SYSTEM AND WIRING AS SELECTED BY OWNER.
- PROVIDE BUILT IN LIGHTING IN THE MASTER CLOSET CABINETRY.
- PROVIDE CENTRAL VACUUM. VERIFY DISTANCES OF VACUUM LOCATIONS WITH MANUFACTURER. PROVIDE CABINET VAC AT KITCHEN ISLAND AND CEILING MOUNTED VACUUM IN BETWEEN GARAGE BAYS
- PROVIDE IN LINE DAMPERS FOR EXHAUST FANS. TO BE PLASTIC W/ RUBBER GASKETS
- EXHAUST FANS 110 CFM MIN. VENTED TO OUTSIDE.
- OVERHEAD DOOR RECEPTICALS IN GARAGE SHALL HAVE GROUND FAULT INTERRUPT PROTECTION.
- PLACE ARC FAULT RECEPTICALS WHERE REQUIRED AND IN COMPLIANCE WITH 2021 IRC E3 209.16
- PLACE TAMPER RESISTANT RECEPTICALS WHERE REQUIRED AND IN COMPLIANCE WITH 2021 IRC E 4002.14
- E4203.1.3 NOT LESS THAN ONE 125 VOLT, 15 OR 20 AMPERE RECEPTICAL SUPPLIED BY A GENERAL-PURPOSE BRANCH CIRCUIT SHALL BE LOCATED NOT LESS THAN 6 FEET FROM AND NOT MORE THAN 20 FEET FROM THE INSIDE WALL OF PERMANENTLY INSTALLED POOLS AND OUTDOOR SPAS AND HOT TUBS. THIS RECEPTICAL SHALL BE LOCATED NOT MORE THAN 6 FEET, 6 INCHES ABOVE THE FLOOR, PLATFORM OR GRADE LEVEL SERVING THE POOL, SPA OR HOT TUB.
- 680.22(A)(1)
- E3801.7 OUTDOOR OUTLETS, NOT LESS THAN ONE RECEPTICAL OUTLET THAT IS READILY ACCESSIBLE FROM GRADE LEVEL AND LOCATED NOT MORE THAN 6'-6" ABOVE GRADE, SHALL BE INSTALLED OUTDOORS AT THE FRONT AND BACK OF EACH DWELLING UNIT HAVING DIRECT ACCESS TO GRADE LEVEL, BALCONIES, DECKS AND PORCHES THAT ARE ACCESSIBLE FROM INSIDE WITHIN 4' HORIZONTALLY OF THE DWELLING UNIT SHALL HAVE AT LEAST ONE RECEPTICAL OUTLET ACCESSIBLE FROM THE BALCONY, DECK OR PORCH. THE RECEPTICAL SHALL BE LOCATED NOT MORE THAN 6'-6" ABOVE THE BALCONY, DECK OR PORCH SURFACE. 210.52(E)



NO.	REVISION DESCRIPTION	DATE
1	CONCEPTUAL DESIGN	07/19/24
2	DRB FINAL SUBMITTAL	07/15/25
3	BID SET	07/29/25
4	PERMIT REVIEW SET	03/20/25
5	PERMIT COMMENTS	06/04/25
6	PERMIT COMMENTS	7/3/2025
7		



COPYRIGHT 2024 ALL RIGHTS RESERVED.  
IT IS A VIOLATION OF LAW FOR ANY PERSON, UNLESS ACTING UNDER THE DIRECTION OF D.L.B. CUSTOM HOME DESIGN, TO ALTER THIS DOCUMENT, PRINTED OR ELECTRONIC DRAWINGS, AND DOCUMENTATION MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION.  
THIS DRAWING WAS PREPARED AT THE SCALE INDICATED.  
INACCURACIES IN THE STATED SCALE MAY BE INTRODUCED WHEN DRAWINGS ARE REPRODUCED BY ANY MEANS. USE THE GRAPHIC SCALE BAR TO DETERMINE THE ACTUAL SCALE.

D.L.B. CUSTOM HOME DESIGN, INC.  
PHONE: 843-303-2879  
EMAIL: DLBCUSTOMHOMEDSIGN@GMAIL.COM  
WWW.DLBCUSTOMHOMEDSIGN.COM  
DAILY AND SAWYER  
CONSTRUCTION CO  
MT. PLEASANT, SC 29464  
(843) 884-7195

**BARKOWITZ RESIDENCE**  
**ARCHITECTURAL PLANS**  
3203 MARSHALL BLVD.  
SULLIVAN ISLAND  
CHARLESTON COUNTY, SC  
LOT 1, BLOCK 16.

JOB NO.: 2411  
DESIGN BY: DLB  
DRAWN BY: DLB  
DATE: 6/18/2025  
SCALE: 1/4" = 1'-0" U.N.O.

SHEET TITLE:  
**SECOND FLOOR  
ELECTRICAL PLAN**  
SHEET NO.