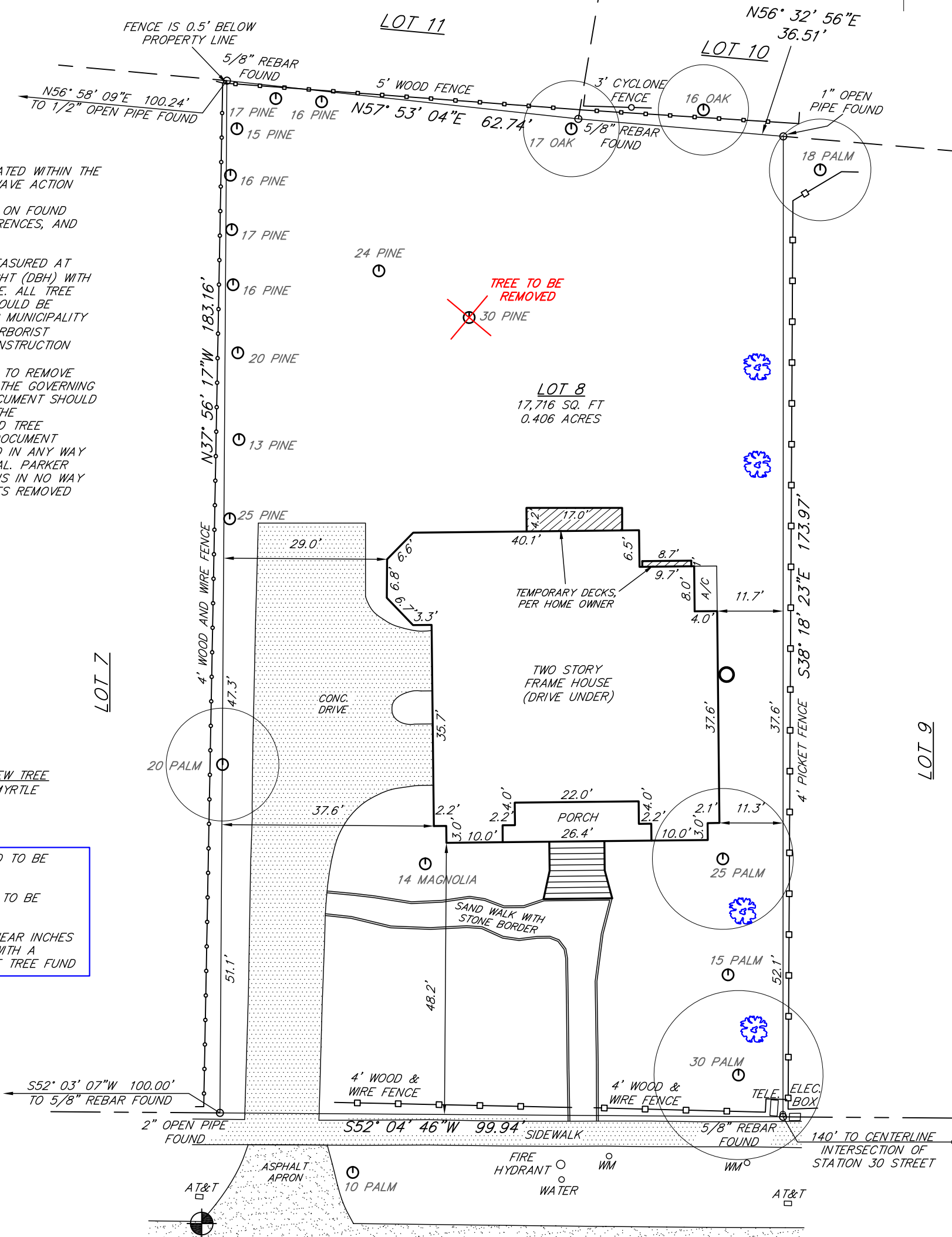


NOTES:
PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF MODERATE WAVE ACTION

THIS SURVEY IS BASED ON FOUND MONUMENTATION, REFERENCES, AND LINES OF OCCUPATION

TREES SHOWN WERE MEASURED AT DIAMETER BREAST HEIGHT (DBH) WITH A FORESTRY TREE TAPE. ALL TREE SIZES AND SPECIES SHOULD BE VERIFIED BY GOVERNING MUNICIPALITY AND/OR A LICENSED ARBORIST BEFORE DESIGN OR CONSTRUCTION

APPROVAL/PERMISSION TO REMOVE TREES IS GRANTED BY THE GOVERNING MUNICIPALITY. THIS DOCUMENT SHOULD BE VERIFIED AGAINST THE MUNICIPALITY APPROVED TREE REMOVAL PLAN. THIS DOCUMENT CANNOT BE CONSTRUED IN ANY WAY AS TO GRANT APPROVAL. PARKER LAND SURVEYING, LLC IS IN NO WAY RESPONSIBLE FOR TREES REMOVED



PROPOSED NEW TREE
2" CALIPER MYRTLE

30 LINEAR INCHES TO BE REMOVED
8 LINEAR INCHES TO BE REPLACED
REMAINING 22 LINEAR INCHES TO BE COVERED WITH A DONATION TO THE TREE FUND

BENCHMARK:
ELEV. = 8.14' (NAVD 1988)
MAG NAIL EDGE OD ASPHALT
NEAR LEFT FRONT OF LOT.

**2918
MIDDLE STREET (80' R/W)**

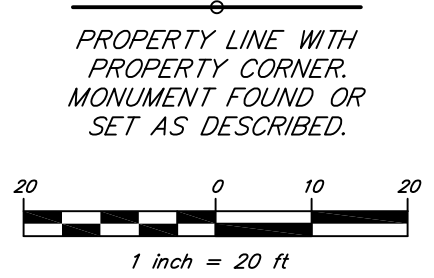
PREPARED FOR NOELLE AND DOMINICK MARCHESE
**TREE MITIGATION PLAN SHOWING LOT 8, BLOCK 23
SULLIVANS ISLAND, TMS# 529-07-00-079**

LOCATED IN THE TOWN OF SULLIVANS ISLAND, CHARLESTON COUNTY, SC
SCALE: 1" = 20' DATE: (11/29/24-survey) JANUARY 31, 2025
REFERENCE: PLAT RECORDED IN PLAT BOOK AS, PAGE 138

LOT MAY BE SUBJECT TO EASEMENTS AND RESTRICTIONS NOT OBVIOUS OR APPARENT TO THE SURVEYOR.
PROPERTY APPEARS TO LIE IN FLOOD ZONE AE (ELEV. 10), 45019C 0539 K, REVISED JANUARY 29, 2021
FLOOD ZONE SHOULD BE VERIFIED WITH GOVERNING MUNICIPALITY BEFORE CONSTRUCTION. FEMA REVISION CHECK: 11/22/24

2918-Middle-Tree Mitigation / MEB
PARKER LAND SURVEYING, LLC
5910 GRIFFIN STREET, HANAHAN, SC 29410
TEL.: (843) 554-7777

THIS PLAN IS FOR PERMITTING PURPOSES ONLY AND NOT FOR CONSTRUCTION USE. IT WAS NOT PREPARED FOR RECORDATION, AND IS NOT SUITABLE FOR DEEDING OF PROPERTY.



General Notes

1. Contractor to verify all dimensions and conditions at the project site prior to commencement of the work, and shall notify Kenneth Miller Architecture immediately of any discrepancies and/or any existing site conditions that are inconsistent with the drawings.
2. All drawings shall be used in conjunction with all other drawings related to other disciplines. The general contractor shall check and coordinate dimensions and clearances with the work of all trades.
3. The drawings herein are graphic in nature and are not intended to convey all information necessary for construction. Contractor shall coordinate systems installation requirements, rough-in connections, and materials requirements for installation.
4. Kenneth Miller Architecture, LLC to provide professional services limited to the preparation of construction documents only, with no construction administration. Kenneth Clarke Miller, Architect of Record is not responsible for interpreting the intent of the construction documents, including making modifications as may be necessary during the construction phase; and that the Architect of Record is no longer liable for the work where changes to these documents have been made.



Town of Sullivan's Island Building Department review - # P24-0286

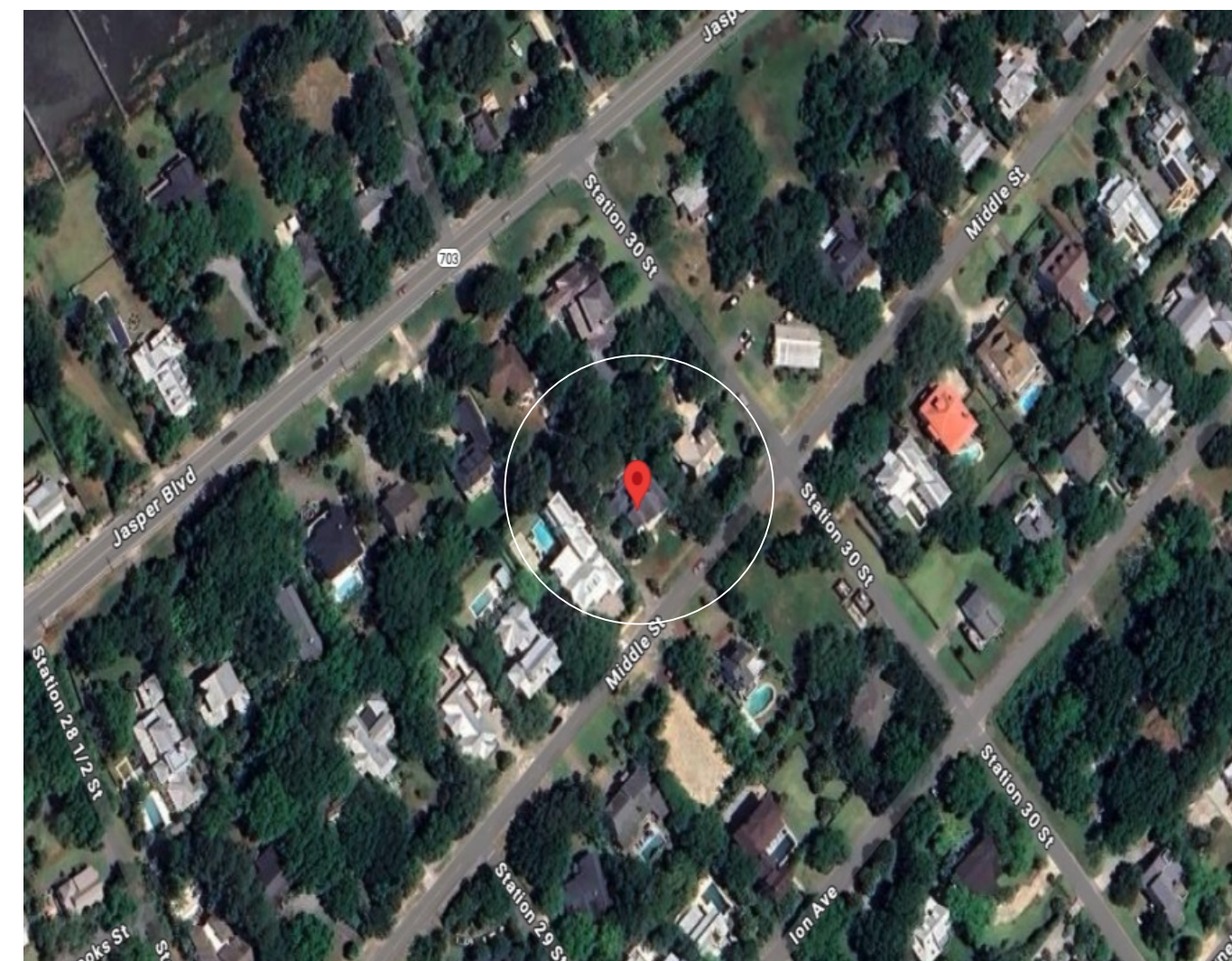
1. CMU Walls on front labeled "existing" were installed illegally and must be removed.
1. See Sheet A-6
2. No A zone design certifications on plans. Provide certifications.
2. See Sheet A-2 As-built survey states Flood Zone AE-10
3. Please show the property does not exceed 50% in developed lot area (must be 50% or more natural vegetation)
3. See Sheet A-2 Calculations
4. Provide calculation of existing and proposed impervious AND pervious coverages.
4. See Sheet A-2 Calculations
5. (Z.O. 21-29) Provide a side façade articulation every 30' feet. Articulation must be at least 4' in width.
5. See design change A-2, A-6-8 & A-12-13
6. All accessory structures and uses must be permitted separately.
6. Pool submitted by other
7. Show the existing and proposed Principal Building Square Footage (heated and cooled)
7. See Sheet A-2 Calculations
8. Please add a note to the plans which states the date of DRB approval and what relief or expansion was granted.
8. TBD based on #5
9. Improvements are shown within the SCDOT right of way; an encroachment permit is required for any work done in the right of way.
9. See Sheet A-2 - No encroachment into SCDOT right-of way

MR. & MRS. MARCHESE RESIDENCE
2918 MIDDLE STREET
SULLIVANS ISLAND, SC

DRAWING INDEX

LABEL	TITLE
A-1	COVER
A-2	EXISTING / PROPOSED LOT COVERAGE
A-2A	50% VEGETATION COVERAGE
A-3	GENERAL NOTES
A-4	EXISTING 1ST FLOOR WITH PHOTO REFERENCE
A-5	EXISTING 2ND FLOOR W/PHOTO REFERENCE
A-6	PROPOSED GROUND FLOOR / DEMO
A-7	EXISTING / PROPOSED 1ST FLOOR
A-8	EXISTING / PROPOSED 2ND FLOOR
A-9	EXISTING AND PROPOSED ROOF PLAN
A-10	DOOR SCHEDULE / WINDOW / EGRESS NOTES
A-11	EXISTING / PROPOSED ELEVATION
A-12	EXISTING / PROPOSED ELEVATIONS
A-13	EXISTING / PROPOSED ELEVATION
A-14	PROPOSED ELECTRICAL GROUND FLOOR PLAN
A-15	PROPOSED ELECTRICAL FIRST FLOOR PLAN
A-16	PROPOSED ELECTRICAL SECOND FLOOR PLAN

AERIAL VIEW



DEFERRED SUBMITTALS

Pool submittal by Other 

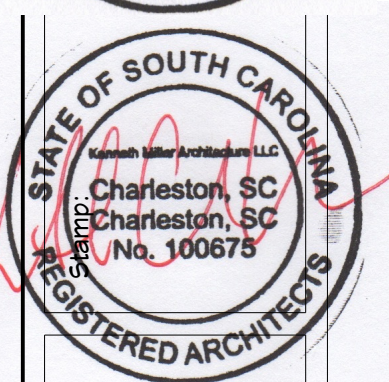
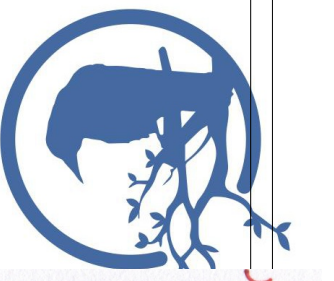
PROJECT SUMMARY

Relocate front door
 Infill under existing cantilever w/ piers and louvers
 Infill left side window to match existing
 Extend existing living room to rear with new roof
 Extend Master suite / with deck access and roof
 New rear deck
 New pool by other
 Change (2) front 2448 DH with (2) 2060 DH
 Remove unpermitted CMU wall at foundation.
 Infill existing perimeter piers with louvers w/ 1 1/2" gap (See sample - Sheet A-11)

Replace all existing and new windows with Andeson 400 StormWatch impact
 GC is responsible for verification of all egress window requirements in replacement windows.

All work shall be in compliance with, but not limited to, the requirements of the following and any other state or local codes having jurisdiction:

- 2018 International Building Code
- 2018 International Plumbing Code
- 2018 International Mechanical Code
- 2018 International Fuel Gas Code
- 2018 International Fire Code
- 2018 International Property Maintenance Code
- 2017 National Electrical Code
- 2009 International Energy Code
- 2018 International Residential Code



SHEET TITLE: Cover

PROJECT DESCRIPTION:
 Marchese Residence
 2918 Middle Street
 Sullivan's Island, SC

DRAWINGS PROVIDED BY:
KENNETH MILLER
 ARCHITECTURE
 kemillerarchitect@gmail.com - 540-293-6234

DATE:
 10/14/24

SCALE:
 NTS

SHEET:

A-1

GENERAL NOTE:

Sediment Control Required on All Sides @ Property Line. Maximum 20'-0" Access Point Allowed along Street.
 See Landscape Plans for Final Drainage Requirements.
 Tree Protection required at all protected trees. Install per Charleston County guidelines.
 Property appears to be located in Flood Zone AE10. See survey for further clarification.
 Wetland and silt fence barrier. Kenneth Miller Architecture, LLC is not responsible for the upkeep of silt fence, tree protection or Wetland barriers.
 General contractor is tasked with the duty of managing all site conditions including the above but not limited to material storage, containment of trash and wind blown debris.
 Final grading and drainage shall not impact adjacent properties
 Only flood resistant class 4 and 5 materials per FEMA Technical Bulletin 2 will be installed below design flood elevation.
 All enclosed areas below the design flood shall be designed to automatically equalize hydrostatic and hydrodynamic flood forces on exterior walls by allowing for the entry and exit of floodwaters.

3

SEC. 21-25
 Max. building lot coverage = 15% of Lot sq.ft. (17,716 sqft.) = 2,657.4 sq.ft.
 Proposed Building lot coverage = **2,042 sq.ft.**

4

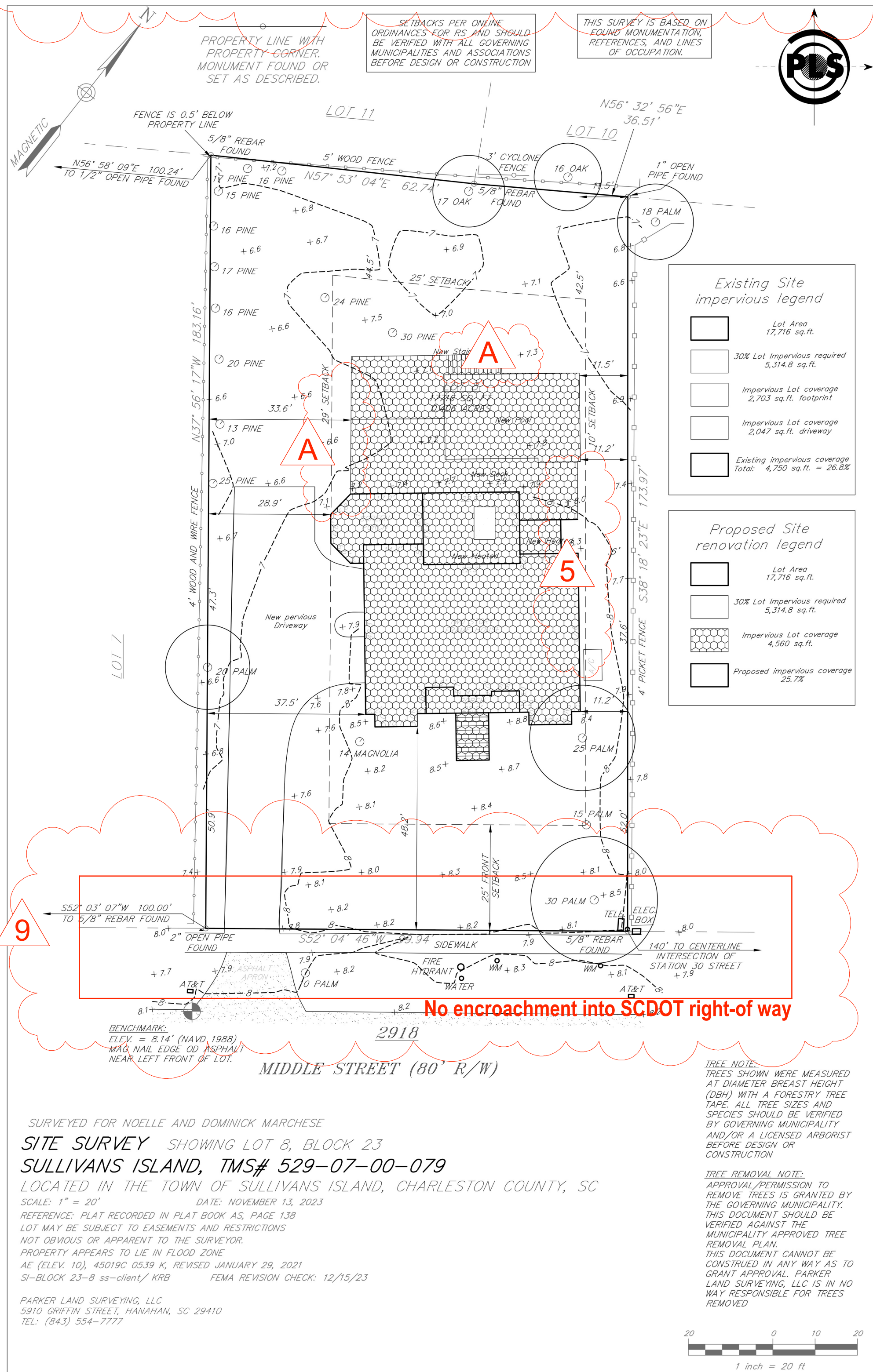
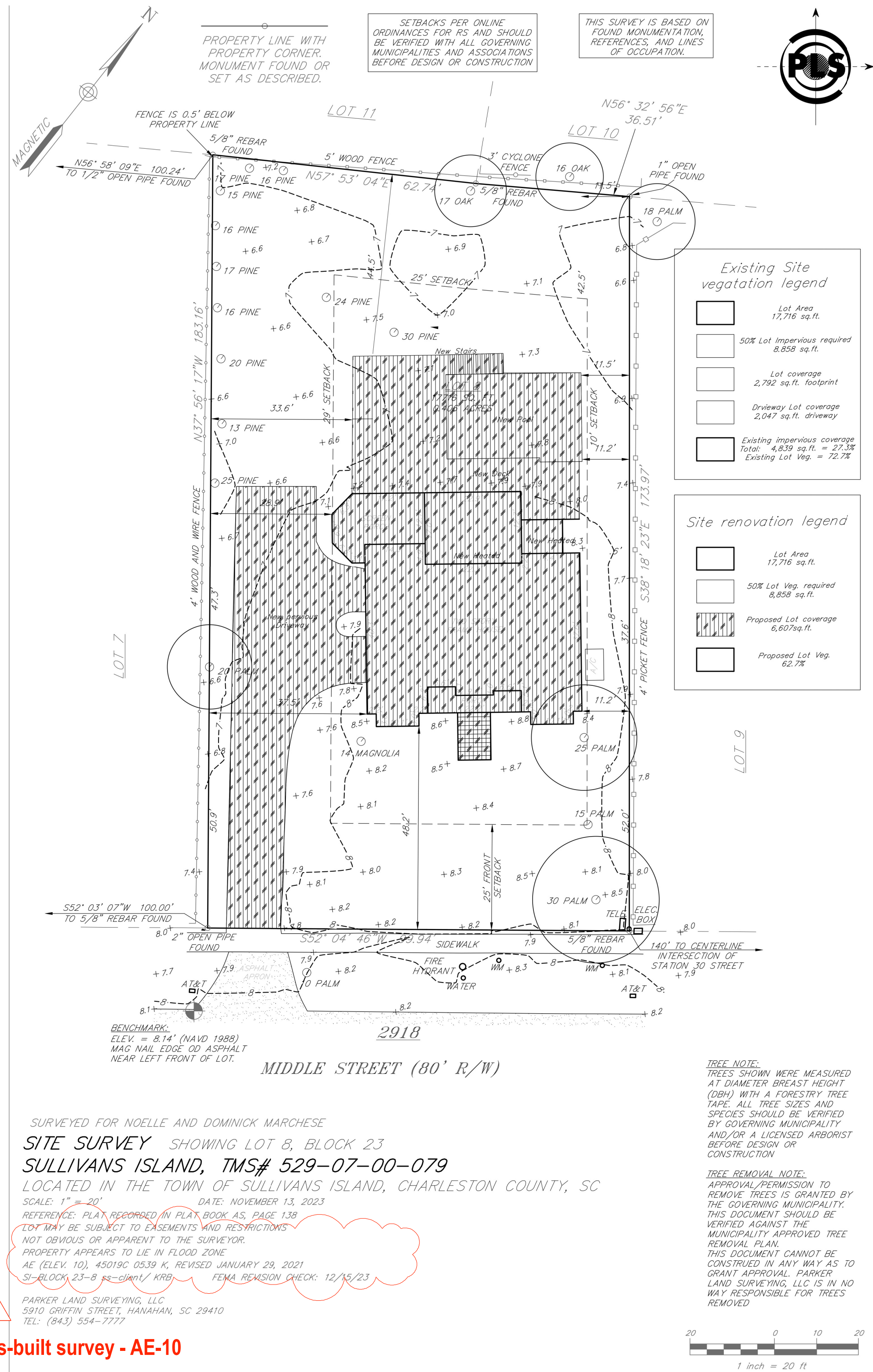
SEC. 21-26
 Max. impervious lot coverage = 30% of Lot sq.ft. (17,716 sqft.) = 5,315 sq.ft.
 Proposed impervious lot coverage = **4,317 sq.ft.**

7

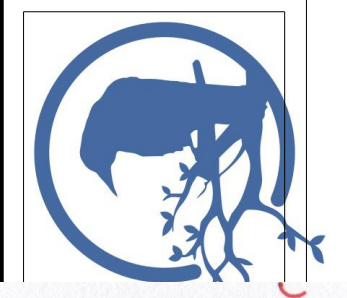
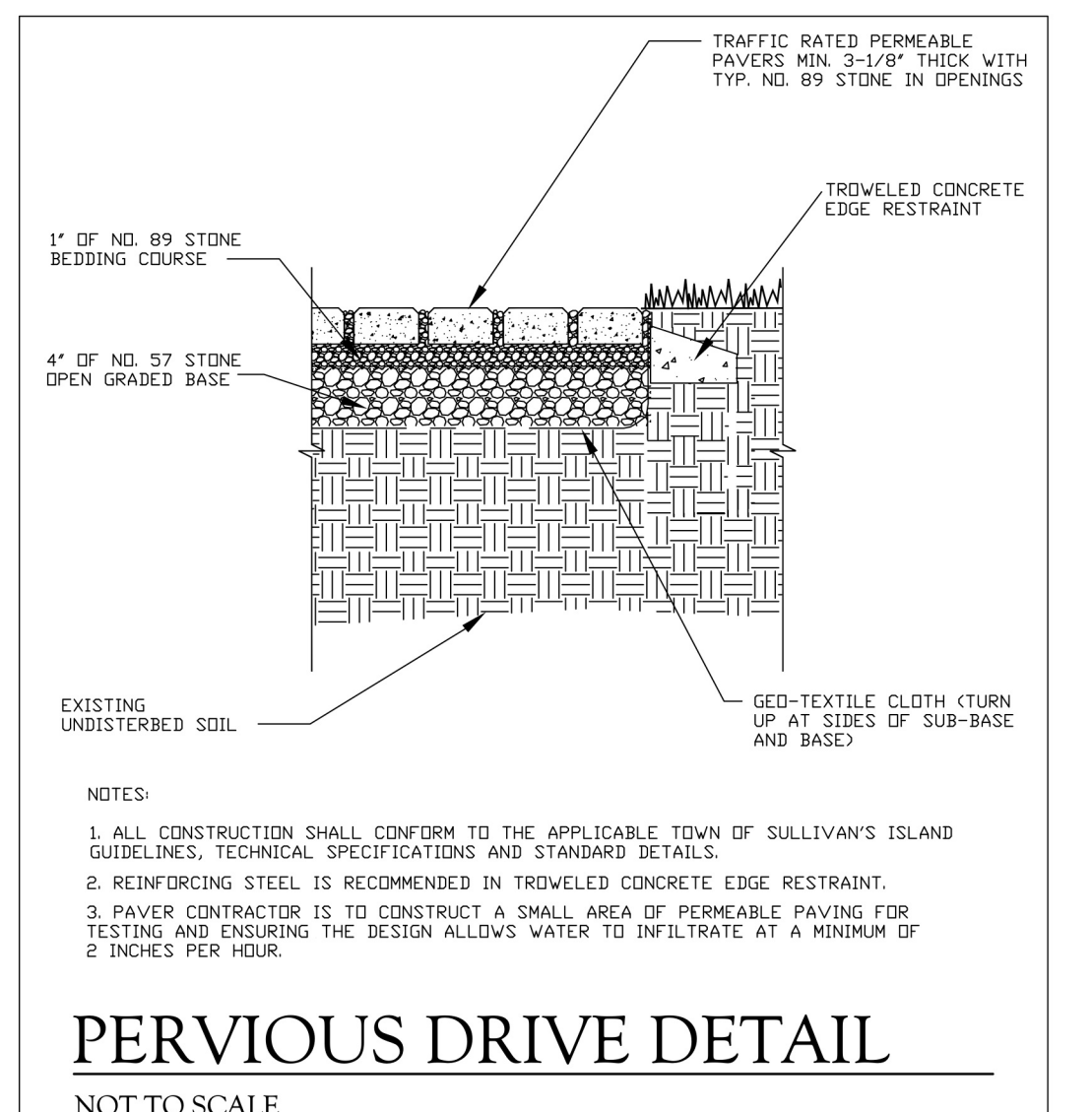
SEC. 21-27
 Principle building sq.ft. (See Equation)=[(Lot area - 5,000 sq.ft.)/100 sq.ft.] x (10) + 2,400
 = 3,672 sq.ft.
 Proposed building sq.ft. = **3,495 sq.ft.**

10/14/2024

A Rear stair relocation - No change in pervious lot coverage or building footprint



Pervious Driveway shall infiltrate 2 inches of stormwater per hour, in accordance with 7.0. Section 2



STATE OF SOUTH CAROLINA
KENNETH MILLER ARCHITECTURE, LLC
 No. 8309 Charleston, S.C.
 REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
KENNETH MILLER ARCHITECTURE, LLC
 No. 100675 Charleston, SC
 REGISTERED ARCHITECT

SHEET TITLE:
Existing / Proposed lot coverage

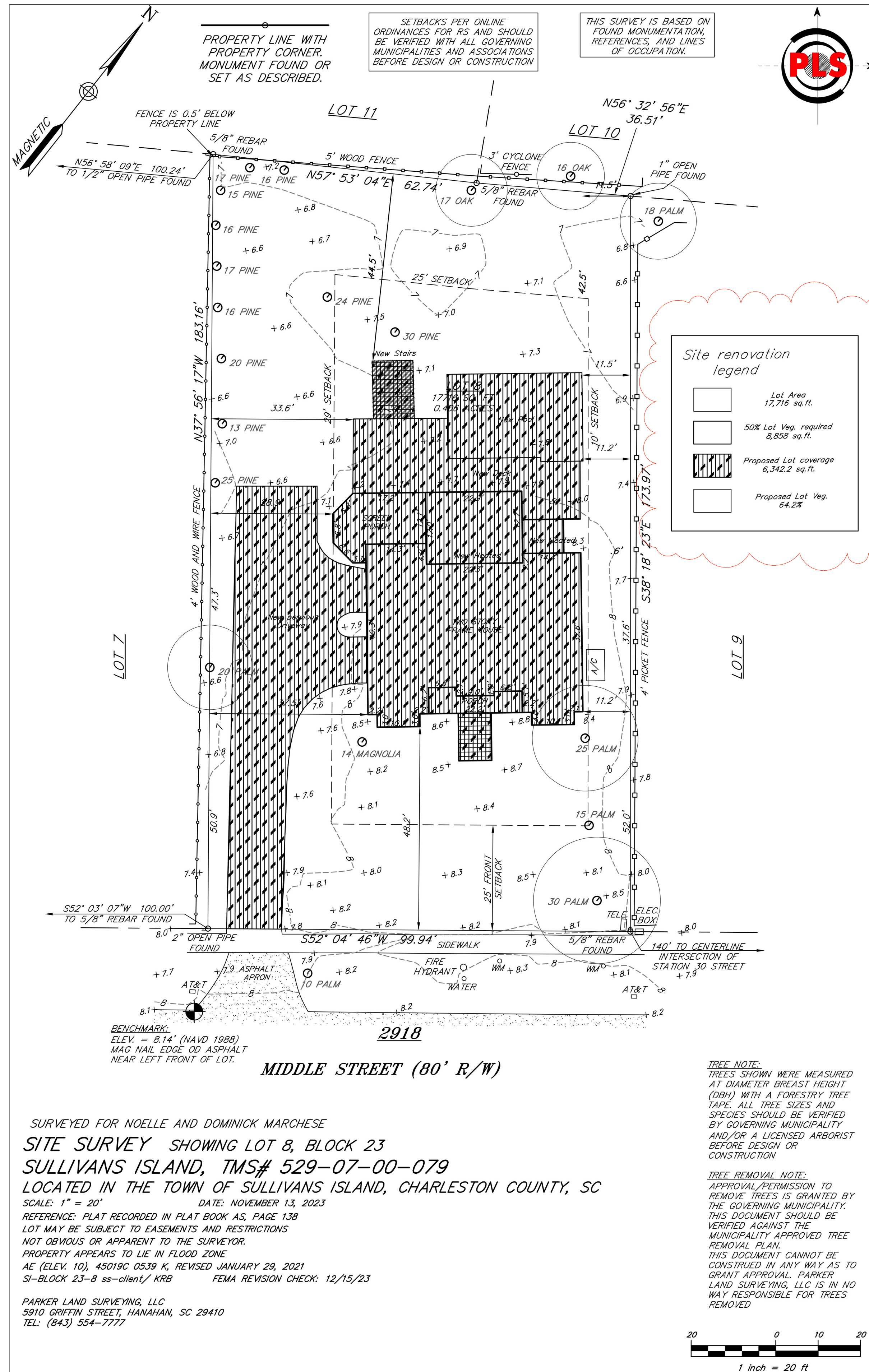
PROJECT DESCRIPTION:
Marchese Residence
 2918 Middle Street
 Sullivan's Island, SC

DRAWINGS PROVIDED BY:
KENNETH MILLER ARCHITECTURE
 kemillerarchitect@gmail.com - 540-293-6234

DATE:
 10/14/24

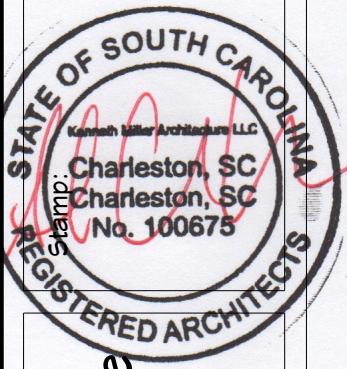
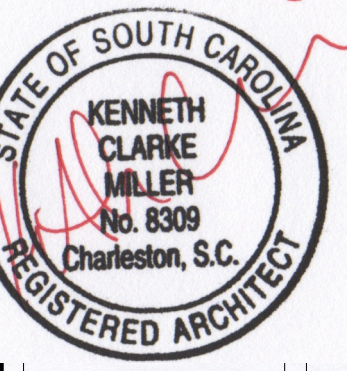
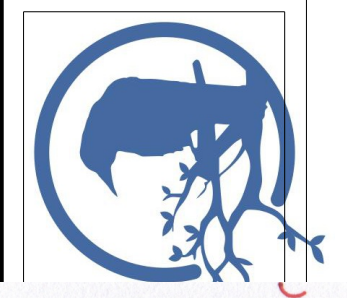
SCALE:
 NTS

SHEET:
A-2



Site renovation legend

- Lot Area 17,716 sq.ft.
- 50% Lot Veg. required 8,858 sq.ft.
- Proposed Lot coverage 6,342.2 sq.ft.
- Proposed Lot Veg. 64.2%



SHEET TITLE:
50% vegetation coverage

PROJECT DESCRIPTION:
Marchese Residence
2918 Middle Street
Sullivan's Island, SC

DRAWINGS PROVIDED BY:
KENNETH MILLER ARCHITECTURE
kcmillerarchitect@gmail.com - 540-293-6234

DATE:
10/14/24

SCALE:
NTS

SHEET:
A-2a

GENERAL NOTE:

CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY KENNETH MILLER ARCHITECTURE IMMEDIATELY OF ANY DISCREPANCIES AND/OR ANY EXISTING SITE CONDITIONS THAT ARE INCONSISTENT WITH THE DRAWINGS.

ALL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS RELATED TO OTHER DISCIPLINES. THE GENERAL CONTRACTOR SHALL CHECK AND COORDINATE DIMENSIONS AND CLEARANCES WITH THE WORK OF ALL TRADES.

THE DRAWINGS HEREIN ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO CONVEY ALL INFORMATION NECESSARY FOR CONSTRUCTION. CONTRACTOR SHALL COORDINATE SYSTEMS INSTALLATION REQUIREMENTS, ROUGH-IN CONNECTIONS, AND MATERIALS REQUIREMENTS FOR INSTALLATION.

KENNETH MILLER ARCHITECTURE, LLC TO PROVIDE PROFESSIONAL SERVICES LIMITED TO THE PREPARATION OF CONSTRUCTION DOCUMENTS ONLY, WITH NO CONSTRUCTION ADMINISTRATION. KENNETH CLARKE MILLER IS NOT RESPONSIBLE FOR INTERPRETING THE INTENT OF THE CONSTRUCTION DOCUMENTS, INCLUDING MAKING MODIFICATIONS AS MAY BE NECESSARY DURING THE CONSTRUCTION PHASE; AND THAT THE ARCHITECT OF RECORD IS NO LONGER LIABLE FOR THE WORK WHERE CHANGES TO THESE DOCUMENTS HAVE BEEN MADE.

CONTRACTORS TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY KENNETH MILLER ARCHITECTURE IMMEDIATELY OF ANY DISCREPANCIES AND/OR ANY EXISTING SITE CONDITIONS THAT ARE INCONSISTENT WITH THE DRAWINGS.

ALL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS RELATED TO OTHER DISCIPLINES. THE GENERAL CONTRACTOR SHALL CHECK AND COORDINATE DIMENSIONS AND CLEARANCES WITH THE WORK OF ALL TRADES.

THE DRAWINGS HEREIN ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO CONVEY ALL INFORMATION NECESSARY FOR CONSTRUCTION. CONTRACTOR SHALL COORDINATE SYSTEMS INSTALLATION REQUIREMENTS, ROUGH-IN CONNECTIONS, AND MATERIALS REQUIREMENTS FOR INSTALLATION.

EXISTING WALL DIMENSIONS ARE TO WALL SURFACE U.N.O. - FIELD VERIFY ALL DIMENSIONS

NEW WALL DIMENSIONS ARE TO FACE OF STUD U.N.O. - FIELD VERIFY ALL DIMENSIONS

VERIFY ALL FOUNDATION DETAILS PER LOCAL CODES AND / OR DESIGN PROFESSIONAL.

VERIFY ROFESSIONAL.

VERIFY ALL HOLDDOWN / SHEARWALL DETAILS PER LOCAL CODES AND / OR DESIGN PROFESSIONAL.

CONTRACTOR RESPONSIBLE FOR ALL WATERPROOFING AND WATER MANAGEMENT DETAILS.

PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTICAL SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC...TO SATISFACTION OF OWNER PRIOR TO INSTALLATION. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER.

GENERAL NOTES (A):

1) CONTRACTOR SHALL INSURE ALL WORK IS IN CONFORMANCE WITH ALL APPLICABLE BUILDING CODES. WORK SHALL BE COMPLETED IN STRICT ACCORDANCE WITH THE LATEST EDITIONS OF THE N.Y.S. UNIFORM FIRE PREVENTION AND BUILDING CODE, N.Y.S. ENERGY CONSERVATION CODE, N.Y.S. PLUMBING CODE, NATIONAL ELECTRIC CODE, AND ALL OTHER FEDERAL, STATE AND LOCAL AGENCY REGULATIONS HAVING JURISDICTION OVER THIS PROJECT. IN THE EVENT OF ANY DISCREPANCIES BETWEEN AGENCY REQUIREMENTS. THE CONTRACTOR SHALL OBSERVE THE MORE STRINGENT OF REQUIREMENTS.

2) ALL WORK SHALL COMPLY WITH THE STANDARDS OF THE NATIONAL BOARD OF FIRE UNDERWRITERS (NBFU), INDUSTRIAL RISK INSURANCE UNDERWRITERS (IRI), FACTORY MUTUAL (FM), OR THE APPLICABLE RATING BUREAU. THE NATIONAL ELECTRIC CODE (NEC), THE AMERICAN GAS ASSOCIATION (AGA), AND THE AMERICAN SOCIETY OF HEATING AND AIR CONDITIONING ENGINEERS (ASHAE), OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION (OSHA), APPLICABLE STATE AND CITY BUILDING CODES AND THE REQUIREMENTS OF ALL PUBLIC UTILITY COMPANIES SERVING THE PROJECT SITE.

3) CONTRACTOR (AND HIS SUBCONTRACTORS) SHALL BE LICENSED BY THE STATE IN WHICH THE PROJECT IS LOCATED AND APPROVED IN ADVANCE BY THE OWNER.

4) CONTRACTOR SHALL FILE ALL APPLICATIONS, PAY FOR ALL NECESSARY PERMITS AND SECURE CERTIFICATES OF OCCUPANCY FOR THE PROJECT.

5) ALL WORK IS TO BE COORDINATED WITH THE OWNER. THE CONTRACTOR IS TO MEET WITH THE OWNER PRIOR TO STARTING CONSTRUCTION. THE CONTRACTOR WILL PRESENT THE BUILDING PERMIT AND INSURANCE CERTIFICATES TO THE OWNER PRIOR TO STARTING CONSTRUCTION.

6) CONTRACTOR SHALL PROVIDE ANY NECESSARY MEASURES TO PROTECT THE WORKERS AND OTHER PERSONS DURING CONSTRUCTION.

7) CHECK WITH THE OWNER FOR COORDINATION OF THE WORK UNDER THIS CONTRACT WITH WORK OF OTHER TRADES. OWNER'S REGULATIONS GOVERN ALL ASPECTS OF OUTSIDE CONTRACTORS WORKING ON THE PROPERTY.

8) CONTRACTOR SHALL KEEP THE JOB FREE OF DEBRIS AND MAKE FINAL CLEANUP TO THE SATISFACTION OF THE OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL CONSTRUCTION DEBRIS FROM PROJECT SITE AND SHALL PROVIDE DUMPSTERS ETC. AS REQUIRED. REMOVE ALL DEBRIS ON A DAILY BASIS.

9) CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING BUILDINGS AND OTHER INSTALLATIONS THAT ARE TO REMAIN INTACT WHILE PERFORMING THE SPECIFIED WORK. PROVIDE AND MAINTAIN FIRE EXTINGUISHERS ON PROJECT SITE DURING CONSTRUCTION.

10) UNLESS INDICATED OTHERWISE, ALL MATERIAL FURNISHED AND INCORPORATED INTO THE WORK SHALL BE NEW, UNUSED AND OF QUALITY STANDARD TO THE INDUSTRY FOR FIRST CLASS WORK OF SIMILAR NATURE AND CHARACTER. INSTALL ALL MATERIALS TO THE MANUFACTURER'S RECOMMENDATIONS AND BEST STANDARD OF THE TRADES INVOLVED.

11) CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS IN FIELD PRIOR CONSTRUCTION. NOTIFY ARCHITECT OF ANY DISCREPANCIES ON DRAWINGS.

GENERAL NOTES (B):

1) VISIT THE SITE TO VERIFY EXISTING CONDITIONS. EXISTING CONCEALED CONDITIONS AND CONNECTIONS ARE BASED UPON INFORMATION TAKEN FROM LIMITED FIELD INVESTIGATIONS. CONTRACTOR SHALL MAKE REQUIRED ADJUSTMENTS TO SYSTEM COMPONENTS AS NECESSITATED BY ACTUAL FIELD CONDITIONS AT NO ADDITIONAL COST TO OWNER OR ARCHITECT. REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS AND ACTUAL FIELD CONDITIONS TO THE ARCHITECT BEFORE CONSTRUCTION BEGINS.

2) UNLESS OTHERWISE INDICATED ALL INTERIOR FINISHES SHALL BE AS DIRECTED BY THE OWNER.

3) CONTRACTOR TO OBTAIN AND PROVIDE OWNER WITH COLOR SAMPLES FOR PROPER COLOR SELECTION AND FINAL APPROVAL OF ALL FINISHES PRIOR TO INSTALLATION.

4) INTERIOR FINISHES SHALL BE CLASS C (SURFACE FLAME SPREAD RATING OF 76-200) MINIMUM IN CONFORMITY WITH GENERALLY ACCEPTED STANDARDS. CARPETING SHALL BE CLASS 2 WITH A MINIMUM CRITICAL RADIANT FLUX OF .22-WATTS PER SQUARE CENTIMETER.

5) ALL GYPSUM BOARD WORK SHALL BE DONE IN ACCORDANCE WITH THE DRYWALL CONSTRUCTION HANDBOOK, LATEST EDITION, PREPARED BY UNITED STATES GYPSUM. ALL JOINTS AND SEAMS SHALL BE TAPED AND FINISHED IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION RECOMMENDATIONS.

GENERAL NOTE:

SEDIMENT CONTROL REQUIRED ON ALL SIDES @ PROPERTY LINE. MAXIMUM 20'-0" ACCESS POINT ALLOWED ALONG STREET.

SEE LANDSCAPE PLANS FOR FINAL DRAINAGE REQUIREMENTS.

TREE PROTECTION REQUIRED AT ALL PROTECTED TREES. INSTALL PER CHARLESTON COUNTY GUIDELINES.

PROPERTY APPEARS TO BE LOCATED IN FLOOD ZONE AE10. SEE SURVEY FOR FURTHER CLARIFICATION.

WETLAND AND SILT FENCE BARRIER. KENNETH MILLER ARCHITECTURE, LLC IS NOT RESPONSIBLE FOR THE UPKEEP OF SILT FENCE, TREE PROTECTION OR WETLAND BARRIERS. GENERAL CONTRACTOR IS TASKED WITH THE DUTY OF MANAGING ALL SITE CONDITIONS INCLUDING THE ABOVE BUT NOT LIMITED TO MATERIAL STORAGE, CONTAINMENT OF TRASH AND WIND BLOWN DEBRIS.

FINAL GRADING AND DRAINAGE SHALL NOT IMPACT ADJACENT PROPERTIES

ONLY FLOOD RESISTANT CLASS 4 AND 5 MATERIALS PER FEMA TECHNICAL BULLETIN 2 WILL BE INSTALLED BELOW DESIGN FLOOD ELEVATION.

ALL ENCLOSED AREAS BELOW THE DESIGN FLOOD SHALL BE DESIGNED TO AUTOMATICALLY EQUALIZE HYDROSTATIC AND HYDRODYNAMIC FLOOD FORCES ON EXTERIOR WALLS BY ALLOWING FOR THE ENTRY AND EXIT OF FLOODWATERS.

CODE APPLICABILITY (SEE STRUCTURAL SHEETS)

1) ALL WORK TO BE IN ACCORDANCE WITH CURRENT APPLICABLE CODES & STANDARDS

DEMOLITION NOTES:

1) REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.

2) ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.

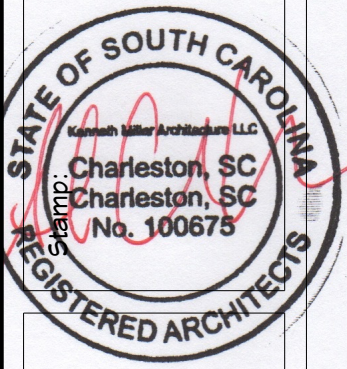
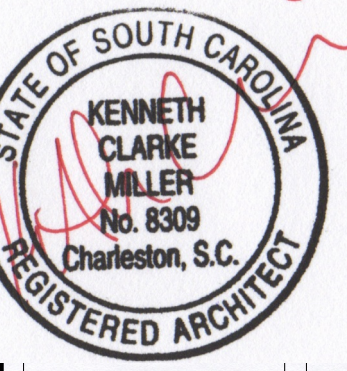
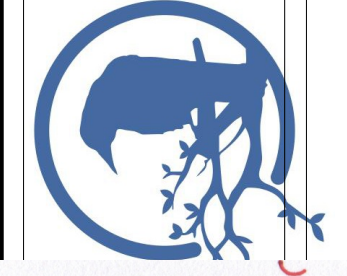
3) REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC.. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.

4) ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS TO WHICH THEY SOIL PRESSURE INCLUDING SURCHARGE, HYDROSTATIC HEAD AND IMPACT LOADS AS APPLICABLE. MINIMUM DESIGN LOAD VALUES SHALL BE AS FOLLOWS:
100 P.S.F. LIVE LOAD (FIRST FLOOR)
35 P.S.F. LIVE LOAD (SNOW)
20 P.S.F. DEADLOAD (FLOORS/ROOF)
MAXIMUM ALLOWABLE DEFLECTION @ L/360 OF SPAN

5) PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER.

6) PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATES OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION.

7) WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.



SHEET TITLE: General Notes

PROJECT DESCRIPTION: Marchese Residence 2918 Middle Street Sullivan's Island, SC

DRAWINGS PROVIDED BY: KENNETH MILLER ARCHITECTURE kcmillerarchitect@gmail.com - 540-293-6234

DATE: 10/14/24

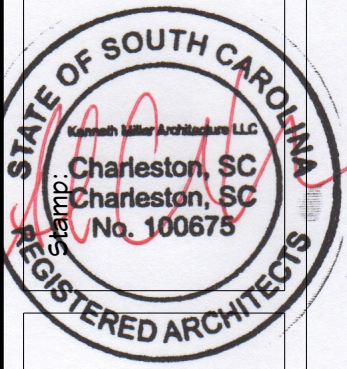
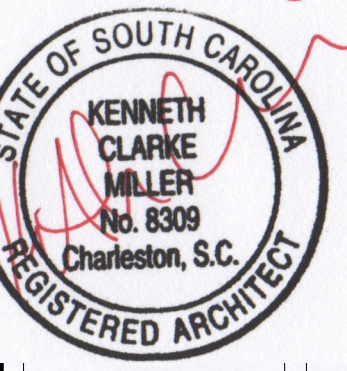
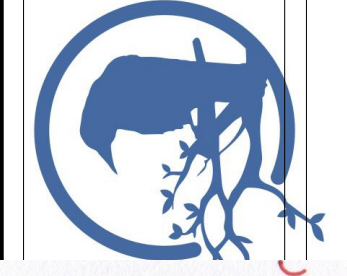
SCALE: NTS

SHEET: A-3



Existing 1st floor plan photos

Do to the image size and quantity of photos taken, images will be provided upon request to maximize efficiency.



SHEET TITLE:
Existing 1st Floor with
photo reference

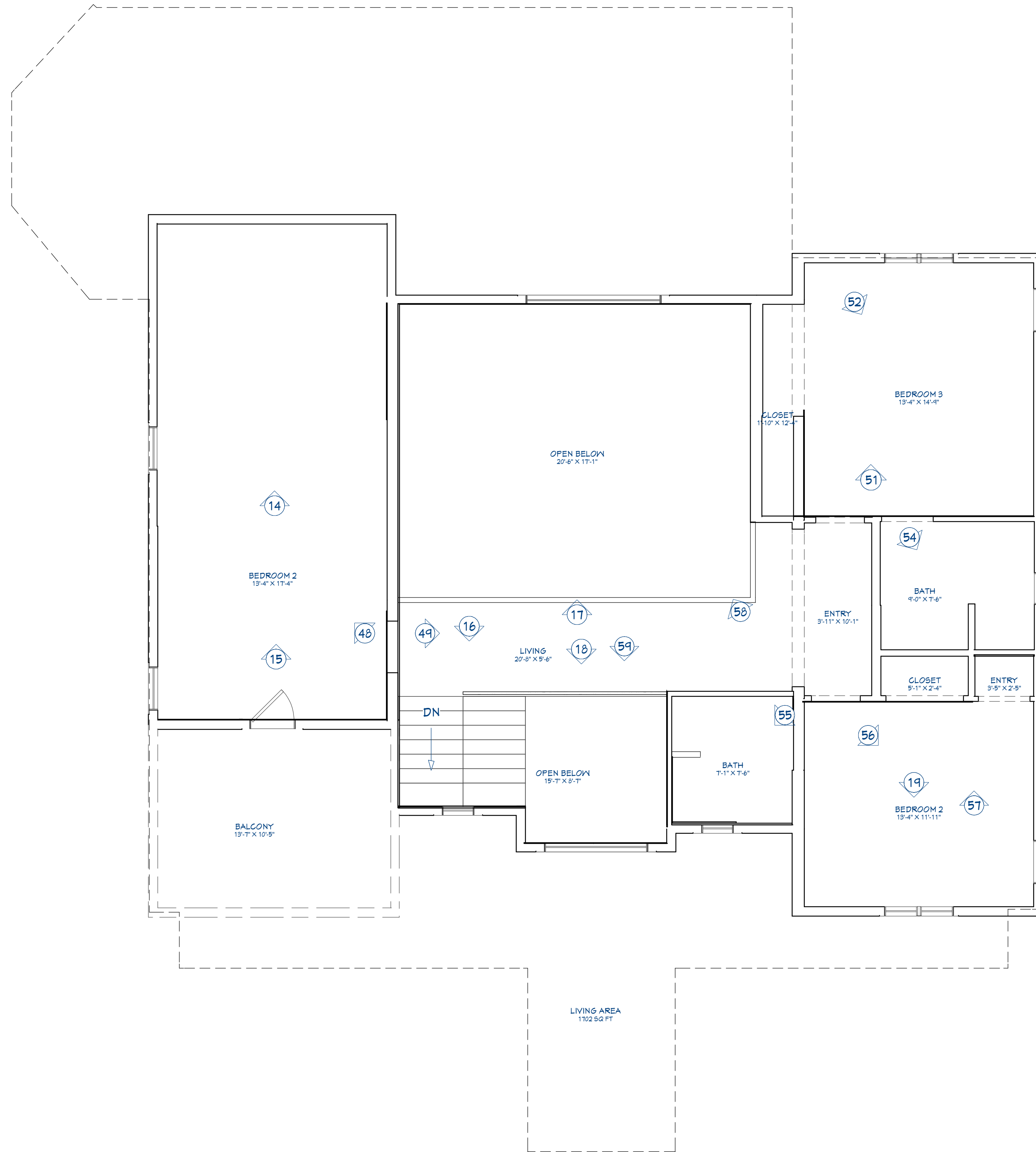
PROJECT DESCRIPTION:
Marchese Residence
2918 Middle Street
Sullivan's Island, SC

DRAWINGS PROVIDED BY:
KENNETH MILLER
ARCHITECTURE
kcmillerarchitect@gmail.com - 540-293-6234

DATE:
10/14/24

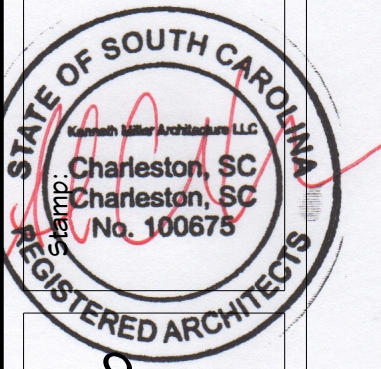
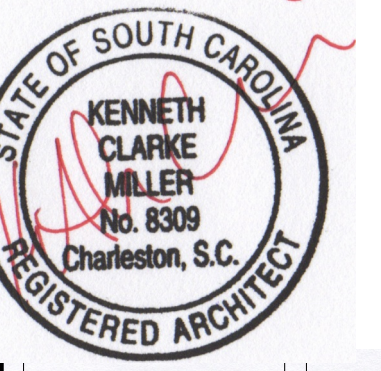
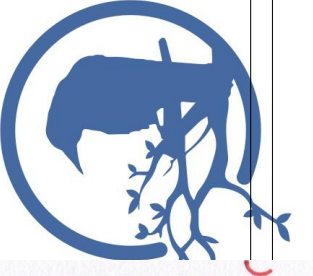
SCALE:
NTS

SHEET:
A-4



Existing 2nd floor plan photos

Do to the image size and quantity of photos taken, images will be provided upon request to maximize efficiency.



SHEET TITLE:
Existing 2nd floor w/photo reference

PROJECT DESCRIPTION:
Marchese Residence
2918 Middle Street
Sullivan's Island, SC

DRAWINGS PROVIDED BY:
KENNETH MILLER
ARCHITECTURE
kcmillerarchitect@gmail.com - 540-293-6234

DATE:
10/14/24

SCALE:
NTS

SHEET:

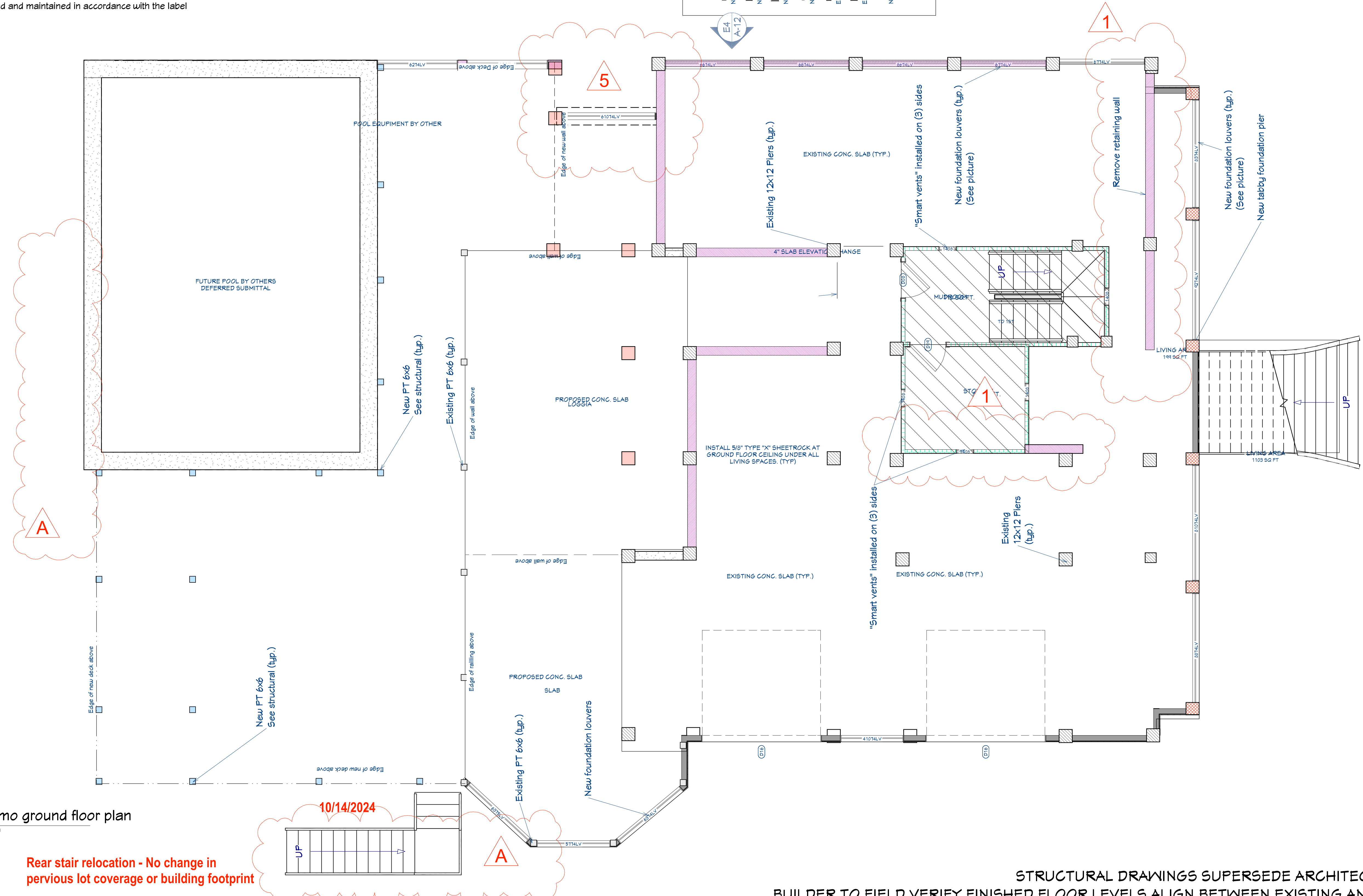
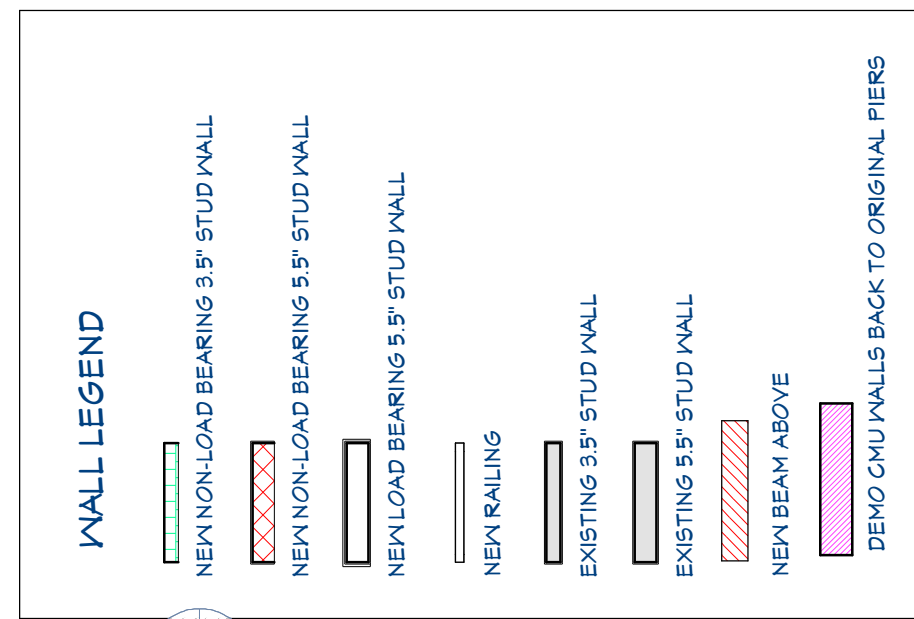
A-5

NOTE 1:

- A. only flood resistant class 4 and 5 materials per FEMA Technical Bulletin 2 will be installed below design flood elevation.
- B. No electrical, plumbing, mechanical equipment or duct shall be installed below flood elevation except for main service disconnect, (2) code required exterior GFCI (front & rear), and (1) GFCI light switch
- C. Propane Tank to be installed (per GC)
 - 250 Gallon
 - Mounded
 - 10' Clearance
 - 1" Pipe
- D. Termite-baiting system installed and maintained in accordance with the label

NOTE 2:

- A. The building thermal envelope shall be durably sealed to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. The following shall be caulked, gasketed, weatherstripped or otherwise sealed with an air barrier material, suitable film or solid material:
 - All joints, seams and penetrations. Site-built windows, door assemblies and their respective jambs and framing. Utility penetrations. Dropped ceilings or chases adjacent to the thermal envelope. Knee walls Walls and ceilings separating a garage from conditioned spaces. Behind tubs and showers on exterior walls. Common walls between dwelling units Attic access openings. Rim joist junction. Other sources of infiltration.
- B. Material to be used as an air barrier to be 1/2" drywall sealed along edges with caulk

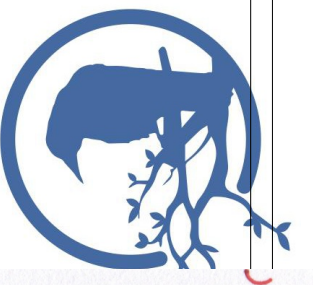


Proposed / demo ground floor plan
Scale 1/4" = 1'

Rear stair relocation - No change in pervious lot coverage or building footprint

10/14/2024

STRUCTURAL DRAWINGS SUPERSEDE ARCHITECTURAL RELATED
BUILDER TO FIELD VERIFY FINISHED FLOOR LEVELS ALIGN BETWEEN EXISTING AND NEW ADDITION



STATE OF SOUTH CAROLINA
KENNETH CLARKE MILLER
No. 8309
Charleston, S.C.
REGISTERED ARCHITECT

STATE OF SOUTH CAROLINA
KENNETH CLARKE MILLER
No. 100678
Charleston, SC
Charleston, SC
REGISTERED ARCHITECT

SHEET TITLE:
Proposed ground floor /
demo

PROJECT DESCRIPTION:
Marchese Residence
2918 Middle Street
Sullivan's Island, SC

DRAWINGS PROVIDED BY:
KENNETH MILLER
ARCHITECTURE
kcmillerarchitect@gmail.com - 540-293-6234

DATE:
10/14/24

SCALE:
NTS

SHEET:
A-6

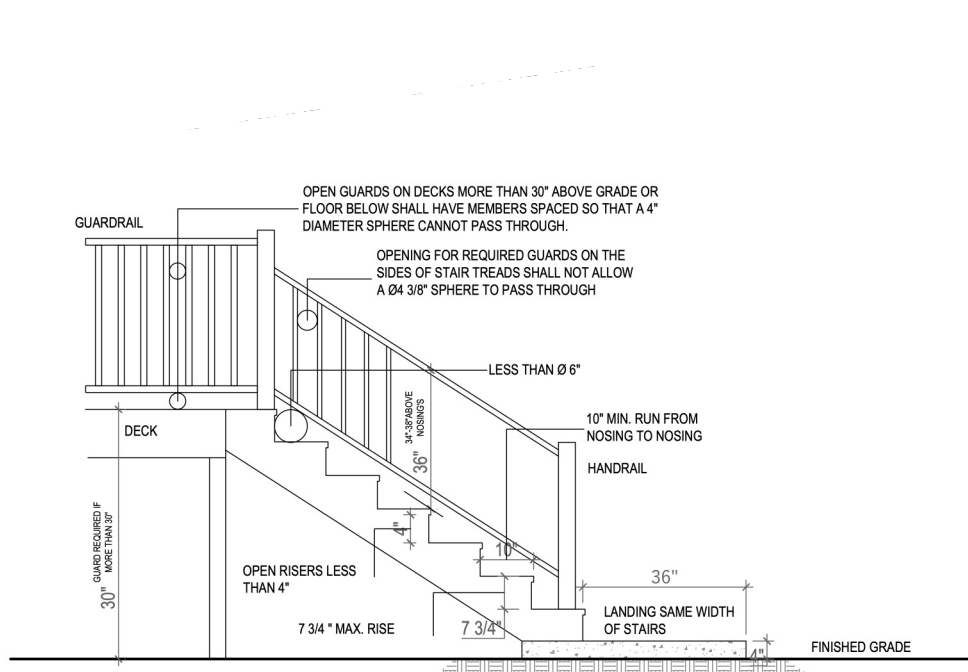
NOTE 2:

A. The building thermal envelope shall be durably sealed to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. The following shall be caulked, gasketed, weatherstripped or otherwise sealed with an air barrier material, suitable film or solid material:

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B. Material to be used as an air barrier to be 1/2" drywall sealed along edges with caulk

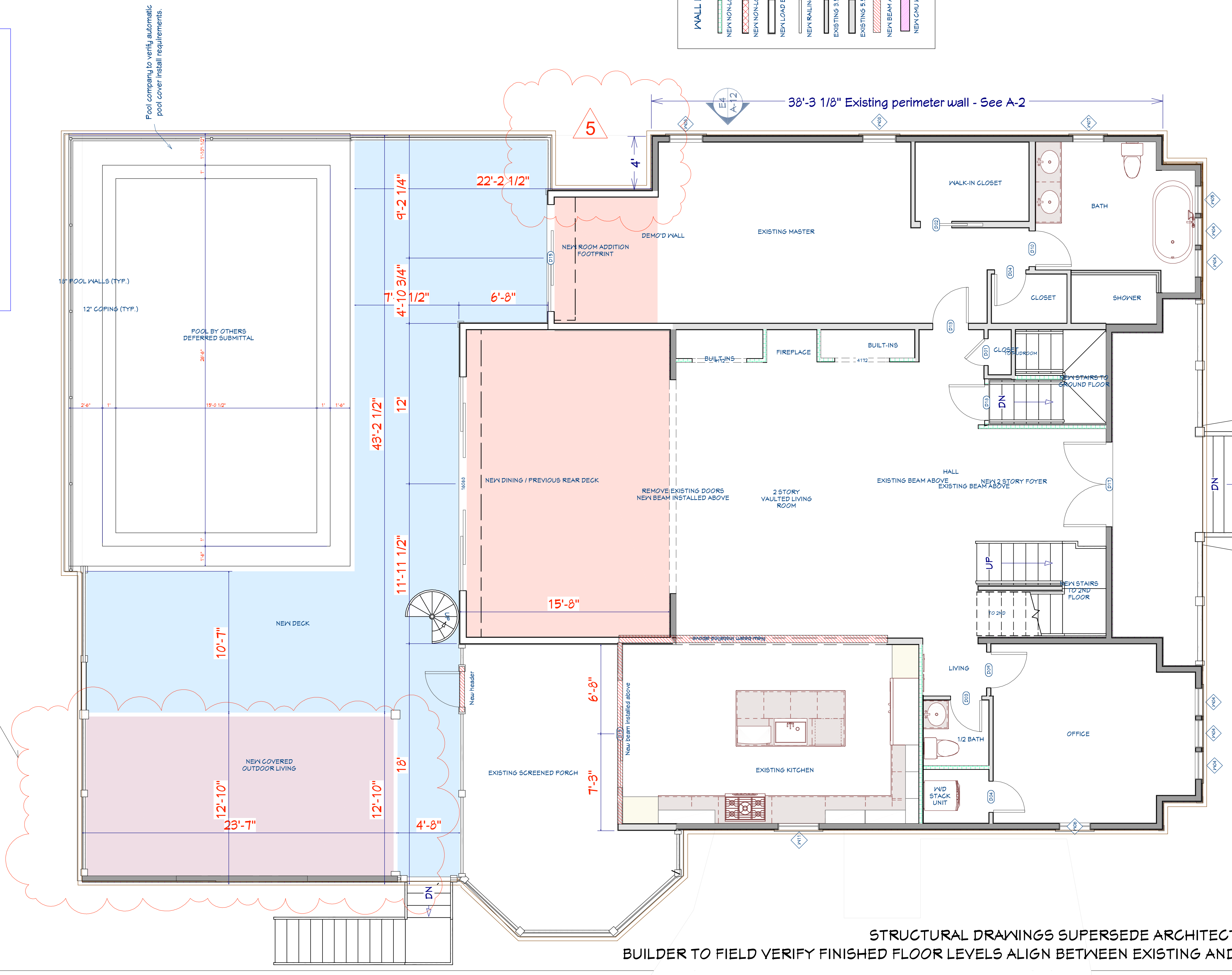
CODE REQUIREMENTS BASED ON THE 2021 INTERNATIONAL RESIDENTIAL CODE



STAIRWAY NOTES:
 STAIRWAYS SHALL BE NOT LESS THAN 36" IN WIDTH. STAIRWAY RISERS SHALL BE NO GREATER THAN 7 3/4". STAIRWAY TREADS SHALL HAVE A MINIMUM RUN OF 10". THE LENGTH OF RUN AND THE HEIGHT OF RISER SHALL NOT VARY MORE THAN 3/8" IN THE RUN OF THE STAIR.
 STAIRWAYS ARE REQUIRED TO BE ILLUMINATED.
 OPEN RISERS ARE PERMITTED IF THE OPENING IS LESS THAN 4". TREAD NOSING SHALL NOT BE LESS THAN 3/8" BUT NOT MORE THAN 1 1/4" ON STAIRWAYS WITH SOLID TREADS EXCEPT WHEN TREADS ARE 1" OR MORE COMPOSITE MATERIALS MAY REQUIRE ADDITIONAL STRENGTHENERS.

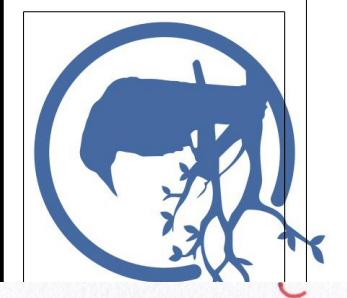
WALL LEGEND

- NEW NON-LOAD BEARING 3.5" STUD WALL
- NEW NON-LOAD BEARING 5.5" STUD WALL
- NEW LOAD BEARING 9.5" STUD WALL
- NEW RAILING
- EXISTING 3.5" STUD WALL
- EXISTING 5.5" STUD WALL
- NEW BEAM ABOVE
- NEW CMU WALLS WITH SMART VENTS

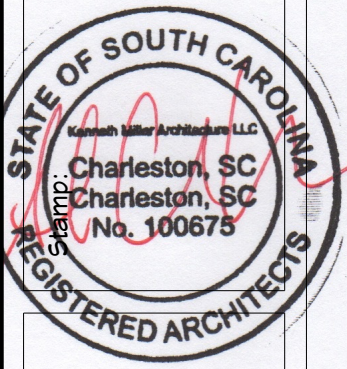


Proposed / demo first floor plan
 Scale 1/4" = 1'

STRUCTURAL DRAWINGS SUPERSEDE ARCHITECTURAL RELATED
 BUILDER TO FIELD VERIFY FINISHED FLOOR LEVELS ALIGN BETWEEN EXISTING AND NEW ADDITION



STATE OF SOUTH CAROLINA
 KENNETH CLARKE MILLER
 No. 8309
 Charleston, S.C.
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STATE OF SOUTH CAROLINA
 KENNETH CLARKE MILLER
 No. 100675
 Charleston, S.C.
 REGISTERED ARCHITECT

SHEET TITLE:
 Existing / proposed 1st floor

PROJECT DESCRIPTION:
 Marchese Residence
 2918 Middle Street
 Sullivan's Island, SC

DRAWINGS PROVIDED BY:
 KENNETH MILLER ARCHITECTURE
 kmillerarchitect@gmail.com - 540-293-6234

DATE:
 10/14/24

SCALE:
 NTS

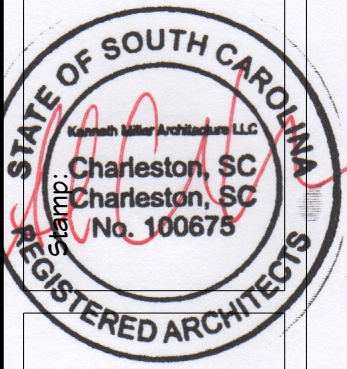
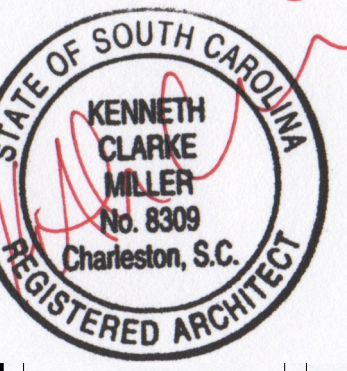
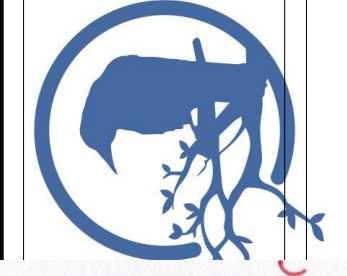
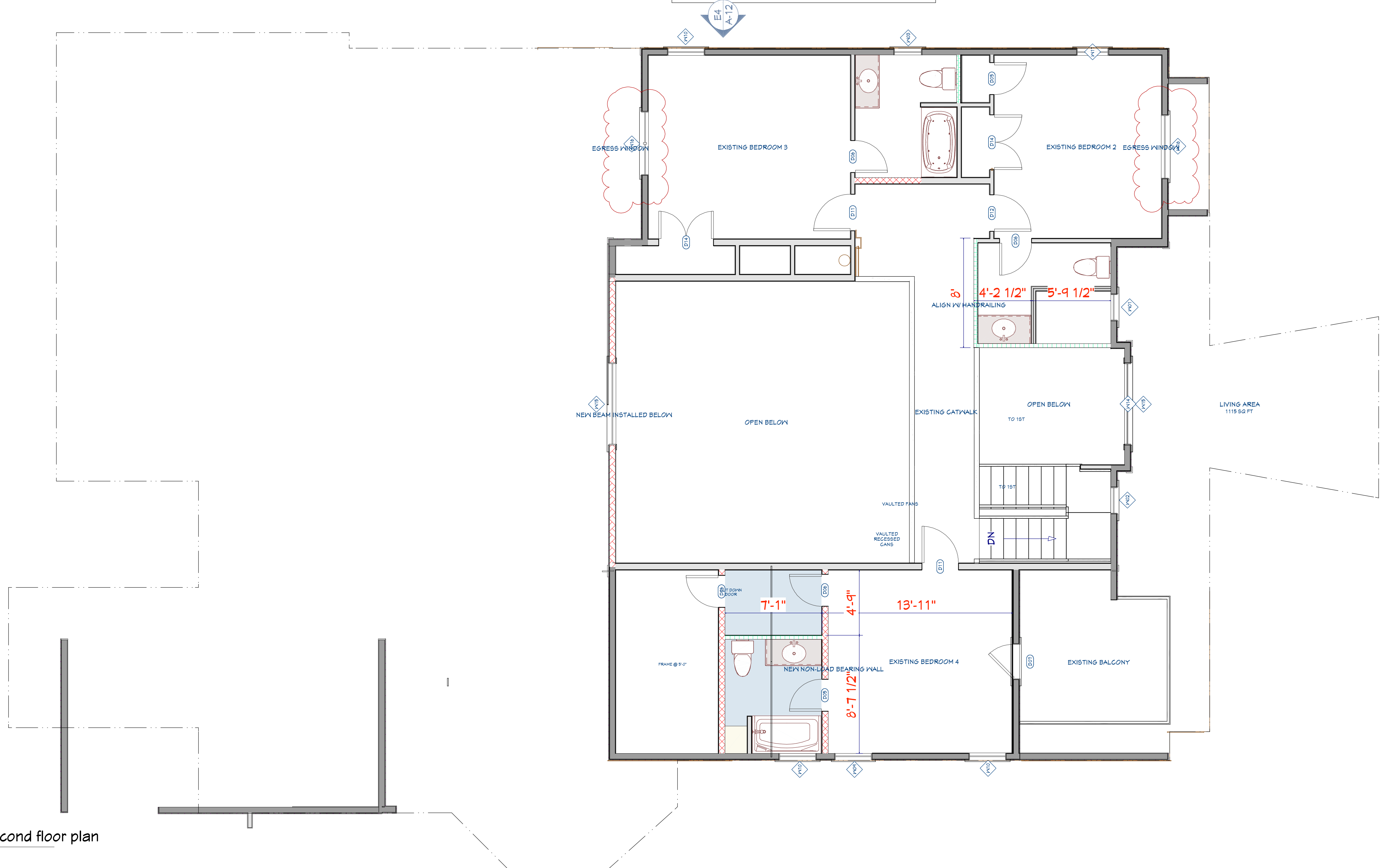
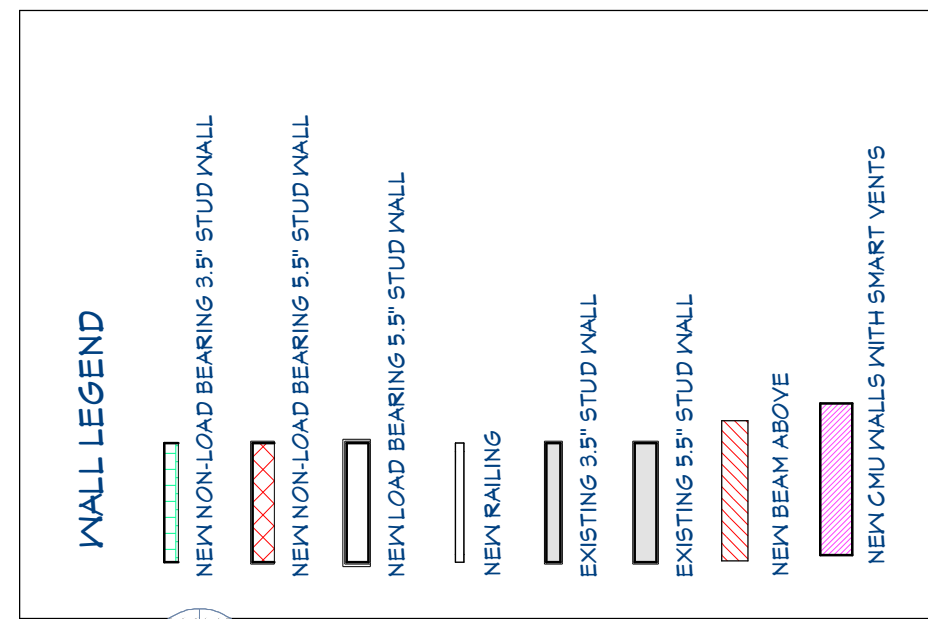
SHEET:
 A-7

NOTE 2:

A. The building thermal envelope shall be durably sealed to limit infiltration. The sealing methods between dissimilar materials shall allow for differential expansion and contraction. The following shall be caulked, gasketed, weatherstripped or otherwise sealed with an air barrier material, suitable film or solid material:

All joints, seams and penetrations. Site-built windows, door assemblies and their respective jambs and framing. Utility penetrations. Dropped ceilings or chases adjacent to the thermal envelope. Knee walls Walls and ceilings separating a garage from conditioned spaces. Behind tubs and showers on exterior walls. Common walls between dwelling units Attic access openings. Rim joist junction. Other sources of infiltration.

B. Material to be used as an air barrier to be 1/2" drywall sealed along edges with caulk



SHEET TITLE:
Existing / proposed 2nd floor

PROJECT DESCRIPTION:
**Marchese Residence
2918 Middle Street
Sullivan's Island, SC**

DRAWINGS PROVIDED BY:
**KENNETH MILLER
ARCHITECTURE**
kcmillerarchitect@gmail.com - 540-293-6234

DATE:
10/14/24

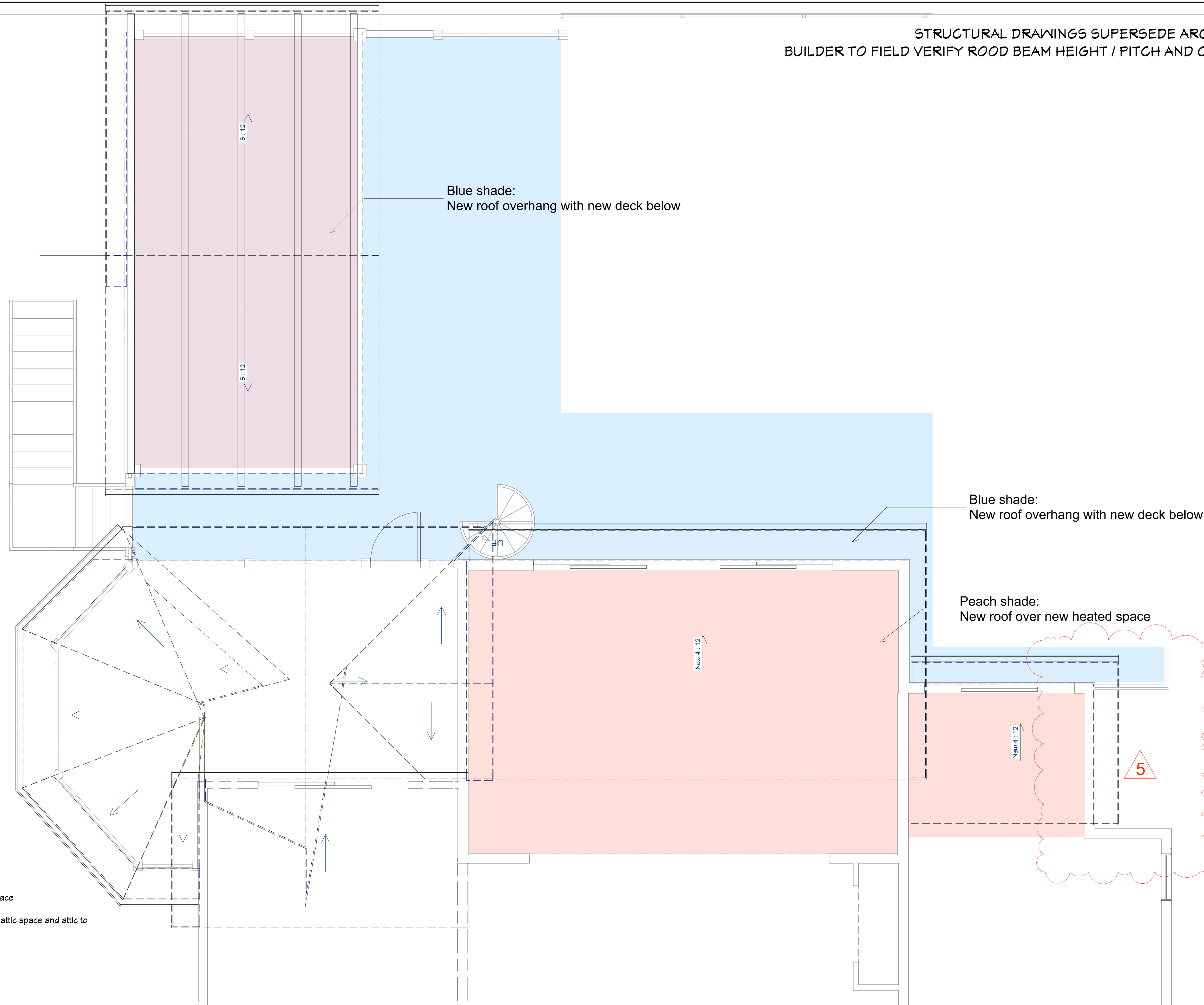
SCALE:
NTS

SHEET:

A-8

STRUCTURAL DRAWINGS SUPERSEDE ARCHITECTURAL RELATED
BUILDER TO FIELD VERIFY FINISHED FLOOR LEVELS ALIGN BETWEEN EXISTING AND NEW ADDITION

STRUCTURAL DRAWINGS SUPERSEDE ARCHITECTURAL RELATED
BUILDER TO FIELD VERIFY ROOD BEAM HEIGHT / PITCH AND CONNECTION FLASHING

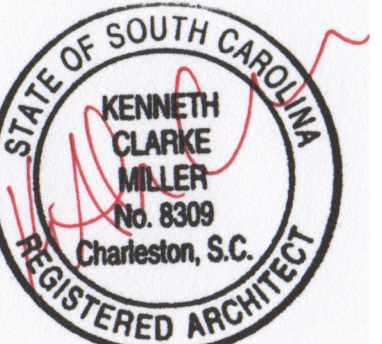
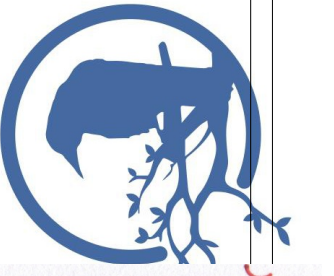


NOTE:

BATT insulation to be installed in attic space
or
3" closed cell insulation to be installed in attic space and attic to
be conditioned.

Verify per General contractor

Proposed roof plan
Scale 1/4" = 1'



SHEET TITLE:
Existing and Proposed
roof plan

PROJECT DESCRIPTION:
Marchese Residence
2918 Middle Street
Sullivan's Island, SC

DRAWINGS PROVIDED BY:
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kcmillerarchitect@gmail.com - 540-293-6234

DATE:
10/14/24

SCALE:
NTS

SHEET:

A-9

Door and Window Notes, Egress, Windows to be replaced with Anderson 400 Storm Watch Impact

DOOR AND WINDOW NOTES:

EVERY BEDROOM SHALL BE PROVIDED WITH AN EGRESS WINDOW WITH FINISH SILL HEIGHT NOT GREATER THAN 44" ABOVE THE FINISH FLOOR HEIGHT AND SHALL HAVE A MINIMUM OPENABLE AREA OF 5.7 SQ. FT. EGRESS WINDOWS SHALL NOT HAVE AN OPENABLE AREA LESS THAN 20" WIDE OR 24" HIGH.

ALL WALK-THRU DOORS SHALL BE SOLID CORE

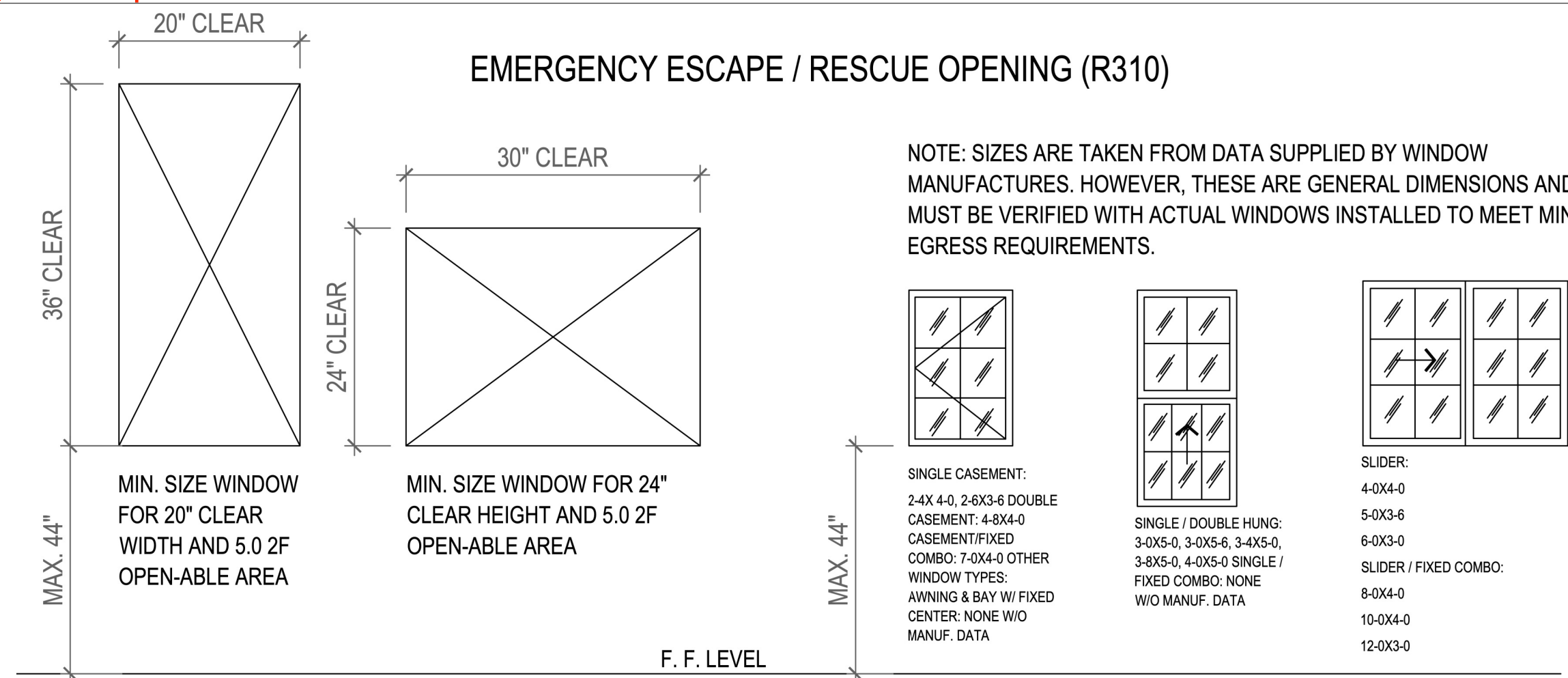
INTERIOR DOORS SHALL BE PAINTED. ENTRY DOOR TO BE DEFINED BY HOME OWNER PRIOR ORDERING

DOORS BETWEEN GARAGE AND LIVING AREA SHALL BE 1-3/4" TIGHT FITTING SOLID CORE DOORS WITH A RATING OF 60 MINUTES. DOOR SHALL BE SELF CLOSING

EXTERIOR EXIT DOORS WILL BE 36" MIN. NET CLEAR DOORWAY SHALL BE 32" MIN. DOOR SHALL BE OPENABLE FROM INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. GLAZING IN DOORS SHALL BE DUAL PANE SAFETY GLASS WITH MIN. U-VALUE OF 0.60

GARAGE DOORS TO BE SECTIONAL, OVERHEAD DOORS

Egress window specifications - GC is responsibility to assure replacement windows meet Egress requirements.



Section R312.2.1-2 of the 2021 South Carolina Residential Code

BASEMENTS IN A DWELLING UNIT AND EVERY SLEEPING ROOM BELOW THE FOURTH STORY (INCLUDES ROOMS WHICH COULD BE USED FOR SLEEPING SUCH AS DENS, SEWING ROOMS, STUDY, ETC.) MUST HAVE AT LEAST ONE OPERABLE WINDOW OR DOOR APPROVED FOR EMERGENCY ESCAPE OR RESCUE WHICH SHALL OPEN DIRECTLY INTO A PUBLIC STREET, PUBLIC ALLEY, YARD, OR EXIT COURT. THE UNITS MUST BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS.

FOR FULL EGRESS, ESCAPE OR RESCUE WINDOWS ARE REQUIRED TO HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQ. FT. (820.8 SQ IN), EXCEPTION: MAY BE REDUCED TO 5.0 SF (720 SQ IN) IF 44" OR LESS FROM EXTERIOR GROUND LEVEL TO SILL. THE MINIMUM NET CLEAR OPENABLE HEIGHT DIMENSION MUST BE 24 INCHES. THE MINIMUM NET CLEAR OPENABLE WIDTH DIMENSION MUST BE 20 INCHES. THEY MUST ALSO HAVE A FINISHED SILL HEIGHT CLEAR OPENINGS OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. IN ORDER TO MEET THE REQUIRED NET-CLEAR OPEN AREA SQUARE-FOOT OPENING, EITHER THE WIDTH OR HEIGHT OR BOTH MUST EXCEED THE MINIMUM DIMENSIONS THEREOF.

WHEN REPLACING EXISTING NONCONFORMING WINDOWS REQUIRED FOR EMERGENCY ESCAPE AND RESCUE, THE REPLACEMENT WINDOWS MUST MEET THE FOLLOWING:

EMERGENCY ESCAPE AND RESCUE REPLACEMENT WINDOW OPENINGS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 4 SQ. FT., MINIMUM NET CLEAR OPENING HEIGHT OF 22 INCHES, MINIMUM NET CLEAR OPENING WIDTH OF 20 INCHES, MINIMUM SILL HEIGHT OF NOT MORE THAN 48 INCHES ABOVE THE FLOOR OR THE INSTALLATION OF ONE OR MORE PERMANENTLY AFFIXED STEPS EXTENDING THE FULL WIDTH OF THE WINDOW OPENING, CONSTRUCTED TO THE CURRENT ADOPTED IRC RISE AND RUN DIMENSIONAL REQUIREMENTS, SO THAT THE TOP STEP IS NO GREATER THAN 44 INCHES TO THE TOP OF THE SILL WHERE THE EXISTING ROUGH OPENING DOES NOT ALLOW FOR REPLACEMENT WINDOW DIMENSIONAL REQUIREMENTS THE ROUGH OPENING SHALL BE ENLARGED AND THE REPLACEMENT WINDOW SHALL MEET THE FULL EMERGENCY ESCAPE AND RESCUE OPENINGS PER IRC SECTION R310.1 THROUGH R310.5 OR IBC SECTION 1026 AS APPLICABLE FOR SCOPE OF PROJECT.

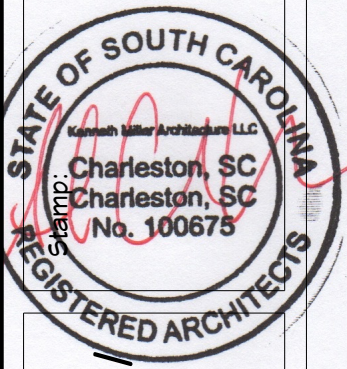
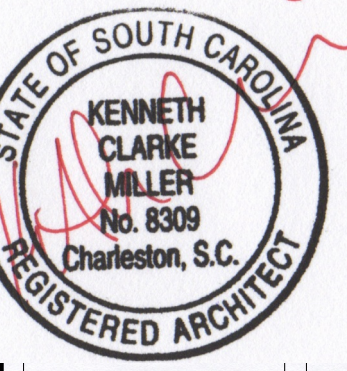
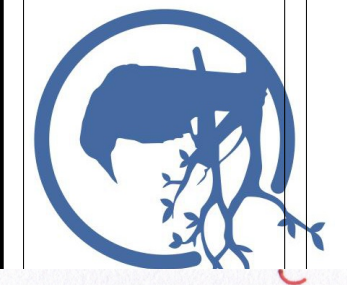
ADDITIONAL GLAZING REQUIREMENTS:

FOR MINIMUM LIGHT, ALL SLEEPING ROOMS AND OTHER HABITABLE ROOMS REQUIRE GLAZING EQUAL TO AT LEAST 8% OF THE FLOOR AREA OF THE ROOM, MINIMUM VENTILATION OF 4% OF THE FLOOR AREA. SEE THE INTERNATIONAL BUILDING OR RESIDENTIAL CODES AS APPLICABLE FOR EXCEPTIONS AND A COMPLETE LIST OF LIGHT AND VENTILATION REQUIREMENTS.

SAFETY GLAZING IS REQUIRED IN DOORS, STORM DOORS, RAILINGS, WITHIN 24 INCHES OF A DOOR, OR WHEN PANES ARE OVER 9 SQUARE FEET AND WITHIN 18 INCHES OF THE FLOOR. SEE THE INTERNATIONAL BUILDING OR RESIDENTIAL CODES FOR EXCEPTIONS AND A COMPLETE LIST OF SAFETY GLAZING REQUIREMENTS.

WINDOW SCHEDULE									
NO.	OFFSET/ELEVATION	NUMBER	TYPE	FLOOR/LEVEL	SIZE	DESCRIPTION	HEADER	GLASS MANUFACTURE	COMMENTS
W01		2033FX	1	2	2033FX	24 1/2"x40 3/8"	FIXED GLASS	27x8"x24 1/2" (2)	LINE # 800-1
W02		2033FX	1	2	2033FX	24 1/2"x40 3/8"	FIXED GLASS	27x8"x21 1/2" (2)	LINE # 100-1
W03		2140DH	1	2	2140DH	25 3/4"x43 1/2"	DOUBLE HUNG	27x8"x23 3/4" (2)	LINE # 800-1
W04		2160DH	9	1	2160DH	26"x12 3/8"	DOUBLE HUNG	27x8"x24" (2)	
W05		2160DH	1	1	2160DH	26"x12 3/8"	DOUBLE HUNG	27x8"x24" (2)	LINE # 800-1
W06		24810DH	1	1	24810DH	27"x11"	DOUBLE HUNG	27x8"x32" (2)	
W07		24810DH	1	1	24810DH	27"x11"	DOUBLE HUNG	27x8"x32" (2)	LINE # 200-1
W08		26510DH	2	1	26510DH	31"x11"	DOUBLE HUNG	27x8"x34" (2)	LINE # 200-1
W09		2940DH	1	2	2940DH	33 3/4"x43 1/2"	DOUBLE HUNG	27x8"x36 3/4" (2)	
W10		2940DH	3	2	2940DH	33 3/4"x43 1/2"	DOUBLE HUNG	27x8"x36 3/4" (2)	LINE # 400-1
W11		3142DH	1	1	3142DH	31 3/4"x43 1/2"	DOUBLE HUNG	27x8"x40 3/4" (2)	LINE # 100-1
W13		60210FX	1	2	60210FX	73"x36"	FIXED GLASS	27x8"x16" (2)	
W14		6030FX	1	2	6030FX	73"x36"	FIXED GLASS-RT	27x8"x16" (2)	
W15		6070MU	2	2	6070	73"x36"	MULLED UNIT	27x8"x16" (2)	
W16		4544DC	2	2	4544DC	57"x36"	YES	DOUBLE CASEMENT-LH/RH	27x8"x32" (2)
W17		24810DH	1	2	24810DH	27"x11"	DOUBLE HUNG	27x8"x32" (2)	

DOOR SCHEDULE									
NO.	OFFSET/ELEVATION	NUMBER	TYPE	FLOOR/LEVEL	DESCRIPTION	HEADER	GLASS MANUFACTURE	COMMENTS	
D01		2068	1	1	2068 R IN	HINGED DOOR F04			
D02		2468	1	1	2468 L	POCKET DOOR F04			
D03		2468	1	1	2468 L IN	HINGED DOOR F04			
D04		2468	2	1	2468 R IN	HINGED DOOR F04			
D05		2468	2	2	2468 L IN	HINGED DOOR F04			
D06		2468	4	2	2468 R IN	HINGED DOOR F04			
D07		2868	1	2	2868 L IN	HINGED GLASS PANEL			
D08		2868	1	0	2868 L IN	HINGED DOOR F04			
D09		2868	1	1	2868 L IN	HINGED DOOR F04			
D10		2868	1	1	2868 R IN	HINGED DOOR F04			
D11		2868	2	2	2868 L IN	HINGED DOOR F04			
D12		2868	1	2	2868 R IN	HINGED DOOR F04			
D13		2870	1	1	2870 R IN	HINGED DOOR F04			
D14		4068	2	2	4068 L/R IN	DOUBLE HINGED DOOR F04			
D15		5068	2	1	5068 L IN	SLIDER GLASS PANEL			
D16		9000	2	0	9000	GARAGE-GARAGE DOOR CHD05			
D17		8406 - NEW FRONT DOOR AND HEADER	1	1	8406 L/R IN	DOUBLE HINGED GLASS PANEL			
D18		2070	1	1	2070 R IN	HINGED DOOR F04		EXTERIOR 20 MIN. FIRE RATED	
D19		2868	1	0	2868 R IN	HINGED DOOR F04			



SHEET TITLE:
Door schedule / Window Egress notes

PROJECT DESCRIPTION:
Marchese Residence
2918 Middle Street
Sullivan's Island, SC

DRAWINGS PROVIDED BY:
KENNETH MILLER ARCHITECTURE
kcmillerarchitect@gmail.com - 540-293-6234

DATE:
10/14/24

SCALE:
NTS

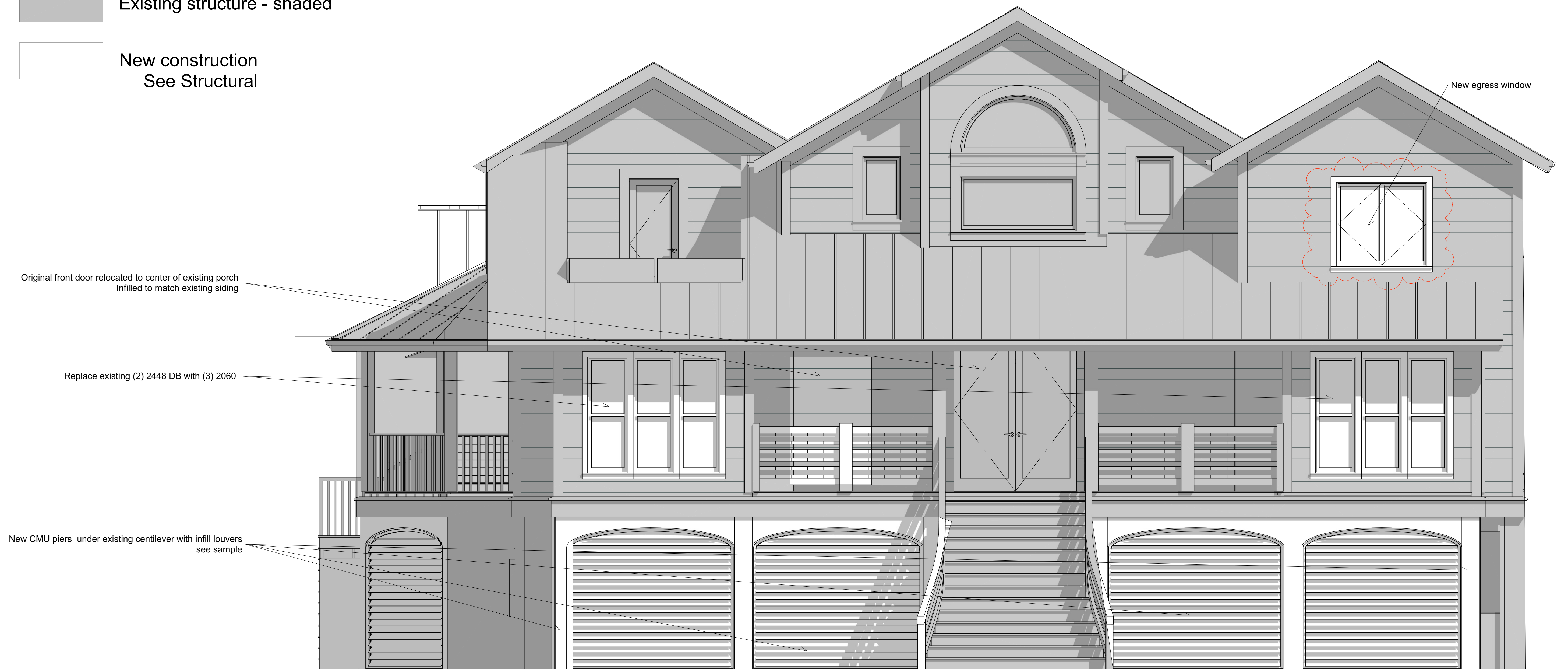
SHEET:

A-10

STRUCTURAL DRAWINGS SUPERSEDE ARCHITECTURAL RELATED
 BUILDER TO FIELD VERIFY ROOD BEAM HEIGHT / PITCH AND CONNECTION FLASHING

Existing structure - shaded

New construction
 See Structural



Foundation louver example with 1 1/2" clear opening between horizontal louvers for visibility:

Foundation louvers sample

TYPICAL NOTE:

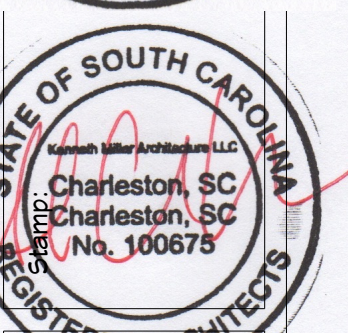
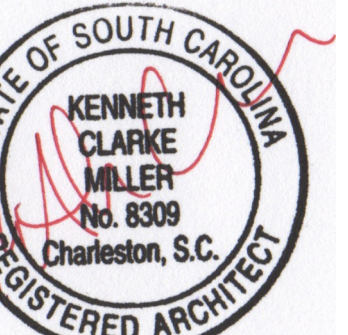
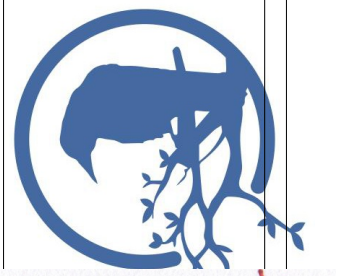
- R905.2.4.1 Wind resistance of asphalt shingles

Asphalt shingles shall be tested in accordance with ASTM D7158. Asphalt shingles shall meet the classification requirements of table R905.2.4.1 for the appropriate ultimate design wind speed. Asphalt shingle packaging shall bear label to indicate compliance with ASTM D7158 and the required classification in table R905.2.4.1

Exception: Asphalt shingles not included in the scope of ASTM D7158 shall be tested and labeled in accordance with ASTM D3161. Asphalt shingle packaging shall bear a label to indicate compliance with ASTM D3161 and the required classification in table R905.2.4.1.

- TABLE R905.1.1(2) Underlayment application areas where wind design is required in accordance with figure R301.2.1.1- Asphalt shingles R905.2

Underlayment shall be two layers applied in the following manner; apply a 190 inch strip of underlayment felt parallel to and starting at the eaves. Starting at the eave, apply 36-inch-wide sheets of underlayment, overlapping successive sheets 19 inches. Distortions in the underlayment shall not interfere with the ability of the shingles to seal. End laps shall be 4 inches and shall be offset by 6 feet.



SHEET TITLE:
 Existing / Proposed
 elevation

PROJECT DESCRIPTION:
 Marchese Residence
 2918 Middle Street
 Sullivan's Island, SC

DRAWINGS PROVIDED BY:
KENNETH MILLER
 ARCHITECTURE
 kmillerarchitect@gmail.com - 540-293-6234

DATE:

10/14/24

SCALE:

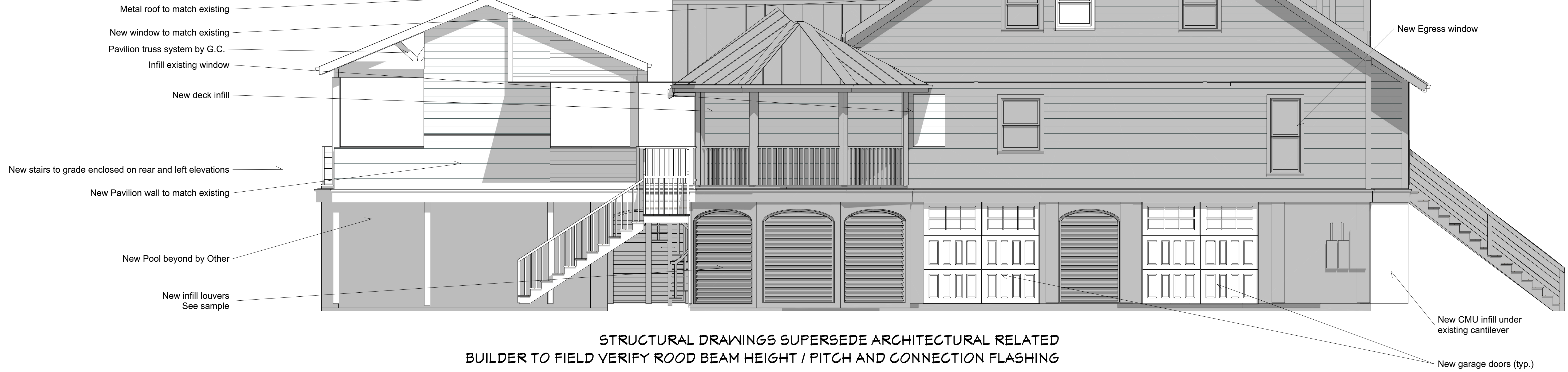
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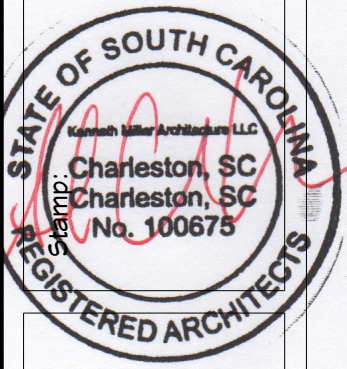
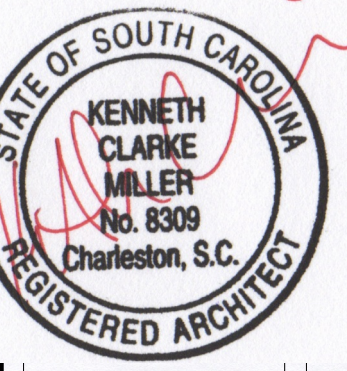
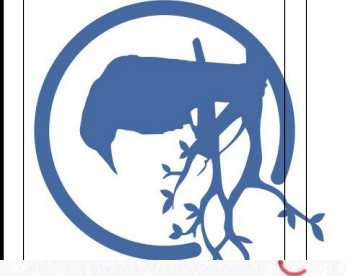
A-11

Existing structure - shaded

New construction
See Structural



STRUCTURAL DRAWINGS SUPERSEDE ARCHITECTURAL RELATED
BUILDER TO FIELD VERIFY ROOD BEAM HEIGHT / PITCH AND CONNECTION FLASHING



SHEET TITLE:
Existing / Proposed
elevations

PROJECT DESCRIPTION:
Marchese Residence
2918 Middle Street
Sullivan's Island, SC

DRAWINGS PROVIDED BY:
KENNETH MILLER
ARCHITECTURE
kcmillerarchitect@gmail.com - 540-293-6234

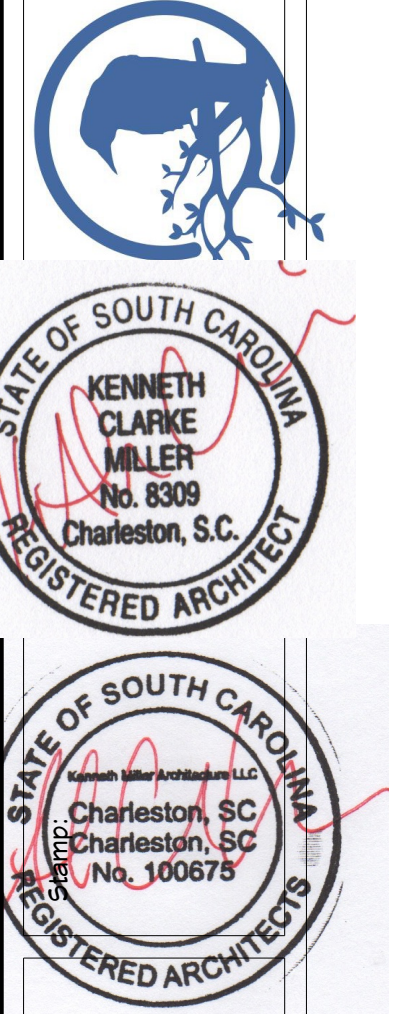
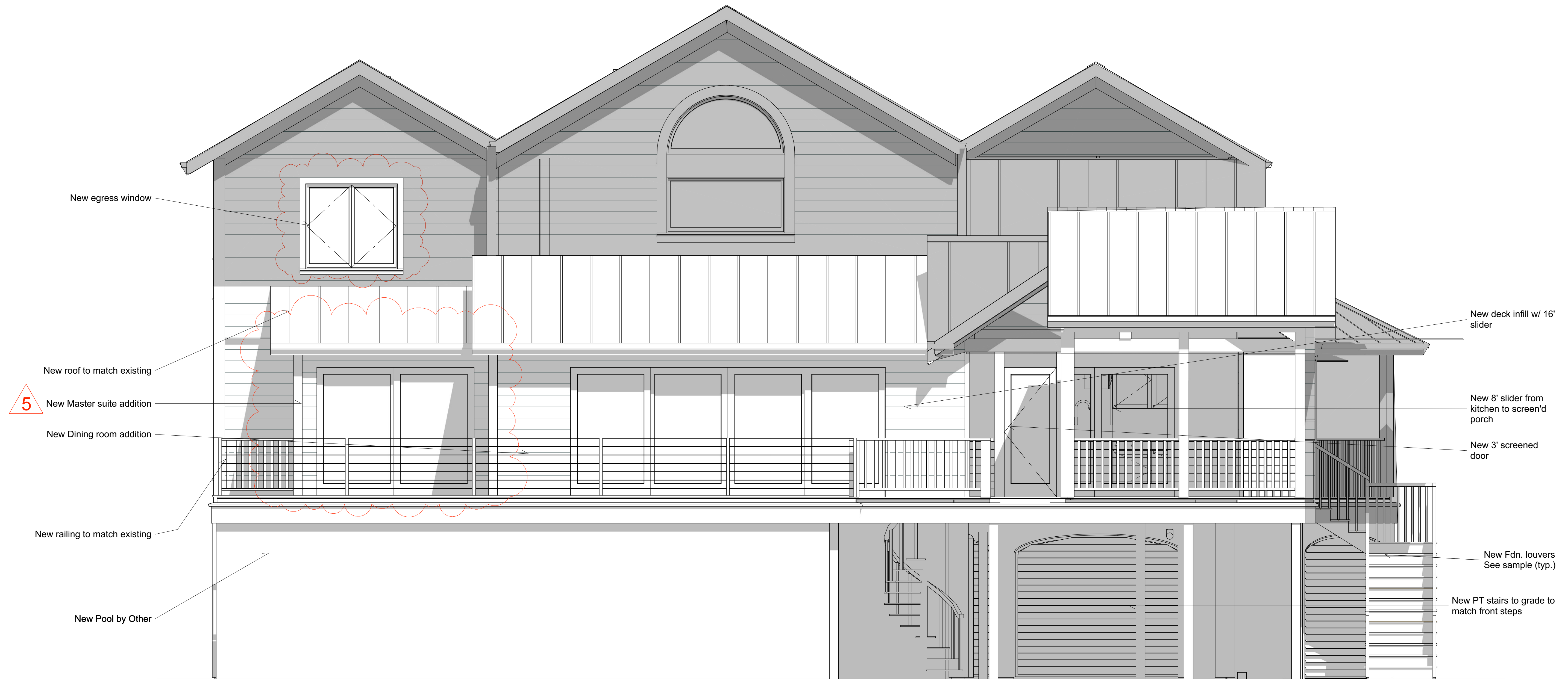
DATE:
10/14/24

SCALE:
NTS

SHEET:
A-12

STRUCTURAL DRAWINGS SUPERSEDE ARCHITECTURAL RELATED
 BUILDER TO FIELD VERIFY ROOD BEAM HEIGHT / PITCH AND CONNECTION FLASHING

Existing structure - shaded
 New construction
 See Structural



SHEET TITLE:
 Existing / Proposed
 elevation

PROJECT DESCRIPTION:
 Marchese Residence
 2918 Middle Street
 Sullivan's Island, SC

DRAWINGS PROVIDED BY:
KENNETH MILLER
 ARCHITECTURE
 kmillerarchitect@gmail.com - 540-293-6234

DATE:
 10/14/24
 SCALE:
 NTS
 SHEET:

A-13

STRUCTURAL DRAWINGS SUPERSEDE ARCHITECTURAL RELATED
 BUILDER TO FIELD VERIFY FINISHED FLOOR LEVELS ALIGN BETWEEN EXISTING AND NEW ADDITION

SYMBOL	DESCRIPTION	REMARKS
	3 DOWN LIGHTS	
	BARE BULB - CEILING PULL	
	BASIC CEILING FAN	
	BLANKED	
	CO/SD	
	COMMON FLUSH MOUNT	
	DISHWASHER, HW	
	DUPLEX	
	EXHAUST	
	FOUR WAY	
	GFCI	
	GFCI PNP	
	MEDIUM DOUBLE SURFACE MOUNTED TUBE LIGHT (45X12)	
	MICROWAVE	
	RECESSED DOWN LIGHT 4	
	RECESSED DOWN LIGHT 6	
	RECESSED VAPOR LIGHT	
	REFRIGERATOR	
	SHADED SCIENCE	
	SINGLE POLE	
	SWITCH (DECORATOR)	
	THREE WAY	

SMOKE DETECTORS: ARE REQUIRED IN ALL BEDROOMS AND ADJACENT HALL TO BEDROOMS. BEDROOM WITH ACCESS TO FULL BATHROOM (TUB/SHOWER) THE SMOKE DETECTOR SHALL BE INSTALLED IN THE BEDROOM WITHIN (3') THREE FOOT OF BATHROOM DOOR. SMOKE DETECTOR SHALL BE HARD-WIRED TO ELECTRICAL SYSTEM W/ BATTERY BACKUP PROVIDED IN ACCORDANCE WITH THE 2018 IRC CODE, SECTION R314. SAME ON ALL FLOOR LEVELS, ETC.

CARBON MONOXIDE ALARMS:
 CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATION:
 1 OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREAS IN IMMEDIATE VICINITY OF BEDROOM(S).
 2 ON EVERY DWELLING UNIT INCLUDING BASEMENTS COMBINATION SMOKE & CARBON MONOXIDE DETECTOR SHALL BE HARD-WIRED TO ELECTRICAL SYSTEM W/ BATTERY BACKUP PROVIDED IN ACCORDANCE WITH THE 2018 IRC CODE, SECTION R315.

NOTE: BATHROOM FAN (MAY INCLUDE LIGHT UNIT).

ELECTRICAL NOTES:

- PROVIDE 20 AMP CIRCUIT FOR BATHROOM RECEPTACLES.
- PROVIDE 20 AMP CIRCUIT FOR LAUNDRY RECEPTACLES
- PROVIDE GFI PROTECTION AT BATHROOM, GARAGE AND OUTDOOR RECEPTACLES.
- ALL COUNTER TOP RECEPTACLES WITHIN 6" OF SINK/LAUNDRY TUB TO BE GFCI PROTECTED.
- ALL KITCHEN COUNTER OUTLET ARE GFCI PROTECTED.
- PROVIDE SPLIT SWITCHING OF BATH FAN AND LIGHT.
- PROVIDE INTERMATIC WEATHERPROOF OUTLET BOX AT GFCI PROTECTED RECEPT AT EXTERIOR.
- PROVIDE IC RATING AT ALL CANS, AIRTIGHT & CAULK.
- PROVIDE HARDWIRED SMOKE DETECTORS IN EACH (E) BEDROOM AND BEDROOM CORRIDOR, ON EACH STORY AND AT HALLWAY NEXT TO BEDROOMS.
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- PROVIDE ARC FAULT PROTECTION AT ALL (NON GFI) RECEPTACLES.
- PROVIDE LIGHT SUITABLE FOR DAMP LOCATION AT ENTRY DOORS.
- PROVIDE A SWITCHED LIGHT AT ALL HABITABLE ROOMS, KITCHENS, BATHROOMS, STAIRS, HALLS, GARAGES AND STORE ROOMS.

NOTE:

A. NO ELECTRICAL, PLUMBING, MECHANICAL EQUIPMENT OR DUCT SHALL BE INSTALLED BELOW FLOOD ELEVATION EXCEPT FOR MAIN SERVICE DISCONNECT, (2) CODE REQUIRED EXTERIOR GFCI (FRONT & REAR), AND (1) GFCI LIGHT SWITCH

B. ELECTRICAL WORKS SHALL BE IN COMPLIANCE WITH THE FOLLOWING:

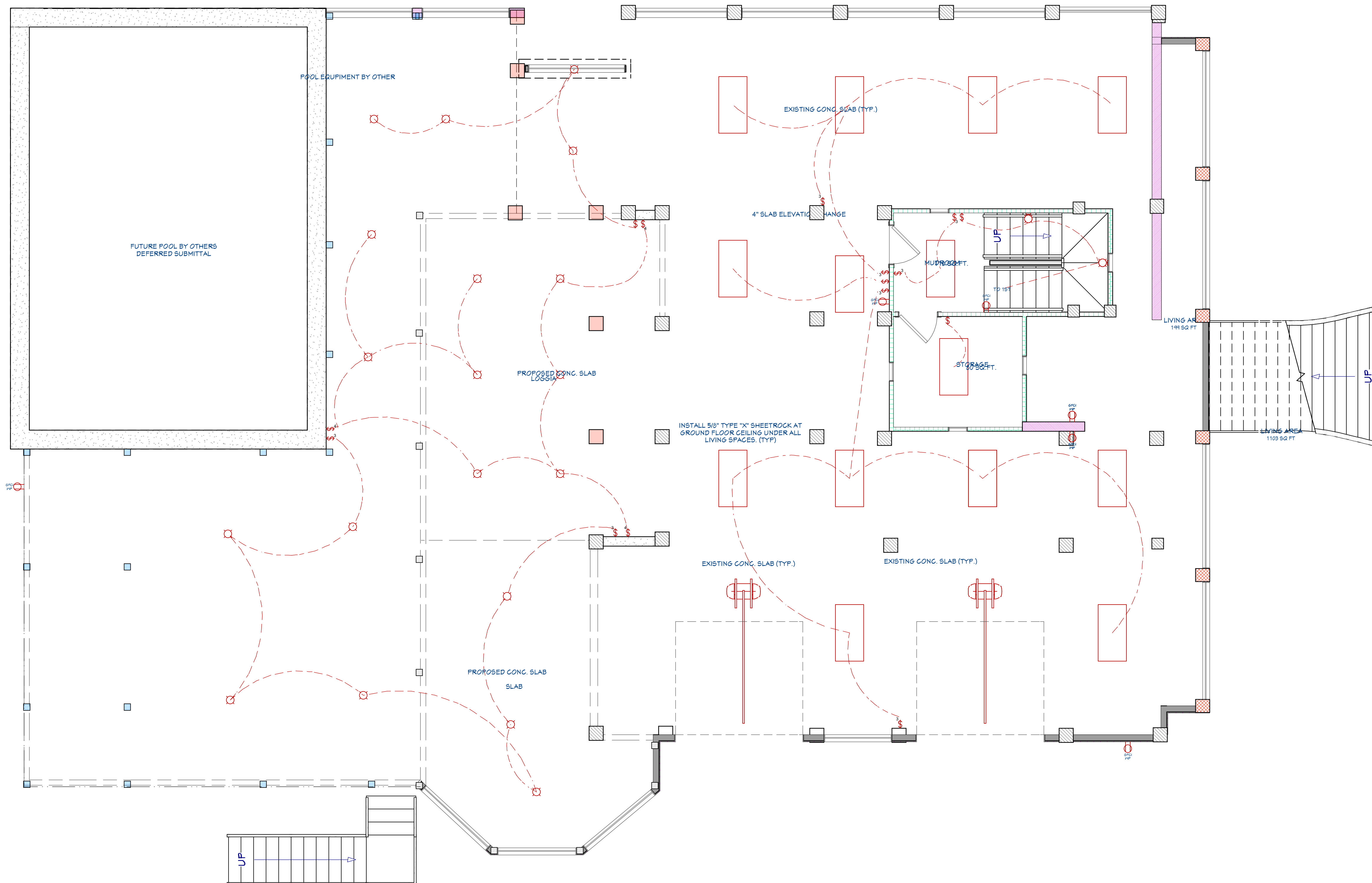
- 2021 IRC E3902.16 FOR ARC FAULT RECEPTACLES.
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NOTE:

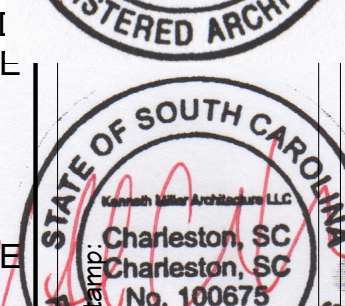
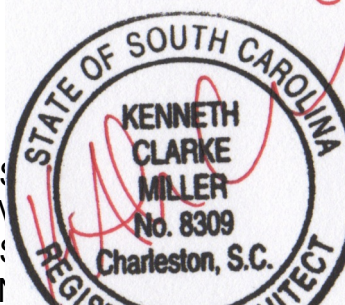
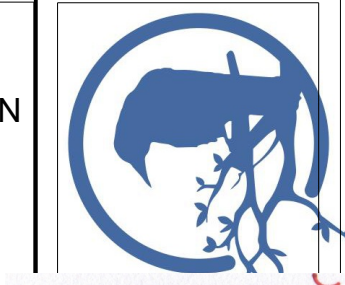
- OPERABLE WINDOWS HAVING A SILL HEIGHT OF LESS THAN 48 INCHES (1219 MM) ABOVE THE INDOOR FINISHED FLOOR AND DOOR SHALL HAVE AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE WINDOW, DOOR OR THEIR SCREENS ARE OPENED. THE ALARM SHALL BE LISTED AND LABELED AS A WATER HAZARD ENTRANCE ALARM IN ACCORDANCE WITH UL 2017. IN DWELLINGS OR STRUCTURES NOT REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS, THE OPERABLE PARTS OF THE ALARM DEACTIVATION SWITCHES SHALL BE LOCATED 54 INCHES (1372 MM) OR MORE ABOVE THE FINISHED FLOOR. IN DWELLINGS OR STRUCTURES REQUIRED TO BE ACCESSIBLE UNITS, TYPE A UNITS OR TYPE B UNITS, THE OPERABLE PARTS OF THE ALARM DEACTIVATION SWITCHES SHALL BE LOCATED NOT GREATER THAN 54 INCHES (1372 MM) AND NOT LESS THAN 48 INCHES (1219 MM) ABOVE THE FINISHED FLOOR.

NOTE:

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Proposed electrical ground floor plan
 Scale 1/4" = 1'



SHEET TITLE:
Proposed electrical ground floor plan

PROJECT DESCRIPTION:
**Marchese Residence
 2918 Middle Street
 Sullivan's Island, SC**

DRAWINGS PROVIDED BY:
KENNETH MILLER ARCHITECTURE
 kmillerarchitect@gmail.com - 540-293-6234

DATE:
 10/14/24

SCALE:
 NTS

SHEET:
A-14

REVISION	DESCRIPTION	DATE
3	DOWN LIGHTS	
	BARE BULB - CEILING PULL	
	BASIC CEILING FAN	
	BLANKED	
CO/SD	CO/SMOKE DETECTOR	
	COMMON FLUSH MOUNT	
	DISHWASHER, HW	
	DUPLEX	
	EXHAUST	
4	FOUR WAY	
	GFCI	
	GFCI PNP	
	MEDIUM DOUBLE SURFACE MOUNTED TUBE LIGHT (48X12)	
	MICROWAVE	
	RECESSED DOWN LIGHT 4	
	RECESSED DOWN LIGHT 6	
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	SHADED SCENCE	
	SINGLE POLE	
	SWITCH (DECORATOR)	
3	THREE WAY	

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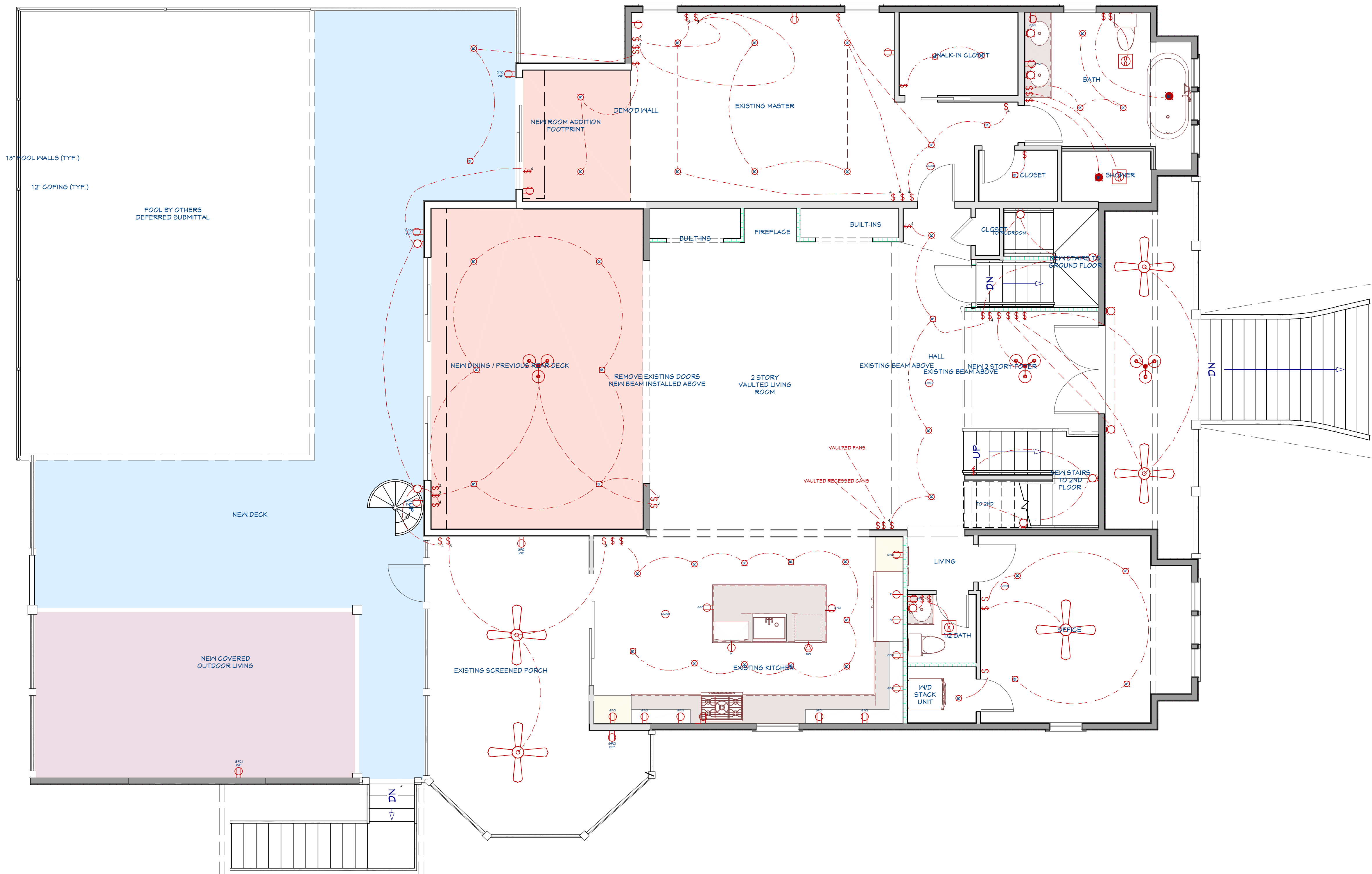
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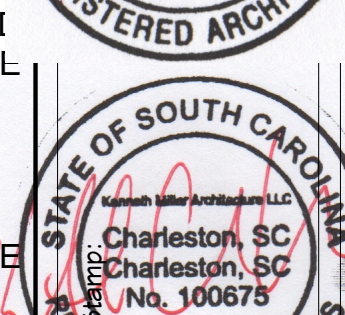
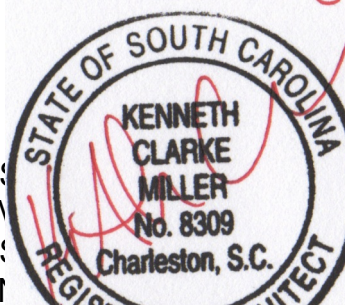
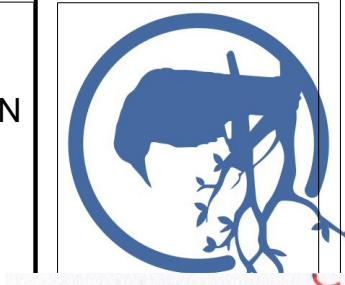
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Proposed electrical first floor plan
 Scale 1/4" = 1'



SHEET TITLE:
 Proposed electrical first floor plan

PROJECT DESCRIPTION:
 Marchese Residence
 2918 Middle Street
 Sullivan's Island, SC

DRAWINGS PROVIDED BY:
KENNETH MILLER
 ARCHITECTURE
 kmillerarchitect@gmail.com - 540-293-6234

DATE:
 10/14/24

SCALE:
 NTS

SHEET:
 A-15

SYMBOL	DESCRIPTION	REMARKS
	3 DOWN LIGHTS	
	BARE BULB - CEILING PULL	
	BASIC CEILING FAN	
	BLANKED	
	CO/SD	
	COMMON FLUSH MOUNT	
	DISHWASHER, HW	
	DUPLEX	
	EXHAUST	
	FOUR WAY	
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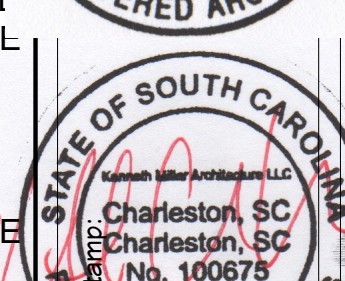
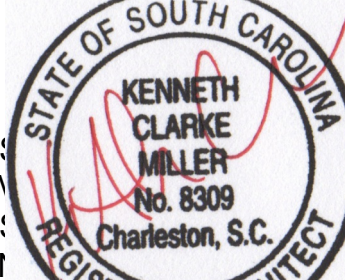
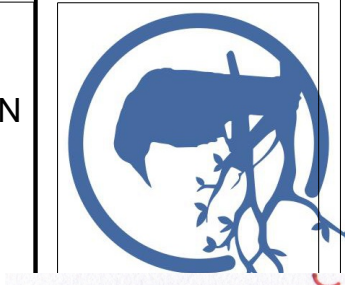
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Proposed electrical second floor plan
 Scale 1/4" = 1'



SHEET TITLE:
 Proposed electrical
 second floor plan

PROJECT DESCRIPTION:
 Marchese Residence
 2918 Middle Street
 Sullivan's Island, SC

DRAWINGS PROVIDED BY:
KENNETH MILLER
 ARCHITECTURE
 kmillerarchitect@gmail.com - 540-293-6234

DATE:
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SCALE:
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SHEET:

A-16

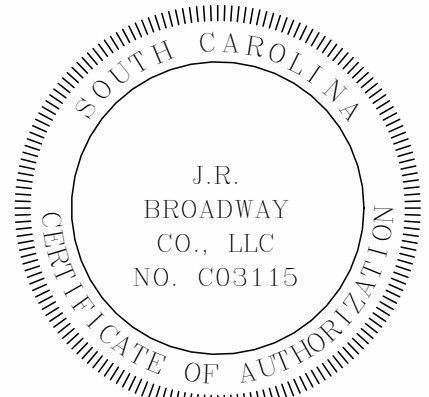


J.R. BROADWAY CO.

STRUCTURAL ENGINEERING
3451 TOOMER KILN CIRCLE
MT. PLEASANT, SC 29466
PHONE (843) 442-3580 (NO TEXT MESSAGES PLEASE)

A SWIMMING
POOL FOR
2918 MIDDLE ST.

SULLIVANS
ISLAND, SC



JOB NUMBER	2025-013 S1
DATE	14 JAN 2025
DESIGNED BY	J. BROADWAY
DRAWN BY	J. BROADWAY
CHECKED BY	J. BROADWAY

S101

Scale: AS NOTED

NOTES
-- VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS.
-- VERIFY POOL SLOPES, SPOT ELEVATIONS, AND DECK ELEVATIONS W/ ARCHITECTURAL DRAWINGS, POOL CONTRACTOR DRAWINGS, AND FIELD CONDITIONS.

SIMPSON LTT19 -OR- SIMPSON LTT22 WITH 5/8" DIA. ANCHOR BOLT X 10" EMBED. OR 5/8" DIA. EPOXY ANCHOR X 10" EMBED. MAY BE SUBSTITUTED FOR ANY SIMPSON PA SERIES FOUNDATION STRAP.

FOR ALL ABOVEGROUND POOLS CAST ON RAISED FILL - RAISED CONCRETE SLAB, ENSURE THAT CMU OR CONCRETE FOUNDATION WALLS ARE SHORED AGAINST MOVEMENT UNTIL CONSTRUCTION OF SWIMMING POOL / SLAB ABOVE HAS BEEN COMPLETED.

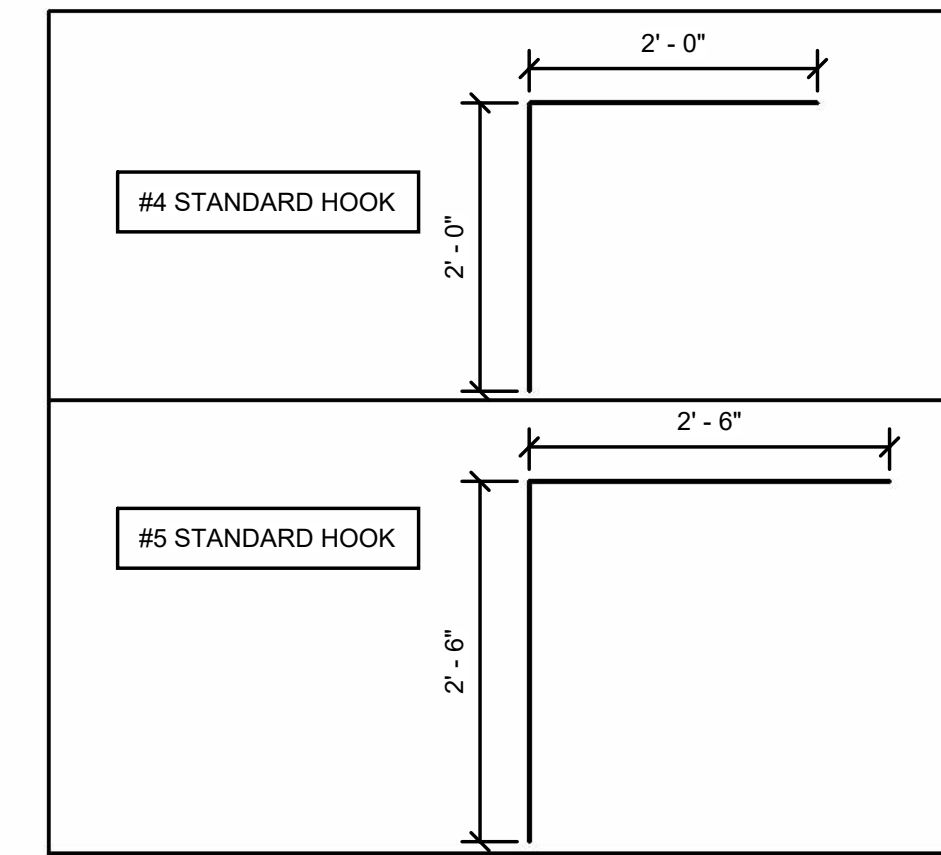
VERIFY ALL CMU HEIGHT TRANSITIONS WITH FINAL POOL CONTRACTOR BLOCKWORK DRAWINGS.

ABBREVIATIONS / LEGEND

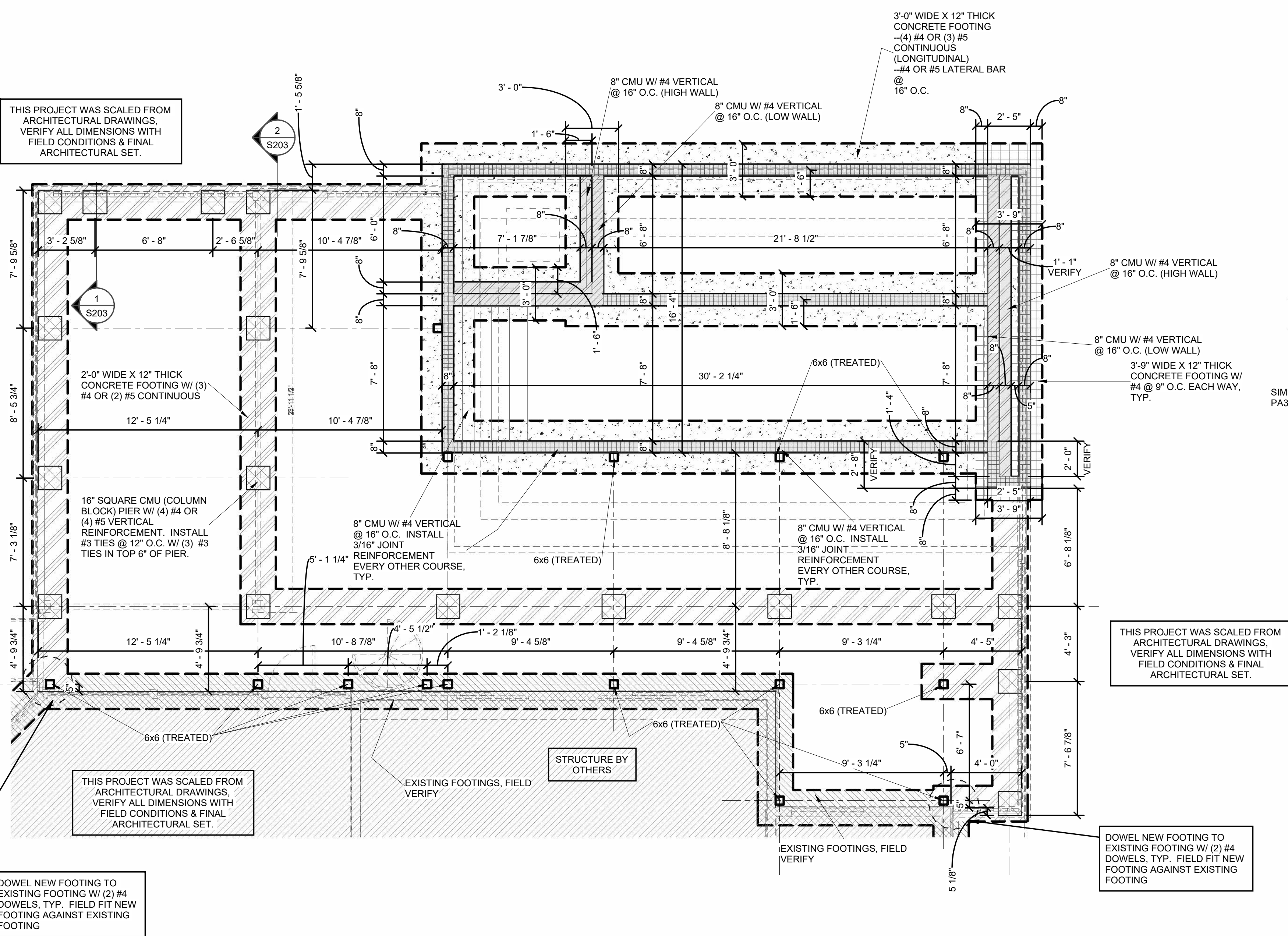
B.W. = BEARING WALL
K.W. = KNEE WALL
B.P.A. = BEARING POINT FROM ABOVE
B.W.A. = BEARING WALL FROM ABOVE
K.W.A. = KNEEWALL FROM ABOVE

-- LVL BEAMS ARE ASSUMED TO CONSIST OF 1-3/4" THICK LAMINATIONS. WIDER MEMBERS (3-1/2" WIDE OR LARGER) ARE ACCEPTABLE.

W.L.A. DL: ?? KLF LL: ?? KLF	WALL LOAD FROM ABOVE DEAD LOAD: ?? KLF LIVE LOAD: ?? KLF
P.L.A. DL: ?? K LL: ?? K	POINT LOAD FROM ABOVE DEAD LOAD: ?? K LIVE LOAD: ?? K

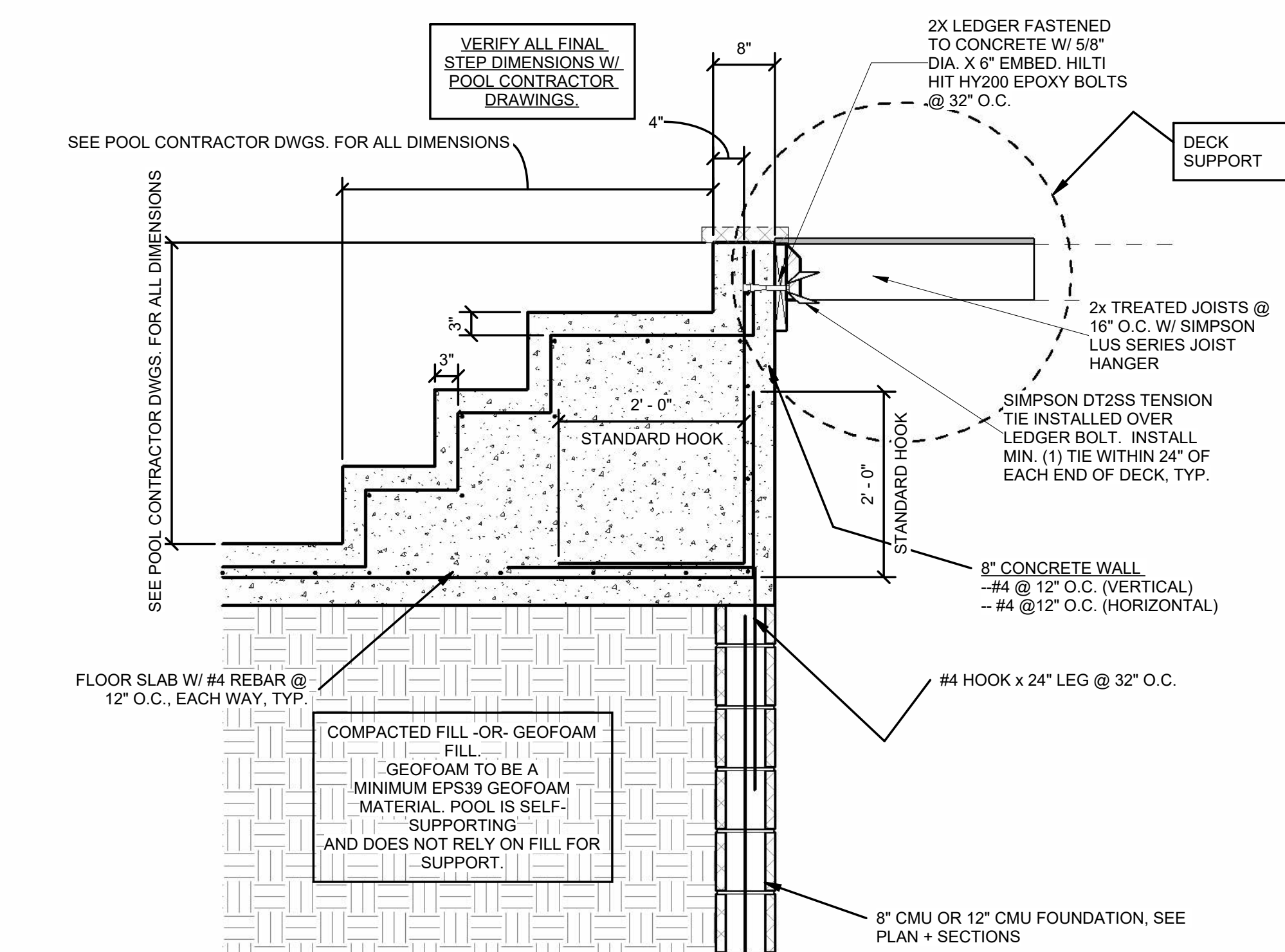


REBAR HOOKS (STANDARD HOOK LENGTHS)
3/4" = 1'-0"

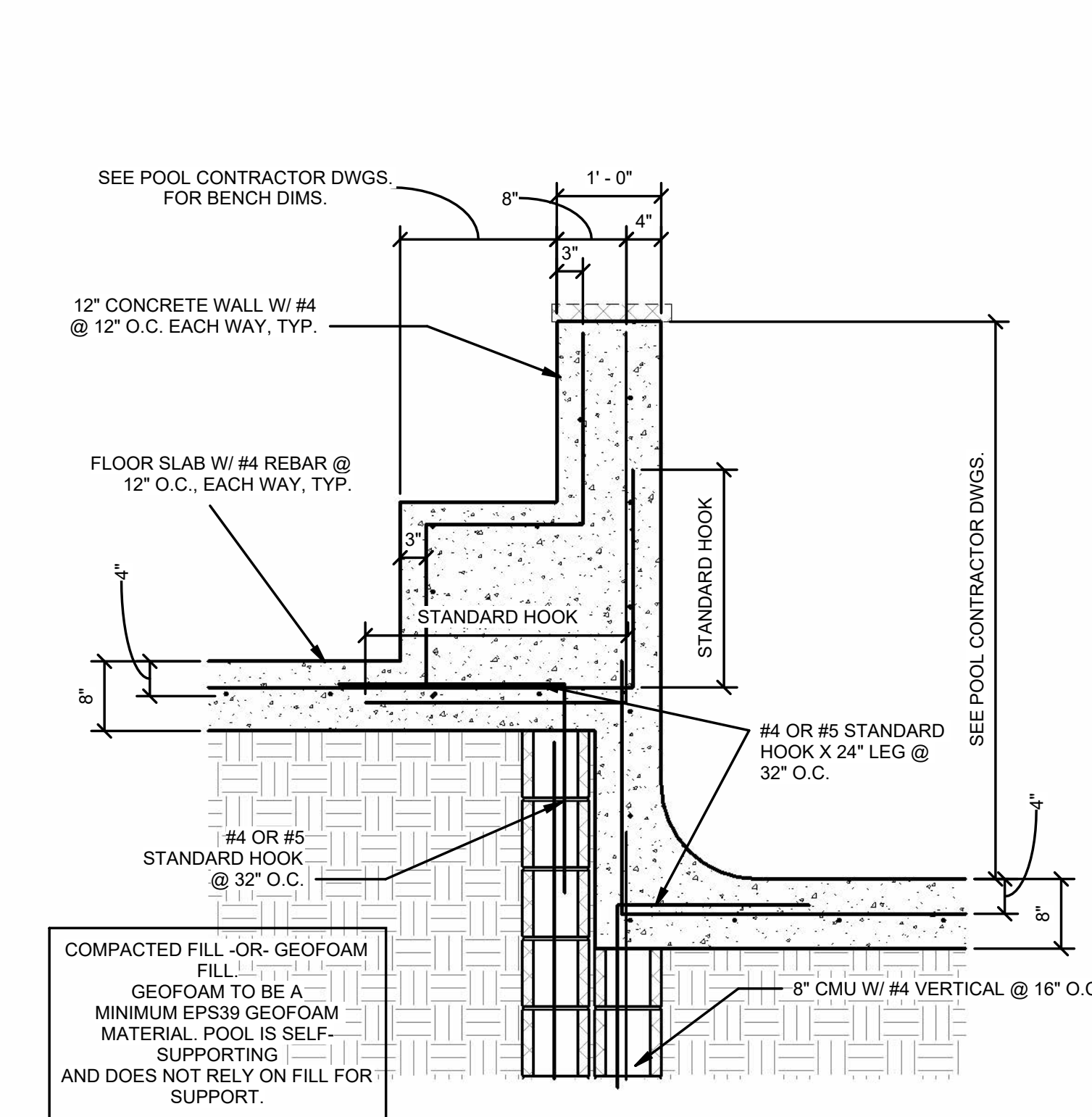


2 FOUNDATION PLAN
1/4" = 1'-0"

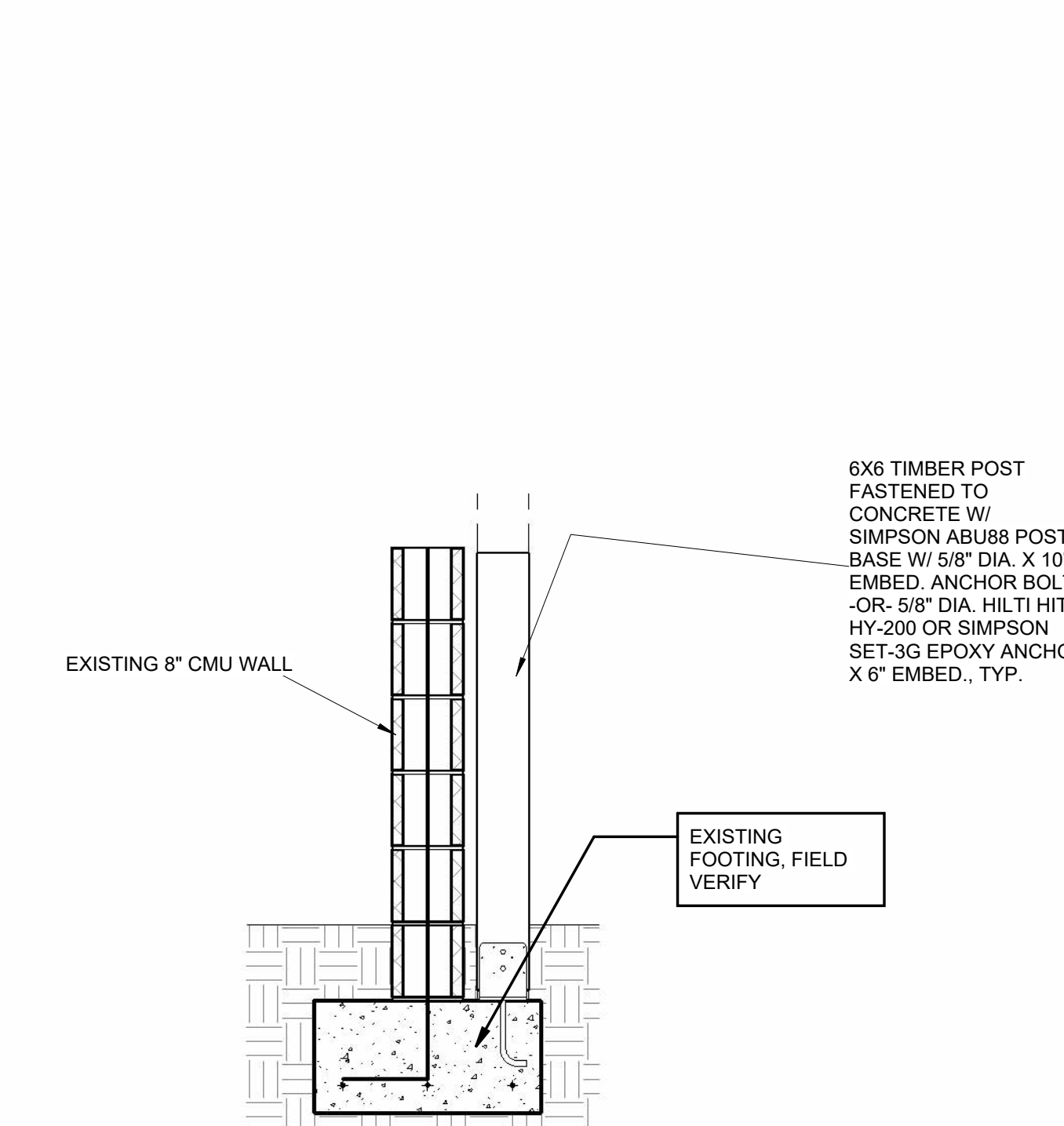
5 16" SQUARE CMU PIER / 2X8 JOISTS / 2X12 GIRDER / ELEVATED DECK
3/4" = 1'-0"



3 POOL STEP SECTION (8" WALL / DECK LEDGER)
3/4" = 1'-0"

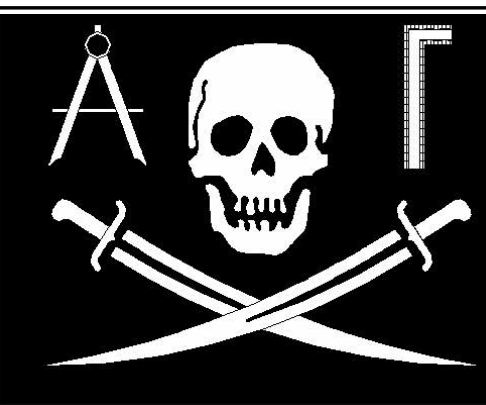


4 SPA SECTION (INTERIOR WALL / 12" WALL / SPA HIGH BOTTOM)
3/4" = 1'-0"



1 6X6 POST (TREATED) ABU66 POST BASE CONNECTION TO EXISTING FOUNDATION
3/4" = 1'-0"

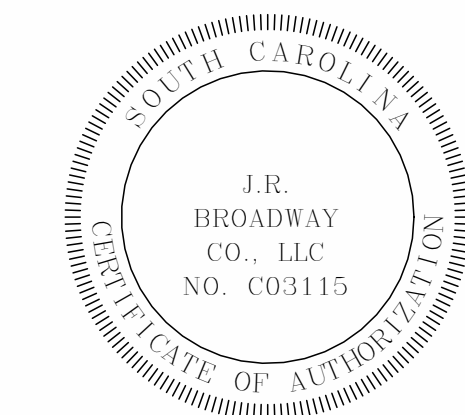
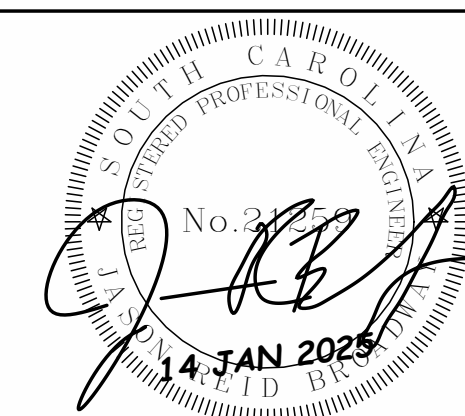
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**A SWIMMING POOL FOR
2918 MIDDLE ST.
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JOB NUMBER	2025-013 S1
DATE	14 JAN 2025
DESIGNED BY	J. BROADWAY
DRAWN BY	J. BROADWAY
CHECKED BY	J. BROADWAY

S102
Scale: AS NOTED

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- VERIFY POOL SLOPES, SPOT ELEVATIONS, AND DECK ELEVATIONS W/ ARCHITECTURAL DRAWINGS, POOL CONTRACTOR DRAWINGS, AND FIELD CONDITIONS.
- SIMPSON LTT19 -OR- SIMPSON LTT22 WITH 5/8" DIA. ANCHOR BOLT X 10" EMBED. OR 5/8" DIA. EPOXY ANCHOR X 10" EMBED. MAY BE SUBSTITUTED FOR ANY SIMPSON PA SERIES FOUNDATION STRAP.

FOR ALL ABOVEGROUND POOLS CAST ON RAISED FILL - RAISED CONCRETE SLAB, ENSURE THAT CMU OR CONCRETE FOUNDATION WALLS ARE SHORED AGAINST MOVEMENT UNTIL CONSTRUCTION OF SWIMMING POOL / SLAB ABOVE HAS BEEN COMPLETED.

VERIFY ALL CMU HEIGHT TRANSITIONS WITH FINAL POOL CONTRACTOR BLOCKWORK DRAWINGS.

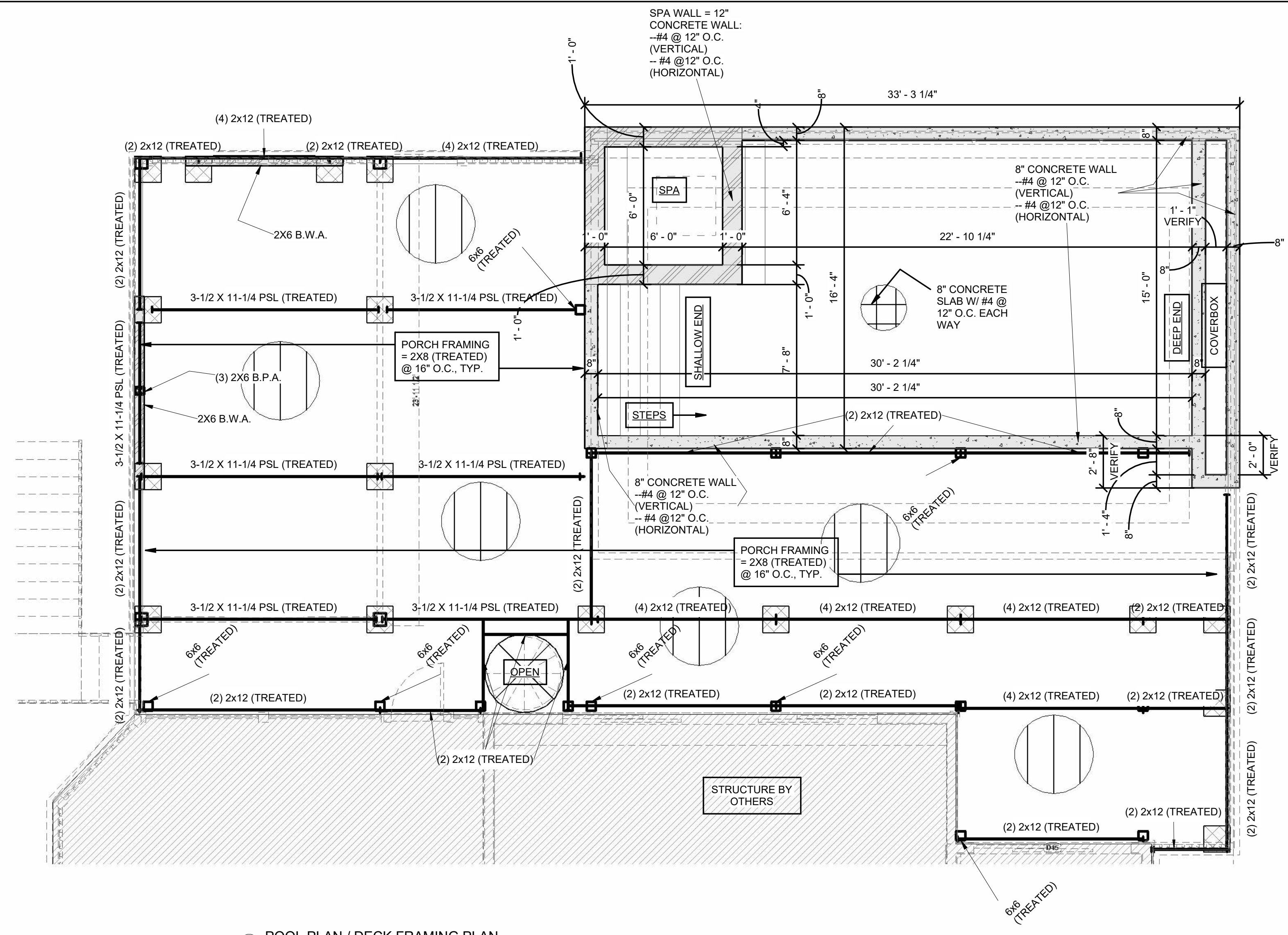
ABBREVIATIONS / LEGEND

B.W. = BEARING WALL
K.W. = KNEE WALL
B.P.A. = BEARING POINT FROM ABOVE
B.W.A. = BEARING WALL FROM ABOVE
K.W.A. = KNEEWALL FROM ABOVE

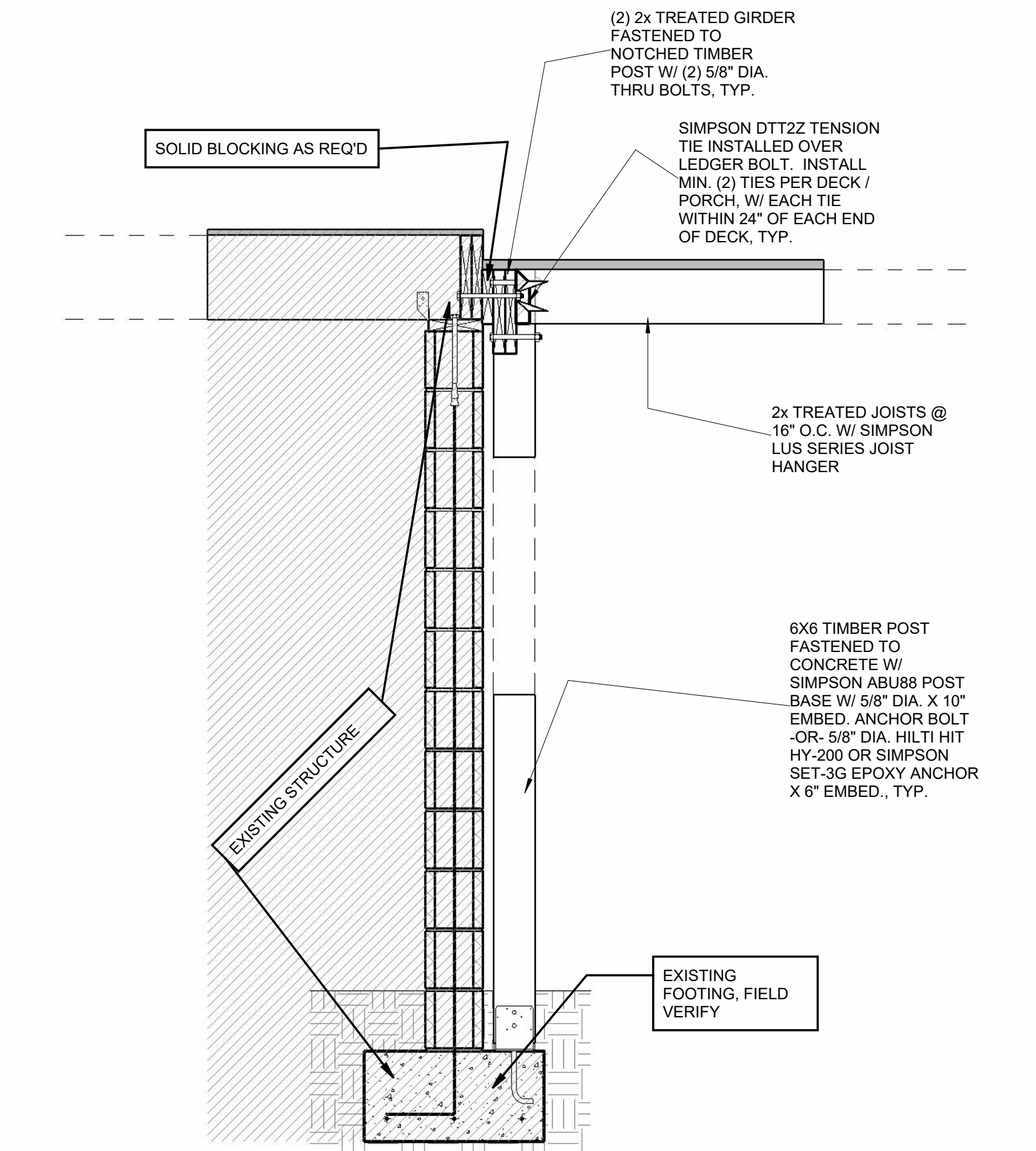
- LVL BEAMS ARE ASSUMED TO CONSIST OF 1-3/4" THICK LAMINATIONS. WIDER MEMBERS (3-1/2" WIDE OR LARGER) ARE ACCEPTABLE.

W.L.A. DL: ?? KLF LL: ?? KLF	WALL LOAD FROM ABOVE DEAD LOAD: ?? KLF LIVE LOAD: ?? KLF
P.L.A. DL: ?? K LL: ?? K	POINT LOAD FROM ABOVE DEAD LOAD: ?? K LIVE LOAD: ?? K

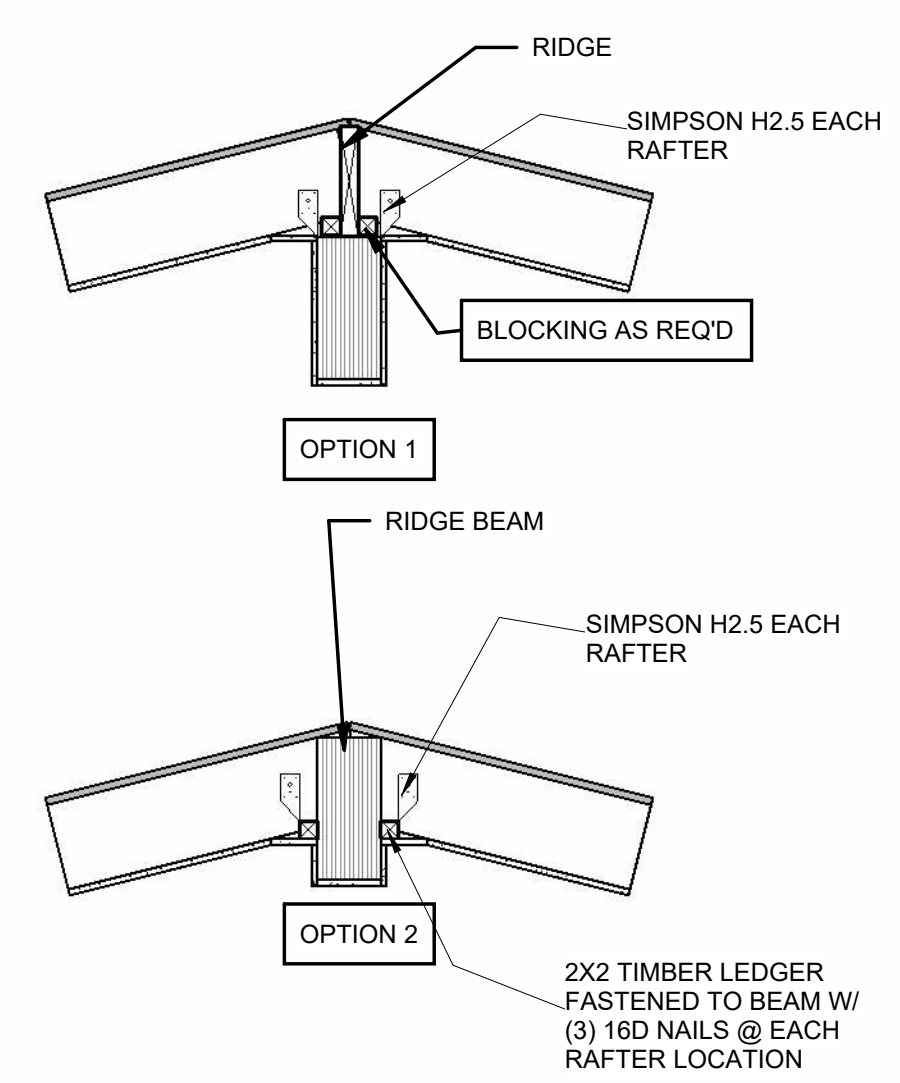
SHEARWALL 'C'	WALLS TO BE SHEATHED WITH 1/2" PLYWOOD, 5/8" PLYWOOD OR 7/16 OSB & FASTENED W/ 8d NAILS @ 3" O.C. ALONG EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS.
ALL OTHER EXTERIOR WALLS	WALLS TO BE SHEATHED WITH 1/2" PLYWOOD, 5/8" PLYWOOD OR 7/16 OSB & FASTENED W/ 8d NAILS @ 3" O.C. ALONG EDGES AND 12" O.C. ALONG INTERMEDIATE SUPPORTS.
*	TYPE I HOLDDOWN: INSTALL PER MFR. RECOMMENDATIONS. ALL HOLDDOWNS SHOULD PROVIDE CONTINUOUS LOAD PATH TO THE FOUNDATION. SEE HOLDDOWN CONNECTION DETAILS & OPTIONS ON SHEET S202.



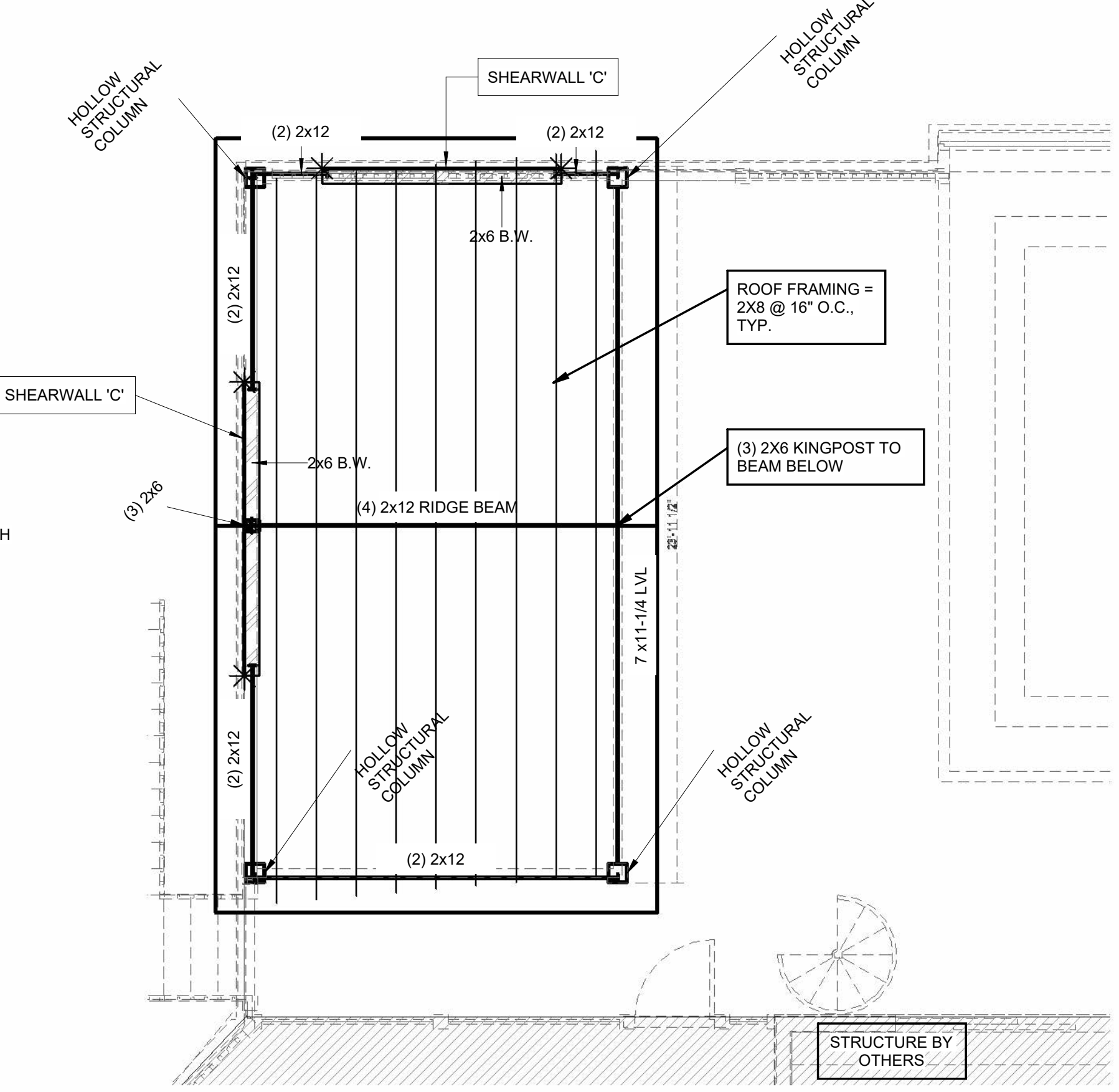
1 POOL PLAN / DECK FRAMING PLAN
1/4" = 1'-0"



4 TYPICAL ROOF KING POST CONNECTION
3/4" = 1'-0"



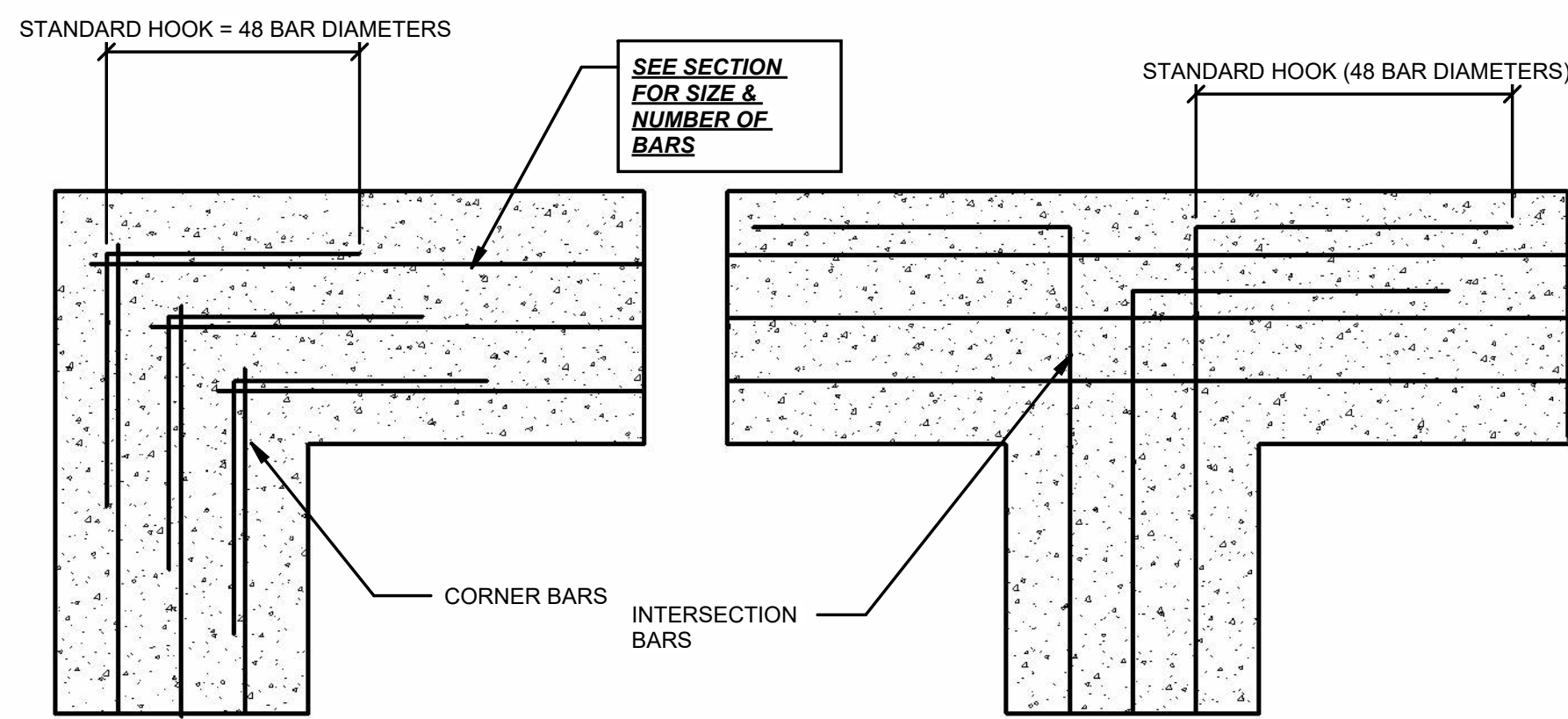
3 RIDGE BEAM DETAIL
3/4" = 1'-0"



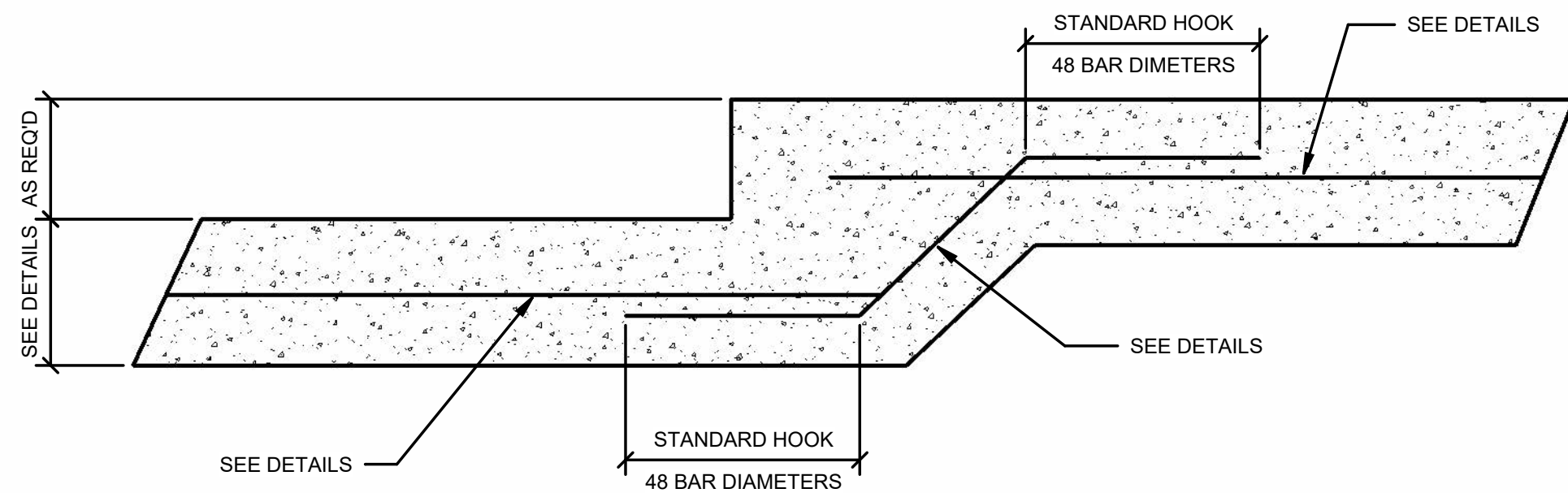
2 ROOF FRAMING PLAN / SHEARWALL PLAN
1/4" = 1'-0"

5 6X6 POST (TREATED) ABU66 POST BASE CONNECTION TO EXISTING FOUNDATION / NOTCHED GIRDER
3/4" = 1'-0"

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1 FOOTING DETAILS
3/4" = 1'-0"



2 FOOTING STEP DETAIL
3/4" = 1'-0"

NOTES
 -- VERIFY ALL DIMENSIONS WITH ARCHITECTURAL DRAWINGS AND FIELD CONDITIONS.
 -- VERIFY POOL SLOPES, SPOT ELEVATIONS, AND DECK ELEVATIONS. W/ ARCHITECTURAL DRAWINGS, POOL CONTRACTOR DRAWINGS, AND FIELD CONDITIONS.

SIMPSON LTT19 -OR- SIMPSON LTT2 WITH 5/8" DIA. ANCHOR BOLT X 10" EMBED, OR 5/8" DIA. ALL-THREAD ROD @ 48" O.C. IN LIEU OF SIMPSON LTT19 STRAP AT FOUNDATION LEVEL.

FOR ALL ABOVEGROUND POOLS CAST ON RAISED FILL - RAISED CONCRETE SLAB, ENSURE THAT CMU OR CONCRETE FOUNDATION WALLS ARE SHORED AGAINST MOVEMENT UNTIL CONSTRUCTION OF SWIMMING POOL / SLAB ABOVE HAS BEEN COMPLETED.

VERIFY ALL CMU HEIGHT TRANSITIONS WITH FINAL POOL CONTRACTOR BLOCKWORK DRAWINGS.

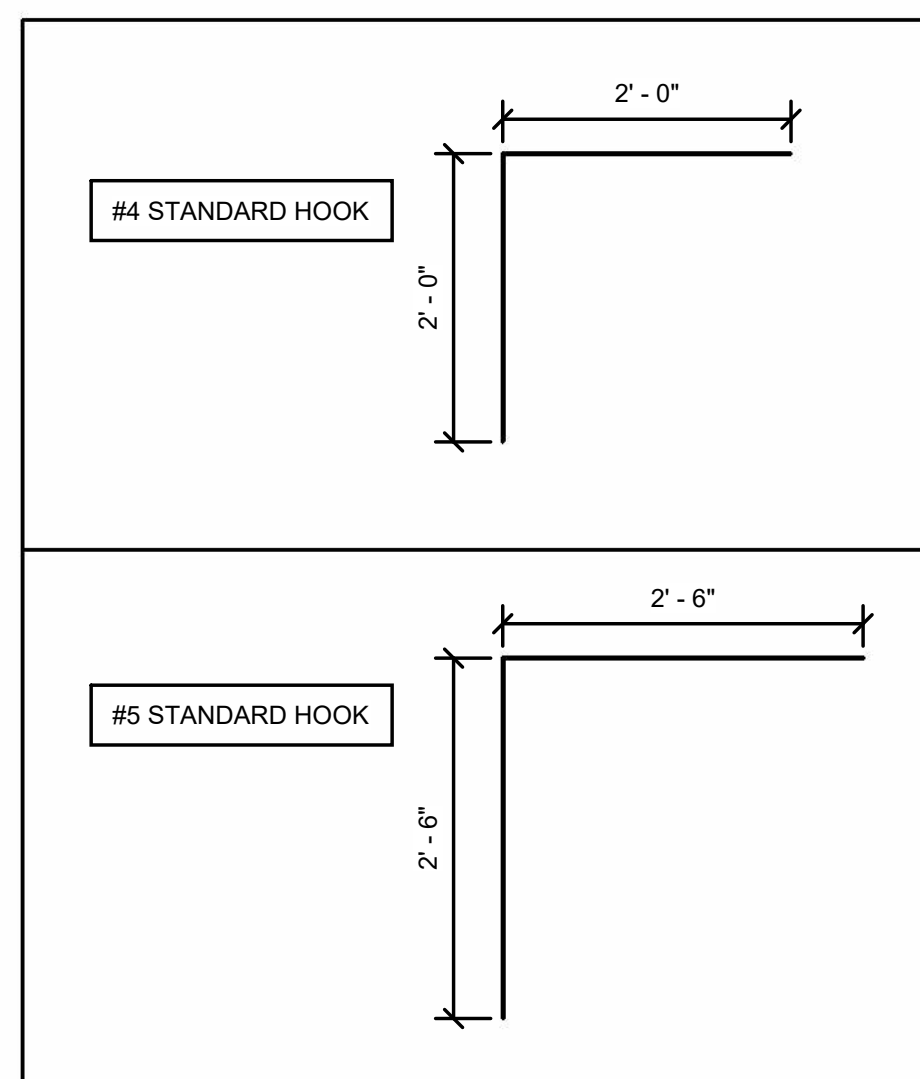
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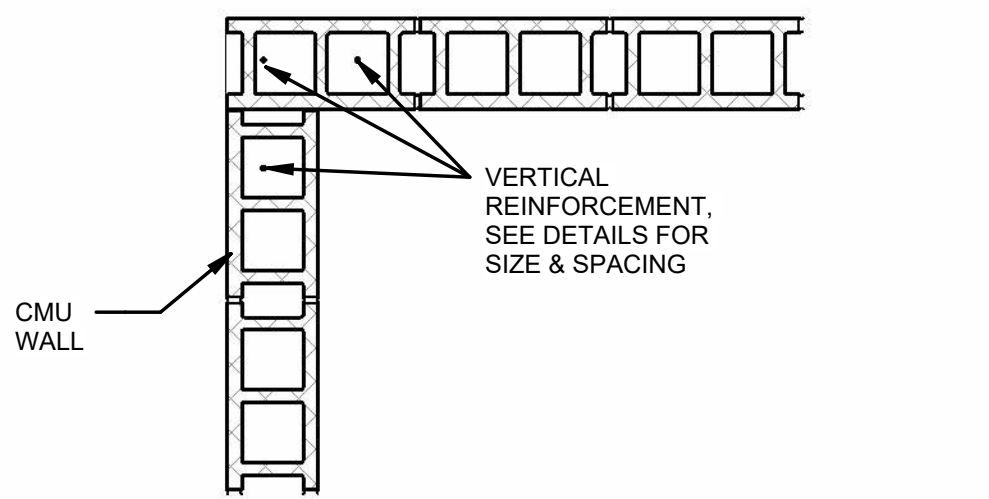
-- LVL BEAMS ARE ASSUMED TO CONSIST OF 1-3/4" THICK LAMINATIONS. WIDER MEMBERS (3-1/2" WIDE OR LARGER) ARE ACCEPTABLE.

W.L.A. DL: ?? KLF
 LL: ?? KLF
 WALL LOAD FROM ABOVE
 DEAD LOAD: ?? KLF
 LIVE LOAD: ?? KLF

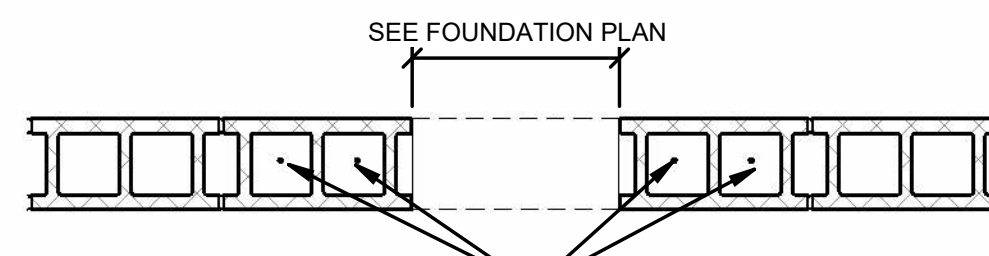
P.L.A. DL: ?? K
 LL: ?? K
 POINT LOAD FROM ABOVE
 DEAD LOAD: ?? K
 LIVE LOAD: ?? K



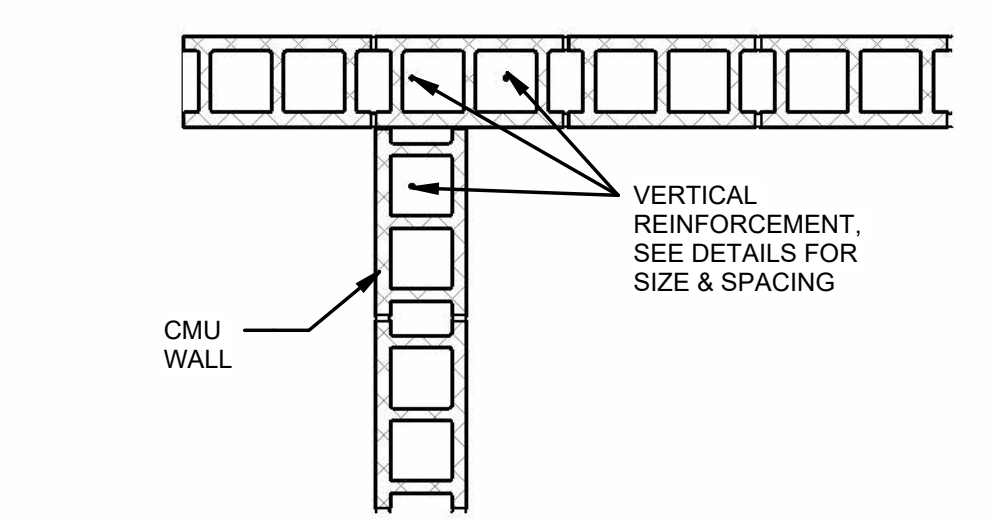
5 REBAR HOOKS (STANDARD HOOK LENGTHS)
3/4" = 1'-0"



CMU WALL CORNER

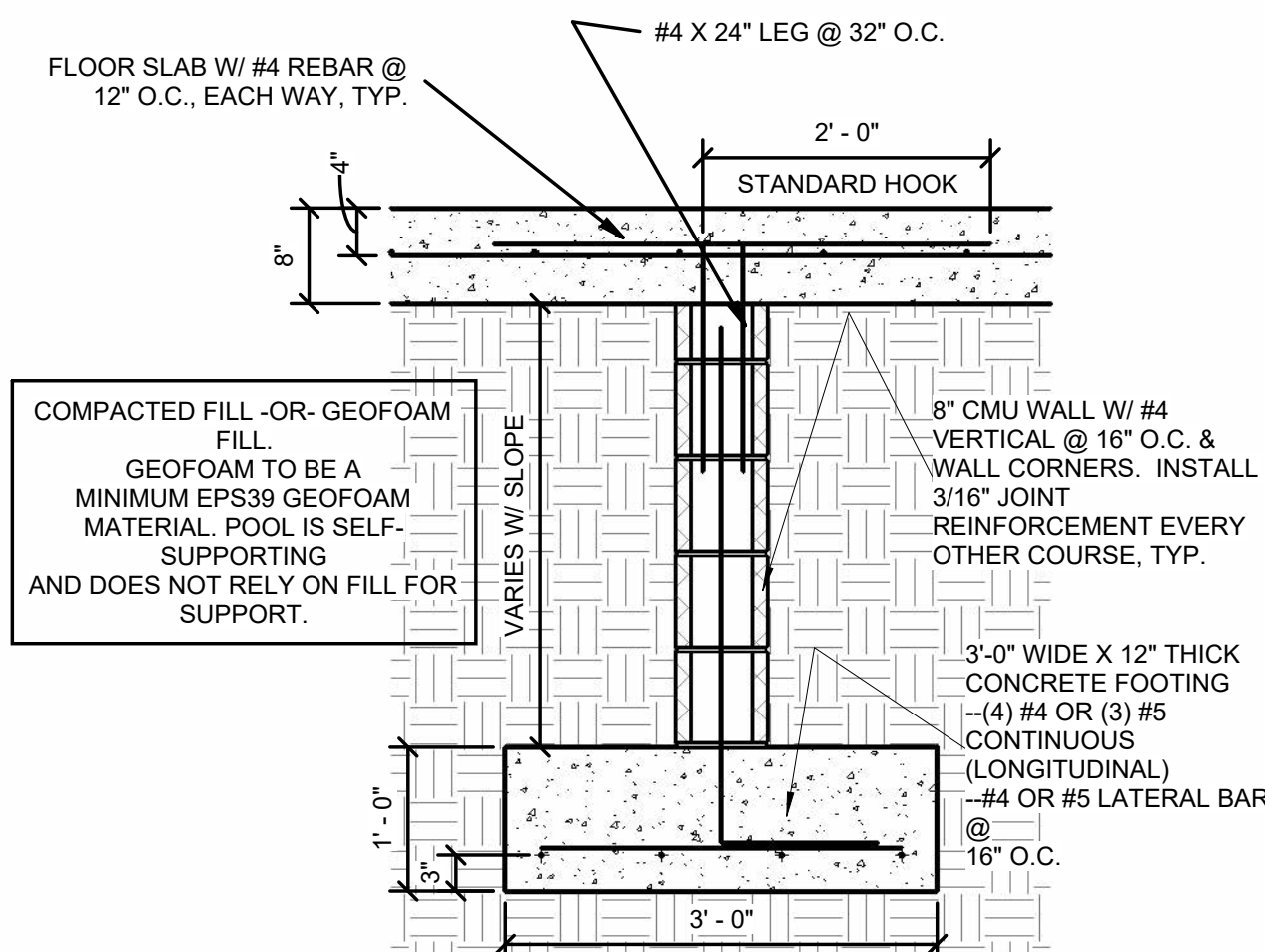


CMU WALL OPENING

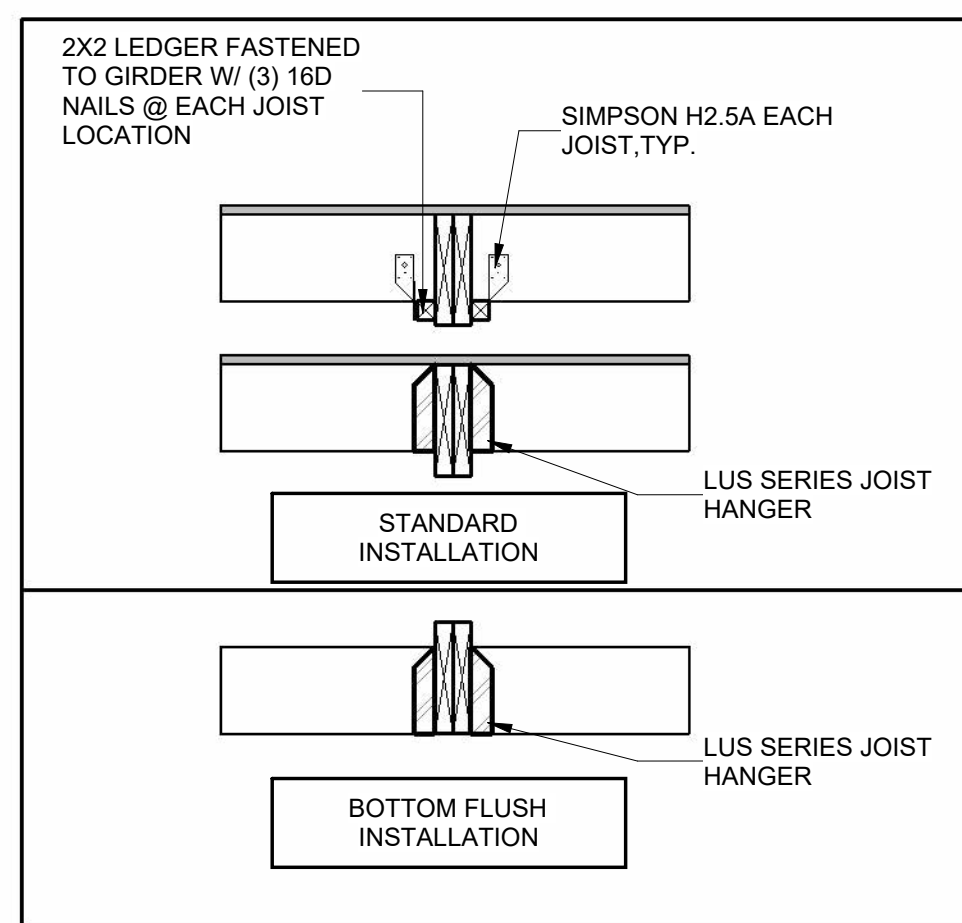


CMU WALL INTERSECTION

TYP. CMU WALL DETAILS (NO BOND-BEAM)
3/4" = 1'-0"



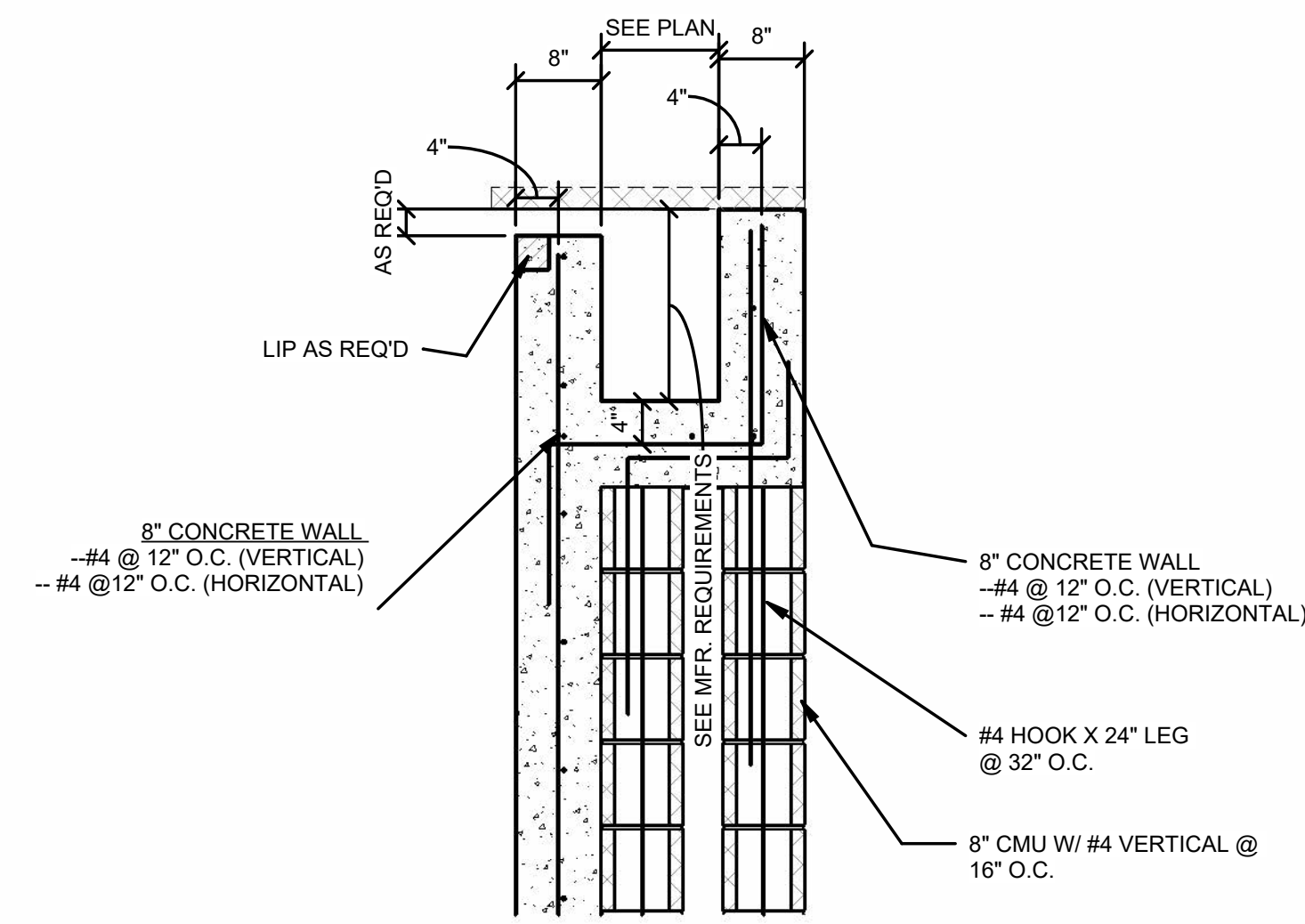
7 TYPICAL POOL FLOOR SECTION @ INTERIOR WALL (ABOVE GROUND)
3/4" = 1'-0"



8 TYP. JOIST CONNECTION OPTIONS (NOMINAL LUMBER)
3/4" = 1'-0"

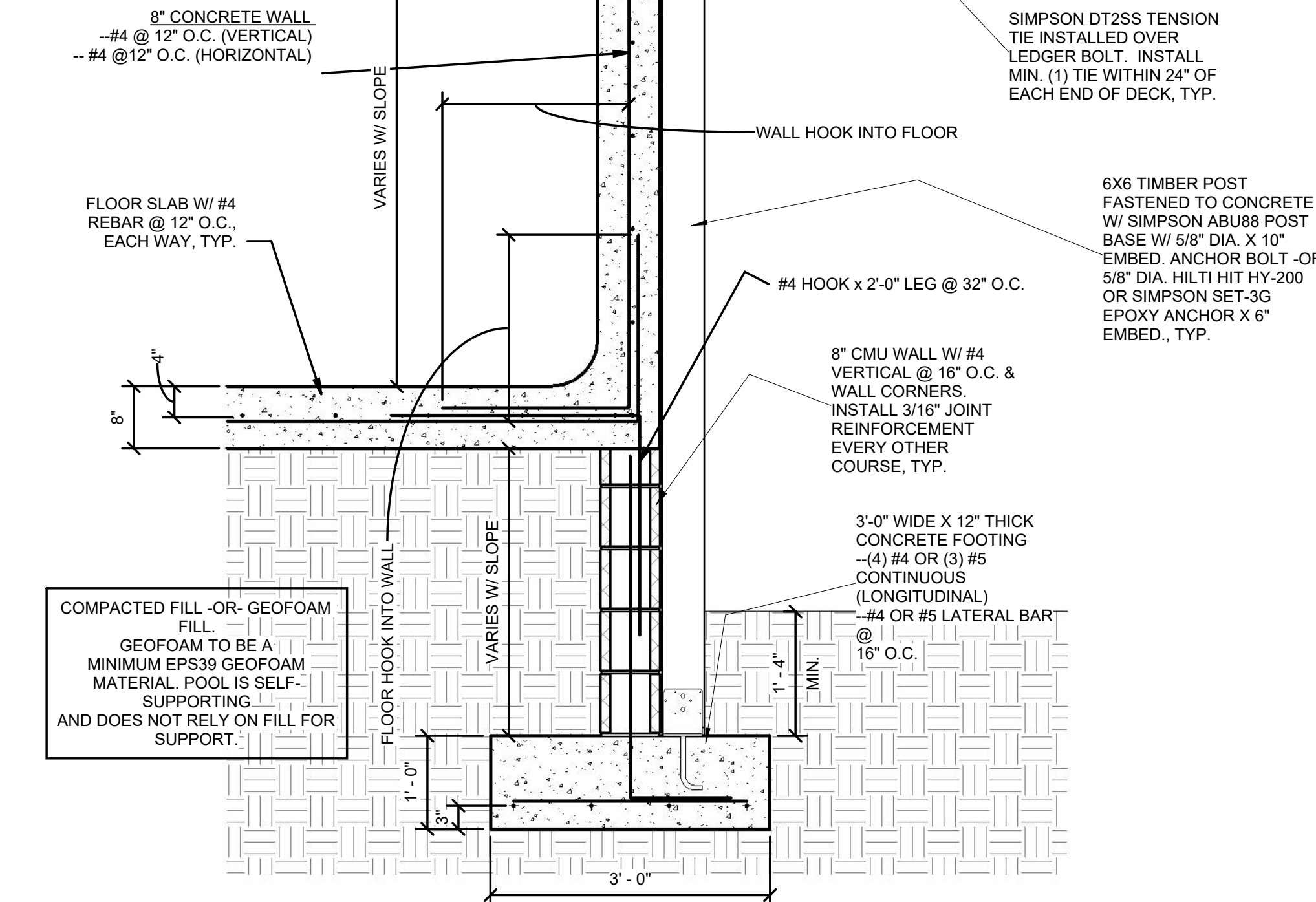
NOTES & ALLOWABLE SUBSTITUTIONS

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- CONTRACTOR MAY USE QUICK-TIE, GO-BOLT, OR 5/8" DIA. ALL-THREAD ROD @ 32" O.C. INSTEAD OF SIMPSON CS16 FLOOR-TO-FLOOR STRAPPING @ 32" O.C.
- 6" REBAR CHAIRS MAY BE SUBSTITUTED FOR 3" REBAR CHAIRS (CONTRACTOR'S OPTION, FOOTINGS ONLY. DOES NOT APPLY TO GRADE BEAMS OR POOL SHELLS)
- HILTI HIT HY-200 EPOXY ANCHORS OR SIMPSON SET EPOXY ANCHORS MAY BE SUBSTITUTED FOR CAST-IN-PLACE ANCHOR BOLTS. MATCH EPOXY ANCHOR DIAMETER AND EMBEDMENT DEPTH TO CAST-IN-PLACE ANCHORS.
- CMU PIER / WALL REINFORCEMENT MAY BE DOWELED & EPOXIED INTO FOOTING. ENSURE MIN. 0'-9" REBAR EMBEDMENT. USE HILTI HIT HY-200 EPOXY.
- 5/8" PLYWOOD OR 7/16" OSB SHEATHING.
- SPACING OF CMU PIER TIES AND GRADE BEAM STIRRUPS MAY BE DECREASED AS DESIRED.
- SIMPSON LTT19 -OR- SIMPSON LTT2 WITH 5/8" DIA. ANCHOR BOLT X 10" EMBED, OR 5/8" DIA. EPOXY ANCHOR X 10" EMBED. MAY BE SUBSTITUTED FOR ANY SIMPSON PA SERIES FOUNDATION STRAP.
- SIMPSON MSTA124 W/ (5) 1/4" DIA. SIMPSON TITEN SCREWS MAY BE SUBSTITUTED FOR ANY SIMPSON PAS SERIES FOUNDATION STRAP.
- FOOTING REBAR MAY BE LAID OUT / CONFIGURED IN ANY FASHION AS LONG AS 9" COVER IS MAINTAINED BETWEEN REBAR AND BOTTOM / SIDES OF FOOTING. ENSURE 3/4" MINIMUM CLEARANCE BETWEEN REBAR, TYPICAL. WHERE POSSIBLE, EQUALLY SPACE REBAR
- CONTRACTOR MAY USE QUICK-TIE, GO-BOLT, OR 5/8" DIA. ALL-THREAD ROD @ 48" O.C. IN LIEU OF SIMPSON LTT19 STRAP AT FOUNDATION LEVEL.
- REBAR HOOKS FROM CMU FOUNDATION INTO CONCRETE SLABS, CMU WALLS, OR POOL SHELLS MAY BE STRAIGHT BARS OR BENT BARS. MAINTAIN MINIMUM REBAR EMBEDMENT / HOOK LENGTH OF 48 X BAR DIAMETERS (24" FOR #4 BAR, 30" FOR #5 BAR)
- ALL SIMPSON RAFTER CLIPS AND STRAPS MAY BE INSTALLED ON INSIDE-OR-OUTSIDE OF STUD WALLS.

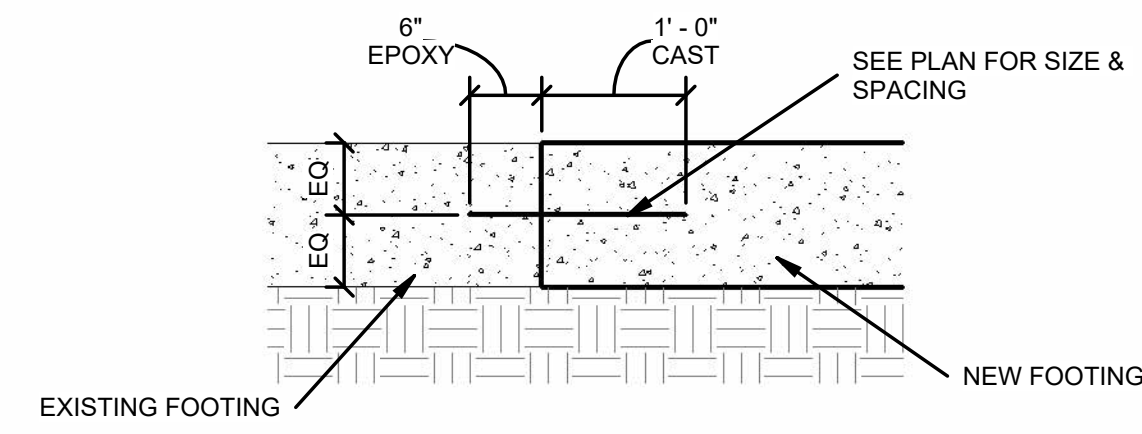


4 POOL COVER BOX X 8" WALL THICKNESS (ABOVE GROUND) / DOUBLE 8" CMU FOUNDATION WALL
3/4" = 1'-0"

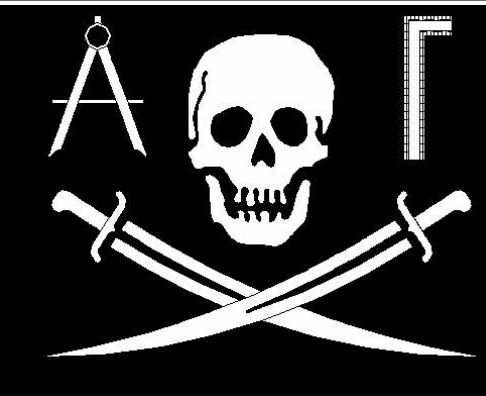
ABOVE-GROUND WALL HOOK / FLOOR HOOK LENGTHS
 • FOR POOL DEPTHS TO 6'-3", WALL HOOK / FLOOR HOOK LENGTH = 2'-0"
 • FOR POOL DEPTHS FROM 6'-4" TO 7'-0", WALL HOOK / FLOOR HOOK LENGTH = 4'-0"
 • 10" WALL + 10" FLOOR -OR- POOL DEPTHS FROM 6'-4" TO 8'-0", WALL HOOK / FLOOR HOOK LENGTH = 4'-0". ALL OTHER HOOK LENGTHS = 2'-0"



8 TYPICAL POOL WALL SECTION (ABOVE GROUND) / VARIABLE DEPTH / 8" WALL / 6X6 DECK POST
3/4" = 1'-0"



6 FOOTING DOWEL DETAIL
3/4" = 1'-0"

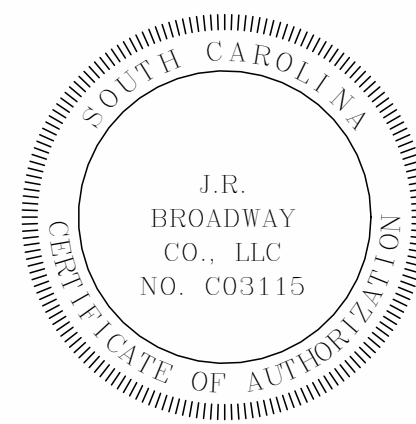
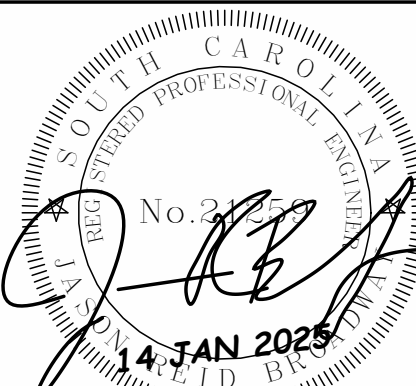


J.R. BROADWAY CO.

STRUCTURAL ENGINEERING
 3451 TOOMER KILN CIRCLE
 MT. PLEASANT, SC 29466
 PHONE (843) 442-3580 (NO TEXT MESSAGES PLEASE)

A SWIMMING POOL FOR
 2918 MIDDLE ST.

SULLIVANS
 ISLAND, SC



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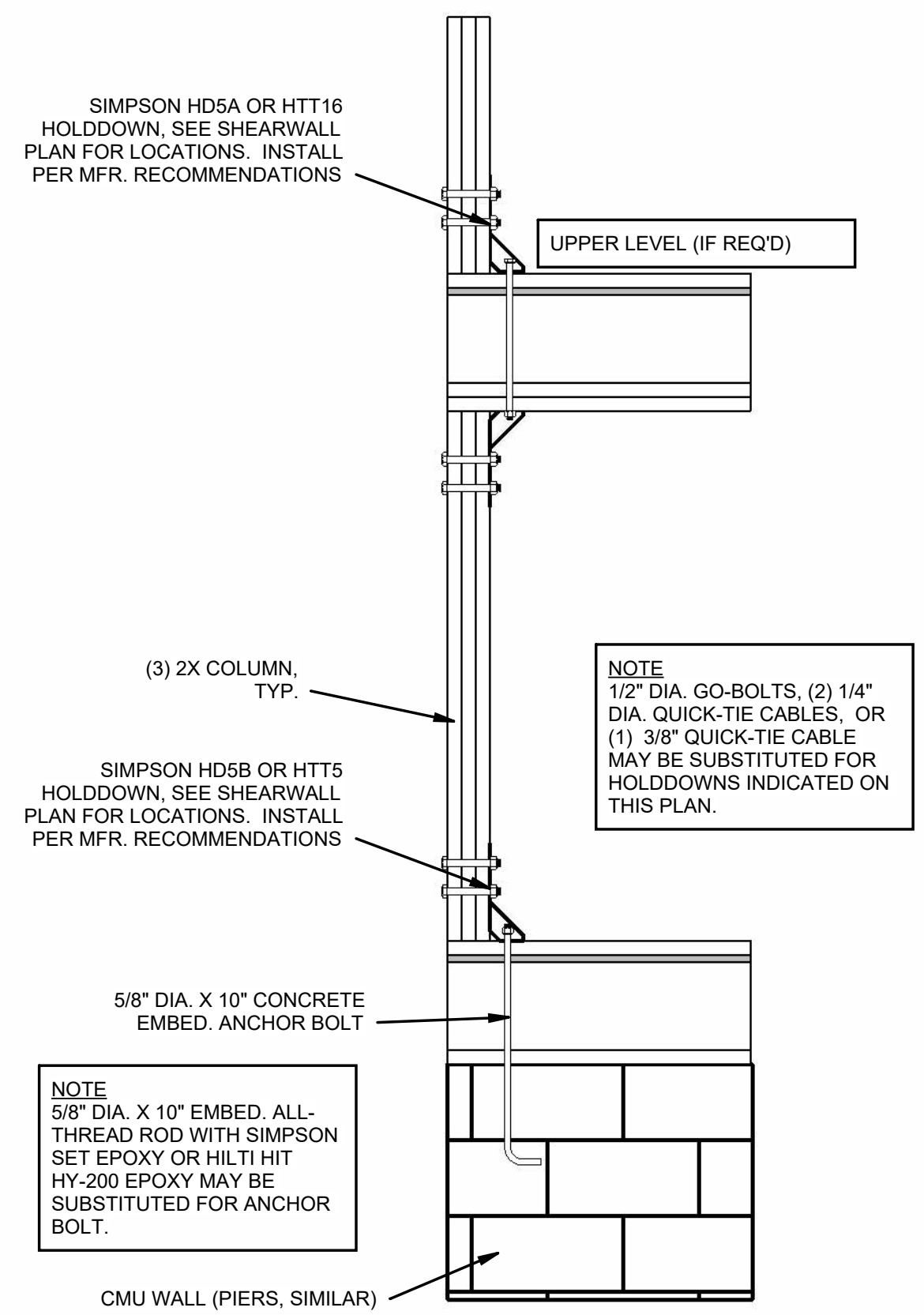
JOB NUMBER	2025-013 S1
DATE	14 JAN 2025
DESIGNED BY	J. BROADWAY
DRAWN BY	J. BROADWAY
CHECKED BY	J. BROADWAY

S201

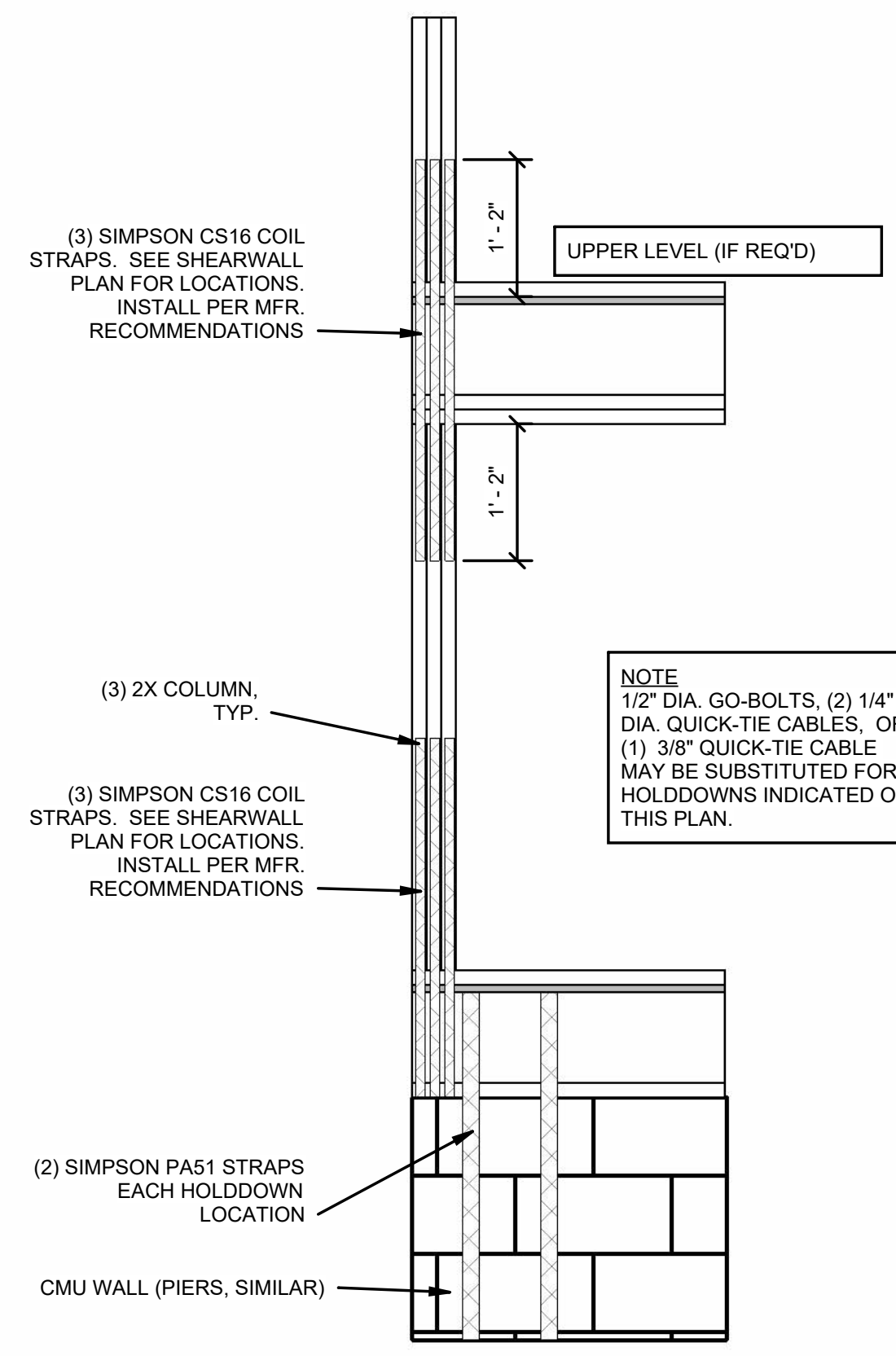
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NOTES & ALLOWABLE SUBSTITUTIONS

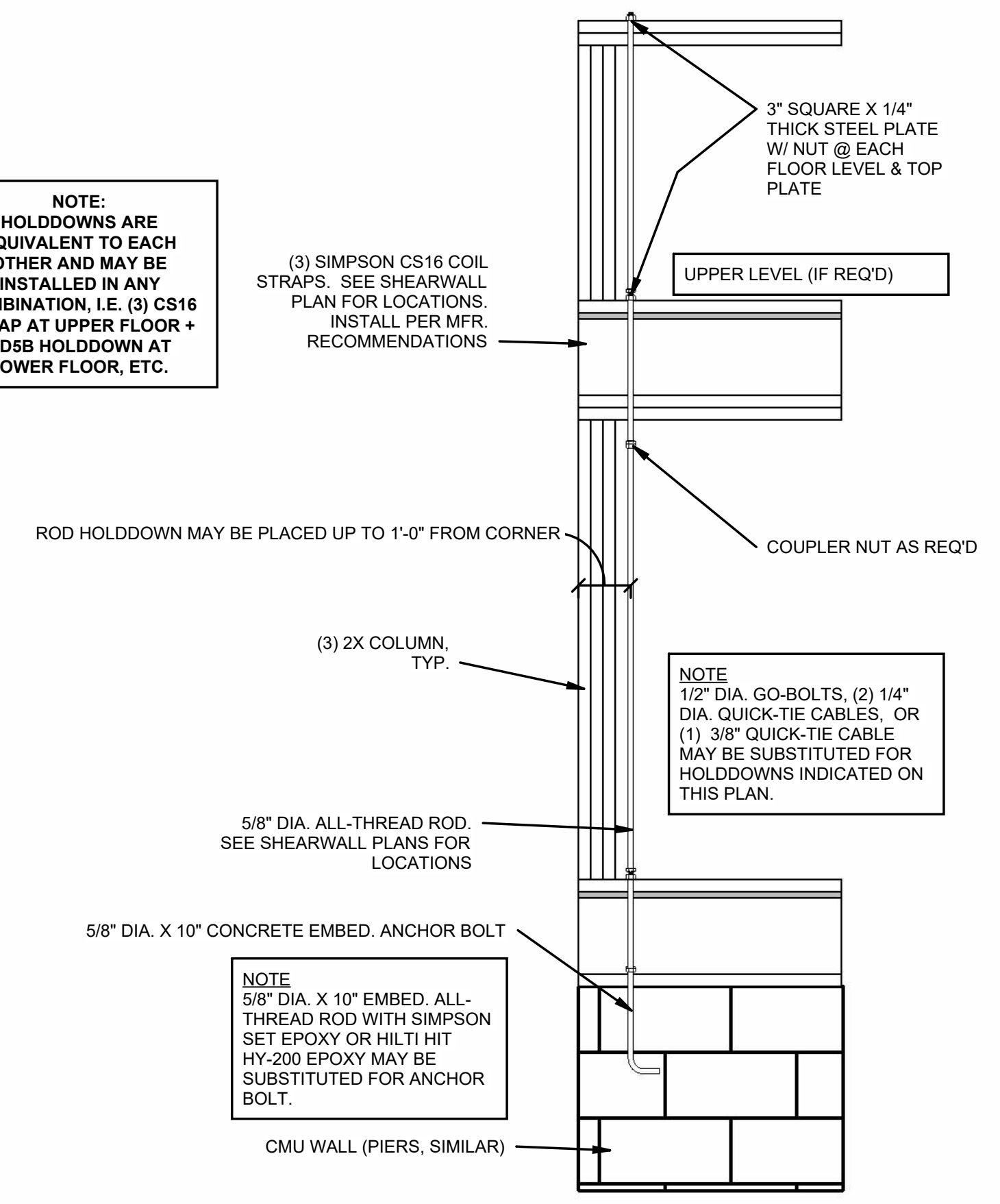
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- 6" REBAR CHAIRS MAY BE SUBSTITUTED FOR 3" REBAR CHAIRS (CONTRACTOR'S OPTION, FOOTINGS ONLY. DOES NOT APPLY TO GRADE BEAMS OR POOL SHELLS)
- HILTI HIT HY-200 EPOXY ANCHORS OR SIMPSON SET EPOXY ANCHORS MAY BE SUBSTITUTED FOR CAST-IN-PLACE ANCHOR BOLTS. MATCH EPOXY ANCHOR DIAMETER AND EMBEDMENT DEPTH TO CAST-IN-PLACE ANCHORS.
- CMU PIER / WALL REINFORCEMENT MAY BE DOWELED & EPOXIED INTO FOOTING. ENSURE MIN. 0'-9" REBAR EMBEDMENT. USE HILTI HIT HY-200 EPOXY.
- 5/8" PLYWOOD MAY BE SUBSTITUTED FOR 1/2" PLYWOOD OR 7/16" OSB SHEATHING.
- SPACING OF CMU PIER TIES AND GRADE BEAM STIRRUPS MAY BE DECREASED AS DESIRED.
- SIMPSON LTT19 -OR- SIMPSON LTP2 WITH 5/8" DIA. ANCHOR BOLT X 10" EMBED, OR 5/8" DIA. EPOXY ANCHOR X 10" EMBED, MAY BE SUBSTITUTED FOR ANY SIMPSON PA SERIES FOUNDATION STRAP.
- SIMPSON MSTAM24 W/ (5) 1/4" DIA. SIMPSON TITEN SCREWS MAY BE SUBSTITUTED FOR ANY SIMPSON PAS SERIES FOUNDATION STRAP.
- FOOTING REBAR MAY BE LAID OUT / CONFIGURED IN ANY FASHION AS LONG AS 0'-3" COVER IS MAINTAINED BETWEEN REBAR AND BOTTOM / SIDES OF FOOTING. ENSURE 3/4" MINIMUM CLEARANCE BETWEEN REBAR. TYPICAL WHERE POSSIBLE, EQUALLY SPACE REBAR
- CONTRACTOR MAY USE QUICK-TIE, GO-BOLT, OR 5/8" DIA. ALL-THREAD ROD @ 48" O.C. IN LIEU OF SIMPSON LTT19 STRAP AT FOUNDATION LEVEL.
- REBAR HOOKS FROM CMU FOUNDATION INTO CONCRETE SLABS, CMU WALLS, OR POOL SHELLS MAY BE STRAIGHT BARS OR BENT BARS. MAINTAIN MINIMUM REBAR EMBEDMENT / HOOK LENGTH OF 48 X BAR DIAMETERS (24" FOR #4 BAR, 30" FOR #5 BAR)
- ALL SIMPSON RAFTER CLIPS AND STRAPS MAY BE INSTALLED ON INSIDE -OR- OUTSIDE OF STUD WALLS.



HOLDDOWN (OPTION #1)



HOLDDOWN (OPTION #2)

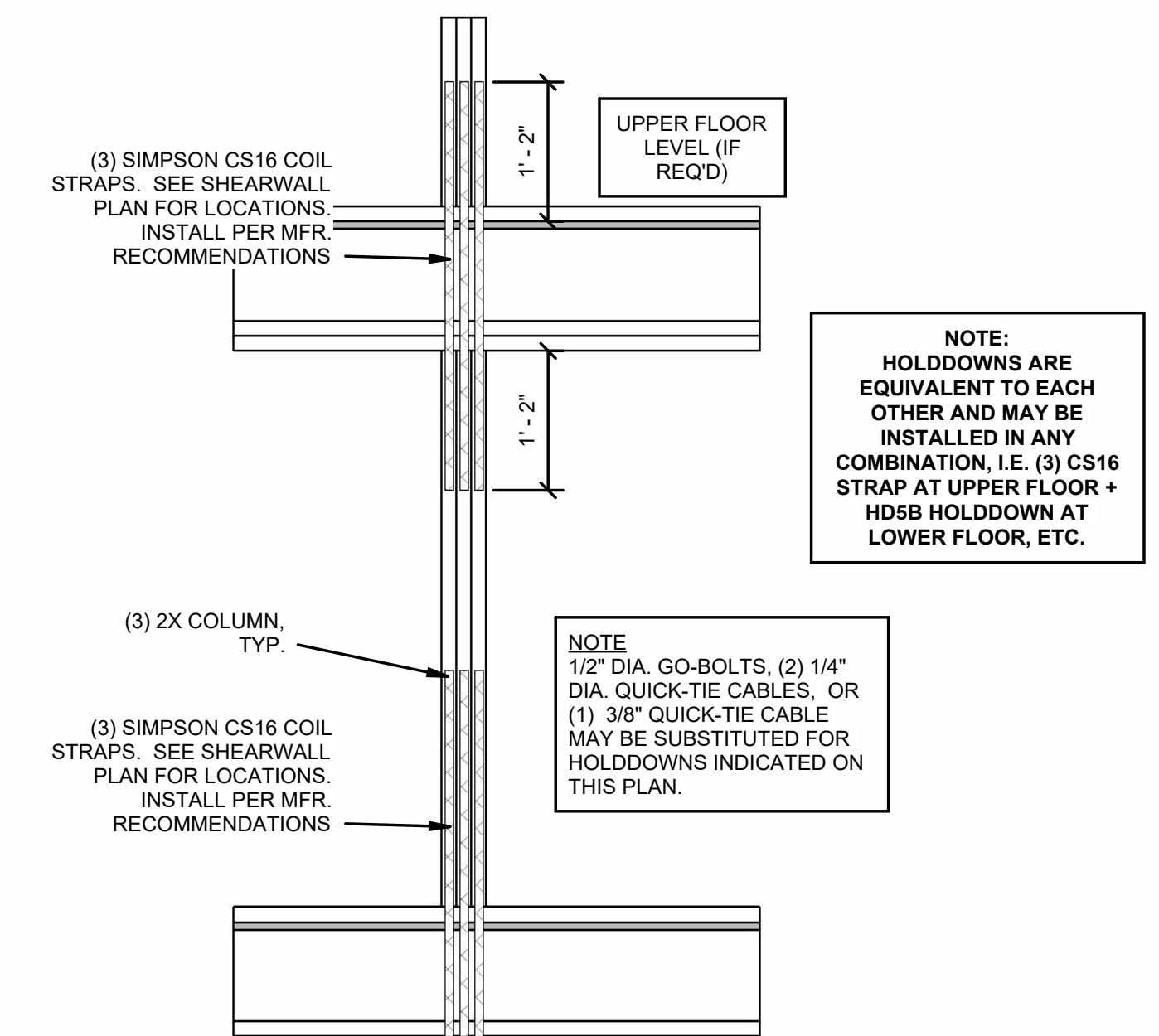


HOLDDOWN (OPTION #3)

② TYPICAL HOLDDOWN DETAILS TO CMU
3/4" = 1'-0"

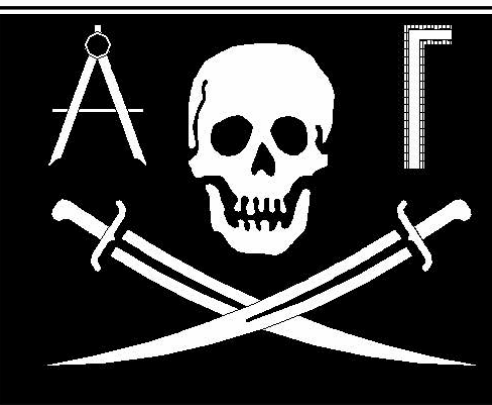
MEMBER TYPE	HANGER SPEC / OPTIONS
WOOD TRUSS	HANGER BY MFR.
WOOD I-JOIST	HANGER BY MFR.
NOMINAL LUMBER	SIMPSON LUS SERIES JOIST HANGER
LVL BEAMS	SIMPSON HGUS SERIES UNLESS NOTED OTHERWISE -OR- AS SPECIFIED BY MFR.

○ BEAM HANGER SCHEDULE
12" = 1'-0"



HOLDDOWN [(3) SIMPSON CS16 STRAPS]

① TYPICAL HOLDDOWN DETAILS
(COILSTRAP HOLDDOWN)
3/4" = 1'-0"

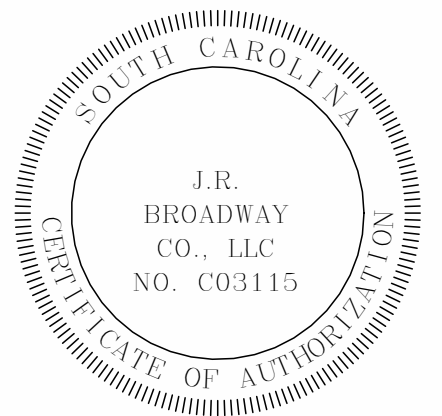
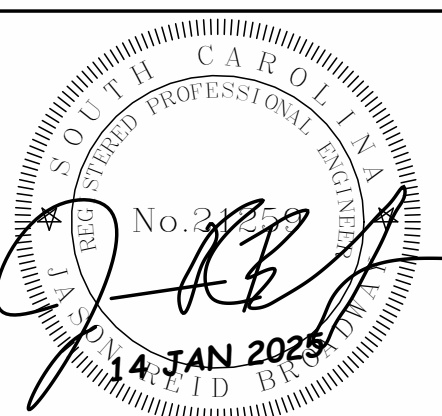


J.R. BROADWAY CO.

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3451 TOOMER KILN CIRCLE
MT. PLEASANT, SC 29466
PHONE (843) 442-3580 (NO TEXT MESSAGES PLEASE)

A SWIMMING
POOL FOR
2918 MIDDLE ST.

SULLIVANS
ISLAND, SC



JOB NUMBER	2025-013 S1
DATE	14 JAN 2025
DESIGNED BY	J. BROADWAY
DRAWN BY	J. BROADWAY
CHECKED BY	J. BROADWAY

S202

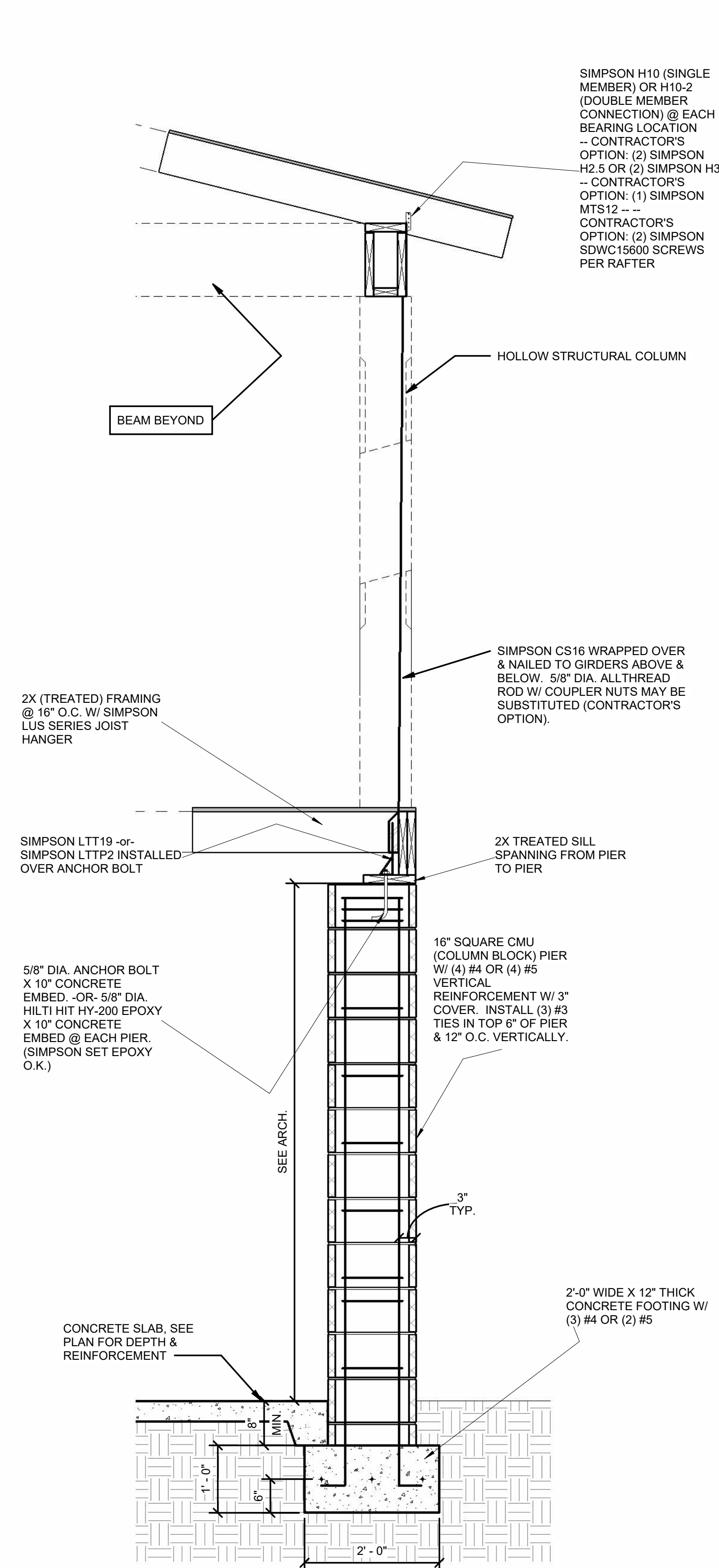
Scale: AS NOTED

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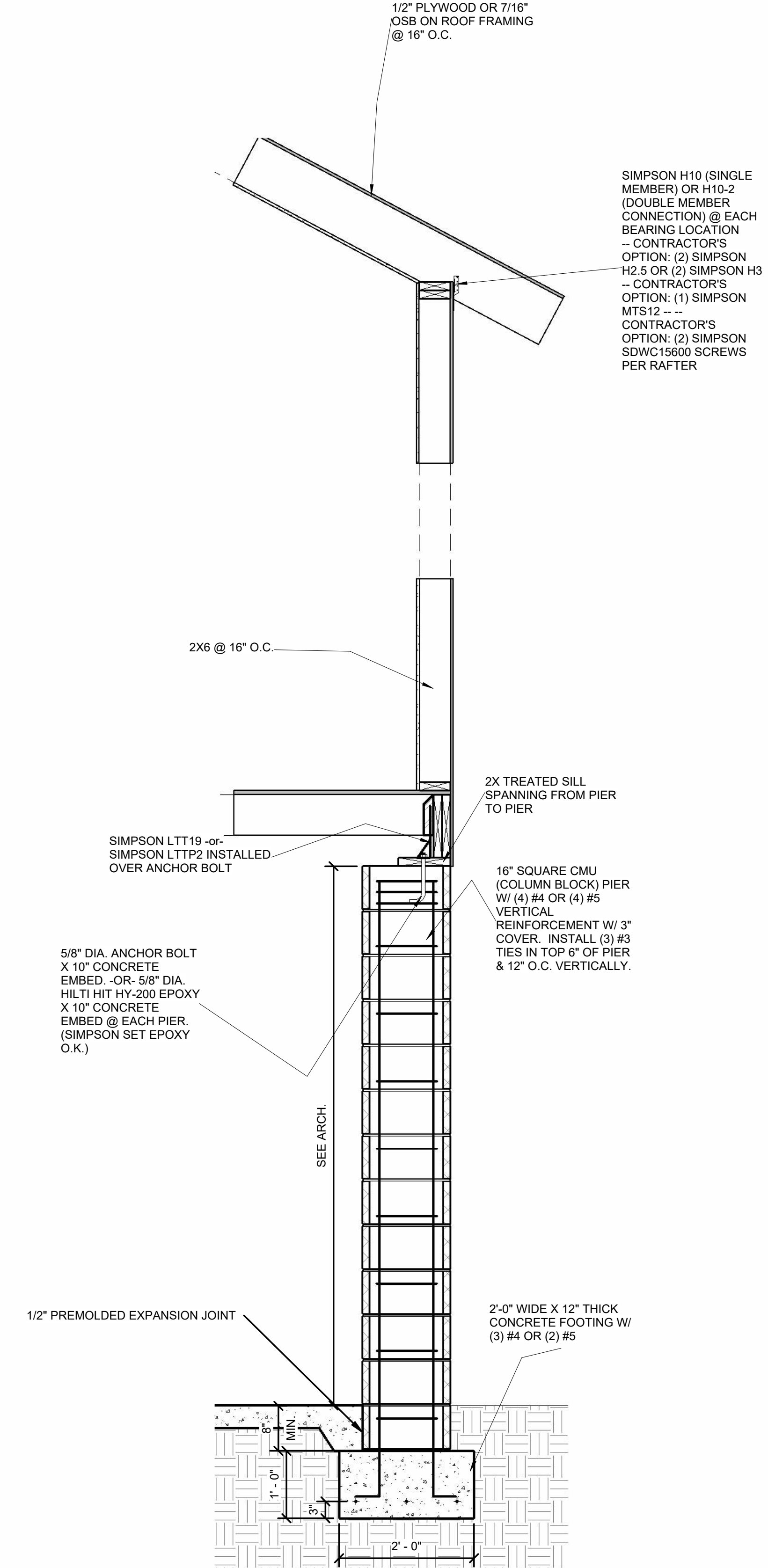
No. Description Date

NOTES & ALLOWABLE SUBSTITUTIONS

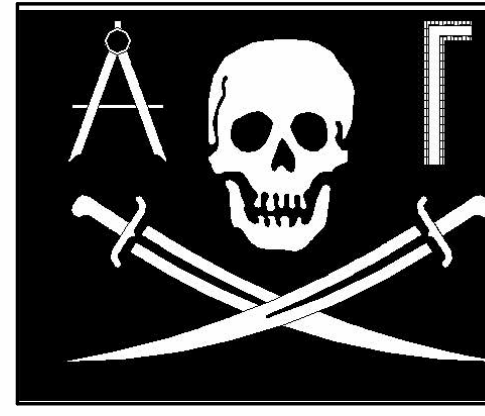
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3. 6" REBAR CHAIRS MAY BE SUBSTITUTED FOR 3" REBAR CHAIRS (CONTRACTOR'S OPTION, FOOTINGS ONLY. DOES NOT APPLY TO GRADE BEAMS OR POOL SHELLS)
4. HILTI HIT HY-200 EPOXY ANCHORS OR SIMPSON SET EPOXY ANCHORS MAY BE SUBSTITUTED FOR CAST-IN-PLACE ANCHOR BOLTS. MATCH EPOXY ANCHOR DIAMETER AND EMBEDMENT DEPTH TO CAST-IN-PLACE ANCHORS.
5. CMU PIER / WALL REINFORCEMENT MAY BE DOWELED & EPOXIED INTO FOOTING. ENSURE MIN. 0'-9" REBAR EMBEDMENT. USE HILTI HIT HY-200 EPOXY.
6. 5/8" PLYWOOD MAY BE SUBSTITUTED FOR 1/2" PLYWOOD OR 7/16" OSB SHEATHING.
7. SPACING OF CMU PIER TIES AND GRADE BEAM STIRRUPS MAY BE DECREASED AS DESIRED.
8. SIMPSON LTT19 -or- SIMPSON LTT2 WITH 5/8" DIA. ANCHOR BOLT X 10" EMBED. OR 5/8" DIA. EPOXY ANCHOR X 10" EMBED. MAY BE SUBSTITUTED FOR ANY SIMPSON PA SERIES FOUNDATION STRAP.
9. SIMPSON MSTAM24 W/ (5) 1/4" DIA. SIMPSON TITEN SCREWS MAY BE SUBSTITUTED FOR ANY SIMPSON PAS SERIES FOUNDATION STRAP.
10. FOOTING REBAR MAY BE LAID OUT / CONFIGURED IN ANY FASHION AS LONG AS 0'-3" COVER IS MAINTAINED BETWEEN REBAR AND BOTTOM SIDES OF FOOTING. ENSURE 3/4" MINIMUM CLEARANCE BETWEEN REBAR. TYPICAL. WHERE POSSIBLE, EQUALLY SPACE REBAR
11. CONTRACTOR MAY USE QUICK-TIE, GO-BOLT, OR 5/8" DIA. ALL-THREAD ROD @ 48" O.C. IN LIEU OF SIMPSON LTT19 STRAP AT FOUNDATION LEVEL.
12. REBAR HOOKS FROM CMU FOUNDATION INTO CONCRETE SLABS, CMU WALLS, OR POOL SHELLS MAY BE STRAIGHT BARS OR BENT BARS. MAINTAIN MINIMUM REBAR EMBEDMENT / HOOK LENGTH OF 48 X BAR DIAMETERS (24" FOR #4 BAR, 30" FOR #5 BAR)
13. ALL SIMPSON RAFTER CLIPS AND STRAPS MAY BE INSTALLED ON INSIDE -OR- OUTSIDE OF STUD WALLS.



2 Section 31
3/4" = 1'-0"



1 Section 30
3/4" = 1'-0"

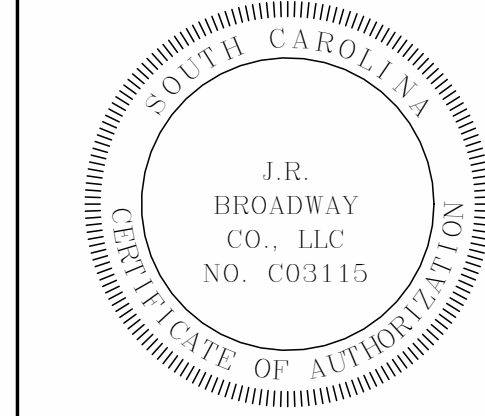
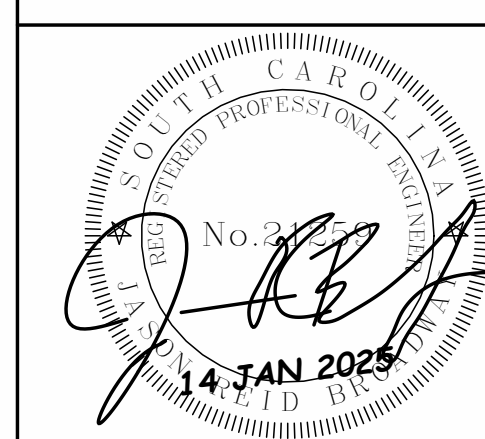


J.R. BROADWAY CO.

STRUCTURAL ENGINEERING
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MT. PLEASANT, SC 29466
PHONE (843) 442-3580 (NO TEXT MESSAGES PLEASE)

A SWIMMING POOL FOR 2918 MIDDLE ST.

SULLIVANS ISLAND, SC

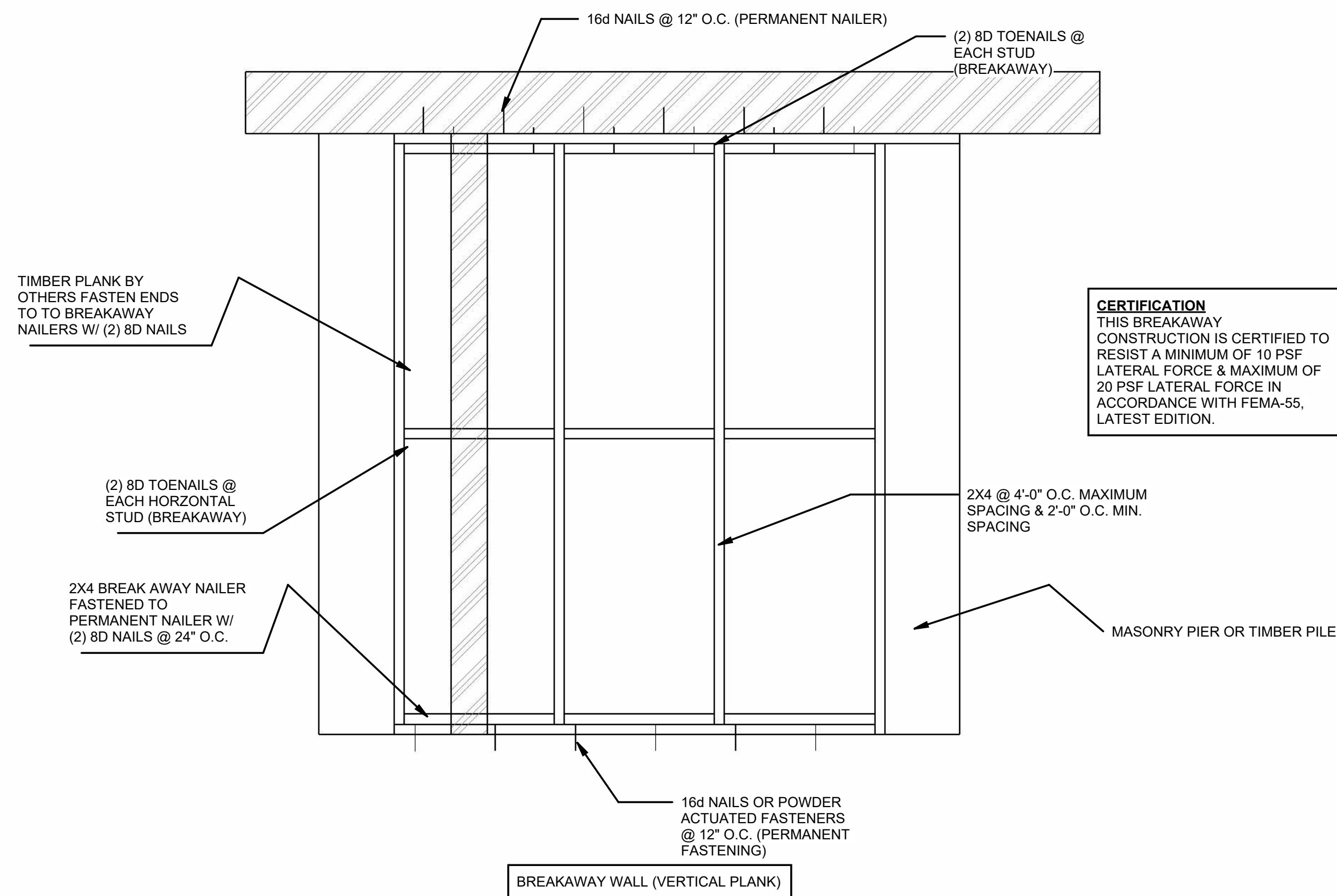


JOB NUMBER	2025-013 S1
DATE	14 JAN 2025
DESIGNED BY	J. BROADWAY
DRAWN BY	J. BROADWAY
CHECKED BY	J. BROADWAY

S203

Scale: AS NOTED

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1 BREAKAWAY WALL (VERTICAL PLANK)
3/4" = 1'-0"

CERTIFICATION
THIS BREAKAWAY CONSTRUCTION IS CERTIFIED TO RESIST A MINIMUM OF 10 PSF LATERAL FORCE & MAXIMUM OF 20 PSF LATERAL FORCE IN ACCORDANCE WITH FEMA-55, LATEST EDITION.



**TOWN OF SULLIVAN'S ISLAND
COASTAL A-ZONE DESIGN CERTIFICATE**

PRE-CONSTRUCTION: XXXXX AS BUILT: _____

Name of Property owner: 1541 E CROSSING LLC Permit number: _____

Street Address: 2918 MIDDLE ST. TMS#: 529-07-00-079

City: SULLIVANS ISLAND State: SC Zip: 29482

BREAKAWAY WALL CERTIFICATION STATEMENT

THIS DOCUMENT MUST APPEAR ON THE PLANS.

I certify that I have developed or reviewed the design, plans and specifications for construction of the breakaway walls for the structure noted above. The design and 7/5/2017/5/2017 methods of construction are in accordance with meeting the accepted standards of practice with the following provisions:

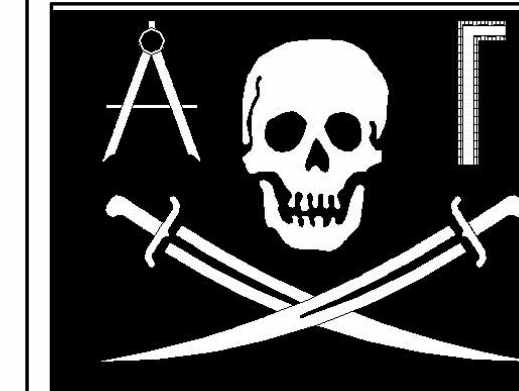
1. Breakaway walls have a design safe loading resistance of not less than 10 lbs. and no more than 20 lbs.
2. Breakaway wall collapse shall result from a water load less than that which would occur during the base flood plus one foot.
3. The elevated portion of the structure and supporting foundation system shall not be subject to collapse, displacement, or other structural damage due to the combined effects of wind and water loads acting simultaneously on all building components, structural and non-structural. Wind loading values used shall be those stated in the International Residential Code 2021 Edition. Water loading values shall be those associated with the base flood plus one foot.

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Signature: *JRB* Date: 14 JAN 2025



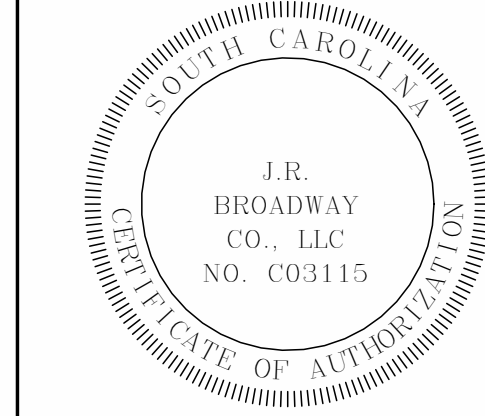
- NOTES & ALLOWABLE SUBSTITUTIONS**
1. VERIFY ALL ELEVATIONS & DIMENSIONS W/ ARCHITECTURAL DRAWINGS & EXISTING CONDITIONS
 2. CONTRACTOR MAY USE QUICK-TIE, GO-BOLT, OR 5/8" DIA. ALL-THREAD ROD @ 32" O.C. INSTEAD OF SIMPSON CS16 FLOOR-TO-FLOOR STRAPPING @ 32" O.C.
 3. 6" REBAR CHAIRS MAY BE SUBSTITUTED FOR 3" REBAR CHAIRS (CONTRACTOR'S OPTION, FOOTINGS ONLY. DOES NOT APPLY TO GRADE BEAMS OR POOL SHELLS)
 4. HILTI HIT HY-200 EPOXY ANCHORS OR SIMPSON SET EPOXY ANCHORS MAY BE SUBSTITUTED FOR CAST-IN-PLACE ANCHOR BOLTS. MATCH EPOXY ANCHOR DIAMETER AND EMBEDMENT DEPTH TO CAST-IN-PLACE ANCHORS.
 5. CMU PIER / WALL REINFORCEMENT MAY BE DOWELED & EPOXIED INTO FOOTING. ENSURE MIN. 0'-9" REBAR EMBEDMENT. USE HILTI HIT HY-200 EPOXY.
 6. 5/8" PLYWOOD MAY BE SUBSTITUTED FOR 1/2" PLYWOOD OR 7/16" OSB SHEATHING.
 7. SPACING OF CMU PIER TIES AND GRADE BEAM STIRRUPS MAY BE DECREASED AS DESIRED.
 8. SIMPSON LTT119 -or- SIMPSON LTTP2 WITH 5/8" DIA. ANCHOR BOLT X 10" EMBED. OR 5/8" DIA. EPOXY ANCHOR X 10" EMBED. MAY BE SUBSTITUTED FOR ANY SIMPSON PA SERIES FOUNDATION STRAP.
 9. SIMPSON MSTAM24 W/ (5) 1/4" DIA. SIMPSON TITEN SCREWS MAY BE SUBSTITUTED FOR ANY SIMPSON PAS SERIES FOUNDATION STRAP.
 10. FOOTING REBAR MAY BE LAID OUT / CONFIGURED IN ANY FASHION AS LONG AS 0'-3" COVER IS MAINTAINED BETWEEN REBAR AND BOTTOM / SIDES OF FOOTING. ENSURE 3/4" MINIMUM CLEARANCE BETWEEN REBAR, TYPICAL. WHERE POSSIBLE, EQUALLY SPACE REBAR.
 11. CONTRACTOR MAY USE QUICK-TIE, GO-BOLT, OR 5/8" DIA. ALL-THREAD ROD @ 48" O.C. IN LIEU OF SIMPSON LTT119 STRAP AT FOUNDATION LEVEL.
 12. REBAR HOOKS FROM CMU FOUNDATION INTO CONCRETE SLABS, CMU WALLS, OR POOL SHELLS MAY BE STRAIGHT BARS OR BENT BARS. MAINTAIN MINIMUM REBAR EMBEDMENT / HOOK LENGTH OF 48 X BAR DIAMETERS (24" FOR #4 BAR, 30" FOR #5 BAR)
 13. ALL SIMPSON RAFTER CLIPS AND STRAPS MAY BE INSTALLED ON INSIDE -OR- OUTSIDE OF STUD WALLS.



J.R. BROADWAY CO.

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**A SWIMMING
 POOL FOR
 2918 MIDDLE ST.
 SULLIVANS
 ISLAND, SC**



JOB NUMBER	2025-013 S1
DATE	14 JAN 2025
DESIGNED BY	J. BROADWAY
DRAWN BY	J. BROADWAY
CHECKED BY	J. BROADWAY

S301

Scale: AS NOTED

DRAWINGS AND SPECIFICATIONS ARE PROPERTY OF THE ENGINEER. USE OF THESE PLANS AND SPECIFICATIONS ARE PROHIBITED WITHOUT PERMISSION OF THE ENGINEER.