

MASTER SUITE ADDITION

2118 ATLANTIC AVENUE

SULLIVAN'S ISLAND, SOUTH CAROLINA 29482

TMS # 529 09 00 061

ARCHITECTURAL DRAWINGS FOR DESIGN REVIEW BOARD

T1.0	TITLE SHEET	A1.1	FLOOR PLANS
SV1.0	CURRENT SURVEY	A2.0	EXTERIOR ELEVATIONS
SP1.0	SITE PLAN / PROPERTY INFO	A2.1	EXTERIOR ELEVATIONS
A1.0	FLOOR PLANS	A2.2	EXTERIOR ELEVATIONS



EXISTING EAST ELEVATION



DECEMBER 18TH DRB MEETING



FEBRUARY 18TH DRB MEETING

ORIGINAL DRAWING 24 INCHES X 36 INCHES

Owners: John W. and Cynthia M. Ebert 2118 Atlantic Avenue Sullivan's Island, SC 29482	Architect: Clark Ferguson Architect 316 Hydrangea Street Summerville, South Carolina 29483 Email: mail@ClarkFerguson.com Website: ClarkFerguson.com Tel: 918.378.0753	General Contractor: Matt Teisort Bluebird Home Improvement 1520 Saint Stephens Way Hanahan, South Carolina 29410 Tel: 843.279.5470	Surveyor: Dean L. Britt Britt Land Surveying, Inc. P. O. Box 80333 Charleston, SC 29416 Tel: 843.810.6771	Structural Engineer: SK Structural Engineers Sara E. Katsanevakis, P.E. 972 Sea Gull Drive Mount Pleasant, SC 29464 Tel: 864.356.4531	Soils Engineer: Perryman Engineering, LLC John J. Perryman PE P.O. Box 62916 North Charleston, SC 29419 Tel: 843.693.2227	Pool Contractor: Aqua Blue Pools Christine Vanscoy 5190 Towels Road Hollywood, SC 29449 Tel: 843.76.7665	Mechanical Contractor: To Be Determined	Electrical Contractor: To Be Determined	Plumbing Contractor: To Be Determined	Lighting Consultant: To Be Determined	Landscape Contractor: To Be Determined
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**CLARK
FERGUSON
ARCHITECT**
Cell 918 378 0753
316 Hydrangea Street
Summerville, South Carolina 29483
Mail@ClarkFerguson.com
LICENSED WITH STATE OF SOUTH CAROLINA



GENERAL CONTRACTOR:
Matt Teisort

DRAWING
FOR
REVIEW

2118 ATLANTIC AVENUE
SULLIVAN'S ISLAND, SOUTH CAROLINA 29482

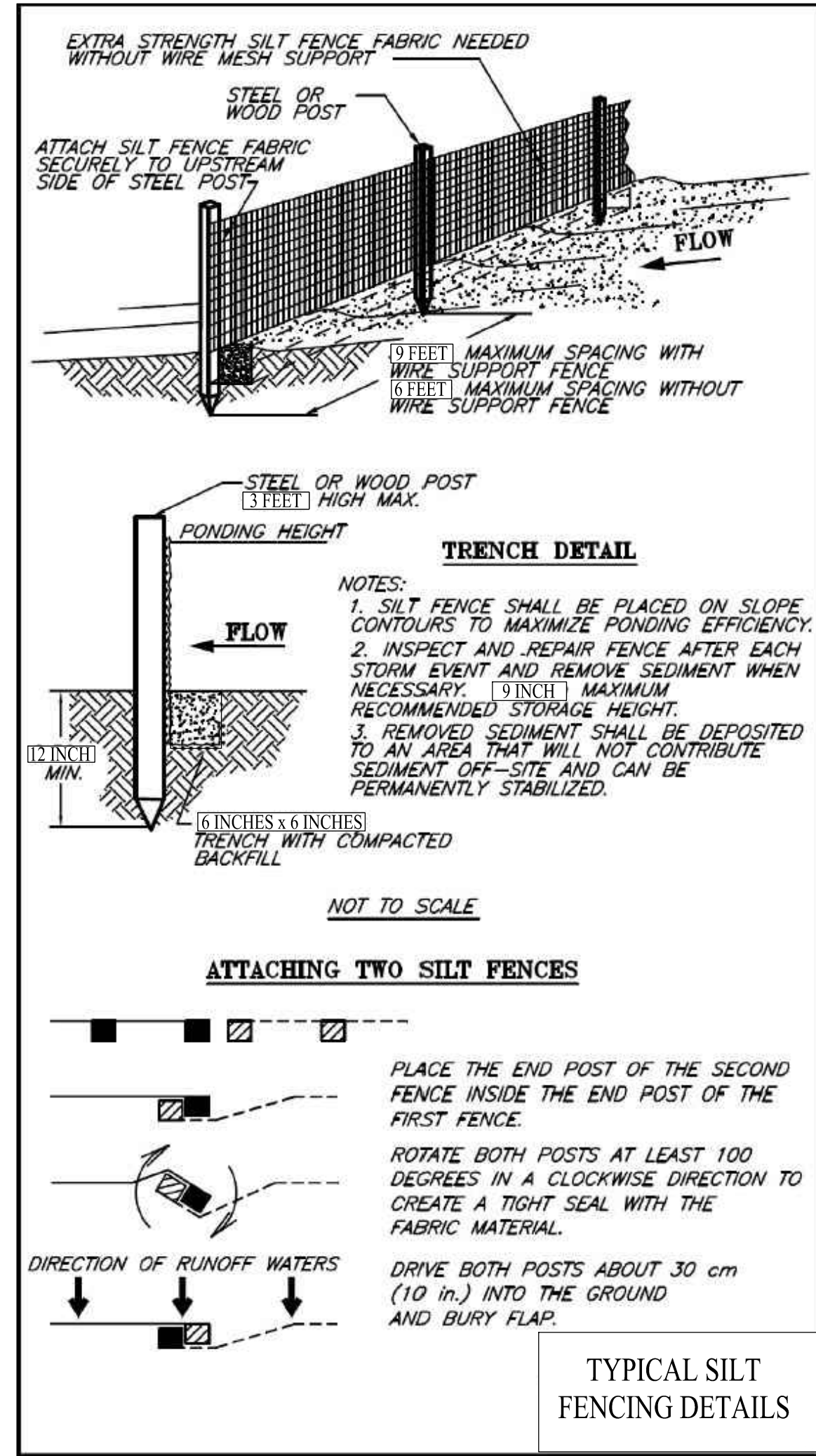
ORIGINAL: 22 September 2023

DO NOT SCALE DRAWINGS
SEE "S" SERIES DRAWINGS
FOR MEMBER SIZING, ETC.

**TITLE
SHEET**

T1.0

ORIGINAL DRAWING 24 INCHES X 36 INCHES



EROSION CONTROL NOTES:

- SILT FENCE IS REQUIRED TO BE EMBEDDED TOWARDS CONSTRUCTION SITE.
- STAKES ARE TO BE SPACE NO MORE THAN SIX (6) FEET.
- ADDITIONAL ROWS MAY BE REQUIRED PER INSPECTION.
- ROADS TO BE KEPT CLEAN. CONTRACTOR WILL BE RESPONSIBLE FOR SEDIMENT LEAVING SITE.
- STORMWATER INLETS ARE TO BE PROTECTED WITH GEOTEXTILE FABRIC OR SILT FENCE WITH GRAVEL.
- WASHOUT AREA AND DUMPSTER MUST BE LOCATED INSIDE SEDIMENT CONTROLLED AREA.

LEGEND:

- CMF CONCRETE MONUMENT FOUND 4"
 - IS 5/8" RBS (REBAR SET)
 - △ (IF IRON FOUND) SIZE/TYPE NOTED
 - PK NAIL SET
 - ▲ PK NAIL FOUND
 - ⊙ WATER VALVE
 - ⊙ WATER METER
 - ⊙ ELECTRICAL TRANSFORMER
 - ⊙ ELECTRICAL BOX
 - ⊙ TELEPHONE BOX
 - + SPOT ELEVATION
 - ⊙ POWER POLE
 - SEWER CLEANOUT - SEWER TAP
 - CED CEDAR
 - * PAL PALMETTO
 - WN WALL NUT
 - BLACK GUM
 - OAK
 - LO LIVE OAK
 - GUM
 - PEC PECAN TREE
 - CH CHERRY
 - HAK HACKBERRY
 - PN PINE
 - POP POPLAR TREE
- LOT LINE
- DHEC-OCRM (MARSH GRASS LINE)
- ADJACENT LOT LINE
- X - X - FENCE

NOTES:

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR.

THE SURVEY SHOWN HEREON REFLECTS THE ABOVE RECORDED REFERENCES.

BUILDING SETBACKS SHOULD BE VERIFIED BY THE GOVERNING BODY PRIOR TO ANY DESIGN OR CONSTRUCTION.

DATUM:

THE BEARINGS SHOWN HEREON ARE SOUTH CAROLINA GRID NAD 1983 (2011) MODEL.

REFERENCE:

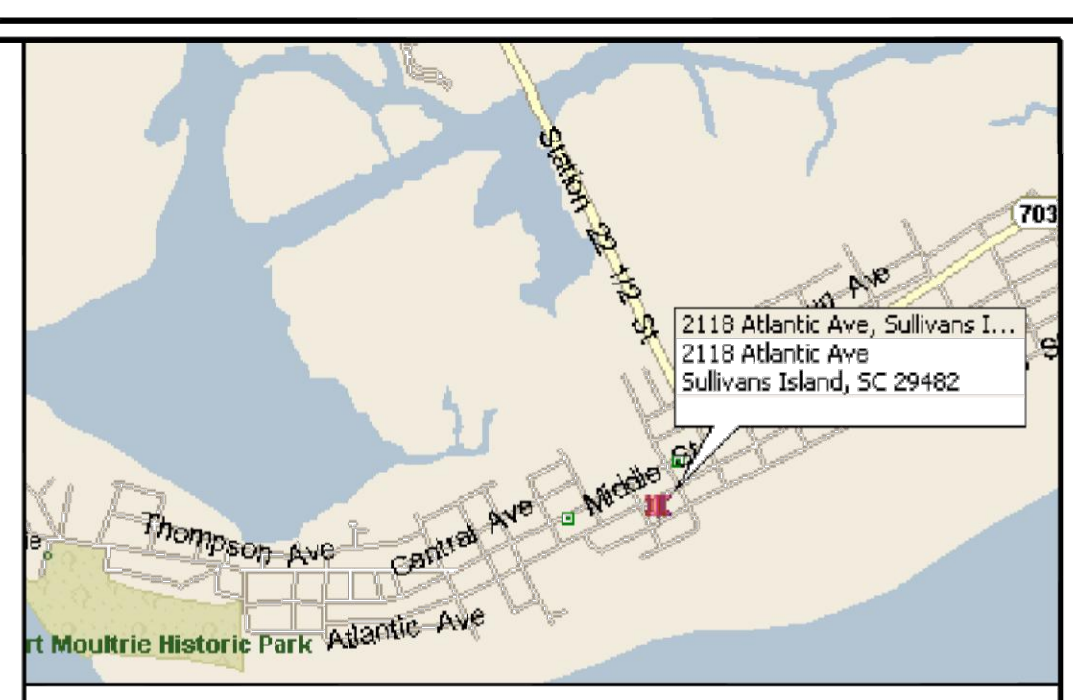
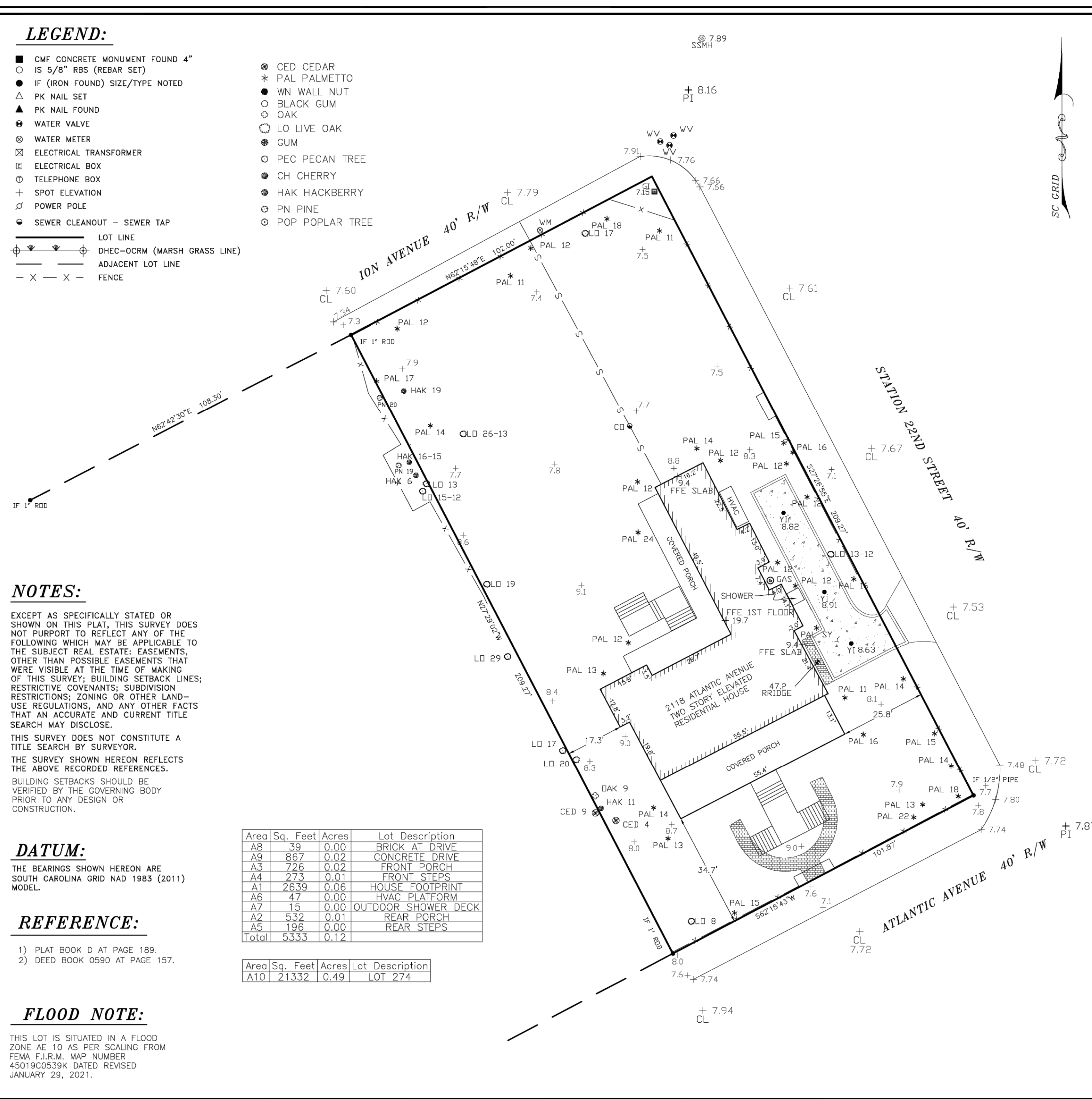
- PLAT BOOK D AT PAGE 189.
- DEED BOOK 0590 AT PAGE 157.

FLOOD NOTE:

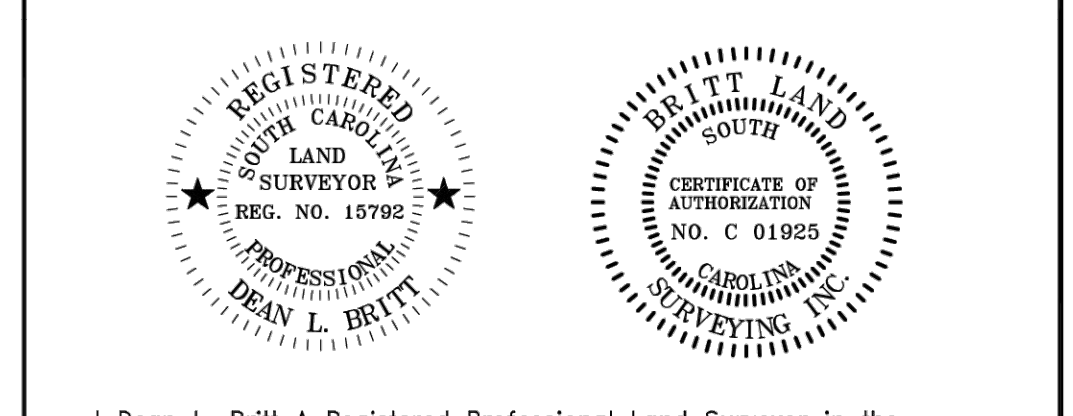
THIS LOT IS SITUATED IN A FLOOD ZONE AE 10 AS PER SCALING FROM FEMA F.I.R.M. MAP NUMBER 45019C0539K DATED REVISED JANUARY 29, 2021.

Area	Sq. Feet	Acres	Lot Description
A8	39	0.00	BRICK AT DRIVE
A9	867	0.02	CONCRETE DRIVE
A3	726	0.02	FRONT PORCH
A4	273	0.01	FRONT STEPS
A1	2639	0.06	HOUSE FOOTPRINT
A6	47	0.00	HVAC PLATFORM
A7	15	0.00	OUTDOOR SHOWER DECK
A2	532	0.01	REAR PORCH
A5	196	0.00	REAR STEPS
Total	5333	0.12	

Area	Sq. Feet	Acres	Lot Description
A10	21332	0.49	LOT 274



BRITT LAND SURVEYING, INC.
P.O. BOX 80333
CHARLESTON, SC 29416
843-810-6771
WWW.BRITTSURVEYINGINC.COM

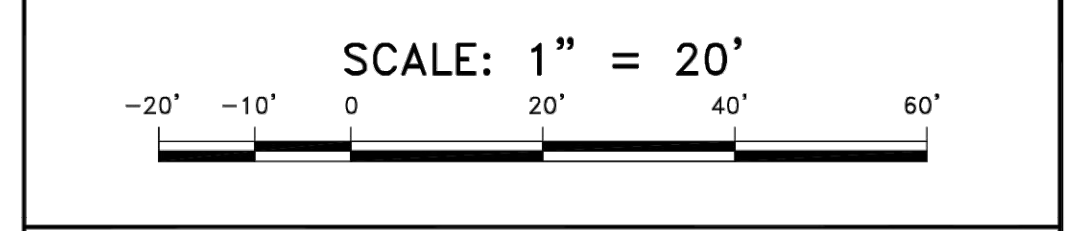


I, Dean L. Britt a Registered Professional Land Surveyor in the State of South Carolina certify to owner(s) shown hereon that this survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a class ___ survey as specified therein.

Date: / /

DEAN L. BRITT PLS S.C. REG. NO. 15792

SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.



PLAT OF:
AS-BUILT SURVEY SHOWING WESTERN PORTION OF LOT 274 SULLIVAN'S ISLAND
PREPARED FOR:
John W. Ebert and Cynthia M. Ebert
LOCATED ON SULLIVAN'S ISLAND
CHARLESTON COUNTY - SOUTH CAROLINA

THIS SURVEY IS THE PROPERTY OF BRITT LAND SURVEYING, INC., AND IS PROVIDED AS A SERVICE TO **John W. Ebert and Cynthia M. Ebert**. THIS SURVEY IS NOT FOR THE USE OF MARKETING, NOR IS IT TRANSFERABLE / SELLABLE, AND IS ONLY INTENDED FOR THE NAME SHOWN HEREON.

LOCATION: 2118 Atlantic Avenue - 29485

TAX MAP # 529-09-00-061

DATE: August 28, 2023

FIELD DATE: August 17, 2023

JOB NO. 233863

COUNTY/STATE CHARLESTON, S.C.

1 CURRENT SURVEY BY BRITT LAND SURVEYING, INC. DATED AUGUST 8TH 2023

SCALE 1" = 20' - 0"

CLARK FERGUSON ARCHITECT
Cell 918 378 0753
316 Hydrangea Street
Summerville, South Carolina 29483
Mail@ClarkFerguson.com
LICENSED WITH STATE OF SOUTH CAROLINA



GENERAL CONTRACTOR:
Matt Teitsort

DRAWING FOR REVIEW

2118 ATLANTIC AVENUE
SULLIVAN'S ISLAND, SOUTH CAROLINA 29482

ORIGINAL: 22 September 2023

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SURVEY

SV1.0

LEGEND
NOTE: ALL SYMBOLS MAY NOT BE USED ON THIS SHEET

EXISTING WALL	
NEW WALL	
ABOVE/BELOW	
RAILING	
PROPERTY LINE	
SETBACK LINE	
PAVEMENT/PATH LINE	
ROOF OVERHANG	
WATER FLOW	
ELEVATION MARKER	
TO BE DETERMINED	T.B.D.
VERIFY IN FIELD	V.I.F.
TYPICAL	TYP.

PROPERTY INFORMATION:

1. THIS SITE PLAN WAS DEVELOPED FROM THE CURRENT SURVEY BY DEAN L. BRITT DATED AUGUST 28TH 2023.
2. TMS # 529 09 00 061
3. FLOOD ZONE (AE 10) AS SHOWN ON THE FEMA MAPS 45019C 0539 K DATED 1/29/2021.
4. PROPERTY IS ZONED RS SINGLE FAMILY RESIDENTIAL DISTRICT.

PROJECT NOTES:

1. A PRELIMINARY SITE LAYOUT IS RECOMMENDED BEFORE FINAL SITE DESIGN OR CONSTRUCTION.
2. FLOOD ZONE SHOULD BE VERIFIED WITH THE GOVERNING MUNICIPALITY BEFORE DESIGN AND CONSTRUCTION.
3. VERIFY SOIL BEARING CAPACITY BEFORE DESIGN AND CONSTRUCTION.
4. NOTIFY ARCHITECT OF ANY DISCREPANCIES.

TREES:
NO GRAND TREES AFFECTED BY THIS PROJECT.

HEIGHTS:
MAXIMUM HEIGHT = 38'-0"
EXISTING STRUCTURE HEIGHT = 36'-6" + -
PROPOSED ADDITION HEIGHT = 28'-11"

EXISTING SQUARE FOOTAGES FROM SURVEY:

BRICK AT DRIVE	39
CONCRETE DRIVE	867
FRONT PORCH	726
FRONT STEPS	273
HOUSE FOOTPRINT	2639
HVAC PLATFORM	47
OUTDOOR SHOWER DECK	15
REAR PORCH	532
REAR STEPS	196
TOTAL	5333 SQUARE FEET

IMPERVIOUS COVERAGE:

LOT SIZE - 0.49 ACRE =	21,332 SQUARE FEET
MAXIMUM IMPERVIOUS COVERAGE = 30% =	6,399.6 SQ. FT.
PROPOSED PRINCIPAL BUILDING COVERAGE =	3,044 SQ. FT.
IMPERVIOUS COVERAGE - HVAC AND POOL EQUIP PLATFORMS =	105 SQ. FT.
IMPERVIOUS COVERAGE - POOL AND COPING =	515 SQ. FT.
IMPERVIOUS COVERAGE - CONCRETE DRIVE AND BRICK =	906 SQ. FT.
IMPERVIOUS COVERAGE - PORCHES, STEPS, AND SHOWER =	1,742 SQ. FT.
PROPOSED TOTAL IMPERVIOUS COVERAGE = 29.5% =	6,312 SQ. FT.

PRINCIPAL BUILDING SQUARE FOOTAGE:

LOT SIZE - 0.49 ACRE - 21,332 SQUARE FEET
 $(21,332 - 5,000) / 100 \times (10) + 2,400 = 4,033$ SQ. FT.
 MAXIMUM PRINCIPAL BUILDING SQUARE FOOTAGE = 4,033 SQ. FT.
 EXISTING PRINCIPAL BUILDING SQUARE FOOTAGE = 51 SQ. FT. OVER = 4,084 SQ. FT.
 OWNER REQUESTS 11% RELIEF = 449 SQ. FT. = TOTAL PRINCIPAL BUILDING SQ. FT. = 4,533 SQ. FT.

SET BACKS:

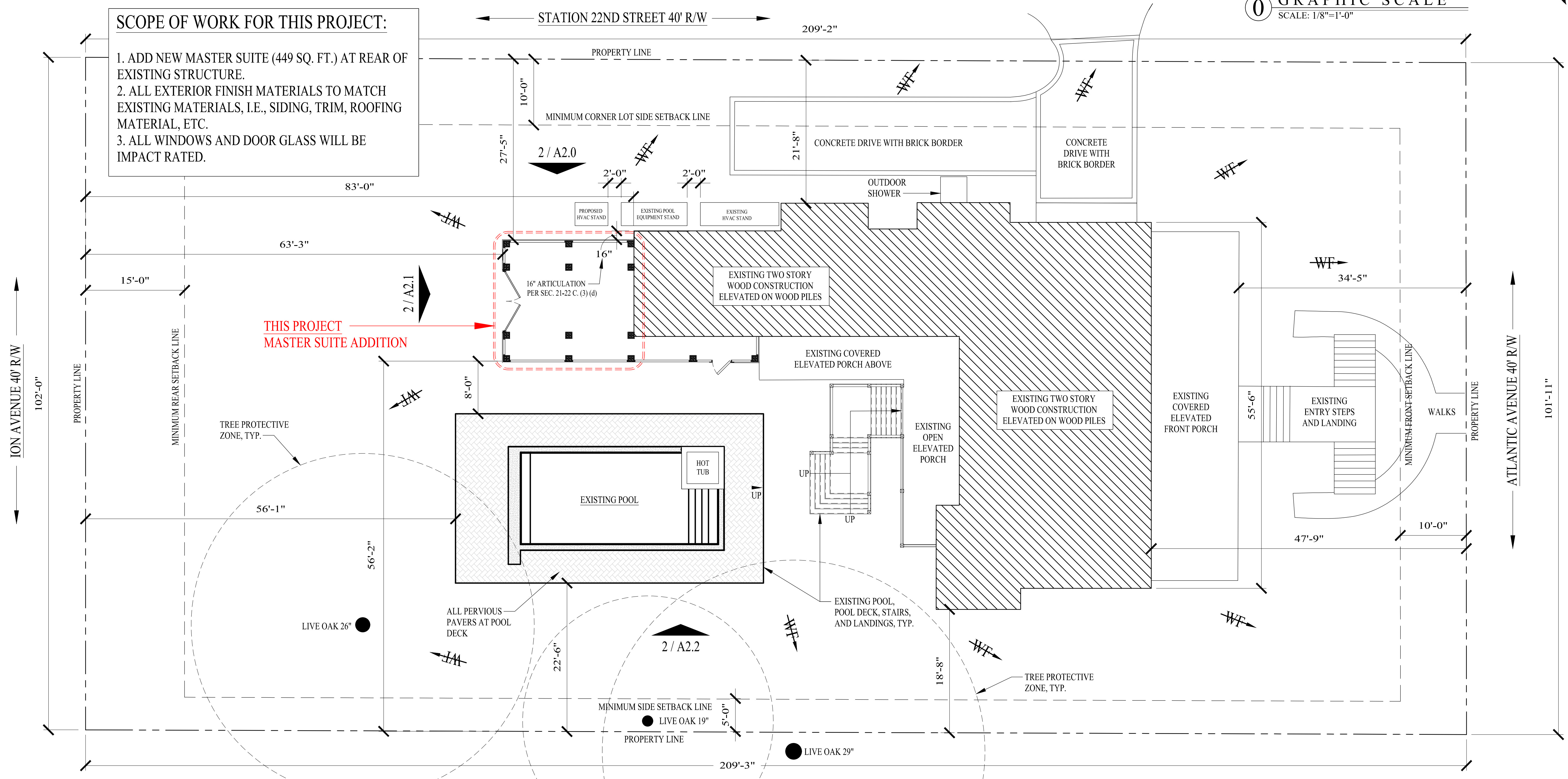
REAR SETBACK = 15' - 0"	PROPOSED ADDITION = 63' - 3"
CORNER LOT SIDE SETBACK = 10' - 0"	PROPOSED ADDITION = 27' - 5"
SIDE SETBACK = 5' - 0"	PROPOSED ADDITION = 56' - 2"
FRONT SETBACK = 10' - 0"	EXISTING PRINCIPAL BUILDING = 47' - 9"



SCOPE OF WORK FOR THIS PROJECT:

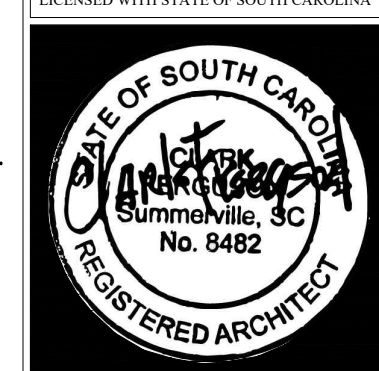
1. ADD NEW MASTER SUITE (449 SQ. FT.) AT REAR OF EXISTING STRUCTURE.
2. ALL EXTERIOR FINISH MATERIALS TO MATCH EXISTING MATERIALS, I.E., SIDING, TRIM, ROOFING MATERIAL, ETC.
3. ALL WINDOWS AND DOOR GLASS WILL BE IMPACT RATED.

ORIGINAL DRAWING 24 INCHES X 36 INCHES



1 PROPOSED SITE PLAN
SCALE 1/8" = 1'-0"

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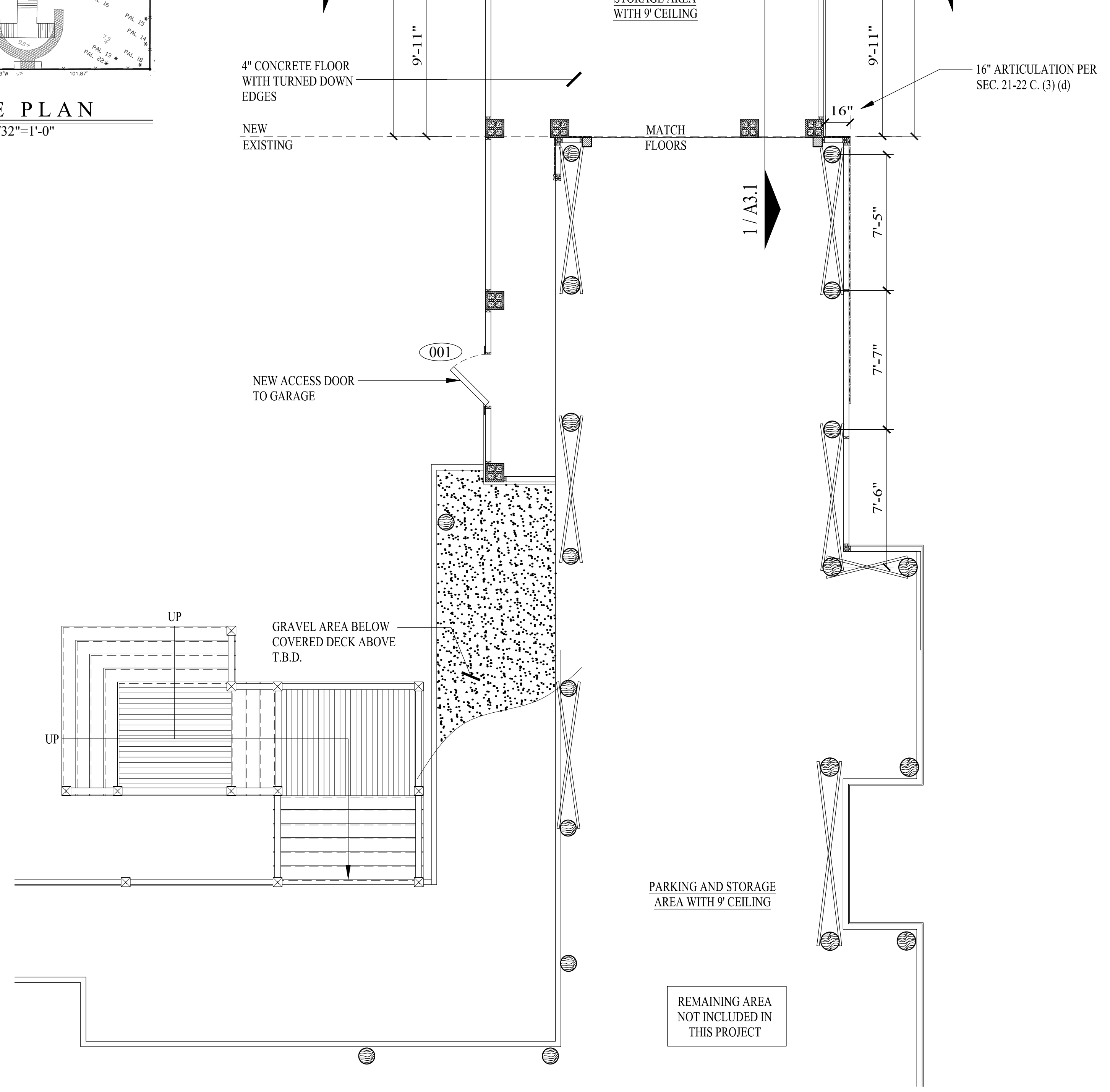
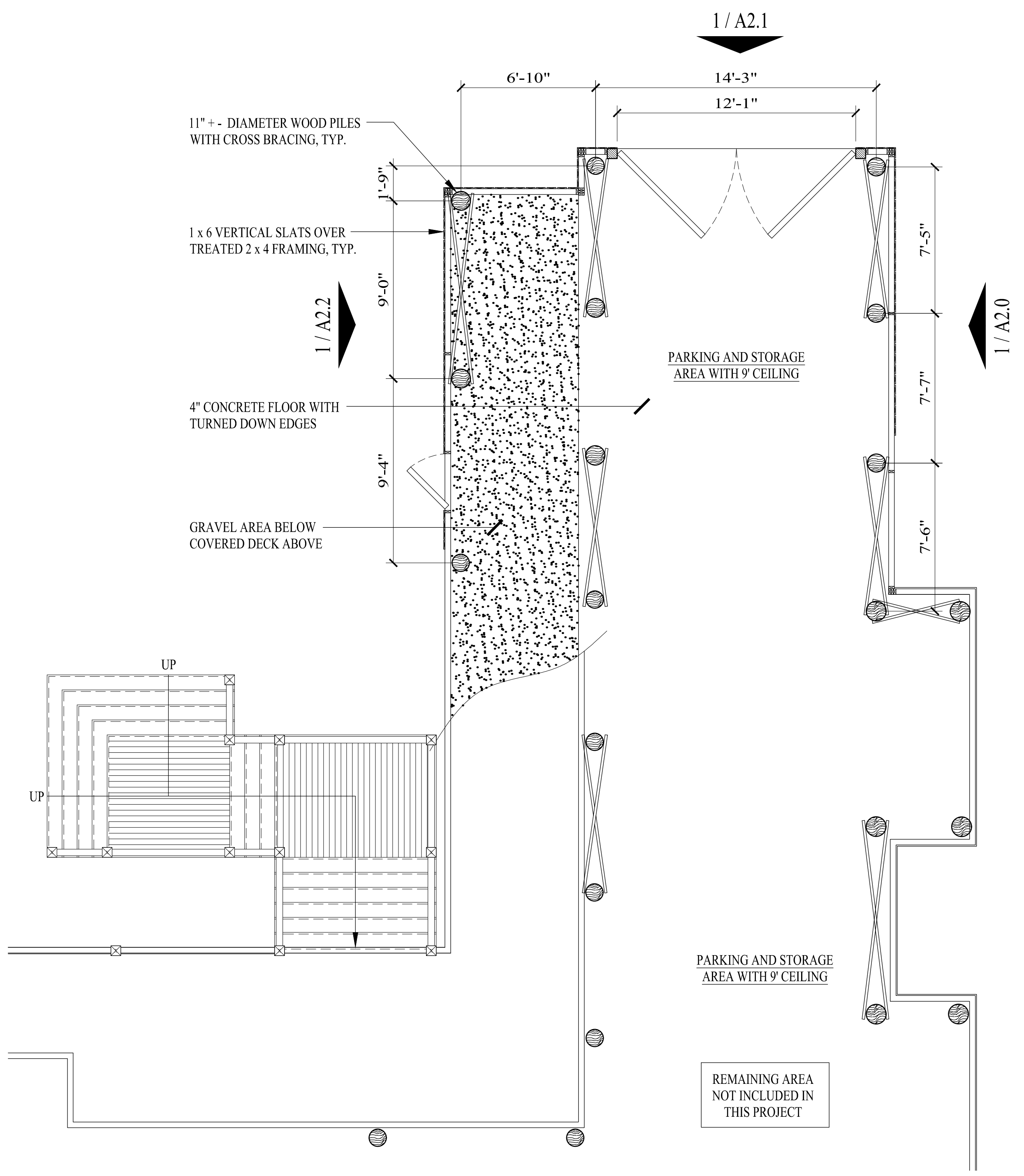
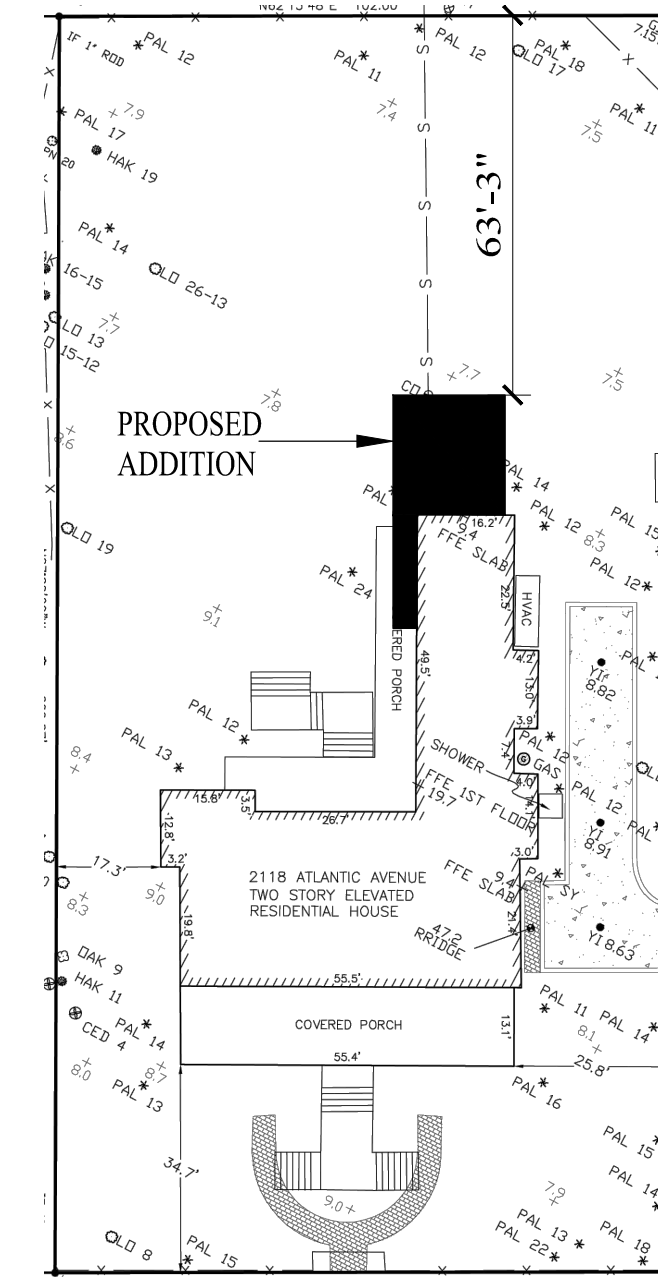
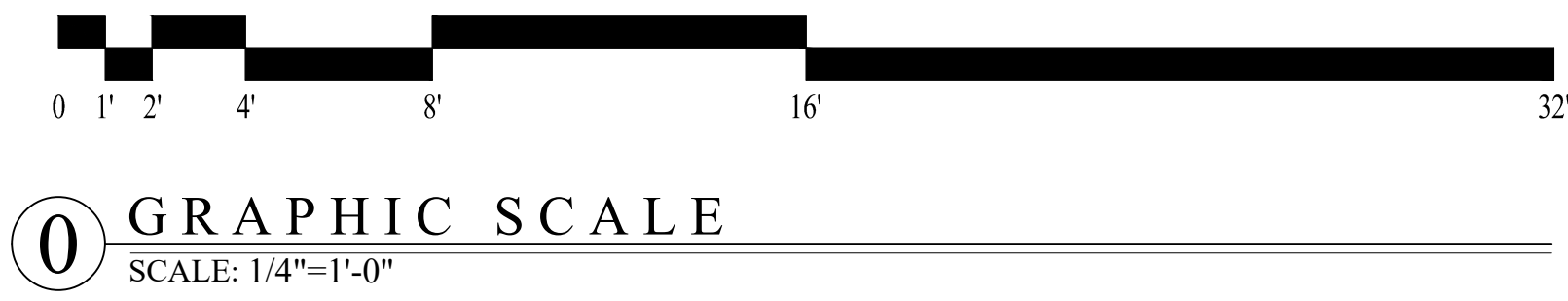
SITE PLAN

SP1.0

LEGEND

NOTE: ALL SYMBOLS MAY NOT BE USED ON THIS SHEET

- EXISTING WALL
- NEW WALL
- ABOVE/BELOW
- RAILING
- PAVEMENT/PATH LINE
- ROOF OVERHANG
- WOOD PILE
- DOOR TAG
- WINDOW TAG
- ELEVATION MARKER
- TO BE DETERMINED T.B.D.
- VERIFY IN FIELD V.I.F.
- TYPICAL TYP.



ORIGINAL DRAWING 24 INCHES X 36 INCHES

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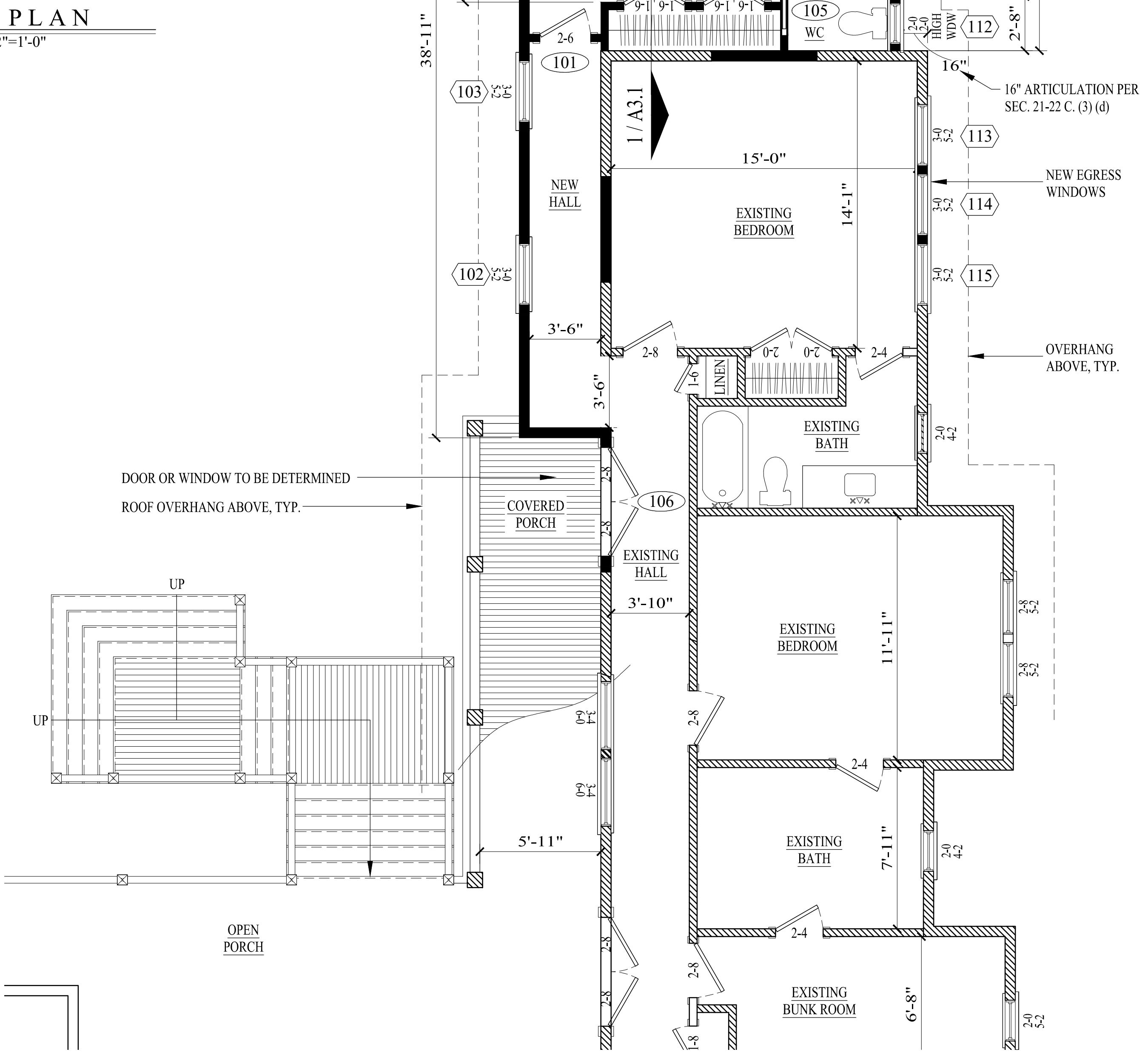
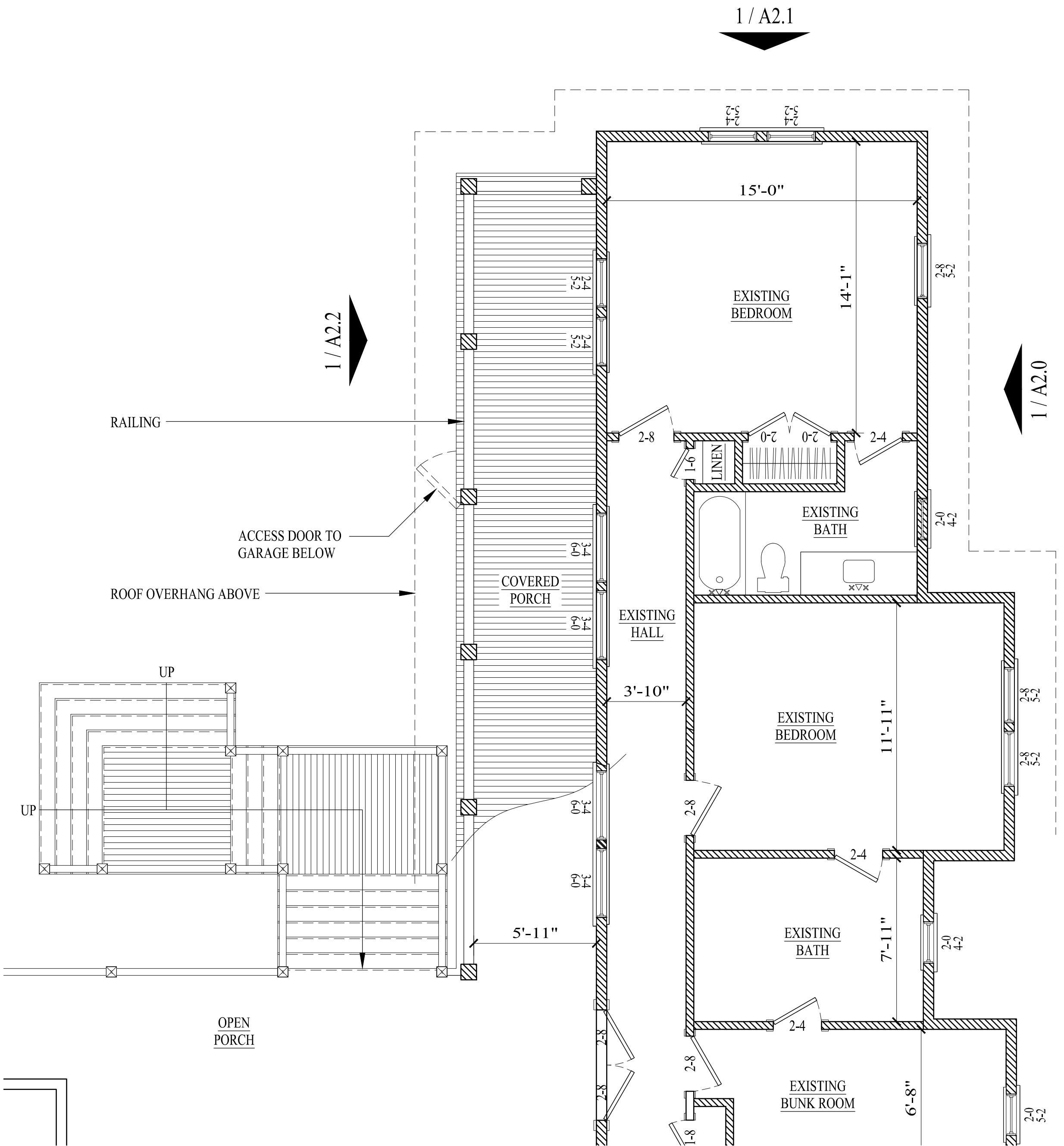
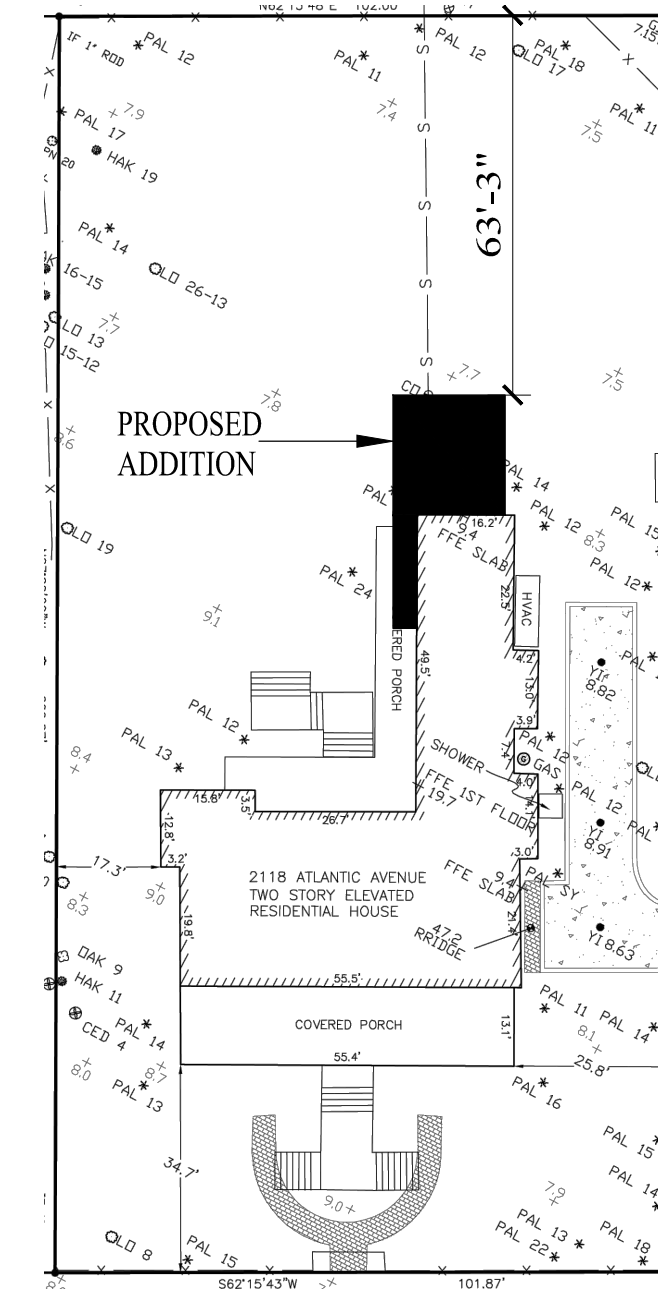
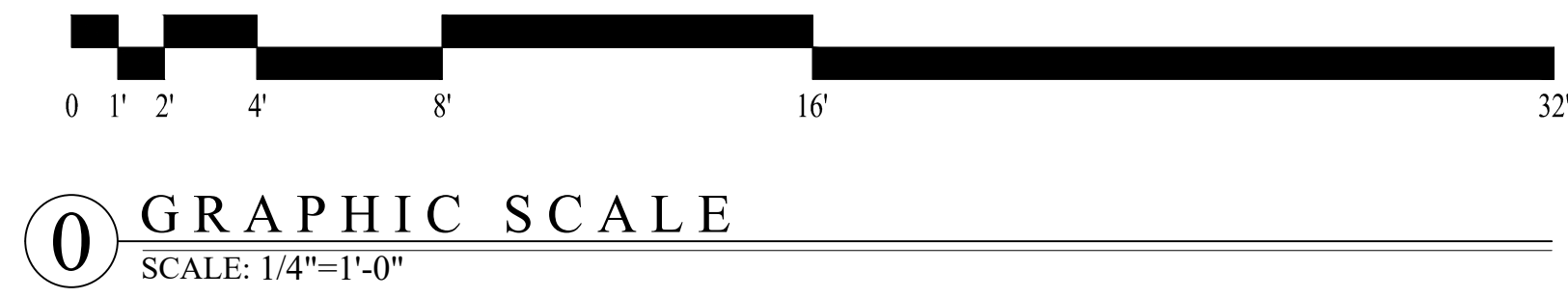
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FLOOR PLANS

A1.0

- LEGEND**
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 - NEW WALL
 - ABOVE/BELOW
 - RAILING
 - PAVEMENT/PATH LINE
 - ROOF OVERHANG
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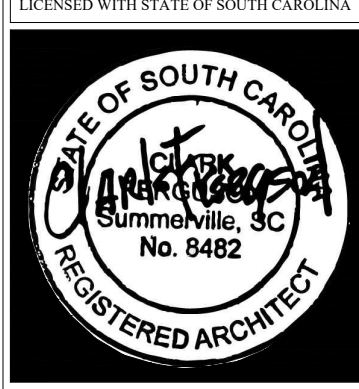
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FLOOR PLANS

A1.1

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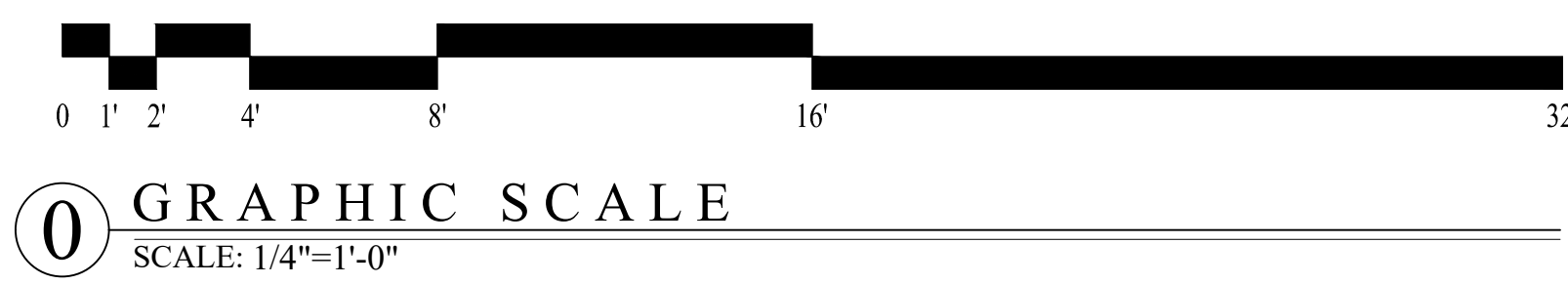
EXTERIOR
ELEVATIONS

A2.0

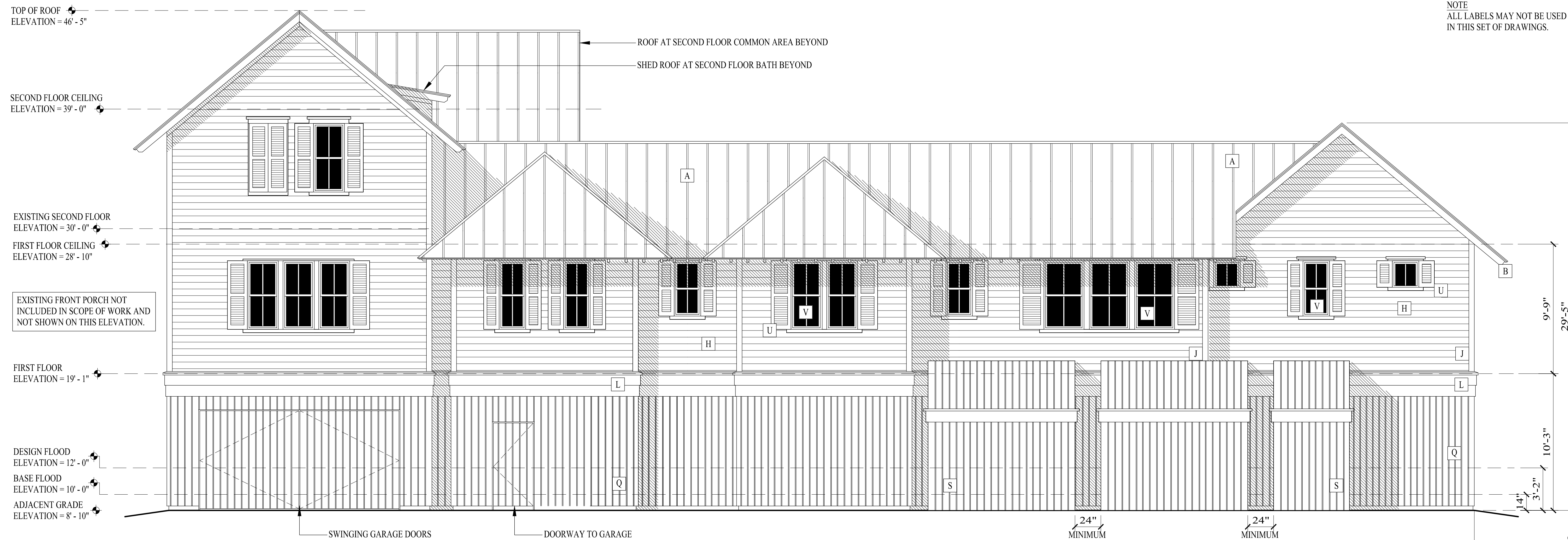
MATERIALS LEGEND
TYPICAL ALL ELEVATIONS

- A STANDING SEAM METAL ROOFING
- B RAFTER TAILS
- C CEDAR SHAKES
- D STRUCTURE BEYOND
- E EXHAUST / VENT
- F CHIMNEY CAP / SPARK ARRESTOR
- G LOUVERED VENT
- H FIBER CEMENT HORIZONTAL SIDING
- I BOARD AND BATTEN VERTICAL SIDING
- J FIBER CEMENT TRIM
- K FIBER CEMENT CORNICE
- L FIBER CEMENT WATER TABLE
- M FIBERGLASS TINI OR TRUSCENE SCREEN
- N TREATED RAILS AND BALUSTRADE
- O OPEN
- P TREATED TREADS AND RISERS
- Q TREATED VERTICAL SLATS
- R TREATED WOOD
- S HVAC STAND
- T HYDROSTATIC VENT
- U WORKING SHUTTERS
- V ALL IMPACT RATED WINDOWS
- W GUTTER AND DOWNSPOUT
- X BRACKETS TO BE DESIGNED
- Y VERIFY IN FIELD
- Z TO BE DETERMINED

NOTE
ALL LABELS MAY NOT BE USED
IN THIS SET OF DRAWINGS.



1 EXISTING EAST ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED EAST ELEVATION
SCALE: 1/4"=1'-0"

ORIGINAL DRAWING 24 INCHES X 36 INCHES



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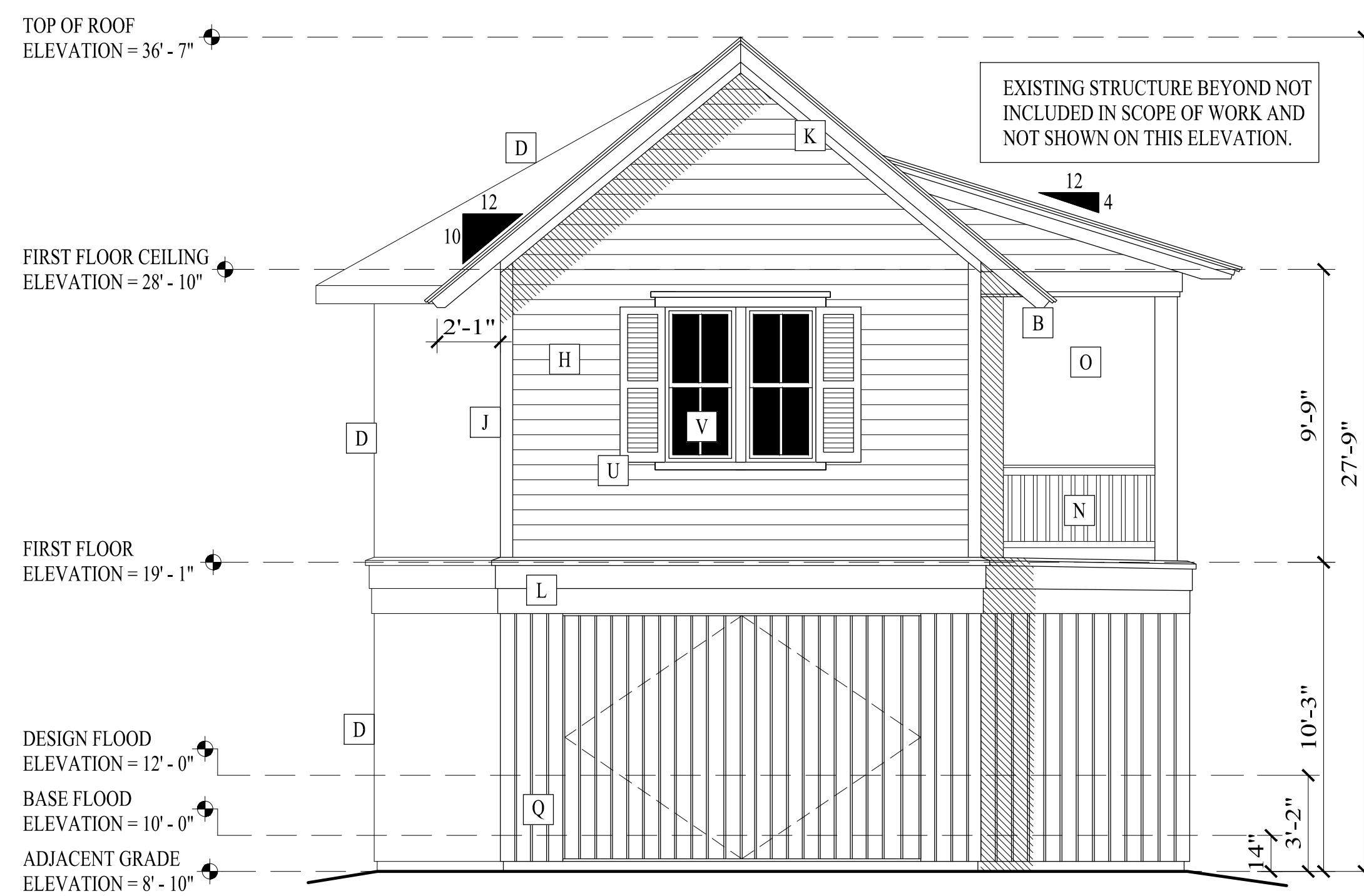
EXTERIOR
ELEVATIONS

A2.1

MATERIALS LEGEND
TYPICAL ALL ELEVATIONS

- A STANDING SEAM METAL ROOFING
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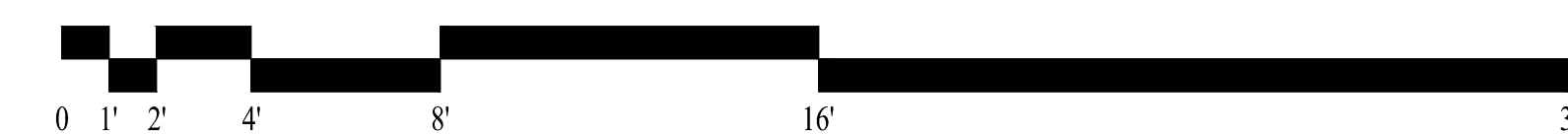
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1 EXISTING NORTH ELEVATION
SCALE: 1/4"=1'-0"



2 PROPOSED NORTH ELEVATION
SCALE: 1/4"=1'-0"



0 GRAPHIC SCALE
SCALE: 1/4"=1'-0"

ORIGINAL DRAWING 24 INCHES X 36 INCHES

PROPERTY LINE

PROPERTY LINE



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EXTERIOR
ELEVATIONS

A2.2

MATERIALS LEGEND
TYPICAL ALL ELEVATIONS

- A STANDING SEAM METAL ROOFING
- B RAFTER TAILS
- C CEDAR SHAKES
- D STRUCTURE BEYOND
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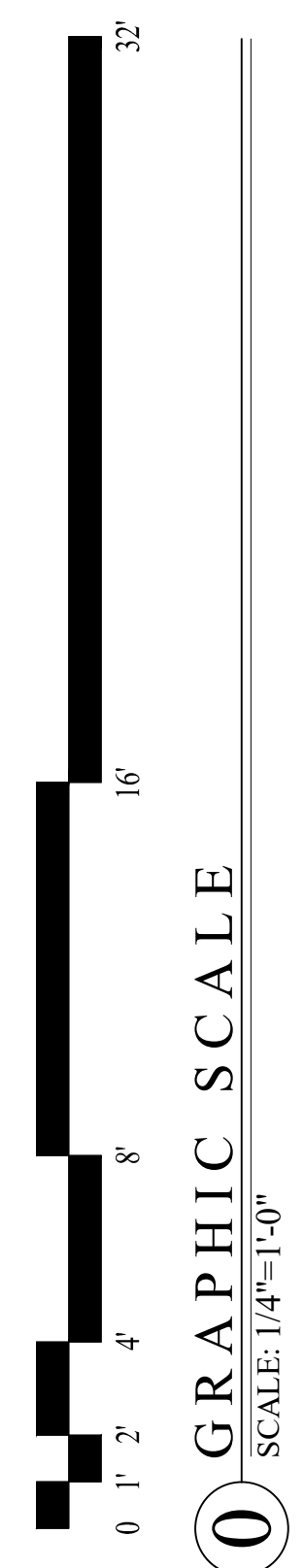
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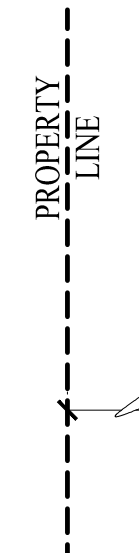
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SCALE: 1/4"=1'-0"



2 PROPOSED WEST ELEVATION
SCALE: 1/4"=1'-0"



ORIGINAL DRAWING 24 INCHES X 36 INCHES



63'-3"