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 PLOT DATE: 01/18/2024 1:59:58 PM FILE LOCATION: X:\2024\2024-0001\PROJECTS\2024\DRAWINGS\2024

# SITE DEVELOPMENT PLANS FOR 2101 MIDDLE STREET PARKING

## 2101 MIDDLE STREET SULLIVAN'S ISLAND, SOUTH CAROLINA

### SITE CONTACTS

<b>CLIENT</b> D4 PARTNERS DANE DERBYSHIRE 450 MEETING ST CHARLESTON, SC 29403 PHONE (843) 958-0340	<b>CIVIL ENGINEER</b> MATTHEW CLINE, P.E. CLINE ENGINEERING P.O. BOX 21204 CHARLESTON, SC 29413 PHONE (843) 991-7239	<b>PROJECT SURVEYOR</b> DEAN L. BRITT, PLS BRITT LAND SURVEYING, INC. P.O. BOX 80333 CHARLESTON, SC 29416 PHONE (843) 810-6771
<b>SOUTH CAROLINA EROSION CONTROL</b> S.C.D.H.E.C. O.C.R.M. RICHARD GEER STORMWATER DIVISION 1362 McMILLAN AVE. SUITE 400 CHARLESTON, SC 29405 PHONE (843) 953-0200	<b>SULLIVAN'S ISLAND PLANNING AND ZONING</b> JOE HENDERSON, AICP DIRECTOR OF PLANNING AND ZONING 2056 MIDDLE STREET SULLIVAN'S ISLAND, SC 29482 PHONE (843) 883-5731	

### ADA COMPLIANCE

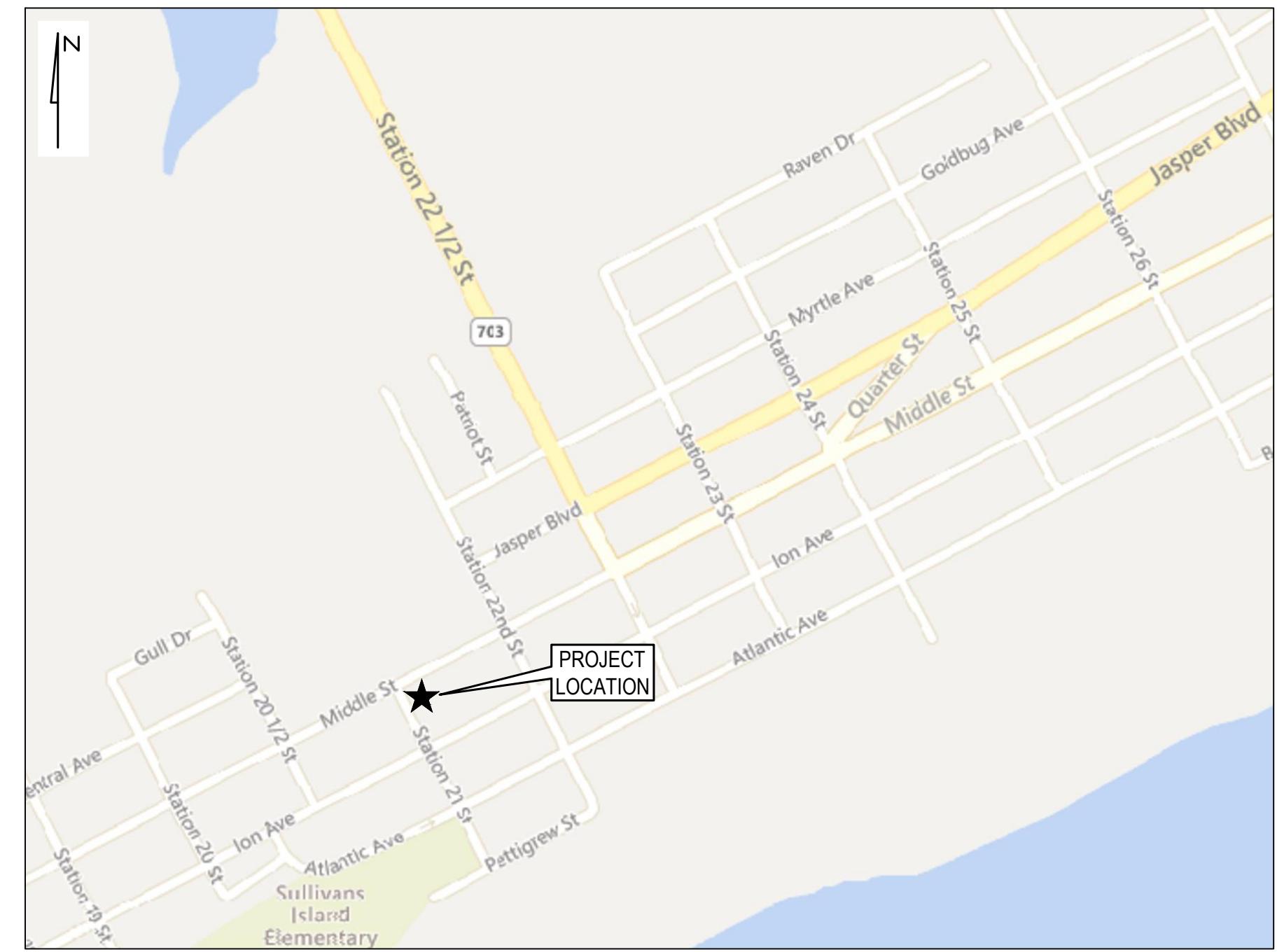
THE PUBLIC RIGHT-OF-WAY MUST REMAIN ADA COMPLIANT DURING CONSTRUCTION OR AN ALTERNATIVE ROUTE MUST BE PROVIDED. IT IS THE OWNERS RESPONSIBILITY TO REPAIR ALL DAMAGED SIDEWALKS TO REINSTATE AN ADA ACCESSIBLE ROUTE.

### PROJECT DESCRIPTION

SITE IMPROVEMENTS WILL CONSIST OF THE INSTALLATION OF GRAVEL PARKING AND LANDSCAPING.

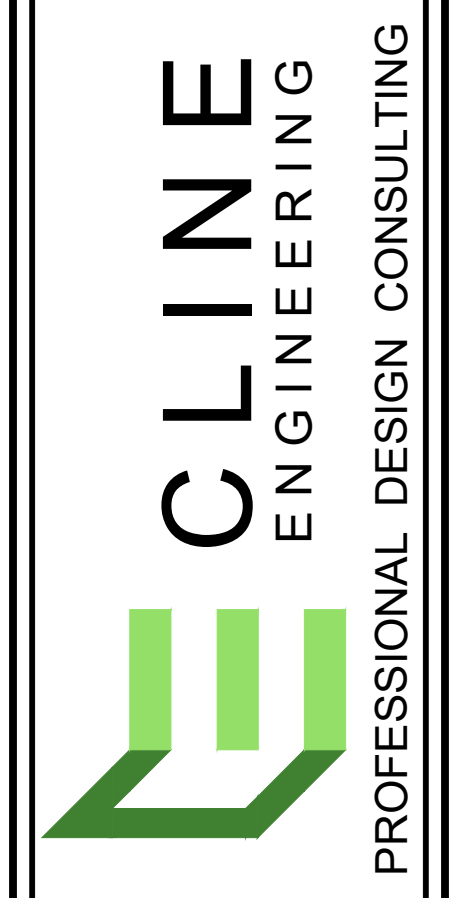
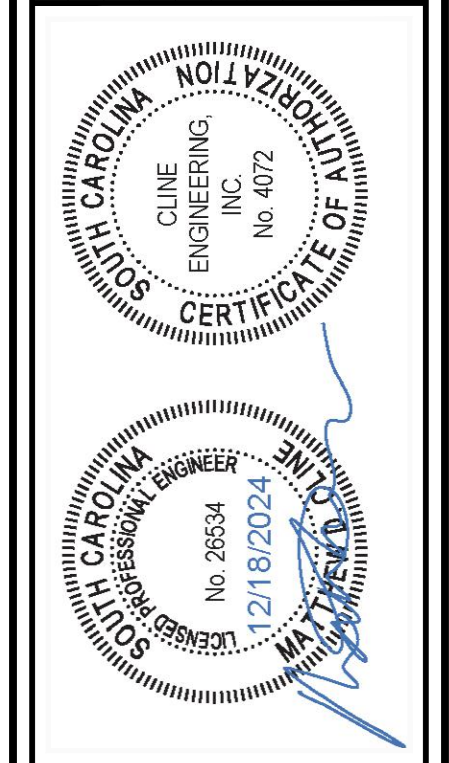
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**VICINITY MAP**  
SCALE 1" = 500'

REV.	DATE	DESCRIPTION	DRAWN	APPV.
A	12/13/2024	ISSUED FOR REVIEW AND APPROVAL	AJ	MCC
B	12/18/2024	ISSUED FOR DRB REVIEW	AJ	MCC



COVER

2101 MIDDLE STREET PARKING

SULLIVAN'S ISLAND  
SOUTH CAROLINA

PROJECT MANAGER	MCC
DRAWN BY	CD (AJ) JR
PROJECT DATE	DECEMBER 2024
DWG NUMBER	2024

SHEET NUMBER

# G-1

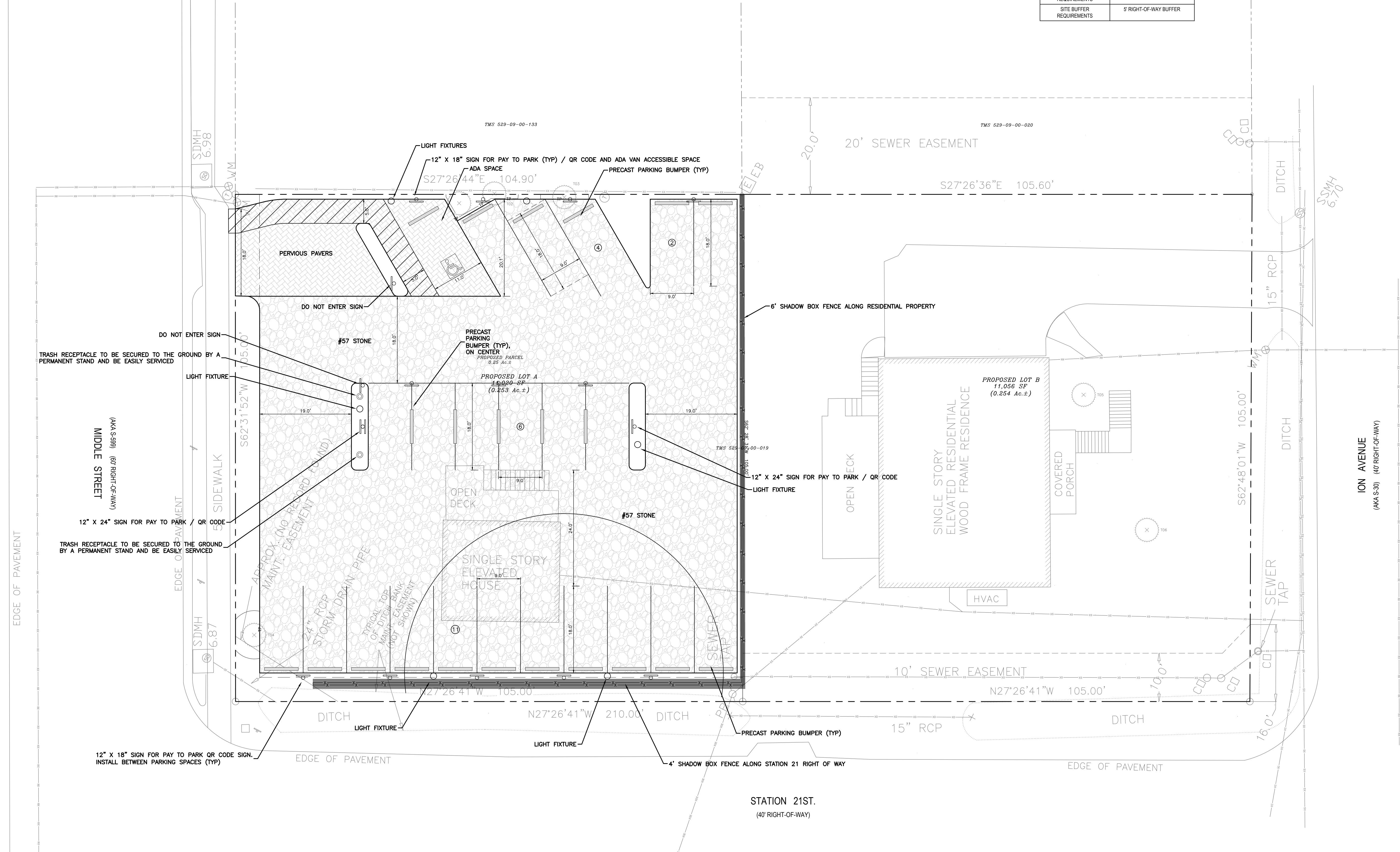
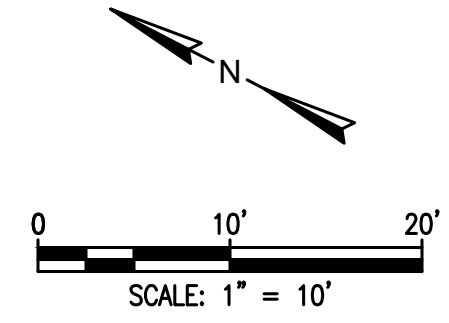




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ID	DBH (IN)	SPECIES	STATUS
T01	14	PEC	KEEP
T02	20	PALM	KEEP
T03	18	PALM	KEEP
T04	14	PALM	KEEP
T05	12	PALM	KEEP
T06	29	PEC	KEEP

SITE DATA TABLE	
TAX MAP INFORMATION	TMS 529-09-00-019
SUBJECT PARCEL(S) ZONING	CC (COMMUNITY COMMERCIAL DISTRICT) CCOD 2 OVERLAY DISTRICT
SITE PARKING REQUIREMENTS	N/A
PARKING PROVIDED	23 SPACES (INCLUDING 1 ADA SPACE)
BUILDING SETBACK REQUIREMENTS	N/A
SITE BUFFER REQUIREMENTS	5' RIGHT-OF-WAY BUFFER



- NOTES**
- ALL ADA ACCESS ROUTES SHALL BE 5.00% MAX. LONGITUDINAL SLOPE WITH MAX. 2.00% CROSS SLOPE ON SIDEWALKS. MAX. 2.00% SLOPE IN PARKING AREA. CONTRACTOR TO MAINTAIN CONFORMANCE TO THE ADAAG.
  - CONTRACTOR TO PROTECT EXISTING SIDEWALK WITHIN RIGHT-OF-WAY DURING CONSTRUCTION AND ENSURE THAT ALL SIDEWALKS ADJACENT TO SITE ARE SAFE AND ACCESSIBLE FOR PEDESTRIANS. REMOVE VEGETATION OVERGROWTH AND MAKE REPAIRS TO ANY DAMAGED PORTIONS OF EXISTING SIDEWALK. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS. CONTRACTOR TO ENSURE ANY SIDEWALK REPAIRS MEET OR EXCEED SCDOT STANDARDS.
  - CONSTRUCTION DEBRIS AND OTHER WASTE SHALL BE CONTAINED IN A DUMPSTER OR COVERED WITH PLASTIC.
  - CHEMICALS, PAINTS, SOLVENTS AND OTHER MATERIALS SHALL BE STORED SUCH THAT EXPOSURE RISK TO PRECIPITATION AND STORMWATER RUN-ON IS LOW.
  - CONCRETE WASH WATER SHALL BE DISPOSED IN AN AREA OF SOIL AWAY FROM SURFACE WATERS WHERE SOIL CAN ACT AS A FILTER OR EVAPORATE THE WATER. REMAINING CEMENT SHALL BE DISPOSED OF IN A DUMPSTER OR OTHERWISE REMOVED FROM THE SITE.

**SAFETY NOTE TO CONTRACTOR**  
THE CONTRACTOR SHALL SHORE TRENCH EXCAVATION AND USE PIPE BOX TO COMPLY WITH ALL OSHA SAFETY REGULATIONS. IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE JOB SITE SAFETY AND COMPLY WITH ALL SAFETY REQUIREMENTS. THE CONTRACTOR IS RESPONSIBLE FOR HIS MEANS AND METHODS OF CONSTRUCTION.

**UTILITY NOTE TO CONTRACTOR**  
THE UTILITIES SHOWN ARE FOR THE CONTRACTOR'S CONVENIENCE ONLY. THERE MAY BE OTHER UTILITIES NOT SHOWN ON THESE PLANS. THE ENGINEER ASSUMES NO RESPONSIBILITY FOR THE LOCATIONS SHOWN AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATIONS OF ALL UTILITIES WITHIN THE LIMITS OF THE WORK. ALL DAMAGE MADE TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

REV.	DATE	DESCRIPTION	APPR.
A	12/13/2024	ISSUED FOR REVIEW AND APPROVAL	AJ
B	12/18/2024	ISSUED FOR DRB REVIEW	AJ

**CLINE ENGINEERING**  
PROFESSIONAL DESIGN CONSULTING

2101 MIDDLE STREET PARKING

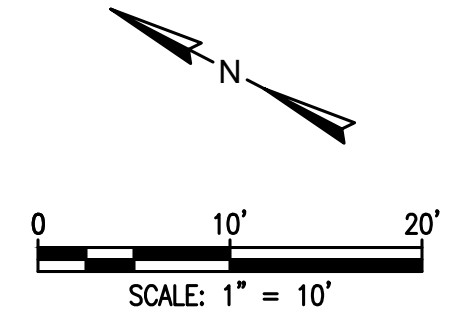
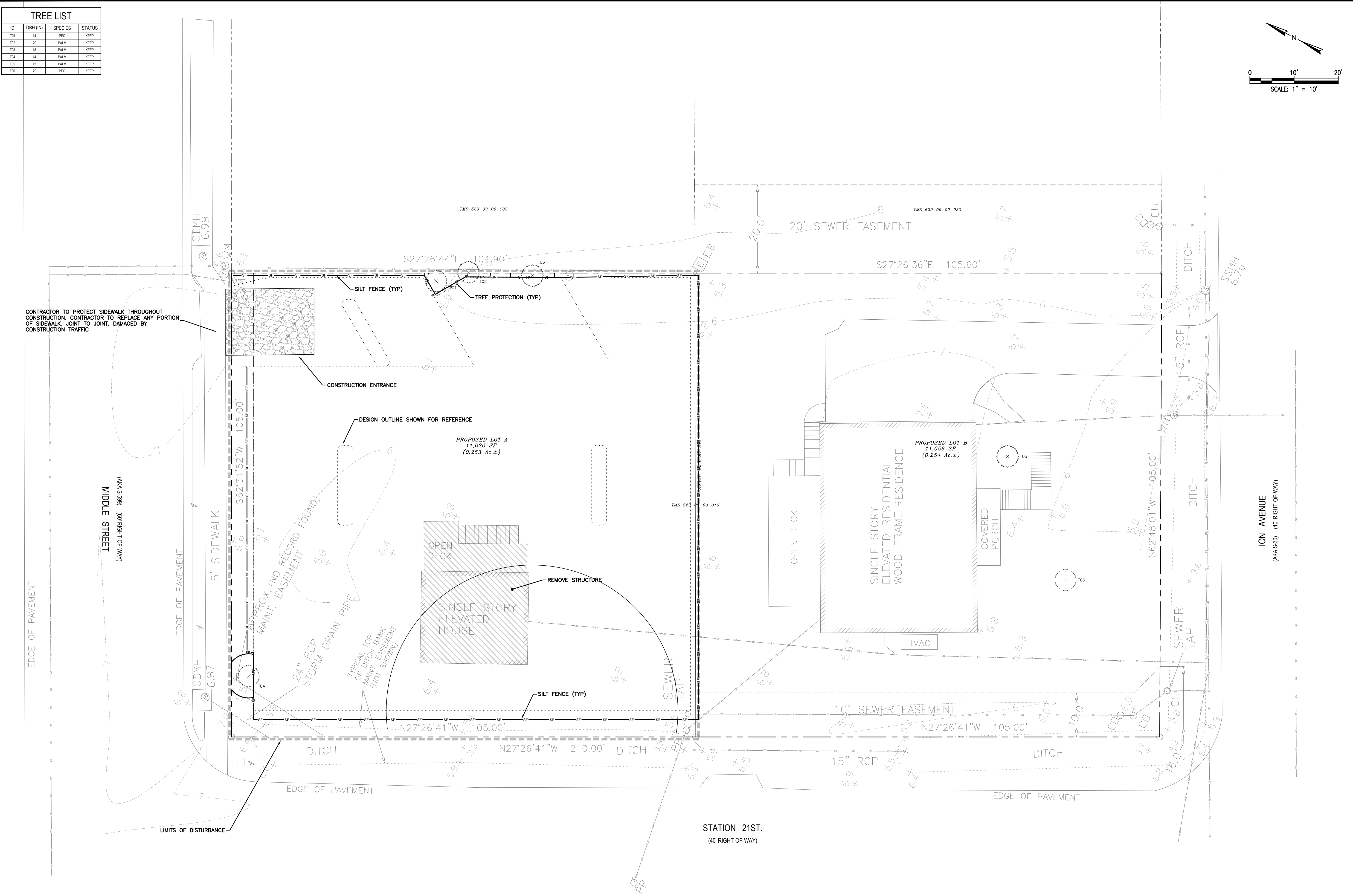
**SITE PLAN**  
SULLIVAN'S ISLAND  
SOUTH CAROLINA

PROJECT MANAGER	MEC
DRAWN BY	CD (AJ) JR
PROJECT DATE	DECEMBER 2024
FOR NUMBER	2024
SHEET NUMBER	
<b>C-1</b>	

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T04	14	PALM	KEEP
T05	12	PALM	KEEP
T06	29	PEC	KEEP

CONTRACTOR TO PROTECT SIDEWALK THROUGHOUT CONSTRUCTION. CONTRACTOR TO REPLACE ANY PORTION OF SIDEWALK, JOINT TO JOINT, DAMAGED BY CONSTRUCTION TRAFFIC

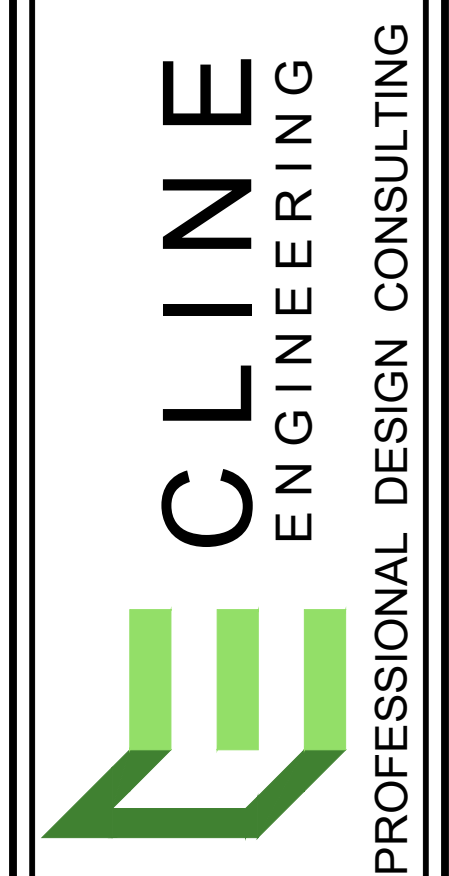
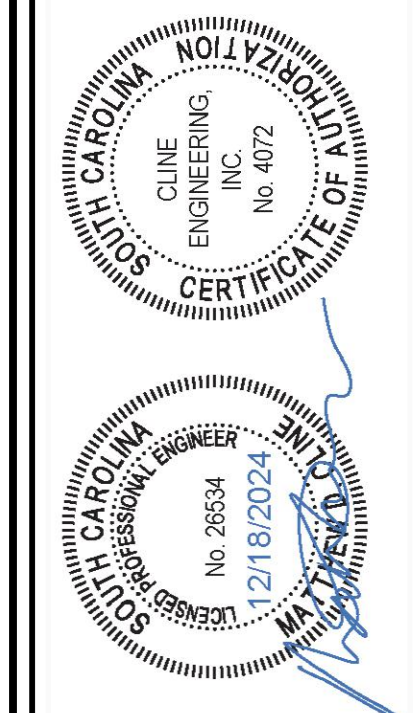


**SC811**

**SAFETY NOTE TO CONTRACTOR**  
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2101 MIDDLE STREET PARKING

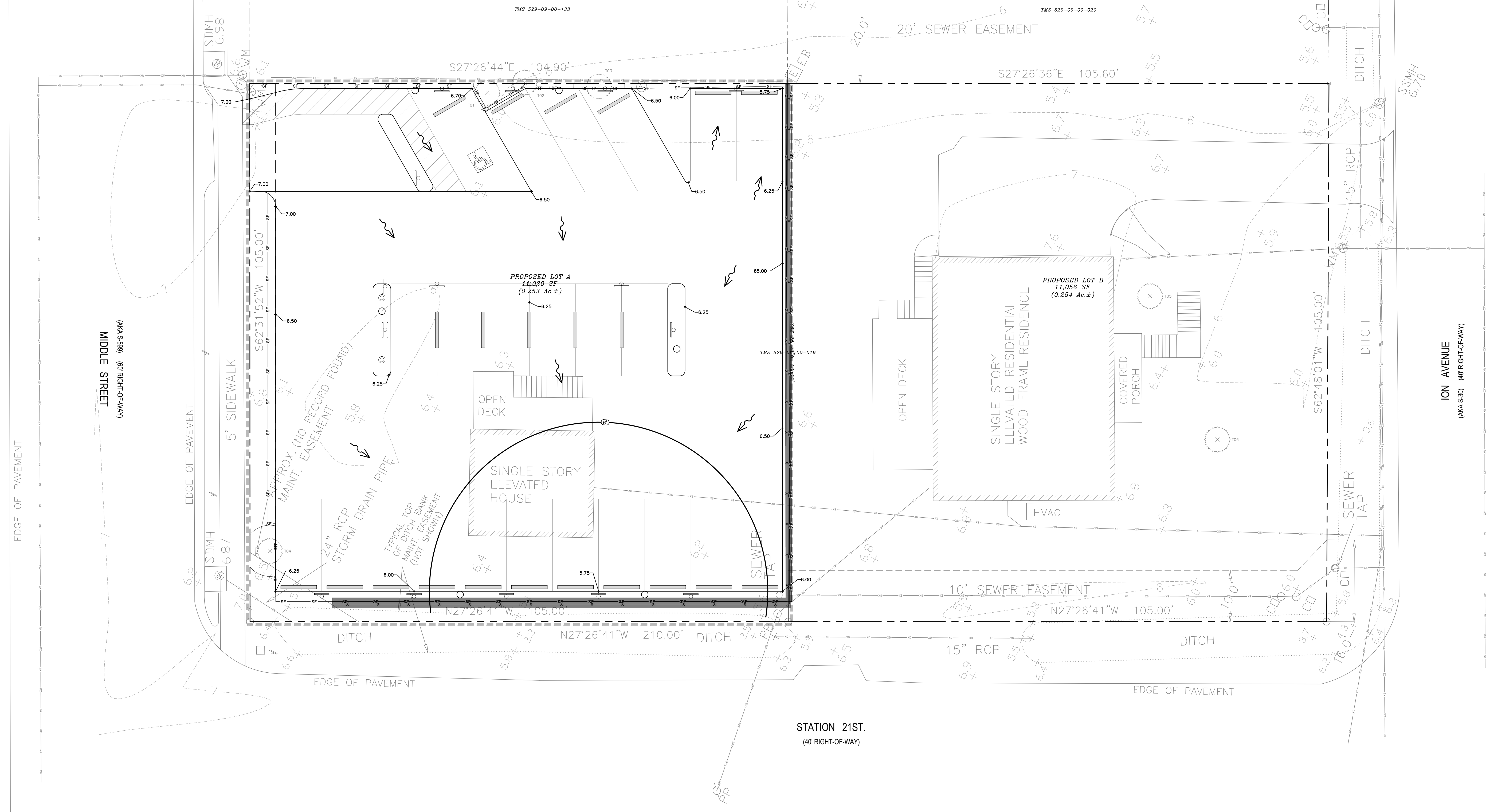
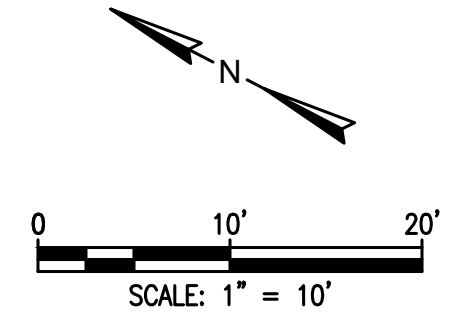
**DEMOLITION, TREE PROTECTION, SWPPP**

SULLIVAN'S ISLAND  
SOUTH CAROLINA

PROJECT MANAGER	MCC
DRAWN BY	CD (AJ) JR
PROJECT DATE	DECEMBER 2024
FOR NUMBER	2404
SHEET NUMBER	
<b>C-2</b>	

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T04	14	PALM	KEEP
T05	12	PALM	KEEP
T06	29	PEC	KEEP



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B	12/18/2024	ISSUED FOR DRB REVIEW	AJ	MCC

**CLINE**  
 ENGINEERING  
 PROFESSIONAL DESIGN CONSULTING

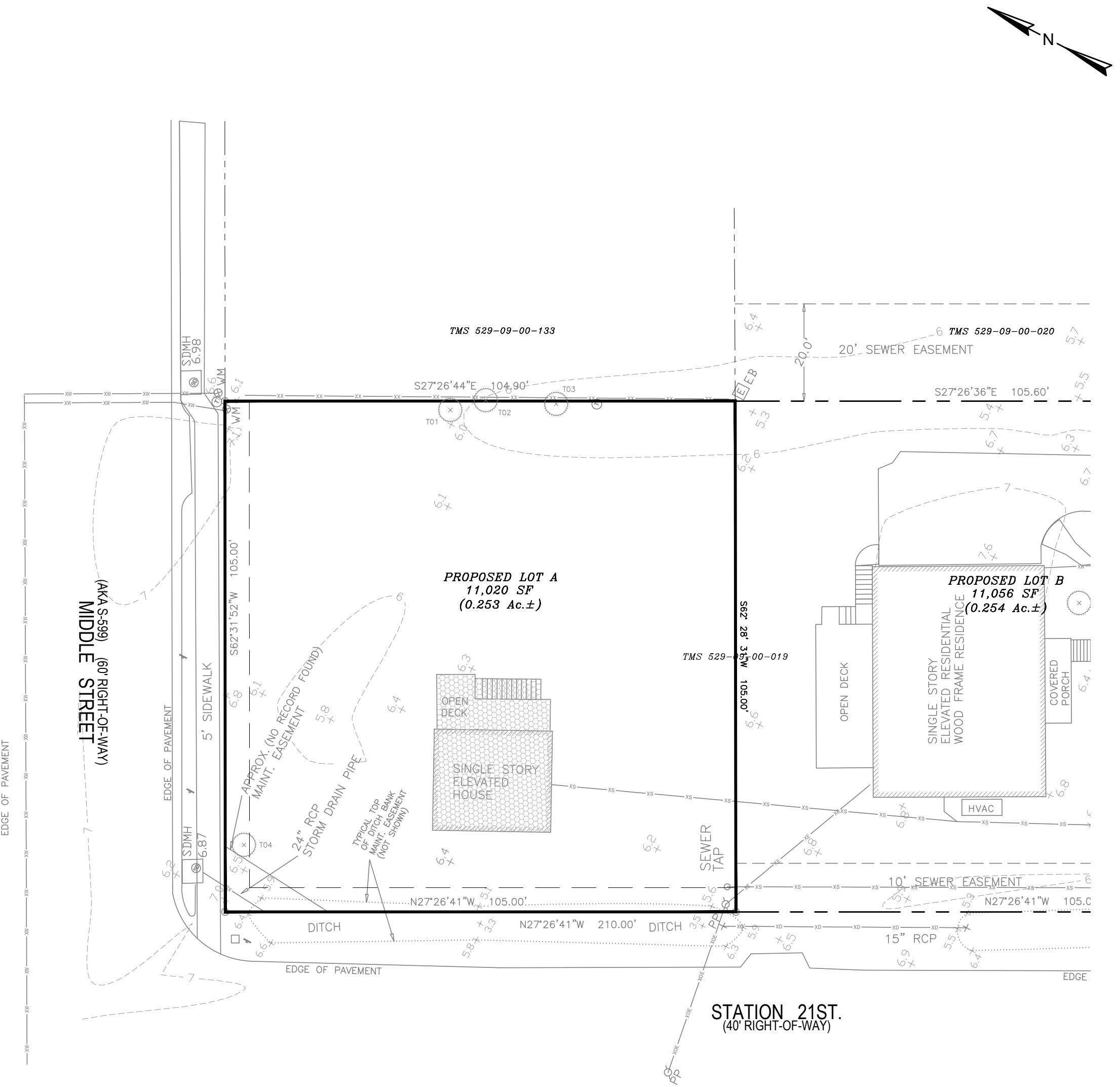
2101 MIDDLE STREET PARKING  
**GRADING AND DRAINAGE PLAN**  
 SULLIVAN'S ISLAND  
 SOUTH CAROLINA

PROJECT MANAGER	MCC
DRAWN BY	CD/AJ/AR
PROJECT DATE	DECEMBER 2023
FOR NUMBER	2024
SHEET NUMBER	
C-3	

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LEGEND		
	BUILDING	AREA
	BUILDING	0.02 Ac.±
	GRAVEL/PERVIOUS PAVER	0.00 Ac.±
	PERVIOUS	0.23 Ac.±
	TOTAL	0.25 Ac.±

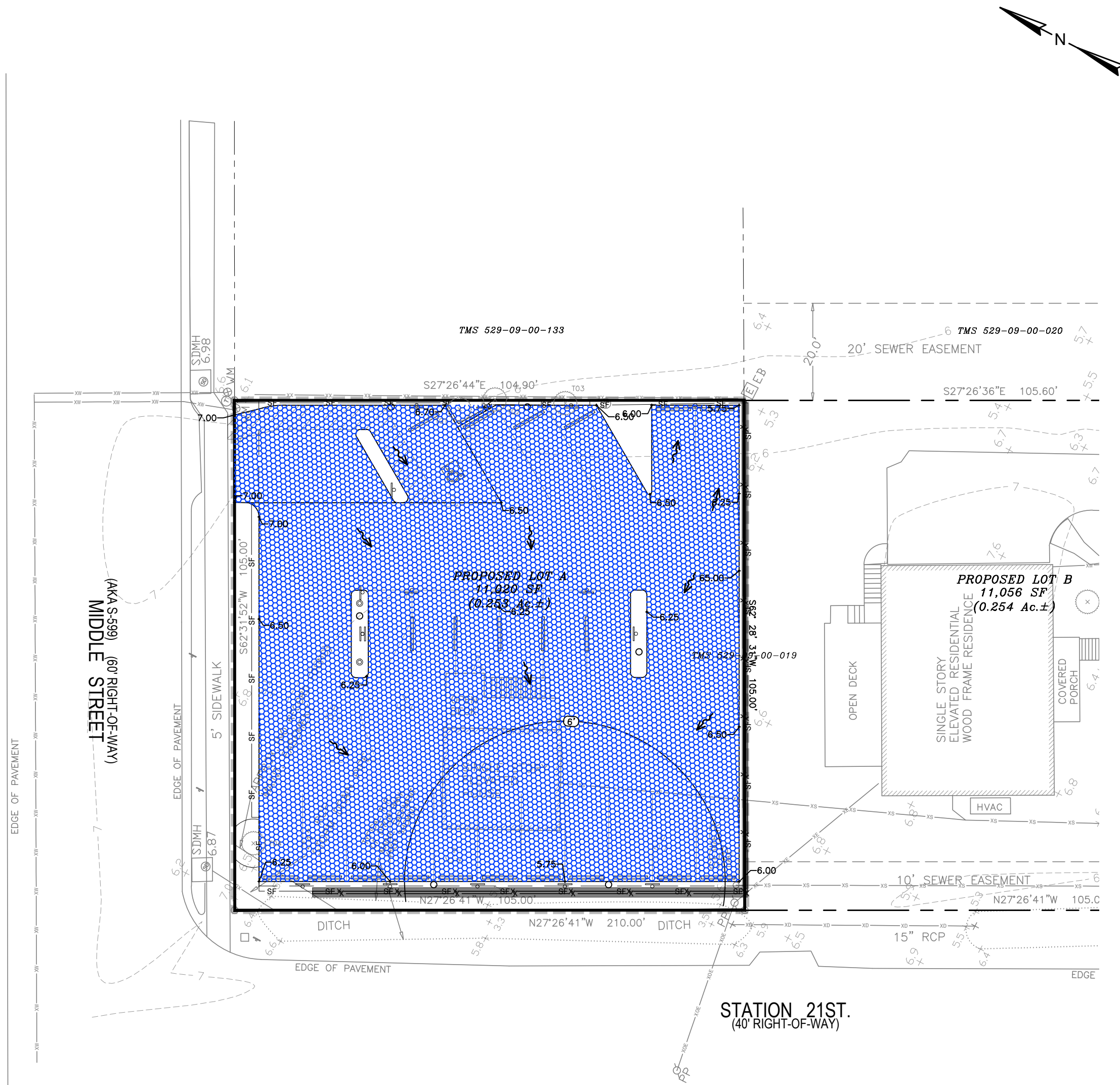
IMPERVIOUS AREA = 0.00 Ac.± (0%)  
 RATIONAL METHOD Q=CIA  
 $Q2 = 0.40 * 4.20 * 0.25 = 0.420$  CFS  
 $Q10 = 0.40 * 6.50 * 0.25 = 0.650$  CFS



**PRE RE-DEVELOPMENT**  
SCALE 1"=20'

LEGEND		
	BUILDING	AREA
	BUILDING	0.00 Ac.±
	GRAVEL/PERVIOUS PAVER	0.22 Ac.±
	PERVIOUS	0.03 Ac.±
	TOTAL	0.25Ac.±

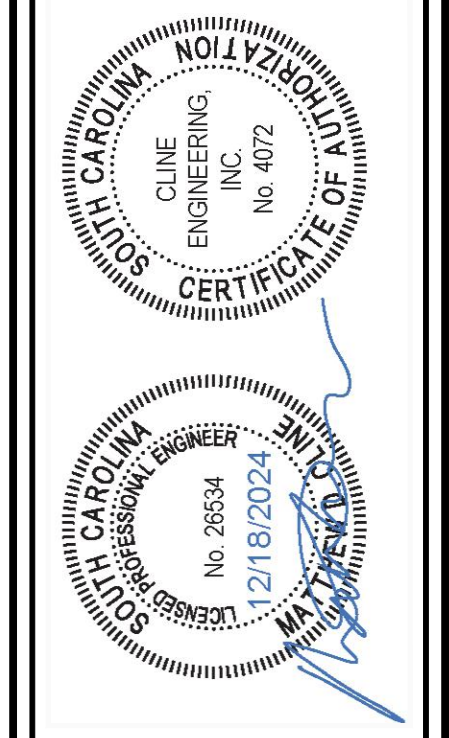
IMPERVIOUS AEA = 0.00 Ac.± (0%)  
 RATIONAL METHOD Q=CIA  
 $Q2 = 0.45 * 4.20 * 0.25 = 0.473$  CFS  
 $Q10 = 0.45 * 6.50 * 0.25 = 0.731$  CFS



**POST RE-DEVELOPMENT**  
SCALE 1"=20'

NOTES  
 I CERTIFY THE MEANS AND METHODS PROPOSED BY THIS CERTIFIED STORMWATER PLAN WILL PREVENT ANY ADVERSE IMPACTS TO ADJACENT OR DOWNSTREAM PROPERTIES AS A RESULT OF THE DEVELOPMENT. THIS PERVIOUS DESIGN WILL BE CAPABLE OF INFILTRATING 2" OF STORM WATER PER HOUR, PER 20 SECTION 21-26 A.

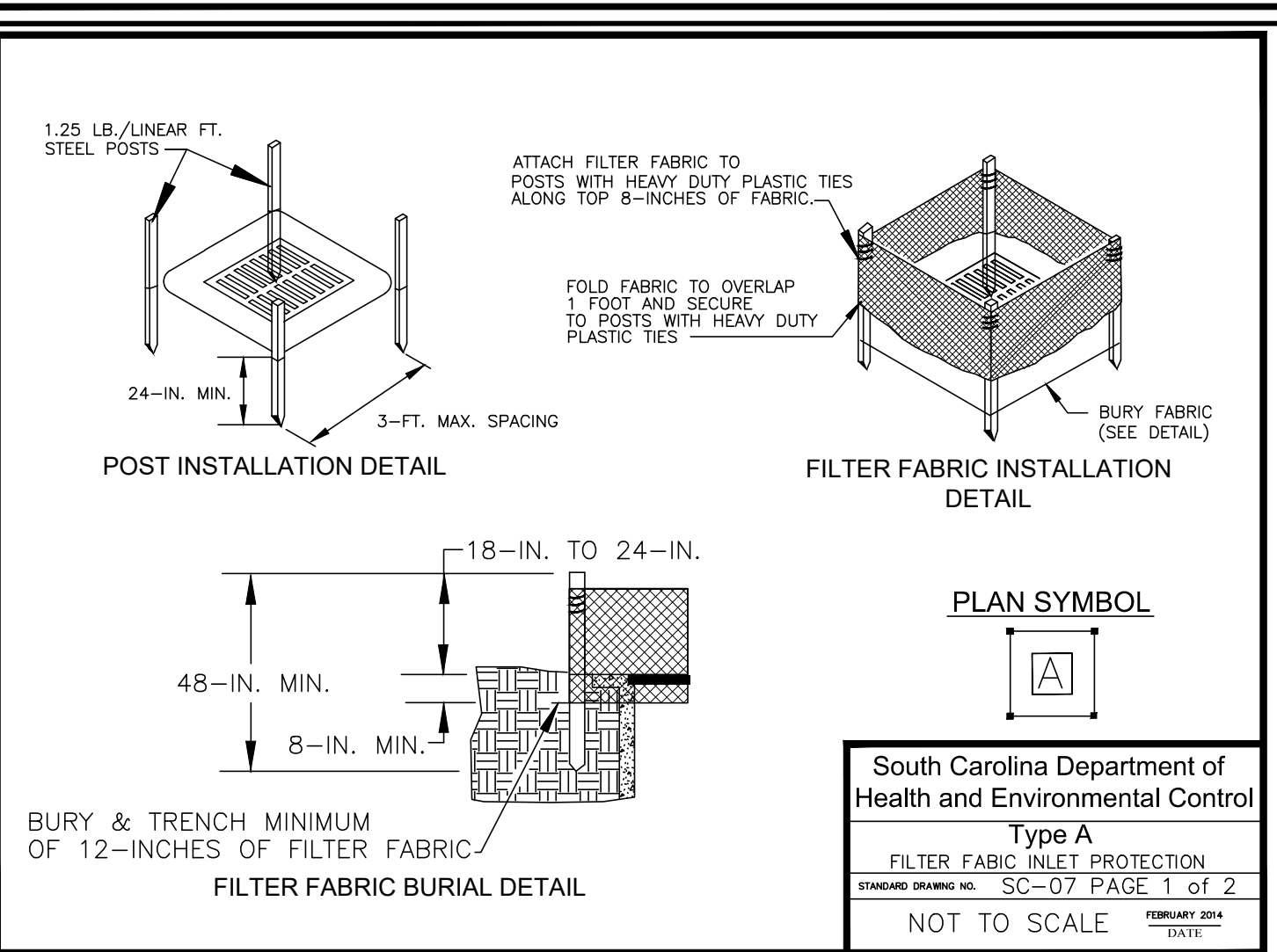
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B	12/18/2024	ISSUED FOR DRB REVIEW	AJ	MCC



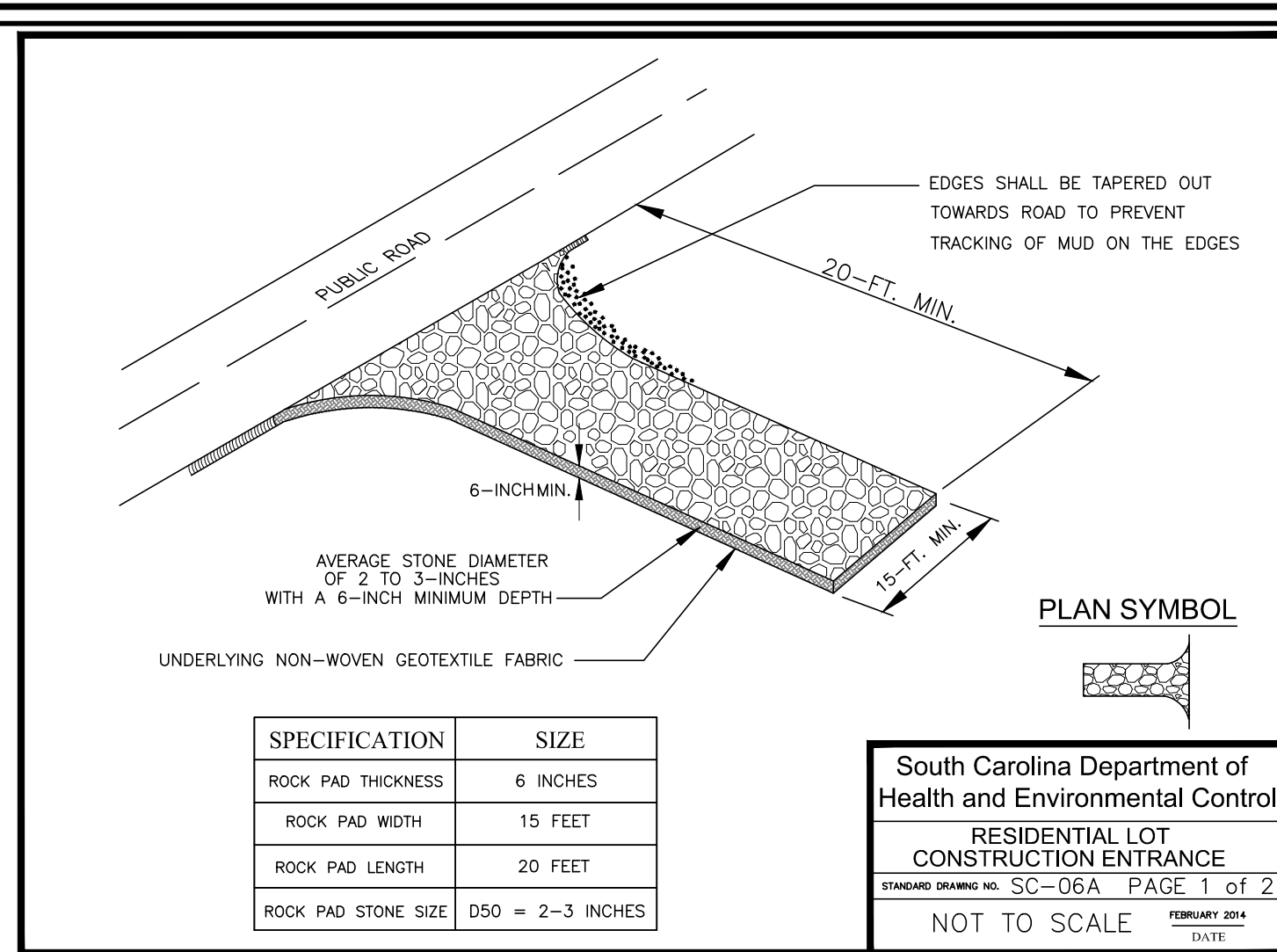
PROJECT MANAGER: MCC  
 DRAWN BY: CD/AJ/JR  
 PROJECT DATE: DECEMBER 2024  
 JOB NUMBER: 2024

2101 MIDDLE STREET PARKING  
**HYDROLOGY PLAN**  
 SULLIVAN'S ISLAND  
 SOUTH CAROLINA  
 SHEET NUMBER  
**C-4**

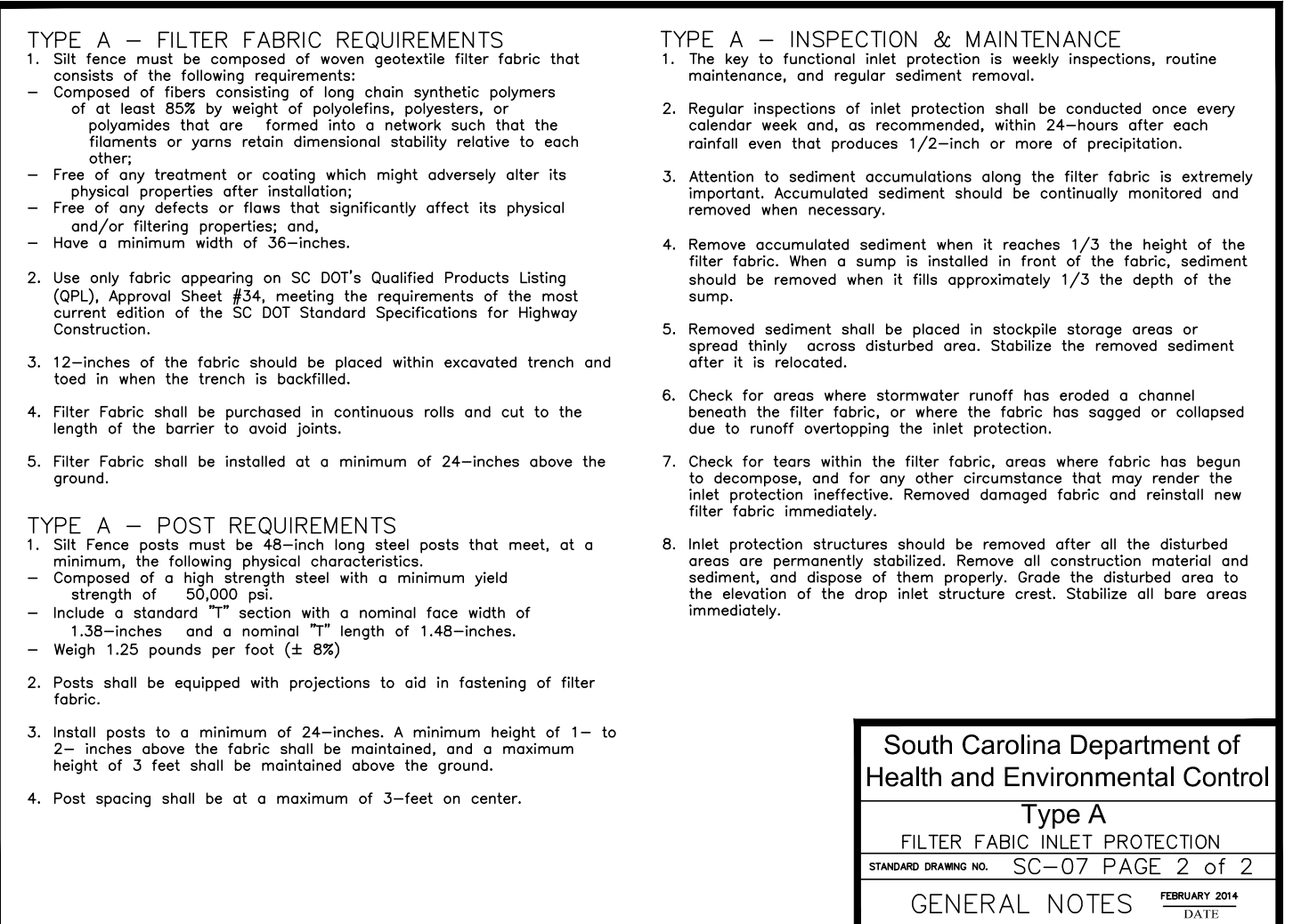
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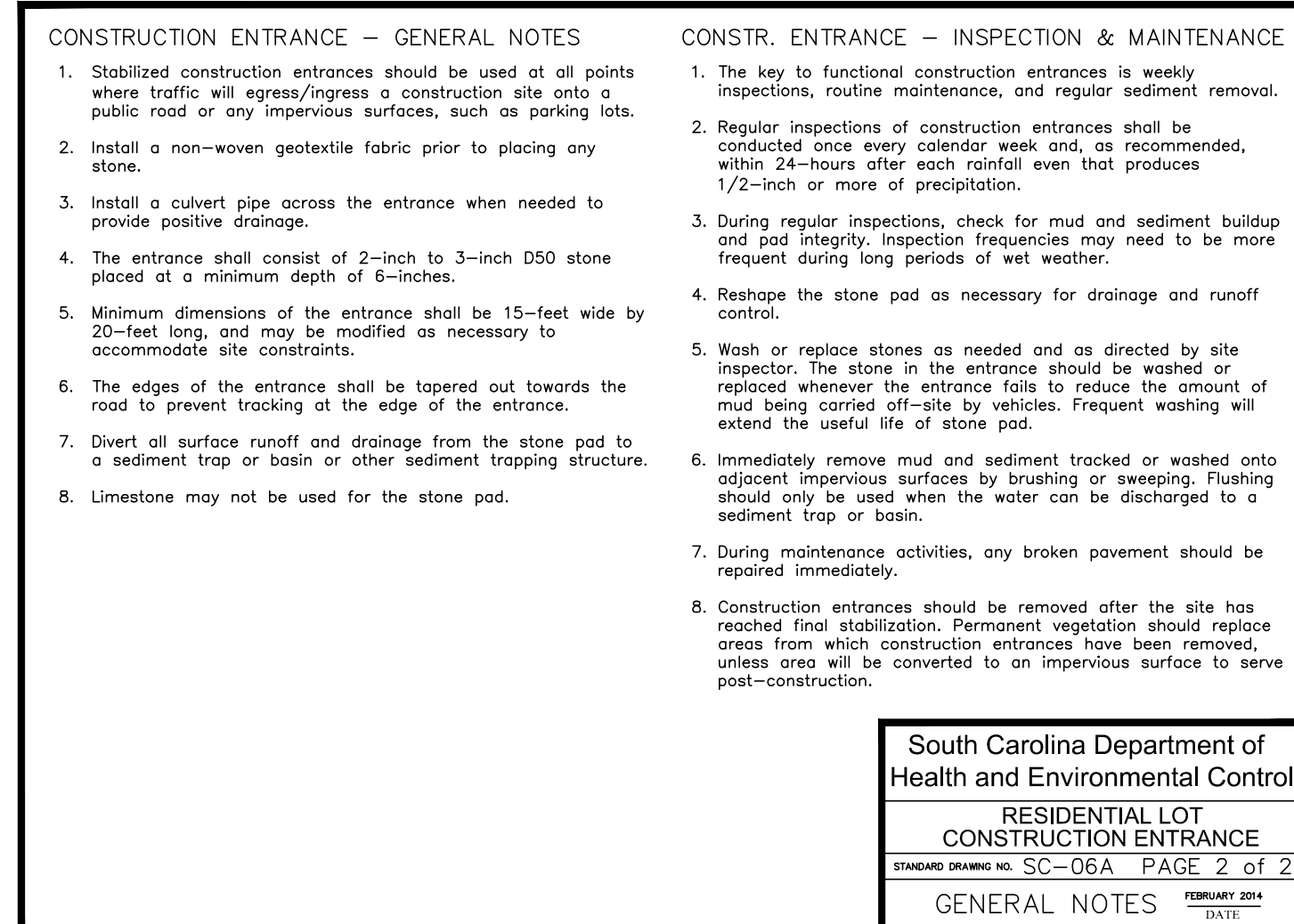
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Type A  
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STANDARD DRAWING NO. SC-07 PAGE 1 of 2  
FEBRUARY 2014  
NOT TO SCALE



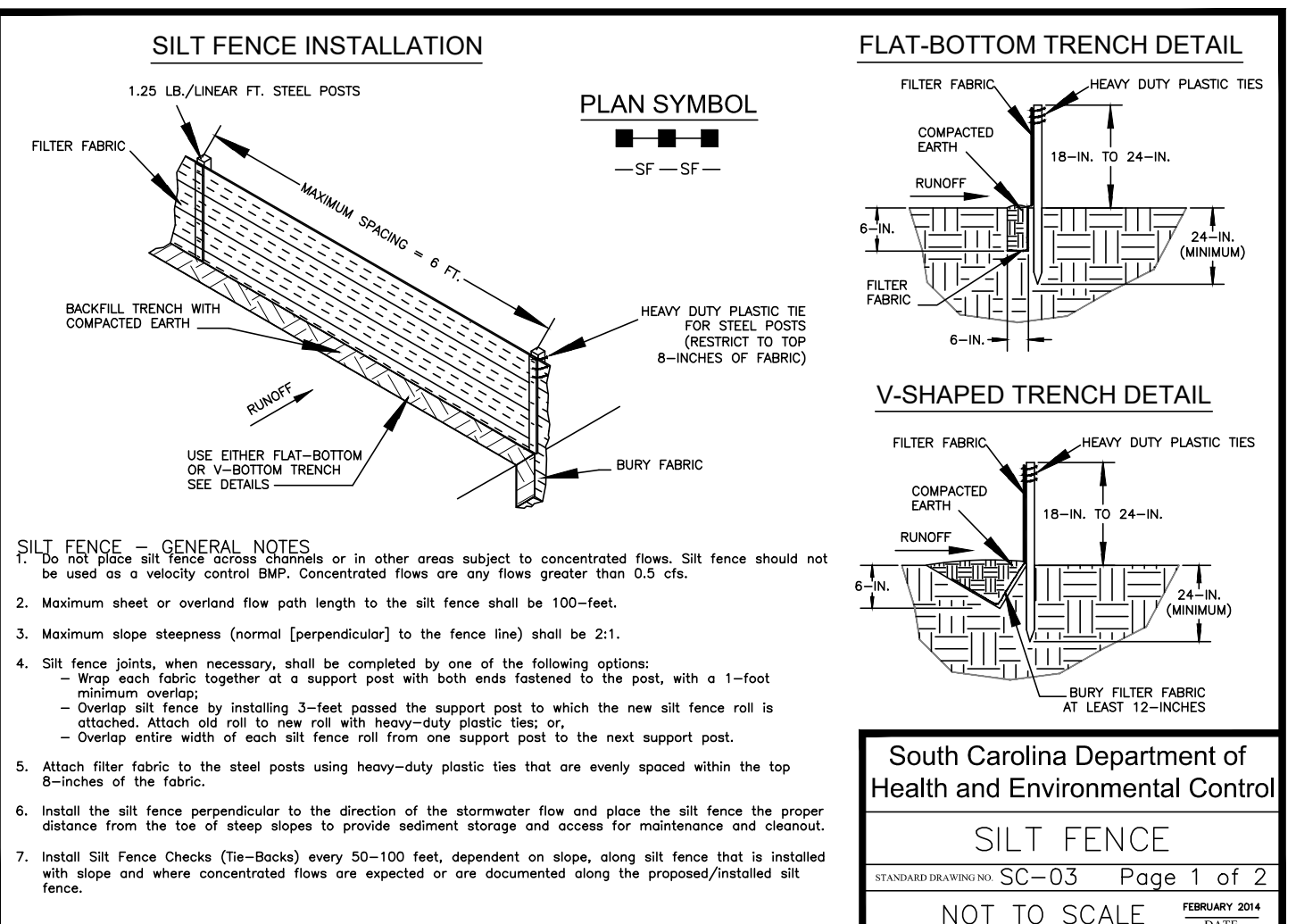
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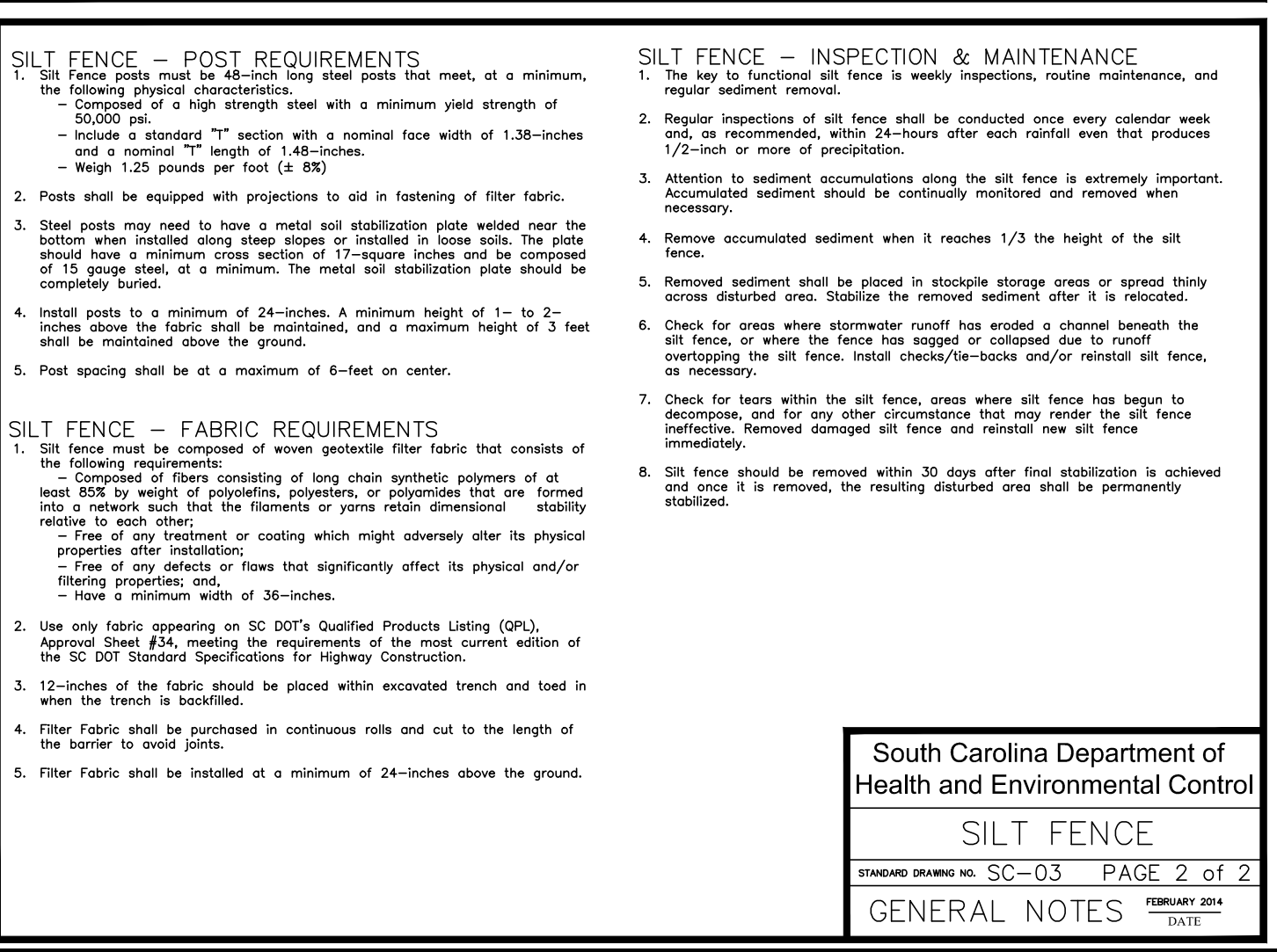
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Type A  
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STANDARD DRAWING NO. SC-07 PAGE 2 of 2  
FEBRUARY 2014  
GENERAL NOTES



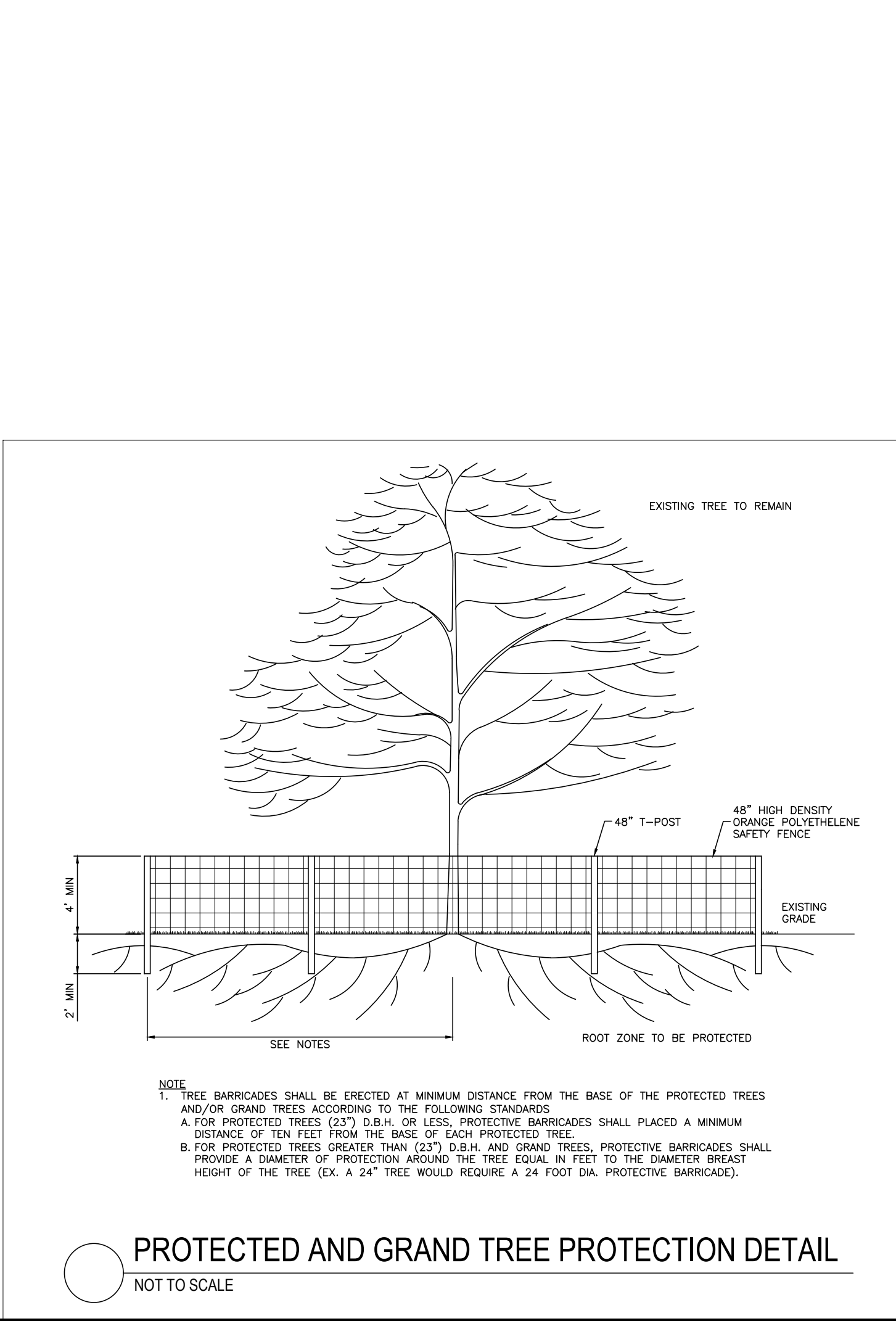
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RESIDENTIAL LOT CONSTRUCTION ENTRANCE  
STANDARD DRAWING NO. SC-06A PAGE 2 of 2  
FEBRUARY 2014  
GENERAL NOTES



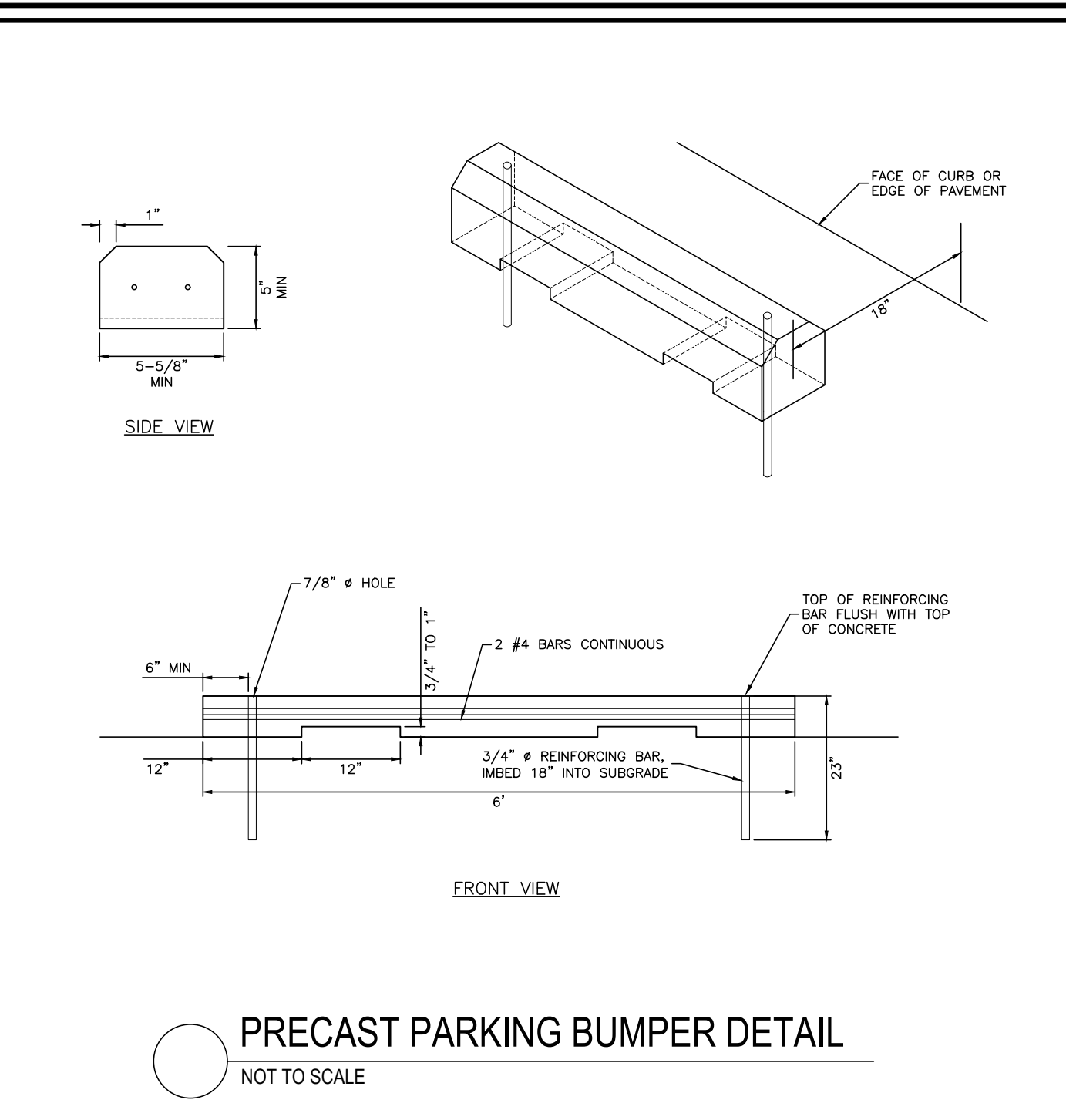
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SILT FENCE  
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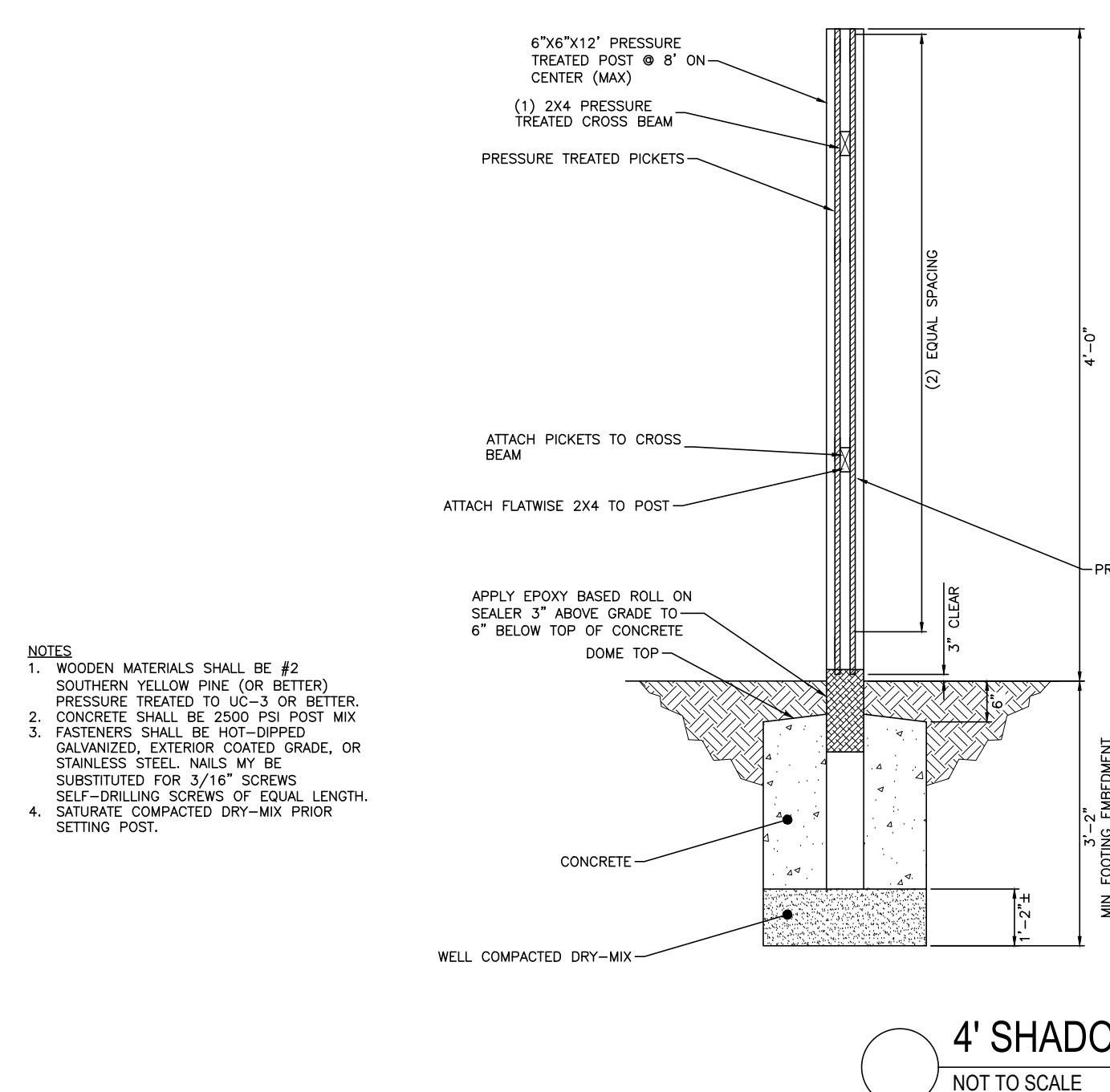
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GENERAL NOTES



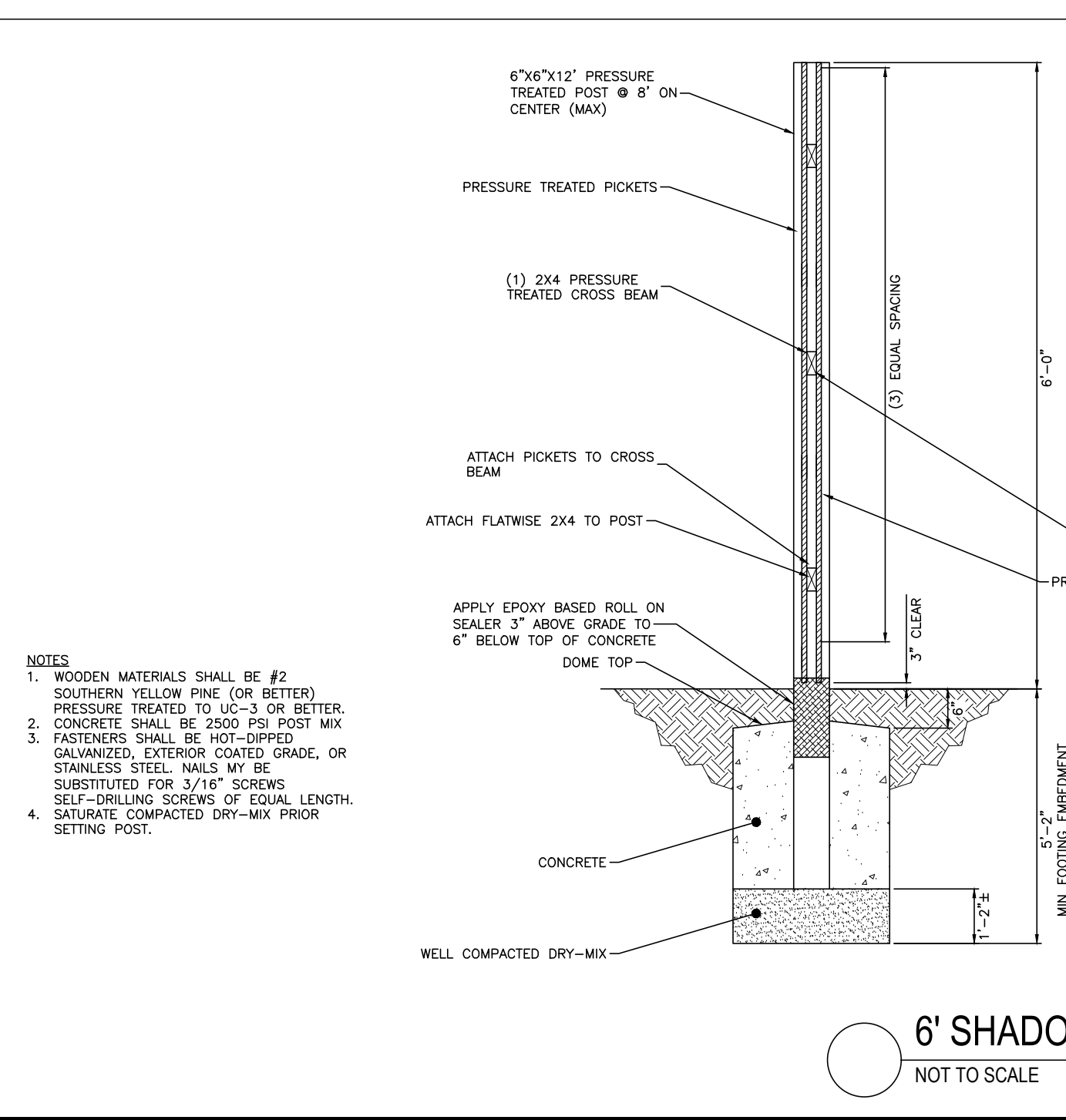
PROTECTED AND GRAND TREE PROTECTION DETAIL  
NOT TO SCALE



PRECAST PARKING BUMPER DETAIL  
NOT TO SCALE

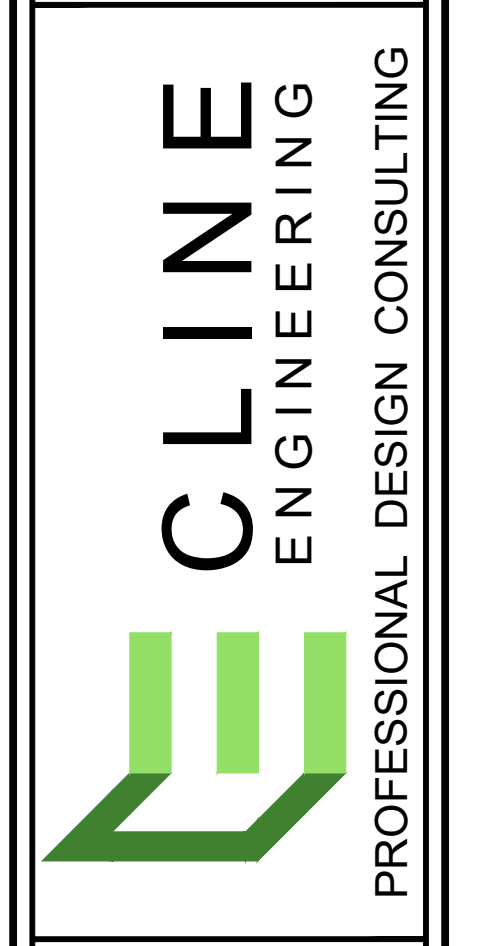


4' SHADOW BOX FENCE  
NOT TO SCALE



6' SHADOW BOX FENCE  
NOT TO SCALE

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A	12/13/2024	ISSUED FOR REVIEW AND APPROVAL	AJ	
B	12/18/2024	ISSUED FOR DRB REVIEW	AJ	



2101 MIDDLE STREET PARKING

CONSTRUCTION DETAILS

SULLIVAN'S ISLAND SOUTH CAROLINA

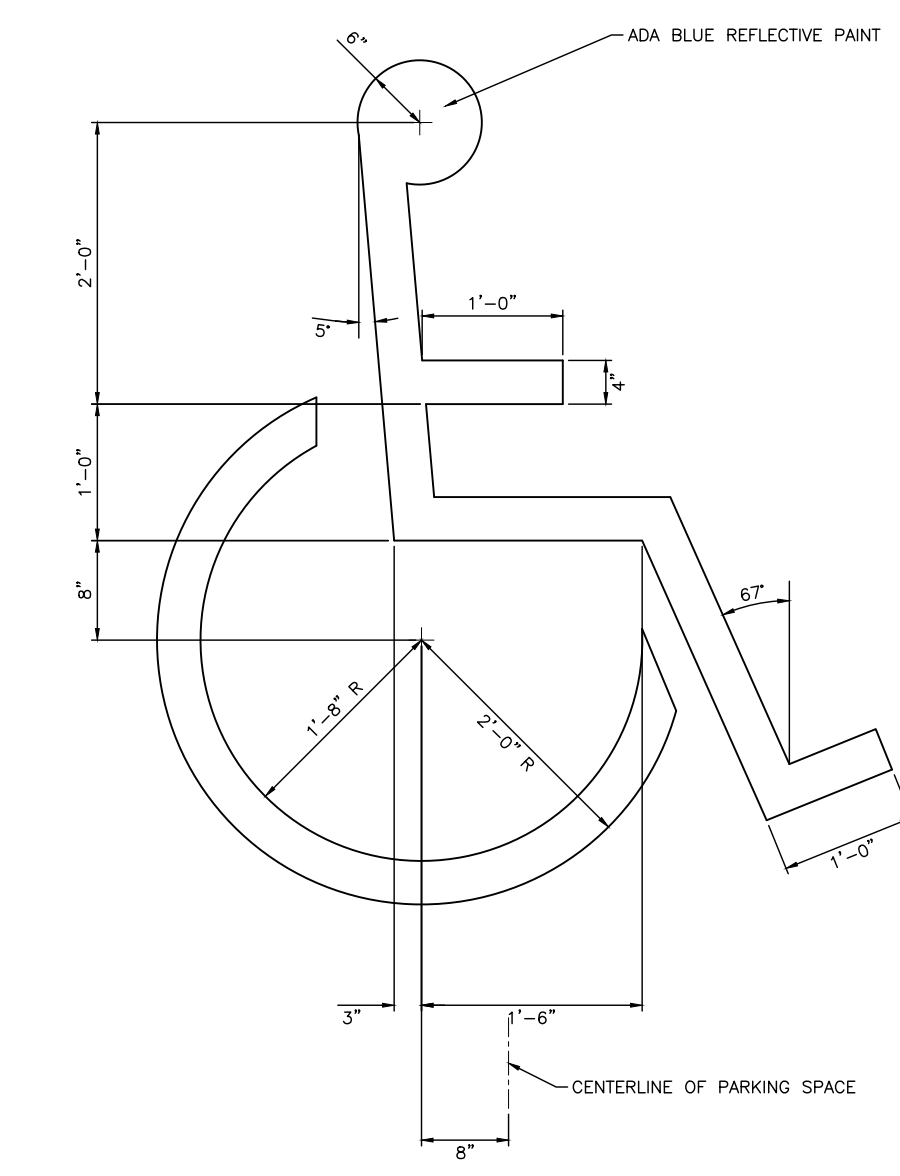
PROJECT MANAGER	MCC
DRAWN BY	CD/AJ/AR
PROJECT DATE	DECEMBER 2024
FOR NAME	2024

SHEET NUMBER

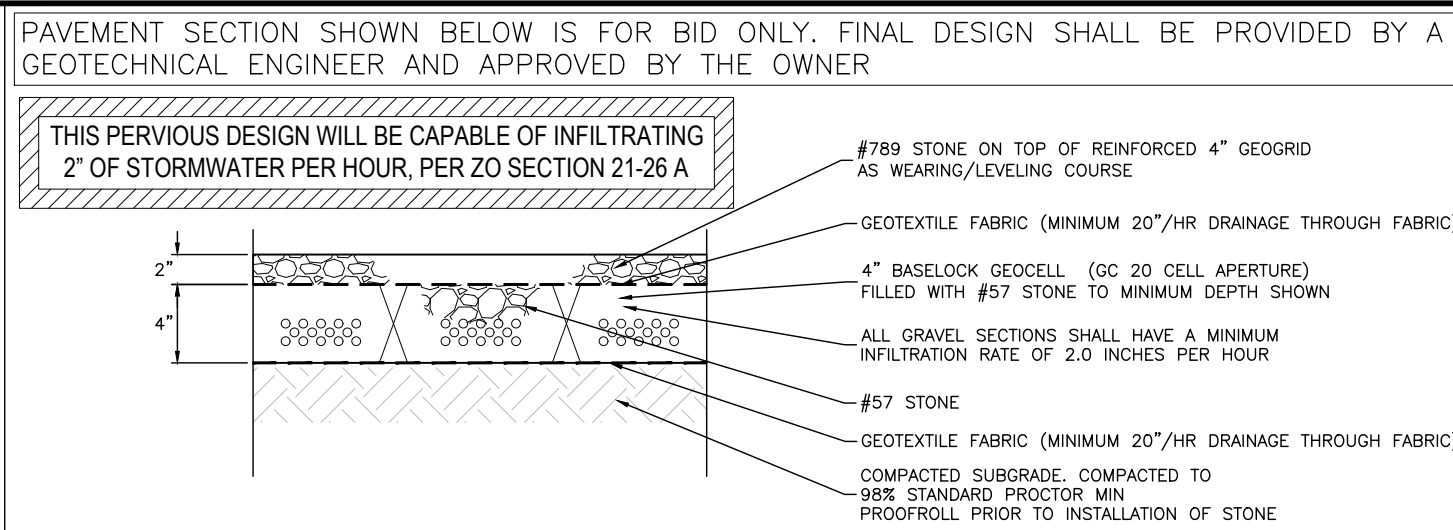
C-5



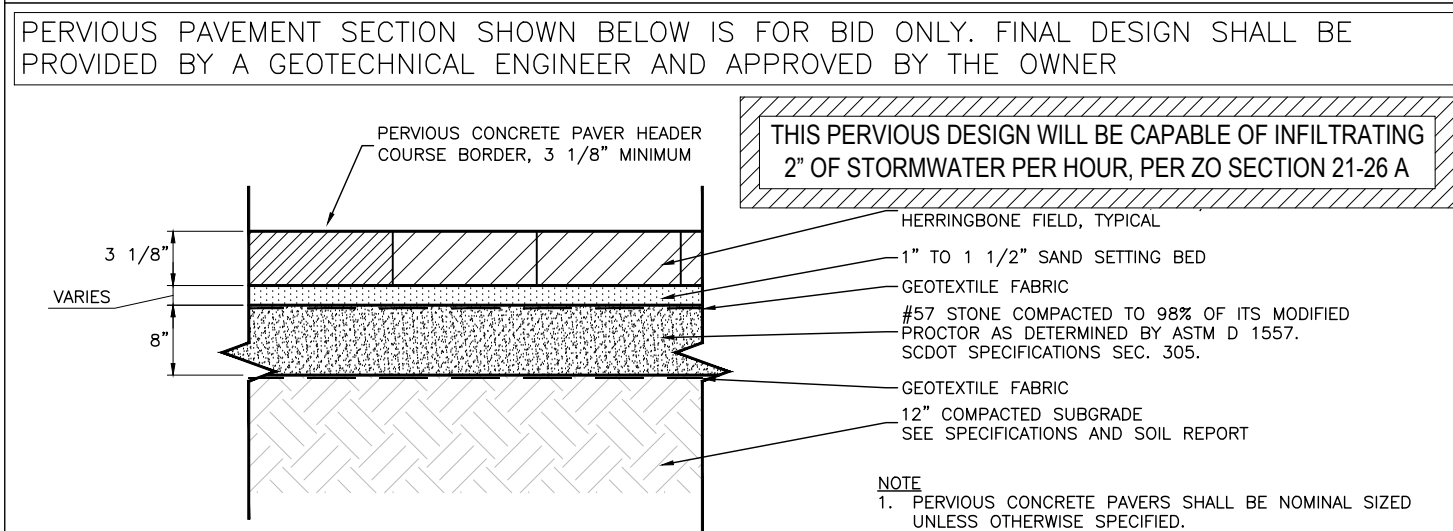
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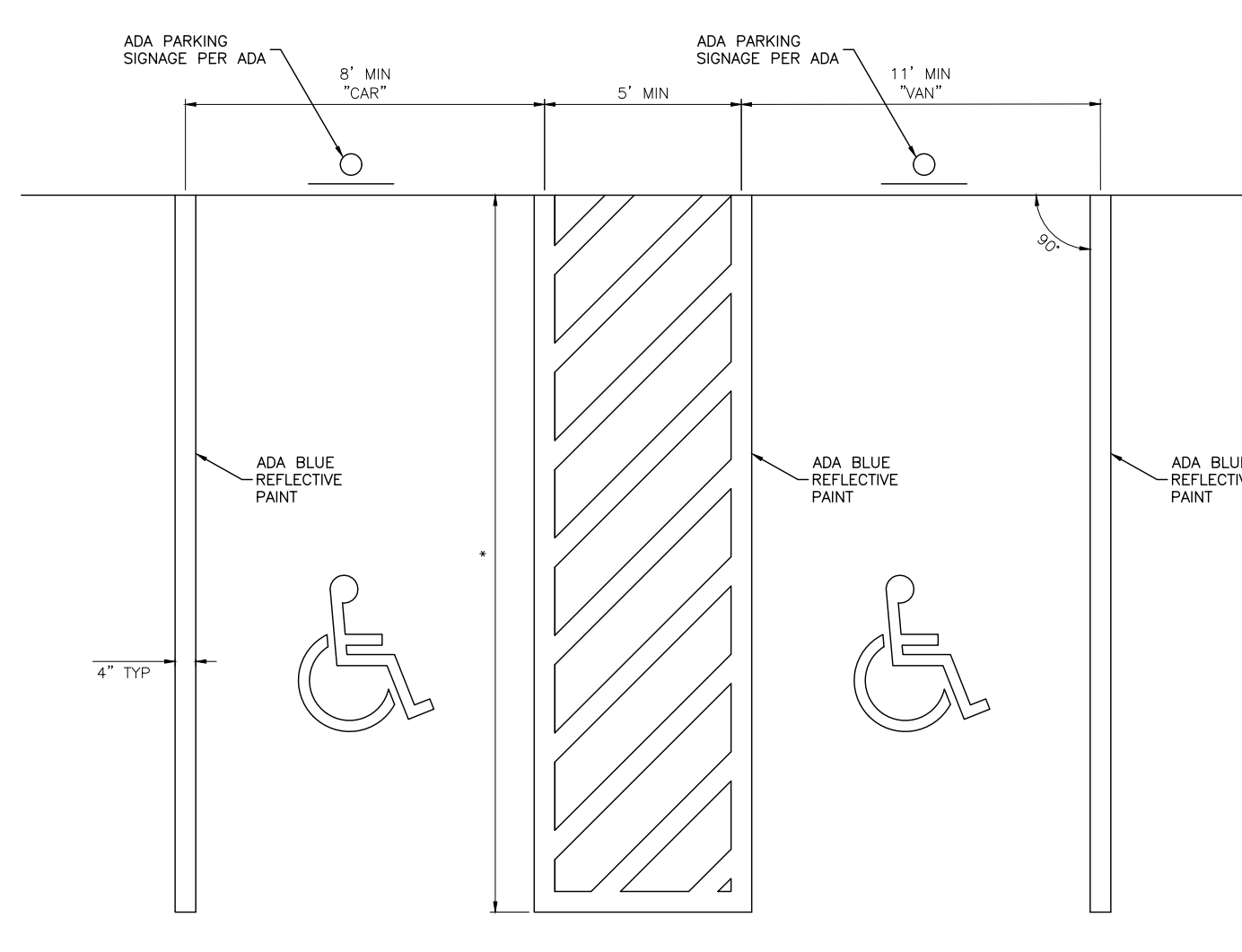
**INTERNATIONAL ADA SYMBOL DETAIL**  
NOT TO SCALE



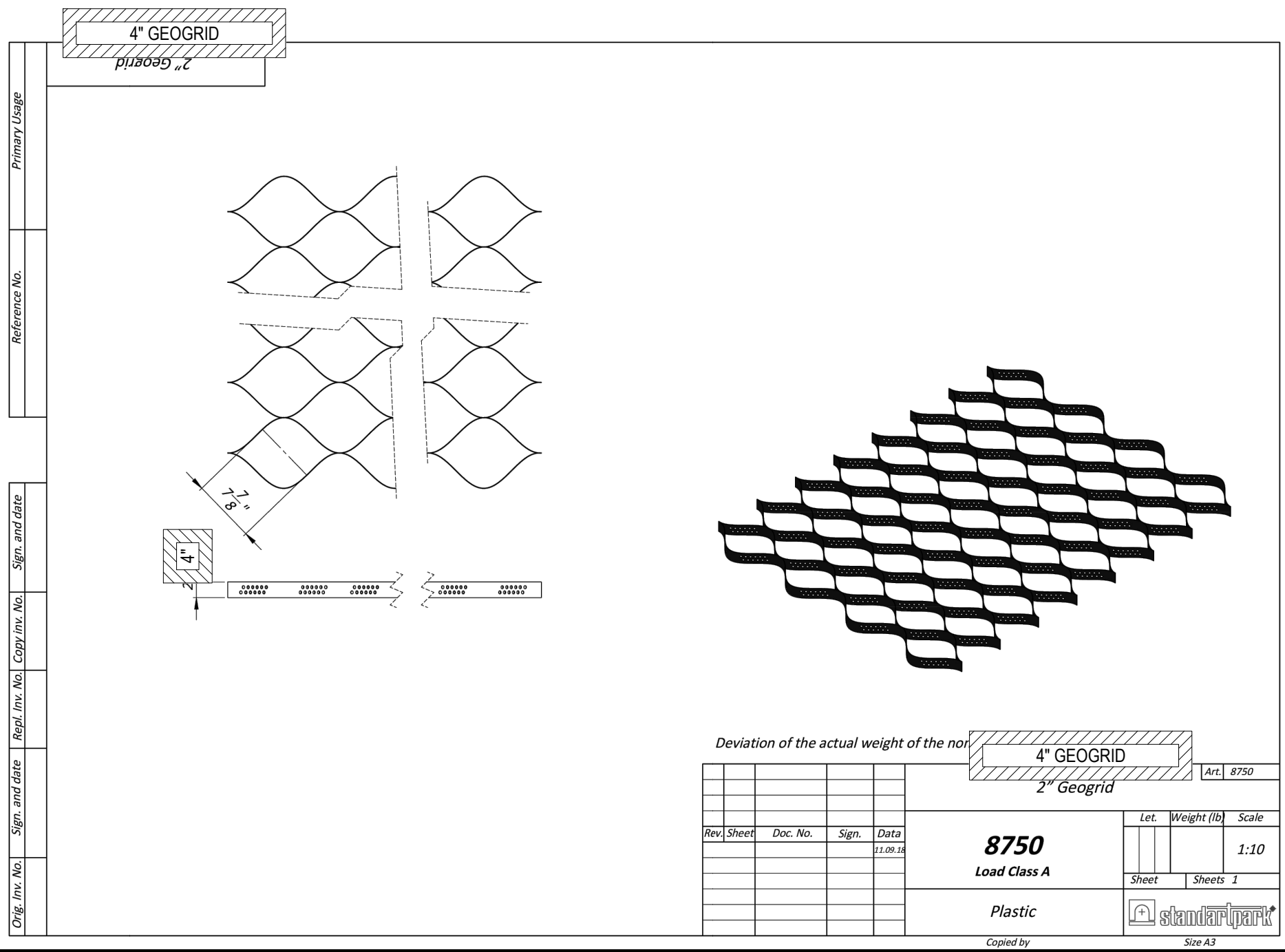
**#57 STONE PAVING DETAIL**  
NOT TO SCALE



**PERVIOUS PAVERS DETAIL**  
NOT TO SCALE



**TYPICAL ADA PARKING STRIPING DETAIL**  
NOT TO SCALE



**LIGHT FIXTURE DETAIL**  
NOT TO SCALE

**CREATING YOUR OWN PATTERNS**

**Step 1**  
Typically there is a look or feel that you want to express in an area. And there is nothing better to help with that than the laying pattern of the pavement surface. Block or paving board patterns create a structural appearance and organized herringbone patterns can create a lot of different shapes. Block patterns make the reveal beyond creating a uniform appearance and provide additional traction necessary for vehicle and pedestrian safety. Start off by selecting the general shapes that best fit your intent, or create your own unique repeatable pattern, such as the one shown adjacent. Make sure the general shape is repeatable before proceeding.

**Step 2**  
Now select the scale of the pattern, keeping in mind (a) the size of the area (larger patterns can be used in larger areas), and (b) the application (only to the extent that the pattern is suitable for the application type). For vehicular applications, it is also important to make sure the pattern is not too small in scale to be used on any other the application operationally.

**Step 3**  
Once you have decided on the scale of the laying pattern, it is time to fill the shape. The following are examples of the previous patterns with different sized pieces. Please note that even slight changes in the pieces used can alter the appearance operationally.

**Step 4**  
Adding colors, textures, and borders is where the true versatility of the Aqualine Series is realized. The available options are only limited by your imagination. Contact your local Belgard Representative for more options, and ask about the ability to add our 'Belgard ProPave'.

**BELGARD Commercial**  
Aqualine Series™ Commercial Collection

Designed to provide an aesthetically pleasing large format permeable surface that is pedestrian friendly and functional for vehicular traffic, the Aqualine Series by Belgard combines structural integrity and engineering needs to optimize system performance. All units are part of either an integral 4.5 inch or 6-inch dimensional increment series and have a raster / footprint that is exactly as specified, allowing all pieces in each series to fit together as intended.

**BELGARD Commercial**  
Proven Hardscape Solutions. Proven. Proven. Proven.

Northfield, an Odebrecht Company  
2000 W. 11th Street  
Mesa, AZ 85204  
(480) 948-2000

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BelgardCommercial.com

**Product Details**

**AQUALINE SERIES™ PERMEABLE PAVERS**

PAVERS	Paver Thickness	APPLICATIONS				COLORGUARD™ PROTECTANT	TEXTUREGUARD™ PROTECTANT	MEDICAL™ PROTECTANT	FINISHES		
		Commercial Plaza	Facility & Business Parking	Commercial & Residential Road	Minor Collector & Bus Parking				ADA Compliant	Permeable Collection	ColorGuard®
4 1/2" x 9"	80 mm	80 mm	80 mm	80 mm	✓	✓	✓	✓	✓	✓	✓
8" x 8" L-Block	80 mm	80 mm	80 mm	80 mm	✓	✓	✓	✓	✓	✓	✓
3" x 12"	80 mm	80 mm	80 mm	120 mm	✓	✓	✓	✓	✓	✓	✓
6" x 6"	80 mm	80 mm	80 mm	80 mm	✓	✓	✓	✓	✓	✓	✓
8" x 12"	80 mm	80 mm	80 mm	120 mm	✓	✓	✓	✓	✓	✓	✓
12" x 12"	80 mm	80 mm	80 mm	120 mm	✓	✓	✓	✓	✓	✓	✓
12" x 12" L-Block	80 mm	80 mm	80 mm	120 mm	✓	✓	✓	✓	✓	✓	✓

**SAMPLE AQUALINE PATTERNS**

NOTE: Pattern recommended for PERVIOUS PAVING USE an 8' x 8' grid.

- A BASKET WEAVE 4.5 x 9 or 9 x 12
- B COURSED RUNNING BOND 2-6 x 12 (25%), 3-6 x 6 (25%), 4-6 x 6 (25%)
- C SPANISH BOND 1-6 x 6 (75%), 4-6 x 12 (25%)
- D HERRINGBONE 4.5 x 9 or 9 x 12
- E BOX PATTERN 2 1-6 x 6 (4%), 1-6 x 12 (25%), 1-12 x 12 (25%)
- F BOX PATTERN 3 1-6 x 6 (4%), 1-6 x 12 (25%), 1-12 x 12 (25%)

**NATIONAL COLOR OFFERING**

Registered Colors: Belgard Colors also come in a number of local colors. Check with your local Belgard Sales Representative for details.

THERE SHOULD BE A TIMER FOR DUSK TO 3 AM.

**T895LED**  
LED ROUND FLAT TOP BOLLARD WITH LOUVERS

**TYPE:** T895LED  
**CATALOG NO.:** T895LED  
**PROJECT NAME:** T895LED  
**COMMENTS:** T895LED  
**PREPARED BY:** T895LED

**FEATURES**

**Use of Product:** These luminaires are recommended for use in areas where artificial lighting is needed adjacent to ecologically sensitive areas, sea turtle nesting beaches, migratory corridors, and Dark Sky Friendly communities. Bollard fixtures shall have a maximum mounting height of 42 inches, 270 degree beamshade shield, and installed facing away from the beach.

**Housing:** Extruded aluminum housing with internal louvers. Flush mounting base and spiral resistant covers. Includes 270° beam shade required to maintain Florida Park & Wildlife Conservation Commission certification.

**Finish:** Textured architectural bronze powdercoat finish over a chromate conversion. Consult factory for made to order architectural finishes.

**Optics:** Clear polycarbonate for increased vandal resistance.

**WILDLIFE LIGHTING**

**WARRANTY**  
5-Year warranty for -40°C to +42°C environment.

**LISTING/COMPLIANCE**  
• CSA - Listed for wet location.  
• ANSUL I559  
• E750 IP65 sealed LED Compartment.

**ORDERING INFO**

T895LED	Height	Weight	Voltage	Output	Color Temperature	Finish	Options
T895LED	42-48"	15-15W	URV-120V-277V	A - Amber	BF - Bronze MT - Made to order MG - Marine grade made to order	DF - Double face DP - Double pole DO - Double output EM - Emergency battery CEM - Cold and Emergency battery	

Notes:  
1. LED length between 42" - 48"  
2. 5-year warranty required.

**RAYON LIGHTING GROUP, INC.** RESERVES THE RIGHT TO CHANGE SPECIFICATIONS WITHOUT NOTICE. (12/20/20)  
1317 N. ALABAMA ST., COVINGTON, LA 70332 | T 504 334 4433 | F 504 333 4433 | WWW.RAYONLIGHTING.COM

**Station 22 Parking**

**ALL SPACES PAY TO PARK**  
STATION 22 PARKING  
\$3.00 Text 122 to 98000  
PAY BEFORE YOU LEAVE YOUR VEHICLE  
\$50 BOOT \$45 TICKET

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Text 122 to 98000  
PAY BEFORE YOU LEAVE YOUR VEHICLE  
\$50 BOOT \$45 TICKET

**HOW TO PAY**  
Station 22 Parking  
1. Text 122 to 98000  
2. Pay via Text  
3. Pay via App  
PLEASE PAY VIA TEXT BEFORE YOU LEAVE YOUR VEHICLE  
NOT WORKING? CALL TEXT 1.888.370.8335

24" x 36" HOW TO PAY

**Job Name:** Charleston Commercial  
**Date:** 1/18/24  
**Notes:** Station 22 Parking - Zone 122  
Beach theme ideas

**CUSTOMER'S APPROVAL**  
 Approved  
 Approved With Changes  
 Review and Proof Again  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

**PROPERTY MANAGER'S APPROVAL**  
 Approved  
 Approved With Changes  
 Review and Proof Again  
Signature: \_\_\_\_\_  
Date: \_\_\_\_\_

1340 Chuck Dawley Blvd., Mt. Pleasant, SC 29464 • PH 843.881.7881 • Fax 843.881.7883 • Andy@Signarama-Charleston.com • Signarama-Charleston.com

**Signarama** CHARLESTON

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A	12/13/2024	ISSUED FOR REVIEW AND APPROVAL	AJ	MCC		
B	12/18/2024	ISSUED FOR DRB REVIEW	AJ	MCC		

**CERTIFICATE OF PROFESSIONAL ENGINEER**  
CLINE ENGINEERING, INC. No. 26534  
12/18/2024  
Professional Engineer: [Signature]

**CLINE ENGINEERING**  
PROFESSIONAL DESIGN CONSULTING

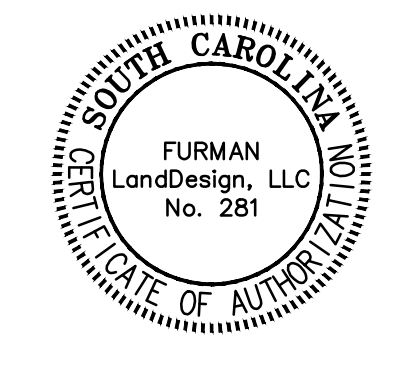
2101 MIDDLE STREET PARKING  
SULLIVAN'S ISLAND  
SOUTH CAROLINA

**CONSTRUCTION DETAILS**

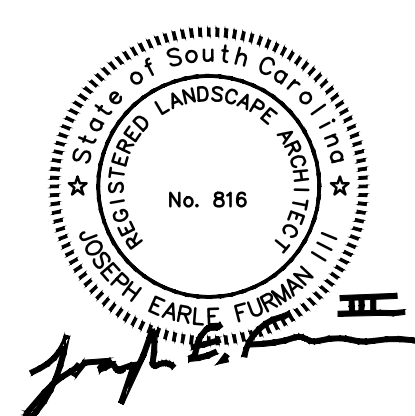
PROJECT MANAGER: [Signature] MCO  
DRAWN BY: [Signature] CD (AJ) JR  
PROJECT DATE: DECEMBER 2024  
JOB NUMBER: 24018

SHEET NUMBER  
**C-6**

REVISIONS  
REV. DATE DESCRIPTION  
APPV.

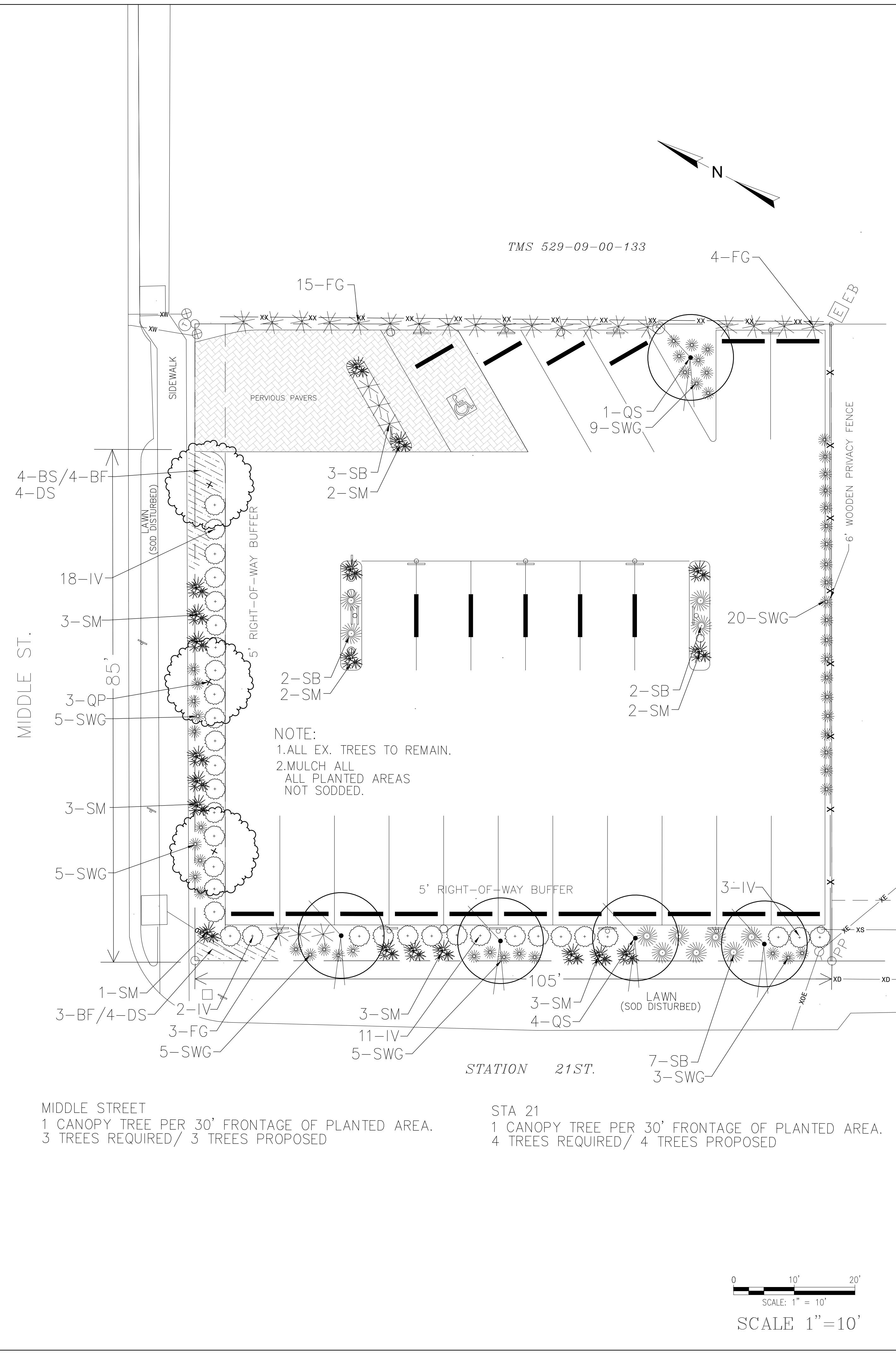


**MIDDLE ST. PARKING**  
 201 MIDDLE ST.  
 SULLIVANS ISLAND

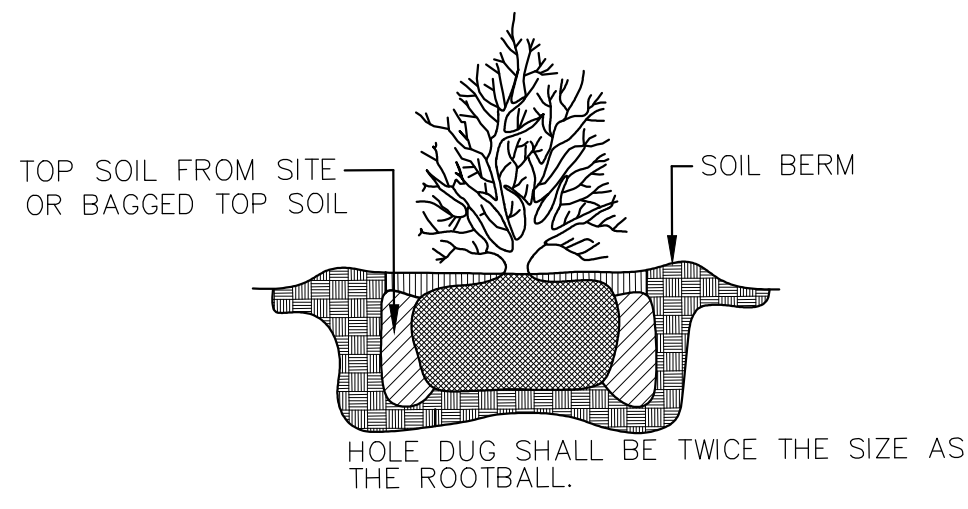


Revision: \_\_\_\_\_ Date: \_\_\_\_\_  
 . 12/19/24  
 .  
 .

**LANDSCAPE  
 BUFFER  
 PLAN  
 L1**



PLANT SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.

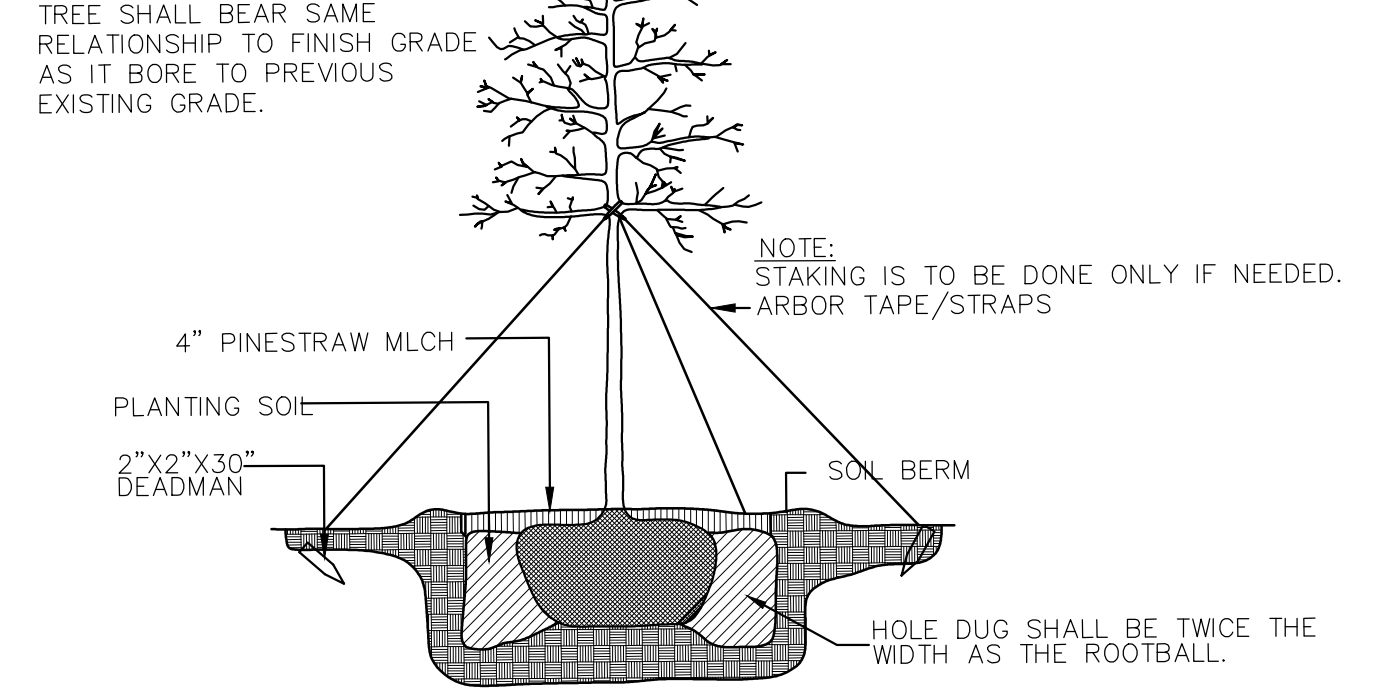


**DETAIL - SHRUB PLANTING**  
NO SCALE

LAWN(BERMUDA SOD)  
 MULCH - 4" PINESTRAW MULCH

TOPSOIL  
 SPREAD EVENLY 1"-2" TOPSOIL AT ALL NEWLY PLANTED AREAS IN CONSTRUCTION AREAS.

NEVER CUT TERMINAL BUD  
 PRUNE WHOLE BRANCHES TO REDUCE FOLIAGE BY 1/3  
 TREE SHALL BEAR SAME RELATIONSHIP TO FINISH GRADE AS IT BORE TO PREVIOUS EXISTING GRADE.



**DETAIL - TREE PLANTING**  
NO SCALE

CODE	BOTANICAL NAME	COMMON NAME	HEIGHT/SIZE	QUANTITY
<b>TREES</b>				
QS	QUERCUS SCHUMARDII	SCHUMARD OAK	3" CAL./5' CLEAR TRUNK/8' MIN HT.	
QP	QUERCUS PHELLOS	WILLOW OAK	3" CAL./5' CLEAR TRUNK/8' MIN HT.	
<b>UNDERSTORY TREES</b>				
JV	JUNIPERUS BRODIE	BRODIE CEDAR	6'HT.	
<b>SHRUBS</b>				
SM	SABAL MINOR	DWF. PALMETTO	3 GAL.	
SB	SPARTINA BAKERI	SPARTINA GRASS	3 GAL.	
FG	FAKAHATCHIE GRASS	FAK. GRASS	3 GAL.	
IV	ILEX VOMITORIA	YAUPON HOLLY	7 GAL.	
SWG	MUHLY GRASS	SWEETGRASS	3 GAL.	
<b>POLLINATOR PLANTS</b>				
BS	RUDBECKIA	BLACK-EYED SUSAN	6" POTS	
BF	GALLARDIA	BLANKET FLOWER	6" POTS	
DS	HELIANTHUS DEBILIS	DUNE SUNFLOWER	6" POTS	

- SODDING NOTES:**
- COORDINATE SODDING WORK WITH SECTION 'SODDING'
  - SOD WITH NETTING OR MESH NOT PERMITTED.
  - SOD SHALL BE CERTIFIED BY EMPIRE ZOYSIA, CENTIPEDE OR BERMUDA.
  - ALL ROCKS AND DEBRIS SHALL BE REMOVED BEFORE SODDING.
  - APPLY FERTILIZER AT A RATE THAT SHALL PROVIDE 1 -1/2 LBS OF ACTUAL NITROGEN PER 1000 S.F. RAKE STARTER FERTILIZER INTO SOIL TO A DEPTH OF 1-2".
  - CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION TO SOD ON A REGULAR BASIS UNTIL FULLY STABILIZED OR UNTIL FINAL ACCEPTANCE BY OWNER.

**TOPSOIL(REQUIRED)**  
 SPREAD EVENLY 1"-2" TOPSOIL AT ALL NEWLY PLANTED AREAS. TILL INTO EXISTING SAND/SOIL.

**PLANT GUARANTEE**  
 LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR NEW PLANT MATERIAL'S HEALTH UNTIL FINAL ACCEPTANCE BY OWNER. OWNER RESERVES THE RIGHT TO REJECT ANY DEAD OR DECLINING PLANT MATERIAL AT FINAL INSPECTION.

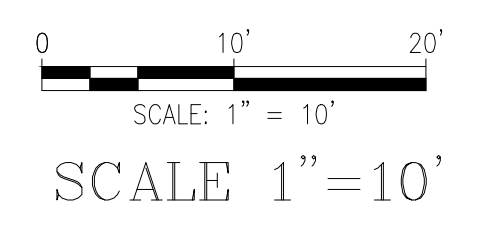
**CLEARING OF DEBRIS**  
 LANDSCAPE CONTRACTOR SHALL CLEAR ALL PROPOSED PLANTED AREAS OF ALL ROCKS AND DEBRIS BEFORE PLANTING.

**UNDERGROUND UTILITIES**  
 SEE CONSTRUCTION PLANS

**DEMOLITION**  
 ALL DEMOLITION DEBRIS SHALL BE PROPERLY DISPOSED TO OFF-SITE LOCATIONS. DEMOLITION SHALL INCLUDE REMOVAL OF SLABS, FOUNDATIONS, & UNUSED UTILITIES. CONTRACTOR TO PROTECT ALL ITEMS TO REMAIN.

**GENERAL CONTRACTOR CLEAN-UP**  
 CONTRACTOR IS RESPONSIBLE FOR FINAL CLEAN-UP OF SITE AFTER CONSTRUCTION.

**TEMPORARY IRRIGATION**  
 CONTRACTOR IS RESPONSIBLE FOR WATERING PLANTS TILL FINAL ACCEPTANCE AND APPROVAL.



MIDDLE STREET  
 1 CANOPY TREE PER 30' FRONTAGE OF PLANTED AREA.  
 3 TREES REQUIRED/ 3 TREES PROPOSED

STA 21  
 1 CANOPY TREE PER 30' FRONTAGE OF PLANTED AREA.  
 4 TREES REQUIRED/ 4 TREES PROPOSED