

COLEMAN PROJECT

3019 JASPER BOULEVARD
SULLIVAN'S ISLAND, SC 29482



VICINITY MAP

NOTE: NOT TO SCALE



DRAWING LIST

| | |
|-------|----------------------------------|
| A000 | COVER |
| | SURVEY |
| AI00A | GROUND FLOOR PLAN DESIGN UPDATES |
| AI00B | FIRST FLOOR PLAN DESIGN UPDATES |
| AI00C | ELEVATION DESIGN UPDATES |
| AI00D | ELEVATION DESIGN UPDATES |
| AI01 | SITE PLAN |
| AI02 | GROUND FLOOR PLAN |
| AI03 | FIRST FLOOR PLAN |
| AI04 | SECOND FLOOR PLAN |
| AI05 | ROOF PLAN |
| AI06 | WINDOW AND DOOR SCHEDULE I |
| A201 | ELEVATION I |
| A202 | ELEVATION II |
| A203 | ELEVATION III |
| A204 | ELEVATION IV |
| A301 | PERSPECTIVES I |
| A302 | PERSPECTIVES II |
| A303 | PERSPECTIVES III |
| A304 | PERSPECTIVES IV |
| A305 | STREET SCAPES |
| A306 | SITE PHOTOS I |
| A307 | SITE PHOTOS II |
| A401 | SECTIONS I |
| A402 | SECTIONS II |
| A403 | SECTIONS III |
| A451 | DETAILS I |
| A452 | DETAILS II |

PROJECT NOTES

SITE AND BUILDING NOTES

- FLOOD ZONE: AE ELEV 10
- SETBACKS: IN CONFORMANCE, SEE SHEET AI01
- SCOPE OF WORK: NEW CONSTRUCTION OF TWO-STORY RESIDENCE

CODE SUMMARY

- SEE STRUCTURAL SHEETS BY ENGINEER
- ALL WORK TO BE IN ACCORDANCE WITH CURRENT APPLICABLE ZONING, CODES & STANDARDS: IBC 2021, IRC 2021, IEBC 2021
- EXTERIOR OPENINGS ARE REQUIRED TO MEET IRC 2021 GUIDELINES FOR DESIGN PRESSURE & IMPACT RESISTANCE.

GENERAL NOTES

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY CLARKE DESIGN GROUP IMMEDIATELY OF ANY DISCREPENCIES AND/OR ANY EXISTING SITE CONDITIONS THAT ARE INCONSISTENT WITH THE DRAWINGS.
- ALL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS RELATED TO OTHER DISCIPLINES. THE GENERAL CONTRACTOR SHALL CHECK AND COORDINATE DIMENSIONS AND CLEARANCES WITH THE WORK OF ALL TRADES.
- THE DRAWINGS HEREIN ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO CONVEY ALL INFORMATION NECAESSARY FOR CONSTRUCTION. CONTRACTORS SHALL COORDINATE SYSTEMS INSALLATION REQUIREMENTS, ROUGH-IN CONNECTIONS, AND MATERIAL REQUIREMENTS FOR INSTALLATION.
- ALL DIMENSIONS ARE TAKEN FROM FACE OF WALL STUDS U.NO.
- DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY OF CLARKE DESIGN GROUP, LLC AND SHALL NOT BE COPIED, RE-USED, OR MODIFIED WITHOUT WRITTEN CONSENT.

CONTACT INFORMATION

CLARKE DESIGN GROUP
1100 PALM BLVD, SUITE 1A
ISLE OF PALMS, SC 29451
843-329-0667
PHIL@CLARKEDESIGNGROUP.COM

BUILDER
XXXX
XX
XXXXXXXX

ENGINEER
XXXXXX
XXXX
XXXXXX

DRAWING SYMBOLS

| | |
|--|---|
| | DETAIL SYMBOL |
| | INTERIOR DOOR SIZE C.O. - CASED OPENING PKT. - POCKET DOOR DBL. - DOUBLE FRENCH DOOR |
| | SECTION NUMBER AND SHEET NUMBER |
| | ELEVATION NUMBER AND SHEET NUMBER |
| | INTERIOR ELEVATION SHEET NUMBER |
| | WINDOW TYPE |
| | DOOR TYPE |
| | DETAIL |



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Studio Address:
3019 JASPER BLVD, SC 29482
Isle of Palms, SC 29451
843-329-0667

RESIDENCE
3019 JASPER BLVD,
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LEGEND:

- CMF CONCRETE MONUMENT FOUND 4"
- IS 5/8" RBS (REBAR SET)
- IF (IRON FOUND) SIZE/TYPE NOTED
- PK NAIL SET
- PK NAIL FOUND
- WATER VALVE
- WATER METER
- ELECTRICAL TRANSFORMER
- ELECTRICAL BOX
- TELEPHONE BOX
- SPOT ELEVATION
- POWER POLE
- SEWER CLEANOUT - SEWER TAP
- FFFE FINISH FLOOR ELEVATION
- LOT LINE
- DHEC-OCRM (MARSH GRASS LINE)
- ADJACENT LOT LINE
- FENCE
- CED CEDAR
- PLM PALM
- OAK
- LO LIVE OAK
- PN PINE
- WILO WILLOW TREE
- MAG MAGNOLIA TREE

DATUM:

THE BEARINGS SHOWN HEREON ARE SOUTH CAROLINA GRID NAD 1983 (2011) MODEL. VERTICAL DATUM IS BASED ON NAVD 1988. ONE FOOT CONTOURS.

REFERENCE:

- PLAT BOOK R AST PAGE 66 SHOWING THE CORRECTED PLAT OF BLOCKS 22 AND 23 DATED SEPTEMBER 1955.
- DEED BOOK T409-849.

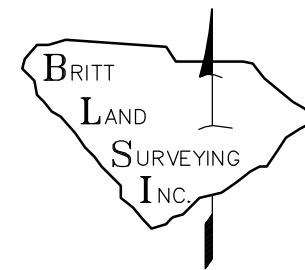
FLOOD NOTE:

THIS LOT IS SITUATED IN A FLOOD ZONE AE 10 AS PER SCALING FROM FEMA F.I.R.M. MAP NUMBER 45019C 0539K DATED REVISED JANUARY 29, 2021.

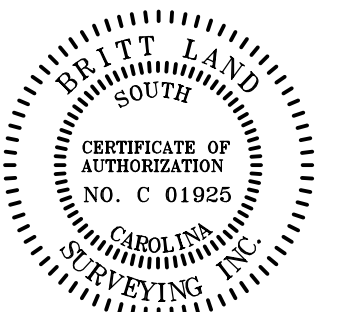
SC GRID



LOCATION MAP N.T.S.



BRITT LAND SURVEYING, INC.
P.O. BOX 80333
CHARLESTON, SC 29416
843-810-6771
WWW.BRITTSURVEYINGINC.COM



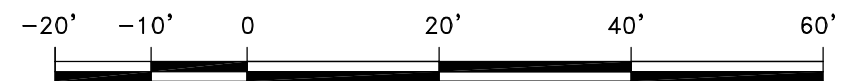
I Dean L. Britt A Registered Professional Land Surveyor in the State of South Carolina certify to owner(s) shown hereon that this survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a class A survey as specified therein.

Date: MAY 09, 2025

DEAN L. BRITT PLS S.C. REG. NO. 15792

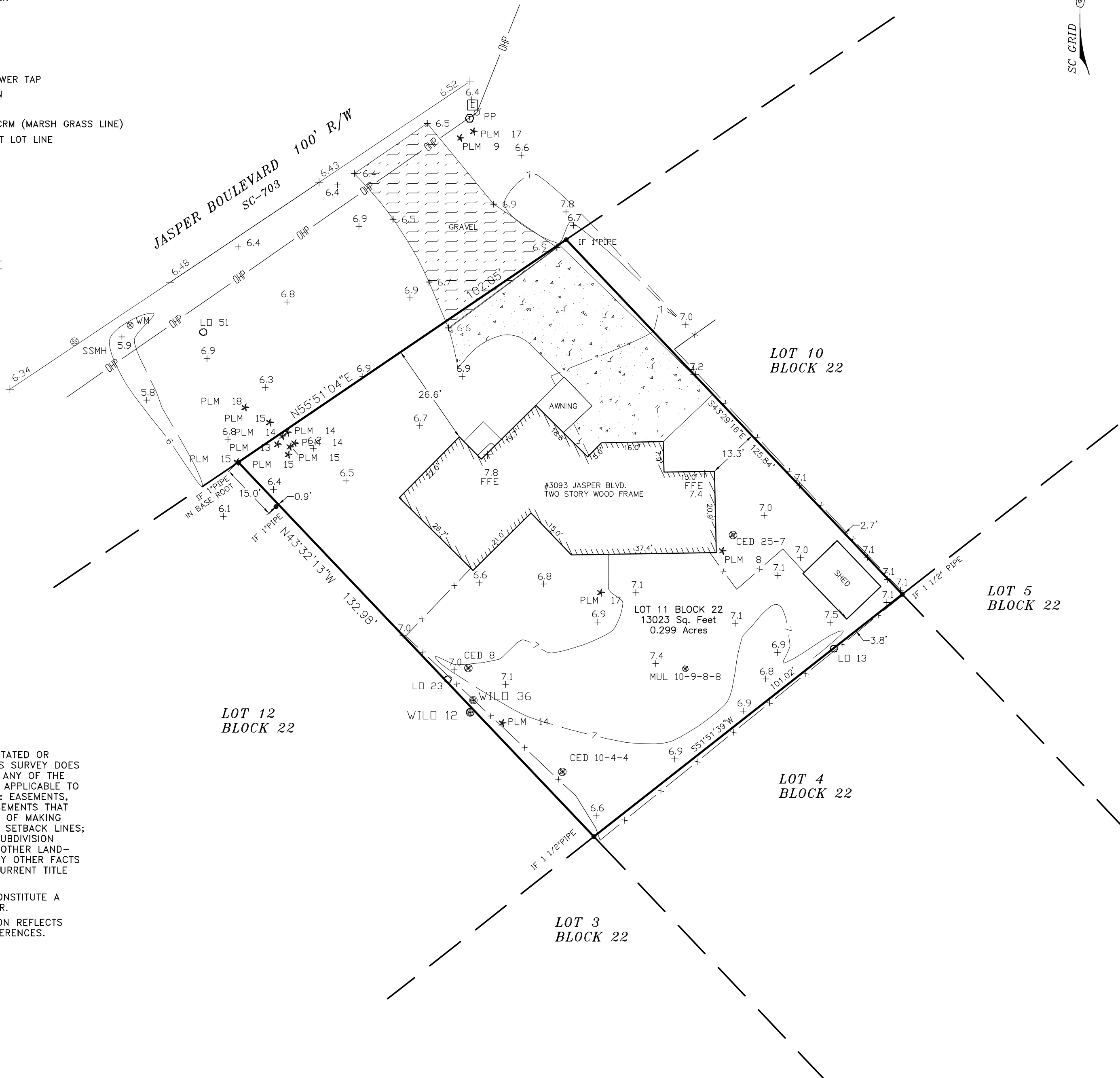
SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR

SCALE: 1" = 20'



NOTES:

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR.
THE SURVEY SHOWN HEREON REFLECTS THE ABOVE RECORDED REFERENCES.





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CLARKE
DESIGN GROUP

Studio Address:
1100 Palm Blvd. Ste. 1-A
Isle of Palms, SC 29451
843-329-0667

RESIDENCE
3049 JASPER BLVD.
SULLIVAN'S ISLAND, SC, 29482

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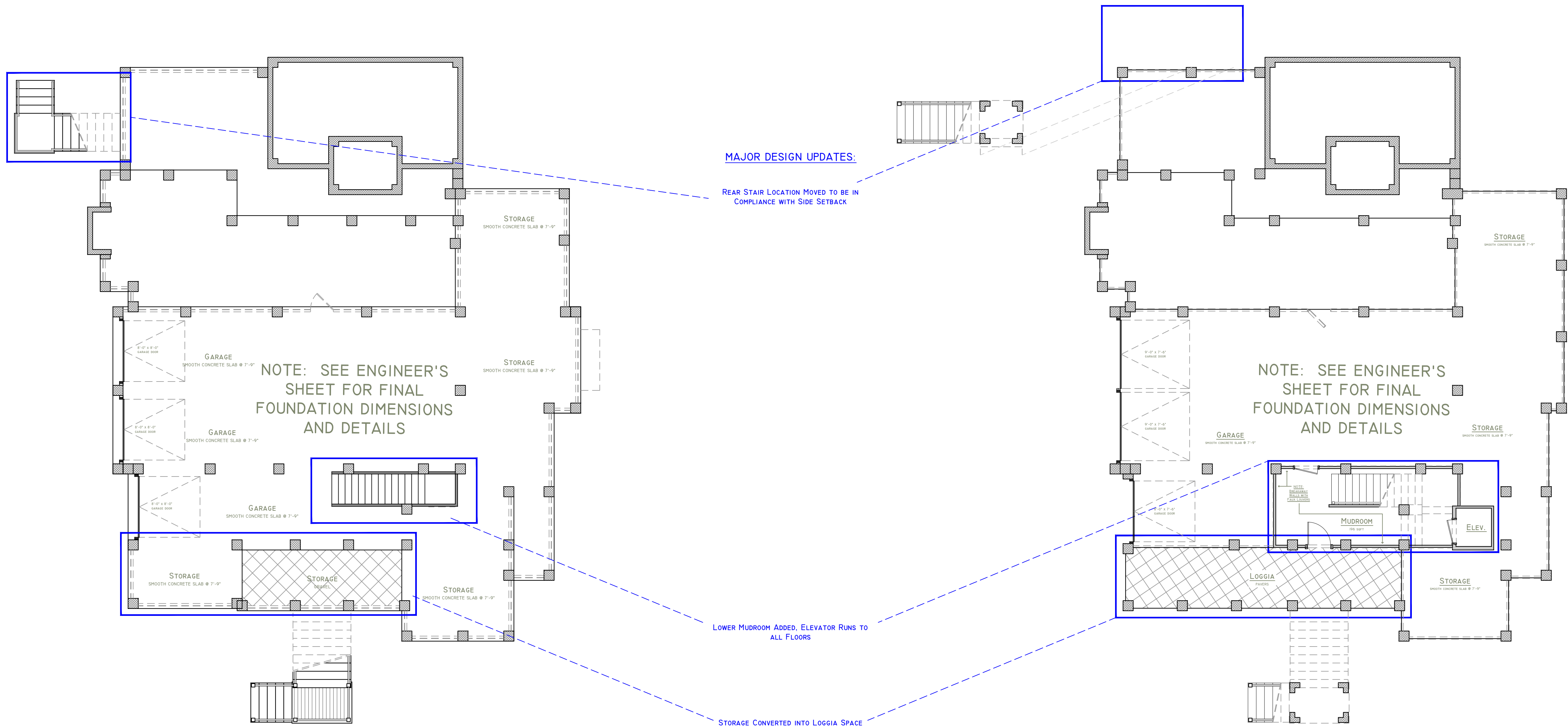
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A100A

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PREVIOUSLY APPROVED
GROUND FLOOR PLAN
SCALE: 1/8" = 1'

NEW PROPOSED
GROUND FLOOR PLAN
SCALE: 1/8" = 1'



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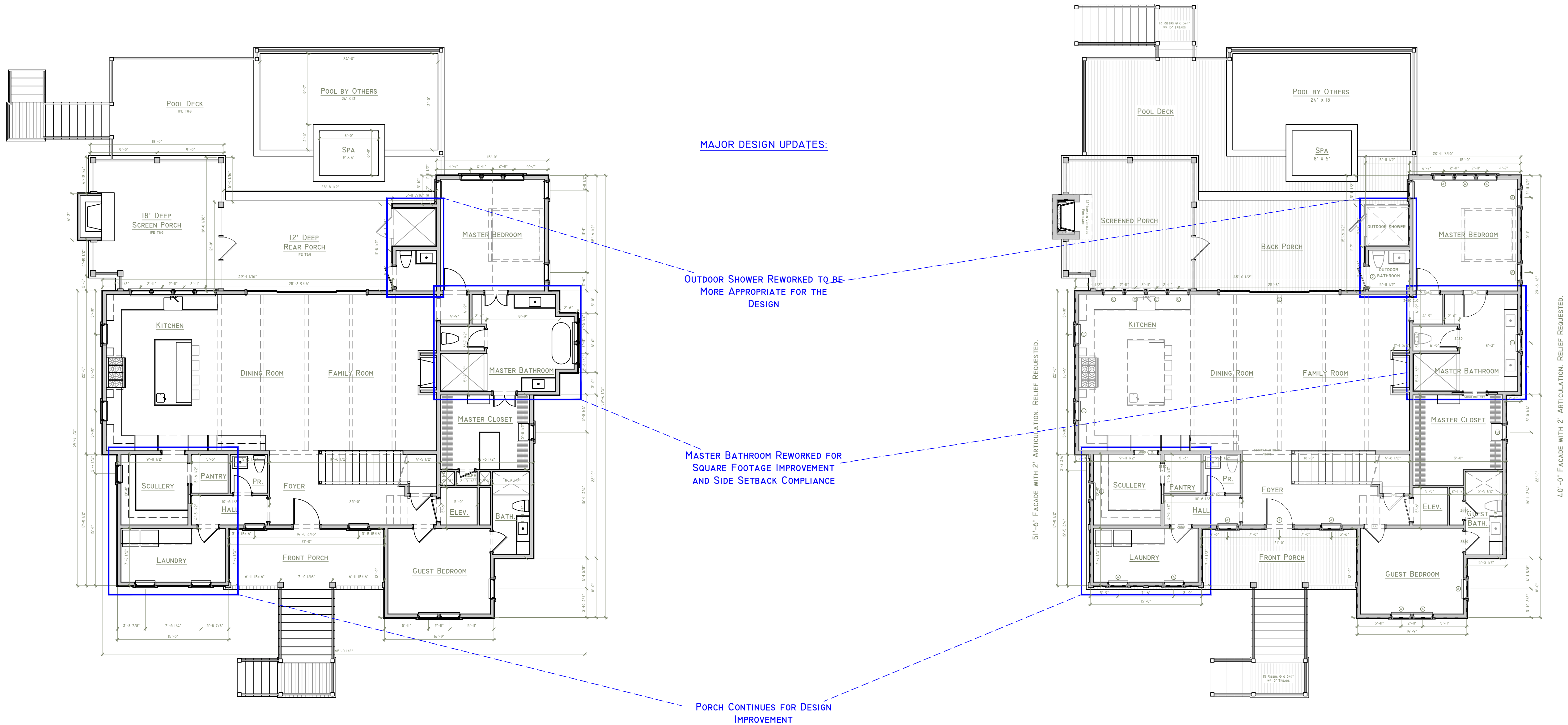
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PREVIOUSLY APPROVED
FIRST FLOOR PLAN
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NEW PROPOSED
FIRST FLOOR PLAN
SCALE: 1/8" = 1'



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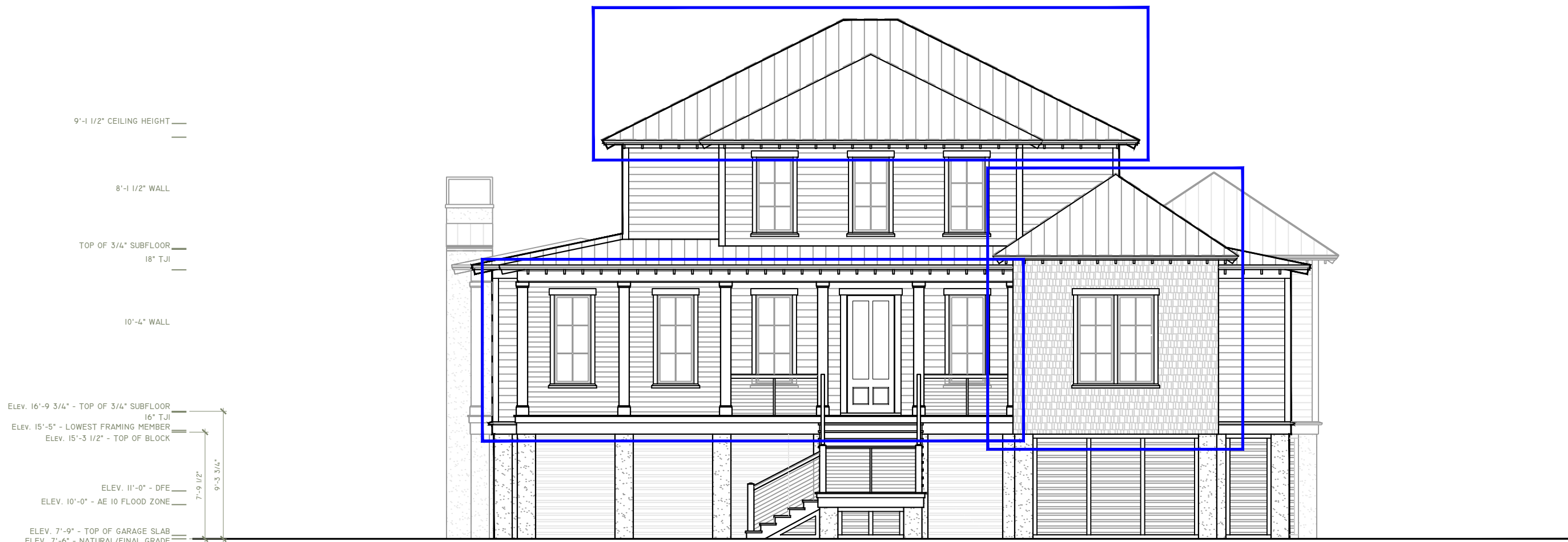
PREVIOUSLY APPROVED
FRONT ELEVATION
SCALE: 1/4" = 1'

MAJOR DESIGN UPDATES:

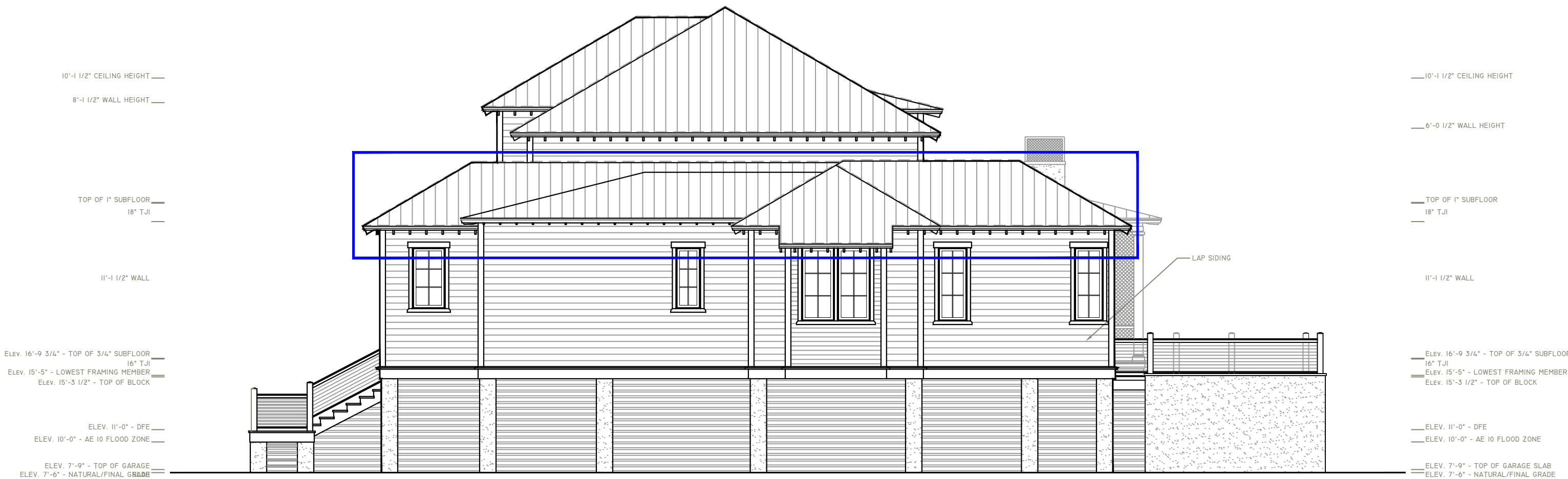
SECOND STORY ROOFS UPDATED
FOR SIMPLICITY IN THE DESIGN &
ROOF HEIGHT COMPLIANCE

FRONT PORCH CONTINUES & WRAPS

GUEST BEDROOM EXTRUSION
REDESIGNED FOR ADDED INTEREST
& INDIVIDUALITY IN MASSING



NEW PROPOSED
FRONT ELEVATION
SCALE: 1/4" = 1'



PREVIOUSLY APPROVED
RIGHT ELEVATION
SCALE: 1/4" = 1'

MAJOR DESIGN UPDATES:

ROOF LINE REDESIGNED, NEW
PROPOSAL ALLOWS FOR UPSTAIRS
WINDOWS



NEW PROPOSED
RIGHT ELEVATION
SCALE: 1/4" = 1'



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Isle of Palms, SC 29451
843-329-0667

RESIDENCE
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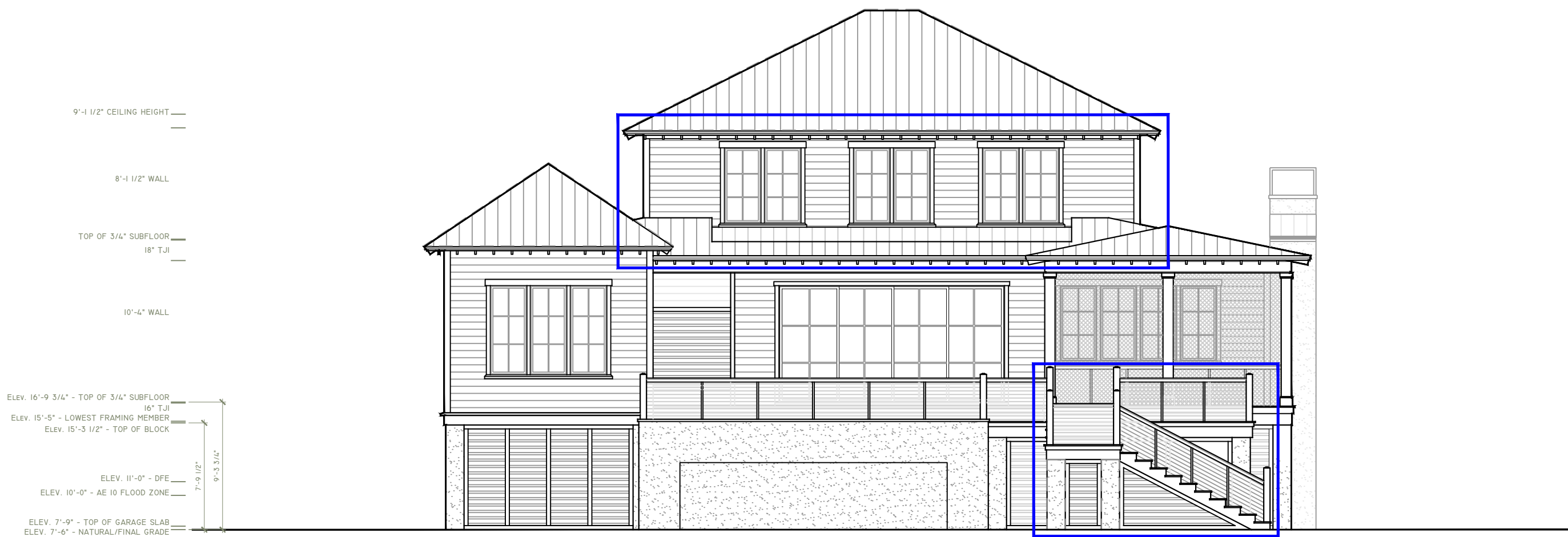


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REAR ELEVATION
SCALE: 1/4" = 1'

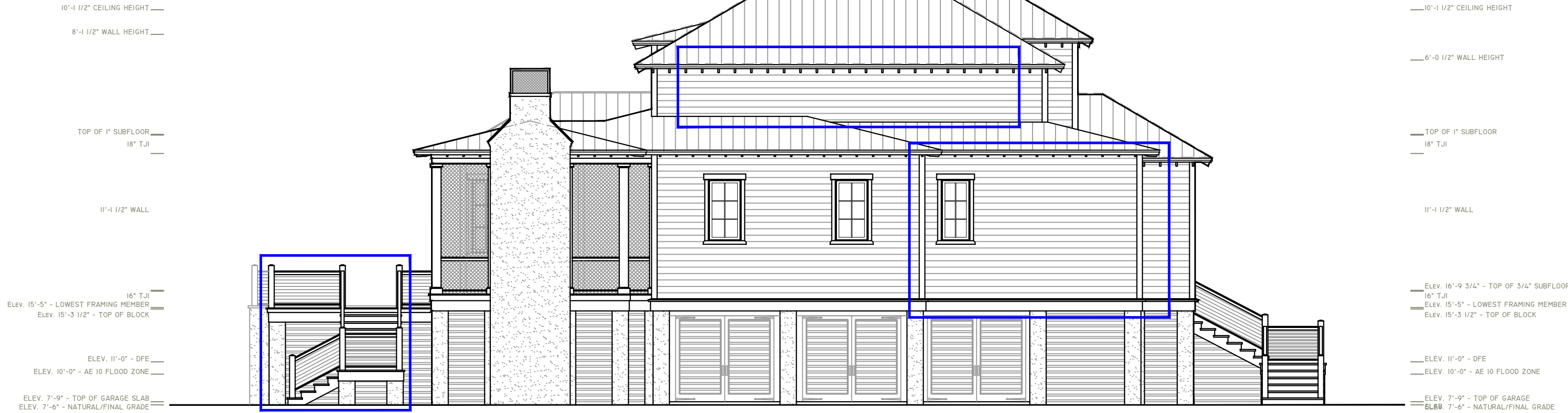
MAJOR DESIGN UPDATES:

ROOFING MODIFICATIONS ALLOW FOR
LARGER UPSTAIRS WINDOWS &
ELIMINATES THE NEED FOR DORMERS

REAR STAIR MOVED FOR REAR AND
SIDE SETBACK COMPLIANCE



NEW PROPOSED
REAR ELEVATION
SCALE: 1/4" = 1'



PREVIOUSLY APPROVED
LEFT ELEVATION
SCALE: 1/4" = 1'

MAJOR DESIGN UPDATES:

ROOF LINE REDESIGNED, NEW PROPOSAL
ALLOWS FOR UPSTAIRS WINDOWS

FRONT PORCH CONTINUES & WRAPS

REAR STAIR MOVED FOR REAR AND
SIDE SETBACK COMPLIANCE



NEW PROPOSED
LEFT ELEVATION
SCALE: 1/4" = 1'



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843-329-0667

RESIDENCE
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SULLIVAN'S ISLAND, SC, 29482

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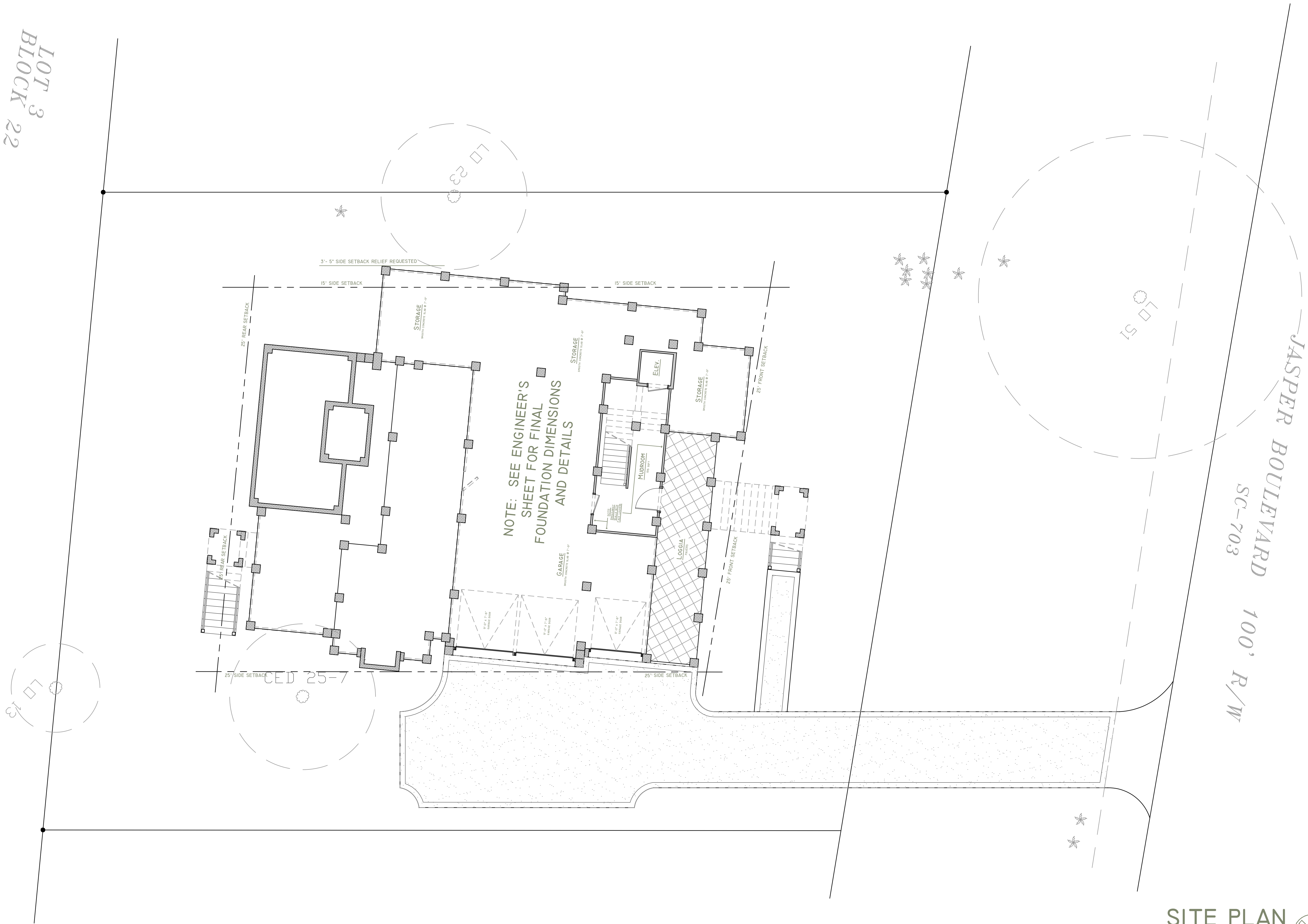
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AI01

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SITE PLAN

SCALE: 1/8" = 1'

FLOOD ZONE: AE10

TMS# 529-08-00-011

ZONING STANDARDS COMPLIANCE WORKSHEET LOT COVERAGE: LOT SIZE: 13,023 SQFT

21-25 PRINCIPAL BUILDING COVERAGE
FIRST FLOOR SQUARE FOOTAGE: 2,412 SQFT
FORMULA: $(15\% \times 13,023) + ((15,000 - 13,023) \times 5\%) = 2,052$ SQFT
DRB ALLOWANCE/INCREASE: 20% MAX
PROPOSED / REQUESTED RELIEF: 360 SQFT 17.5%

21-26 IMPERVIOUS COVERAGE
BUILDING FOOTPRINT: 3,293 SQFT
POOL: 409 SQFT
TOTAL: 3,702 SQFT
FORMULA: $(30\% \times 13,023) + ((15,000 - 13,023) \times 5\%) = 4,006$ SQFT

21-27 PRINCIPAL BUILDING SQUARE FOOTAGE
TOTAL HEATED SQUARE FOOTAGE: 3,512 SQFT
FORMULA: $(13,023 - 5000)/100 \times 10 + 2400 = 3,202$ SQFT
DRB ALLOWANCE/INCREASE: 15% NOT TO EXCEED 500 SQFT
PROPOSED / REQUESTED RELIEF: 310 SQFT (9%)

LOT COVERAGE:

TOTAL LOT: 13,023 SQFT
BUILDING FOOTPRINT: 3,293 SQFT
POOL: 409 SQFT
PERVIOUS DRIVE: 1,163 SQFT

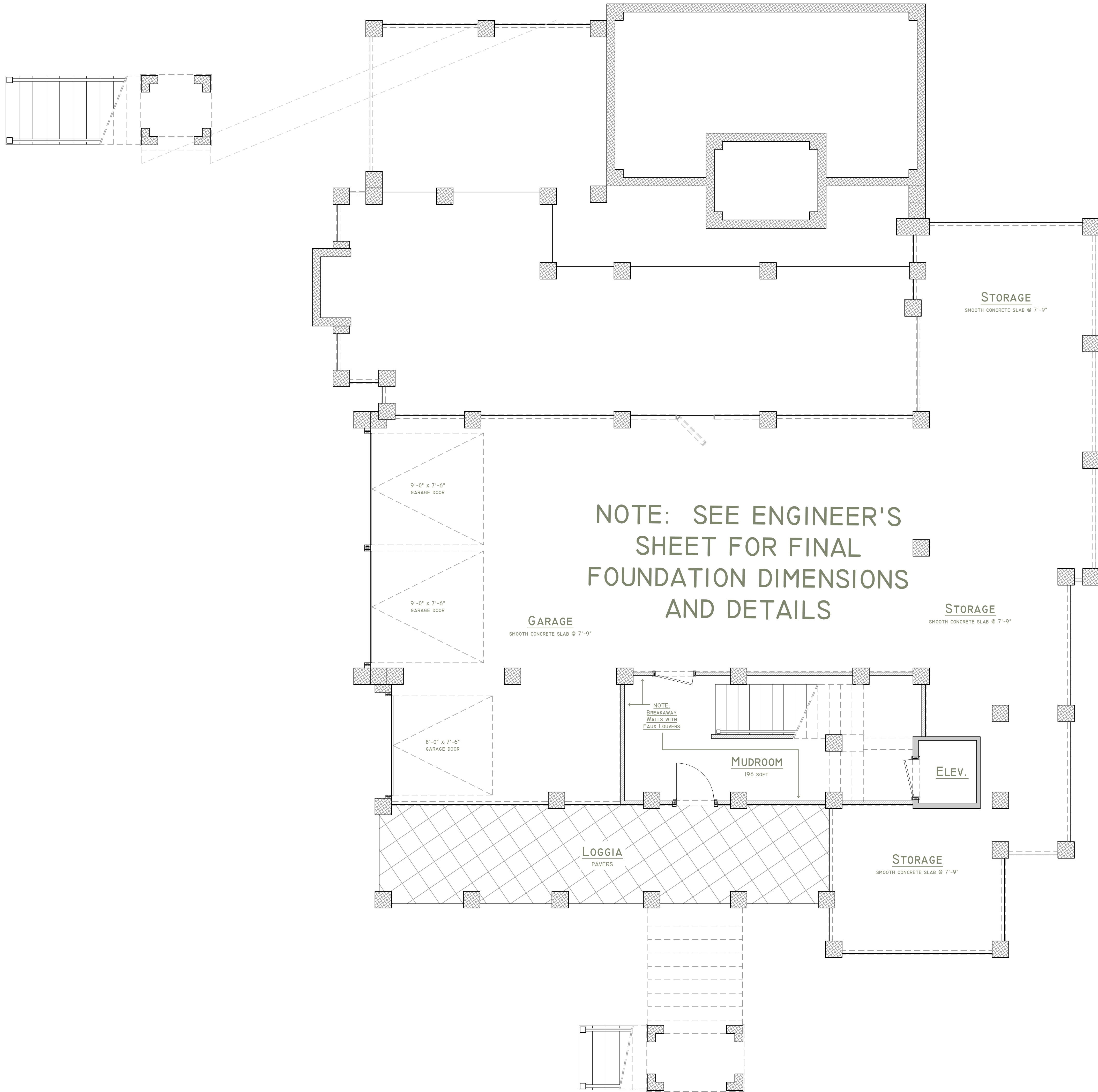
TOTAL COVERAGE: 4,865 SQFT
COVERAGE PERCENT: 37.3%
AT LEAST 50% OF THE LOT AREA SHALL
REMAIN NATURALLY VEGETATED
OR LANDSCAPED WITH GRASS AND/OR
OTHER VEGETATION

SETBACKS:

FRONT SETBACK: 25'-0" - IN COMPLIANCE
SIDE SETBACKS: 4'-0" COMBINED + 5'-0" RELIEF
REAR SETBACK: 25'-0" - IN COMPLIANCE

GENERAL PLAN NOTES:

- SEDIMENT CONTROL REQUIRED ON ALL SIDES PROPERTY LINE. MAXIMUM 20'-0" ACCESS POINT ALLOWED ALONG STREET.
- SEE LANDSCAPE PLANS FOR FINAL DRAINAGE REQUIREMENTS.
- TREE PROTECTION REQUIRED AT ALL PROTECTED TREES. INSTALL PER CITY/COUNTY GUIDELINES.
- FINAL GRADING AND DRAINAGE SHALL NOT IMPACT ADJACENT PROPERTIES
- WETLAND AND SILT FENCE BARRIER. CLARKE DESIGN GROUP, LLC IS NOT RESPONSIBLE FOR THE UPKEEP OF SILT FENCE, TREE PROTECTION OR WETLAND BARRIERS. GENERAL CONTRACTOR IS TASKED WITH THE DUTY OF MANAGING ALL SITE CONDITIONS INCLUDING THE ABOVE BUT NOT LIMITED TO MATERIAL STORAGE, CONTAINMENT OF TRASH AND WIND BLOWN DEBRIS.
- ALL EXISTING STRUCTURES ON LOT TO BE REMOVED



GROUND FLOOR PLAN
SCALE: 1/4" = 1'



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3049 JASPER BLVD.
Isle of Palms, SC 29451
843-329-0667

RESIDENCE
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MAIN FLOOR PLAN

SCALE: 1/4" = 1'
TOTAL HEATED: 3,512 SQFT
MAIN FLOOR HEATED: 2,412 SQFT



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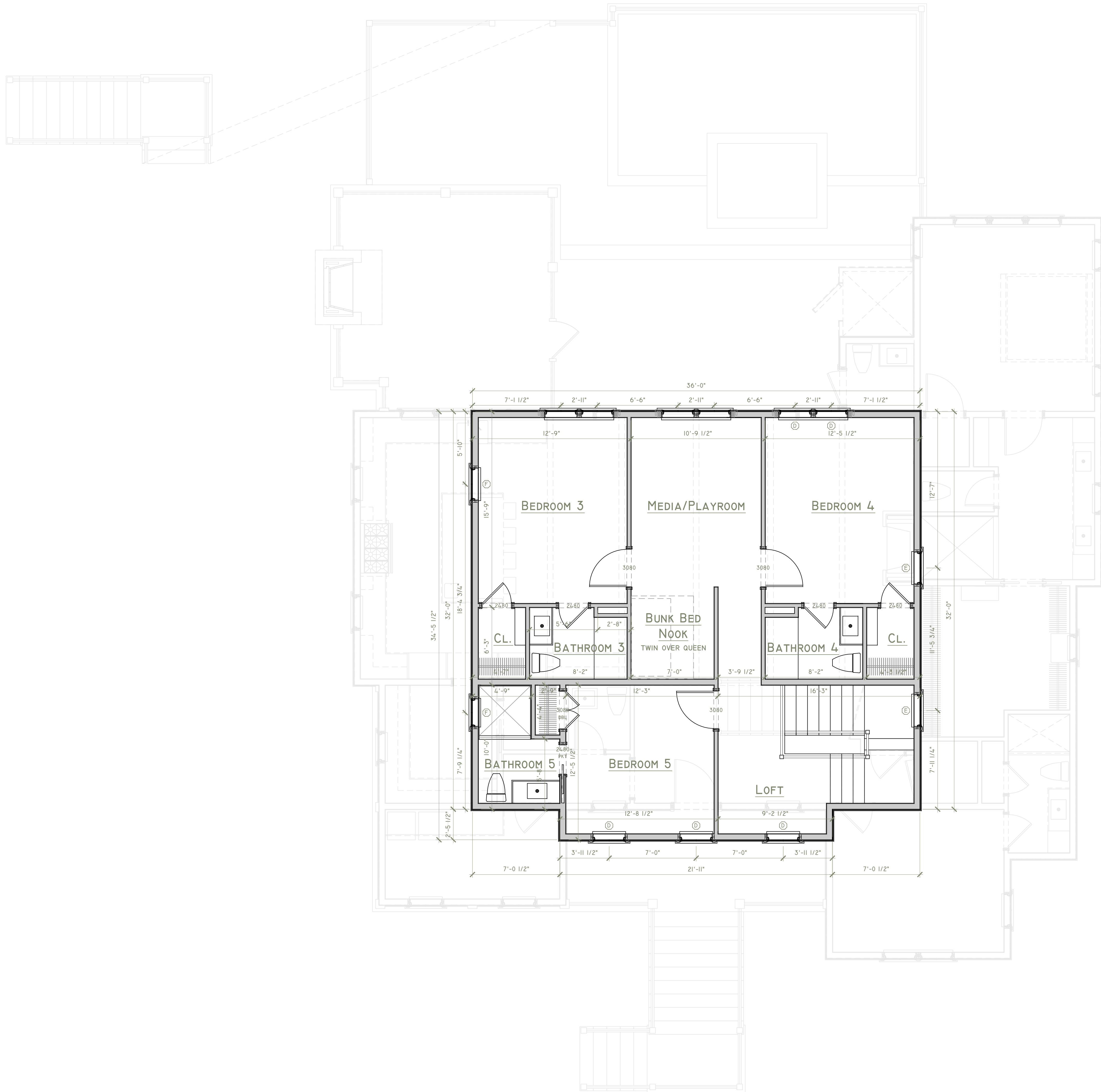
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UPPER FLOOR PLAN

SCALE: 1/4" = 1'
TOTAL HEATED: 3,512 SQFT
UPPER FLOOR HEATED: 1,100 SQFT



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Isle of Palms, SC 29451
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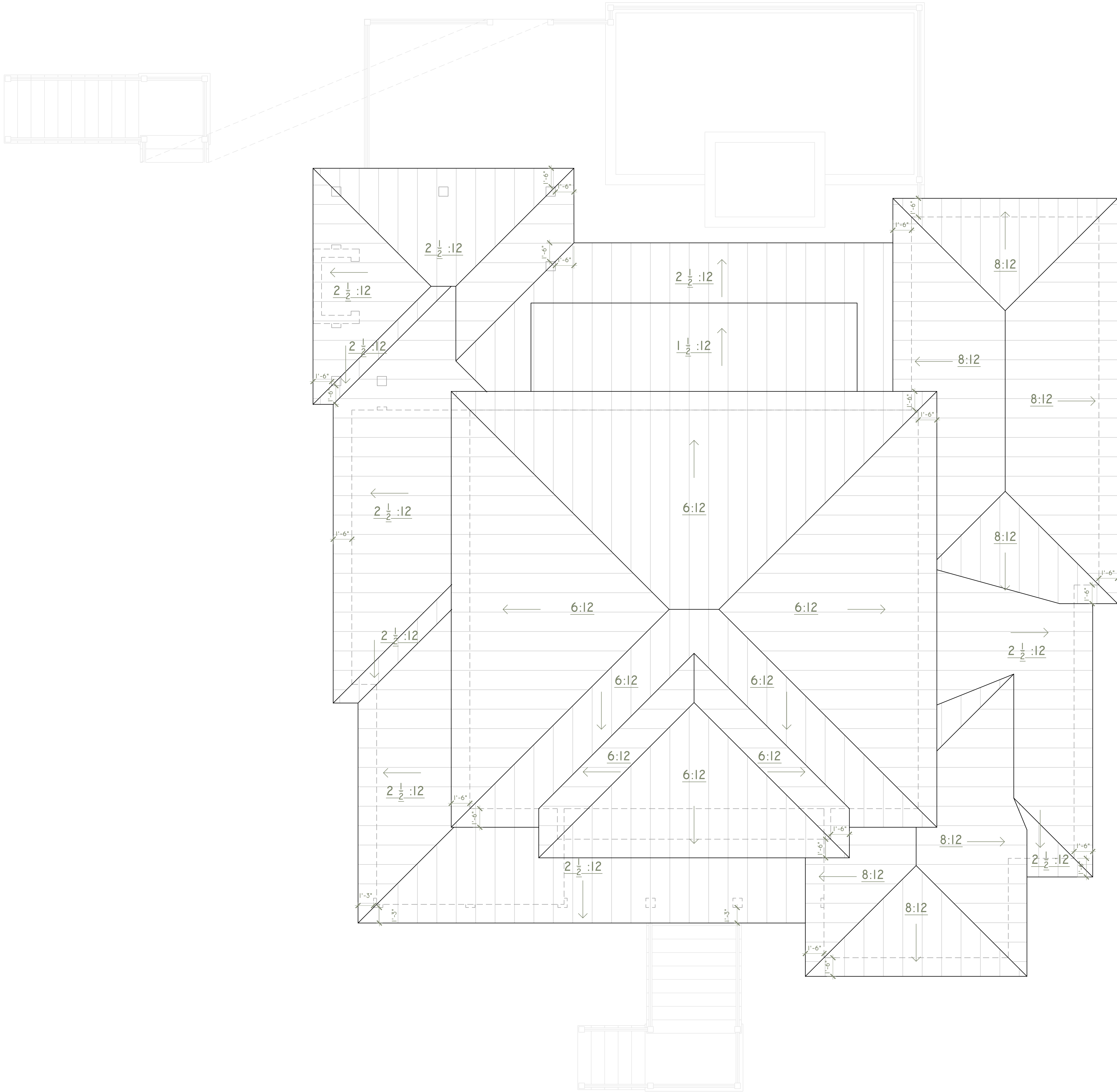
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ROOF PLAN
SCALE: 1/4" = 1'



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843-329-0667

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NOTE: VERIFY ALL GLAZING REQUIREMENTS ON WINDOWS AND DOORS ADHERE TO "WIND BLOWN DEBRIS PROTECTION" SCBC R301.2.1.2 BY USING "IMPACT RATED" GLAZING.

NOTE: ALL WINDOWS TO MEET DP AND COASTAL IMPACT RATING.

NOTE: CONTRACTOR RESPONSIBLE FOR ALL PROPER FLASHING DETAILS AND WATERPROOFING.

TOP OF SUBFLOOR / SLAB

WINDOW TYPE: CASEMENT

NOTE: SEE WINDOW SCHEDULE
NOTE: SEE DETAIL SECTIONS
NOTE: DIMENSIONS SHOWN ARE GENERAL FRAME SIZE. SEE WINDOW MANUFACTURE SPECIFICATIONS FOR EXACT R.O., FRAME SIZE, AND INSTALLATION

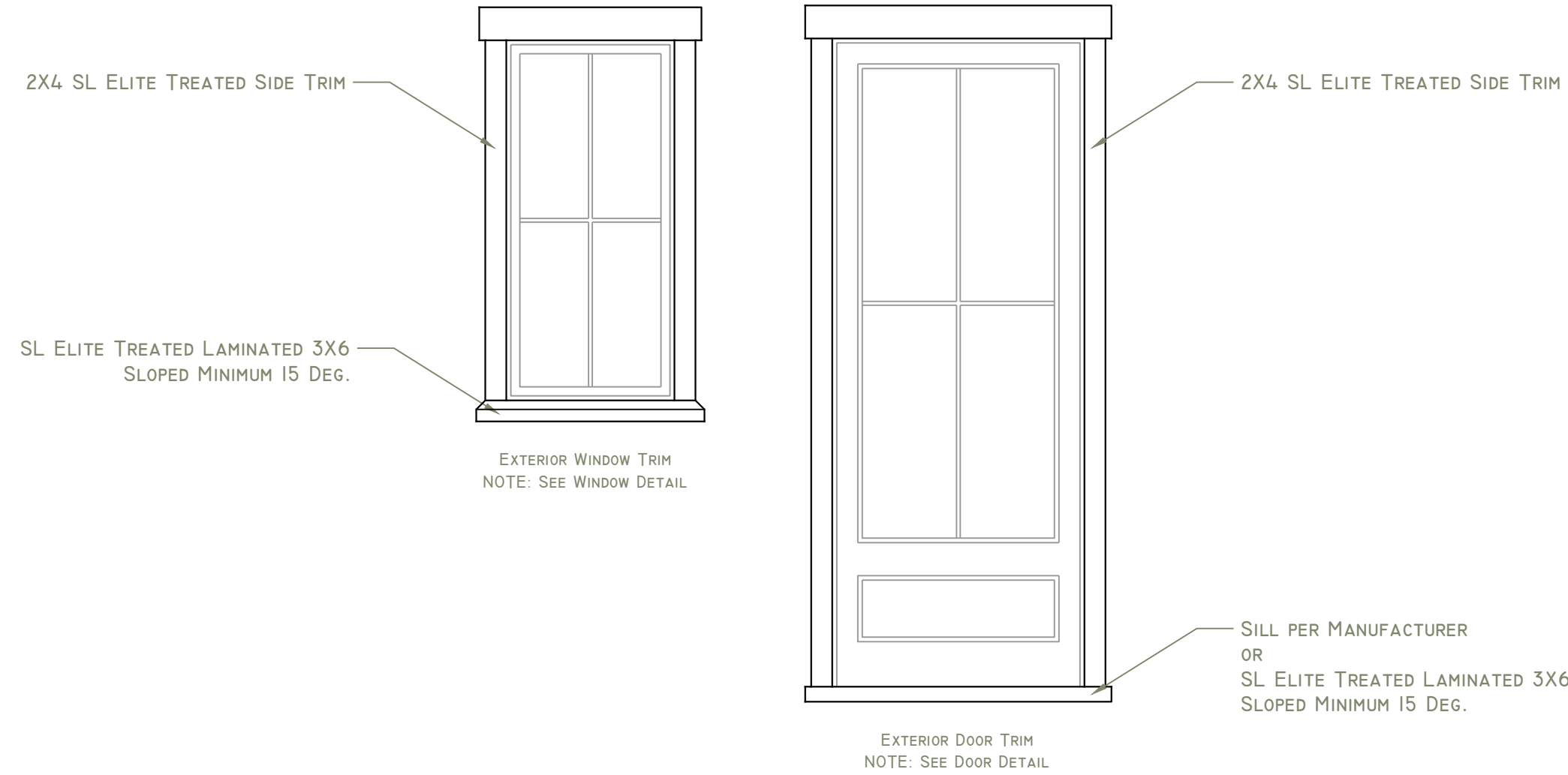
TOP OF SUBFLOOR / SLAB

DOOR TYPE:

NOTE: SEE DOOR SCHEDULE
NOTE: SEE DETAIL SECTIONS
NOTE: DIMENSIONS SHOWN ARE GENERAL FRAME SIZE. SEE DOOR SPECIFICATIONS / SHOP DRAWINGS FOR EXACT R.O., FINISHED HEAD HT., FRAME SIZE, AND INTALLATION
NOTE: SEE PLANS FOR INTERIOR DOOR SIZES.

| WINDOW SCHEDULE | | | | | |
|-----------------|---------------|-----------------|-------------------|----------|------------------------------|
| LABEL | FRAME SIZE | MANUFACTURER | FINISHED HEAD HT. | TYPE | NOTES |
| A | 2'-8" X 6'-6" | MARVIN ULTIMATE | 8'-6" | CASEMENT | |
| B | 2'-0" X 4'-0" | MARVIN ULTIMATE | 8'-6" | CASEMENT | |
| C | 2'-8" X 5'-6" | MARVIN ULTIMATE | 8'-6" | CASEMENT | SITS DIRECTLY ON COUNTER TOP |
| D | 2'-8" X 5'-6" | MARVIN ULTIMATE | 6'-8" | CASEMENT | |
| E | 2'-8" X 3'-0" | MARVIN ULTIMATE | 6'-8" | CASEMENT | |
| F | 2'-8" X 5'-0" | MARVIN ULTIMATE | 6'-8" | CASEMENT | |

| DOOR SCHEDULE | | | | | |
|---------------|----------------|-----------------------|-------------------|----------------------|--|
| LABEL | FRAME SIZE | MANUFACTURER | FINISHED HEAD HT. | TYPE | NOTES |
| 1 | 3'-6" X 8'-6" | CUSTOM WOOD | 8'-6" | | |
| 2 | 16'-0" X 8'-6" | EURO-WALL | 8'-6" | FULL GLASS, 4 PANELS | SLIDING DOOR; ALL PANELS SLIDE IN SAME DIRECTION |
| 3 | 3'-0" X 8'-6" | CUSTOM WOOD/TRUESTILE | 8'-6" | | |



WINDOW/DOOR SCHEDULE



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Isle of Palms, SC 29451
843-329-0667

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Review Set

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RIGHT ELEVATION

SCALE: 1/4" = 1'



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REAR ELEVATION

SCALE: 1/4" = 1'



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LEFT ELEVATION

SCALE: 1/4" = 1'



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Isle of Palms, SC 29451
843-329-0667

RESIDENCE
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Isle of Palms, SC 29451
843-329-0667

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843-329-0667

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3029 JASPER



3025 JASPER



3019 JASPER



LOT TO THE RIGHT OF 3019 JASPER



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3024 JASPER



3030 JASPER



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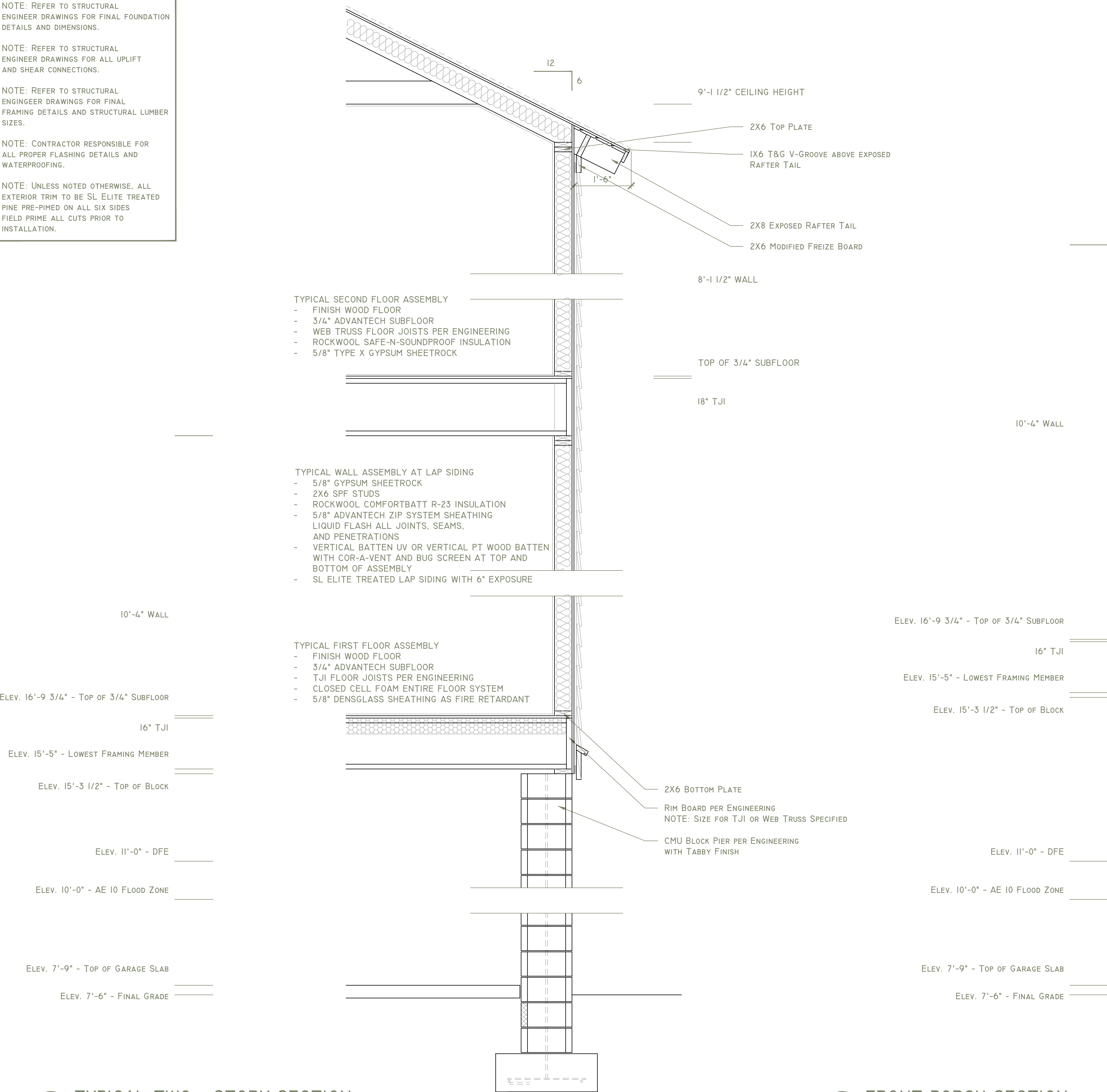
NOTE: REFER TO STRUCTURAL ENGINEER DRAWINGS FOR FINAL FOUNDATION DETAILS AND DIMENSIONS.

NOTE: REFER TO STRUCTURAL ENGINEER DRAWINGS FOR ALL UPLIFT AND SHEAR CONNECTIONS.

NOTE: REFER TO STRUCTURAL ENGINEER DRAWINGS FOR FINAL FRAMING DETAILS AND STRUCTURAL LUMBER SIZES.

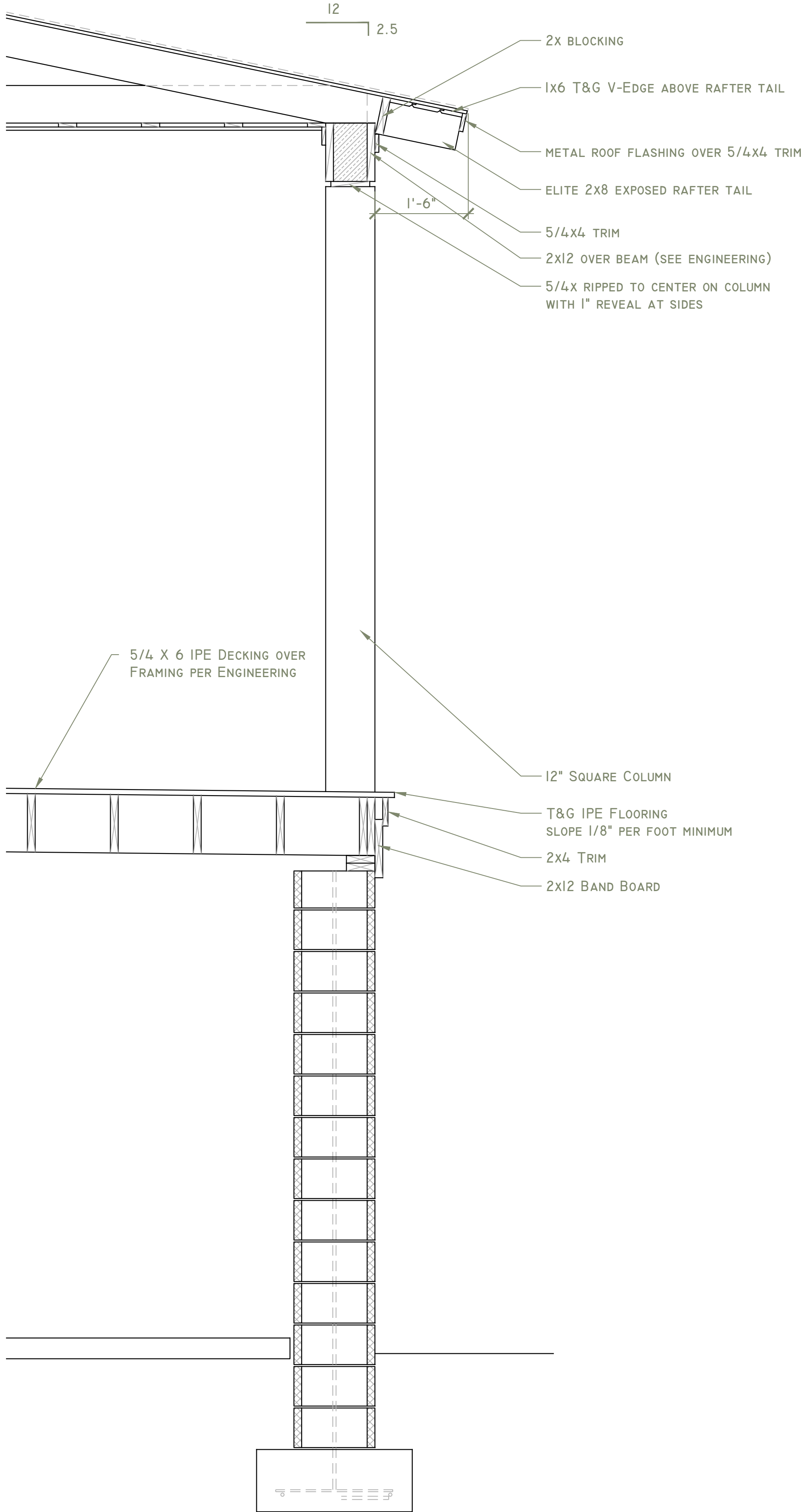
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NOTE: UNLESS NOTED OTHERWISE, ALL EXTERIOR TRIM TO BE SL ELITE TREATED PINE PRE-PIPED ON ALL SIX SIDES FIELD PRIME ALL CUTS PRIOR TO INSTALLATION.



1 TYPICAL TWO - STORY SECTION
SCALE: 3/4"=1'-0"

- TYPICAL METAL ROOF ASSEMBLY AT PORCH
- GALVALUME OR GALVANIZED STEEL HAND CRIMPED STANDING SEAM ROOF WITH SEAMS 18" APART
 - HIGH TEMP ICE AND WATER SHIELD
 - 5/8" ADVANTECH ROOF SHEATHING
 - 2X RAFTER PER ENGINEERING
 - 2X PORCH JOIST PER ENGINEERING
 - 1X FURRING
 - 1X6 T&G V-GROOVE CEILING



2 FRONT PORCH SECTION
SCALE: 3/4"=1'-0"



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Isle of Palms, SC 29451
843-329-0667

RESIDENCE
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- TYPICAL METAL ROOF ASSEMBLY
- GALVALUME OR GALVANIZED STEEL HAND CRIMPED
 - STANDING SEAM ROOF WITH SEAMS 18" APART
 - HIGH TEMP ICE AND WATER SHIELD
 - 5/8" ADVANTECH ROOF SHEATHING
 - 2X RAFTER PER ENGINEERING
 - R30 MINIMUM OPEN CELL FOAM OR MINERAL WOOL BATTEN
 - 2X CEILING JOIST PER ENGINEERING
 - 5/8" GYPSUM SHEETROCK

- TYPICAL METAL ROOF ASSEMBLY
- GALVALUME OR GALVANIZED STEEL HAND CRIMPED
 - STANDING SEAM ROOF WITH SEAMS 18" APART
 - HIGH TEMP ICE AND WATER SHIELD
 - 5/8" ADVANTECH ROOF SHEATHING
 - 2X RAFTER PER ENGINEERING
 - R30 MINIMUM OPEN CELL FOAM OR MINERAL WOOL BATTEN
 - 2X CEILING JOIST PER ENGINEERING
 - 5/8" GYPSUM SHEETROCK



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1100 Palm Blvd. Ste. 1-A
Isle of Palms, SC 29451
843-329-0667

RESIDENCE

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3

ONE - STORY SECTION AT GUEST & MASTER

SCALE: 3/4"=1'-0"

4

ONE - STORY SECTION AT KITCHEN

SCALE: 3/4"=1'-0"

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9'-1 1/2" CEILING HEIGHT

8'-1 1/2" WALL

TOP OF 3/4" SUBFLOOR

18" TJI

10'-4" WALL

ELEV. 16'-9 3/4" - TOP OF 3/4" SUBFLOOR

16" TJI

ELEV. 15'-5" - LOWEST FRAMING MEMBER

ELEV. 15'-3 1/2" - TOP OF BLOCK

ELEV. 11'-0" - DFE

ELEV. 10'-0" - AE 10 FLOOD ZONE

ELEV. 7'-9" - TOP OF GARAGE SLAB

ELEV. 7'-6" - FINAL GRADE

TYPICAL FIRST FLOOR ASSEMBLY

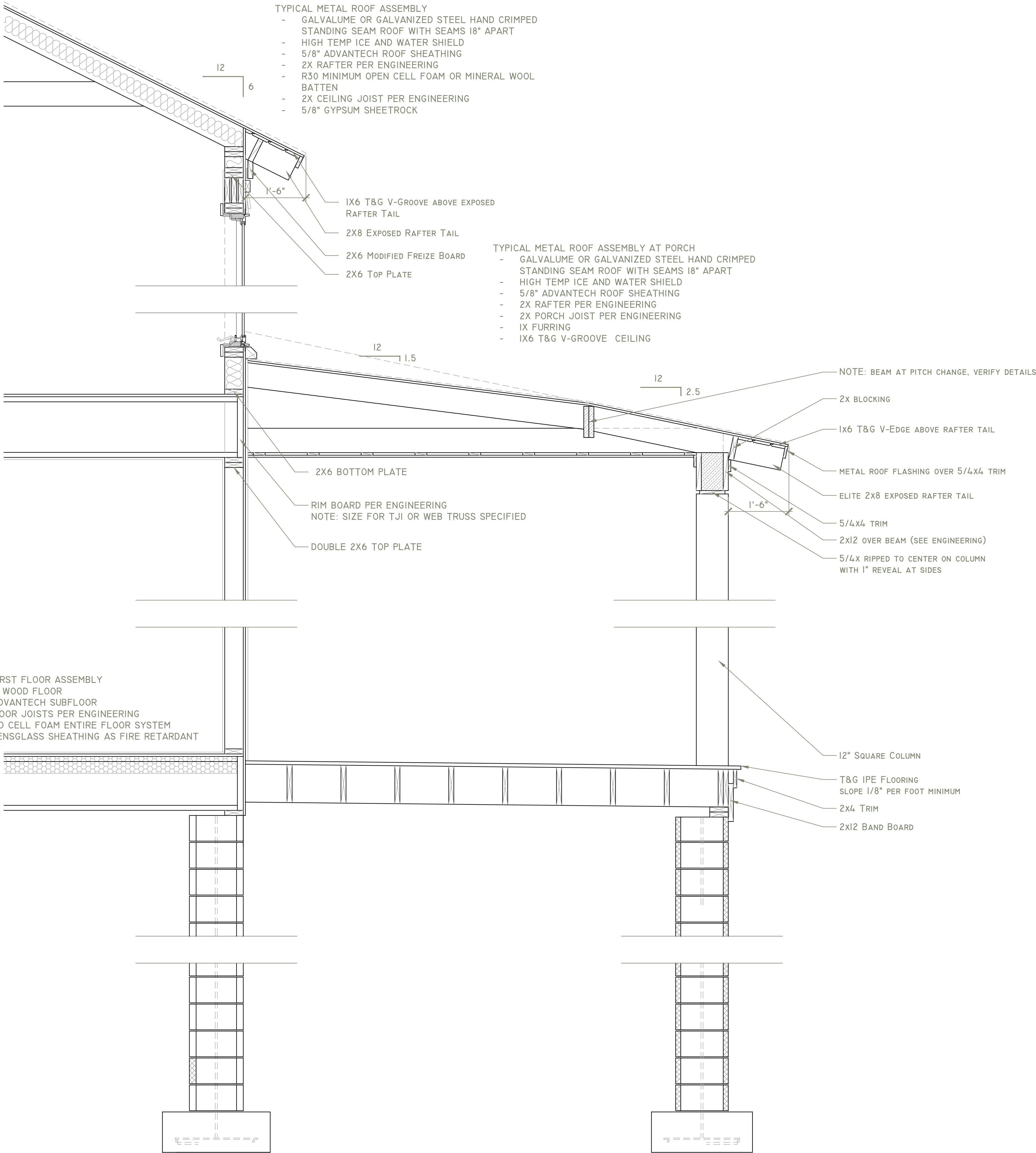
- FINISH WOOD FLOOR
- 3/4" ADVANTECH SUBFLOOR
- TJI FLOOR JOISTS PER ENGINEERING
- CLOSED CELL FOAM ENTIRE FLOOR SYSTEM
- 5/8" DENSGLASS SHEATHING AS FIRE RETARDANT

TYPICAL METAL ROOF ASSEMBLY

- GALVALUME OR GALVANIZED STEEL HAND CRIMPED STANDING SEAM ROOF WITH SEAMS 18" APART
- HIGH TEMP ICE AND WATER SHIELD
- 5/8" ADVANTECH ROOF SHEATHING
- 2X RAFTER PER ENGINEERING
- R30 MINIMUM OPEN CELL FOAM OR MINERAL WOOL BATTEN
- 2X CEILING JOIST PER ENGINEERING
- 5/8" GYPSUM SHEETROCK

TYPICAL METAL ROOF ASSEMBLY AT PORCH

- GALVALUME OR GALVANIZED STEEL HAND CRIMPED STANDING SEAM ROOF WITH SEAMS 18" APART
- HIGH TEMP ICE AND WATER SHIELD
- 5/8" ADVANTECH ROOF SHEATHING
- 2X RAFTER PER ENGINEERING
- 2X PORCH JOIST PER ENGINEERING
- 1X FURRING
- 1X6 T&G V-GROOVE CEILING



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Isle of Palms, SC 29451
843-329-0667

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SULLIVAN'S ISLAND, SC, 29482

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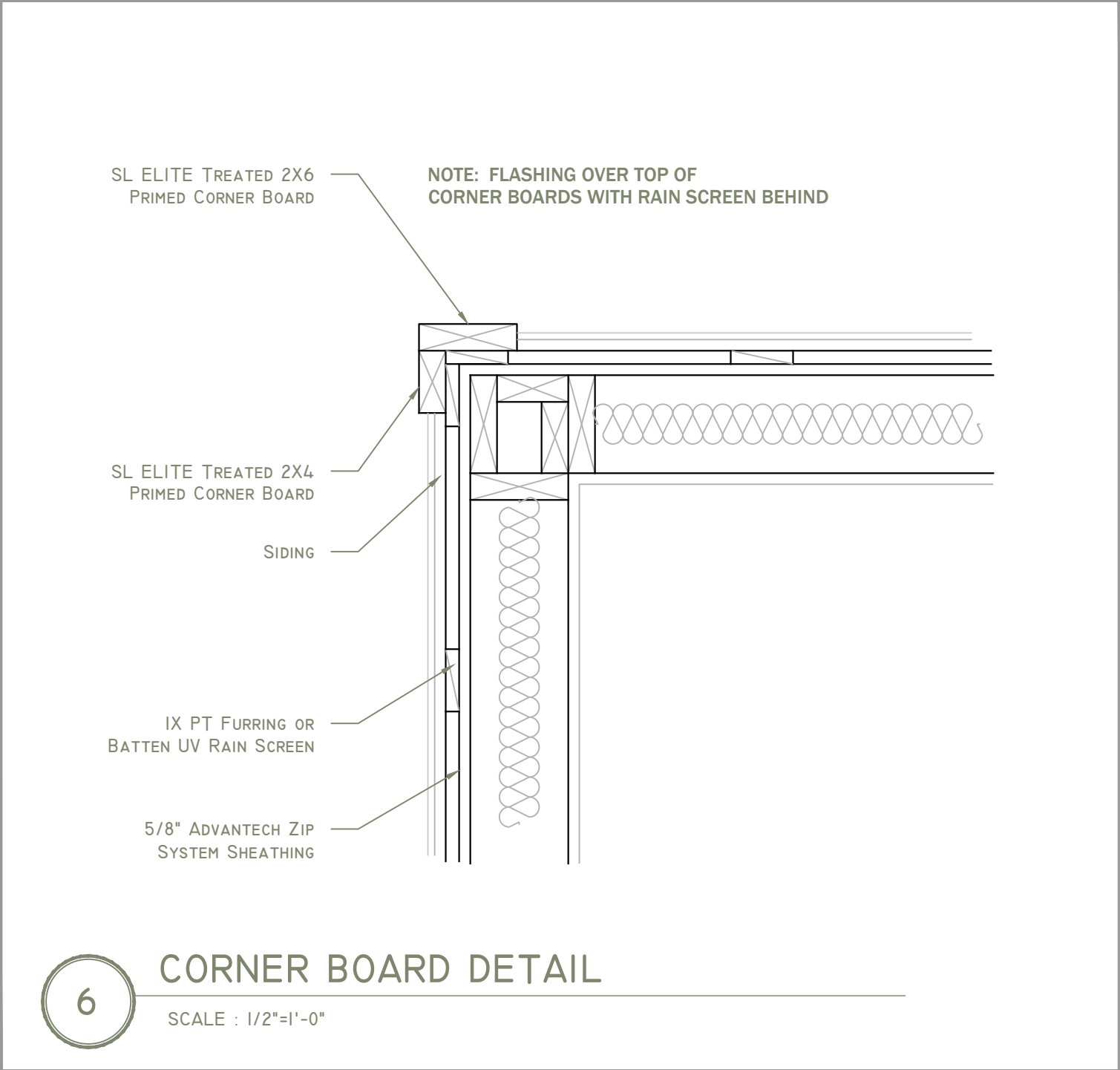
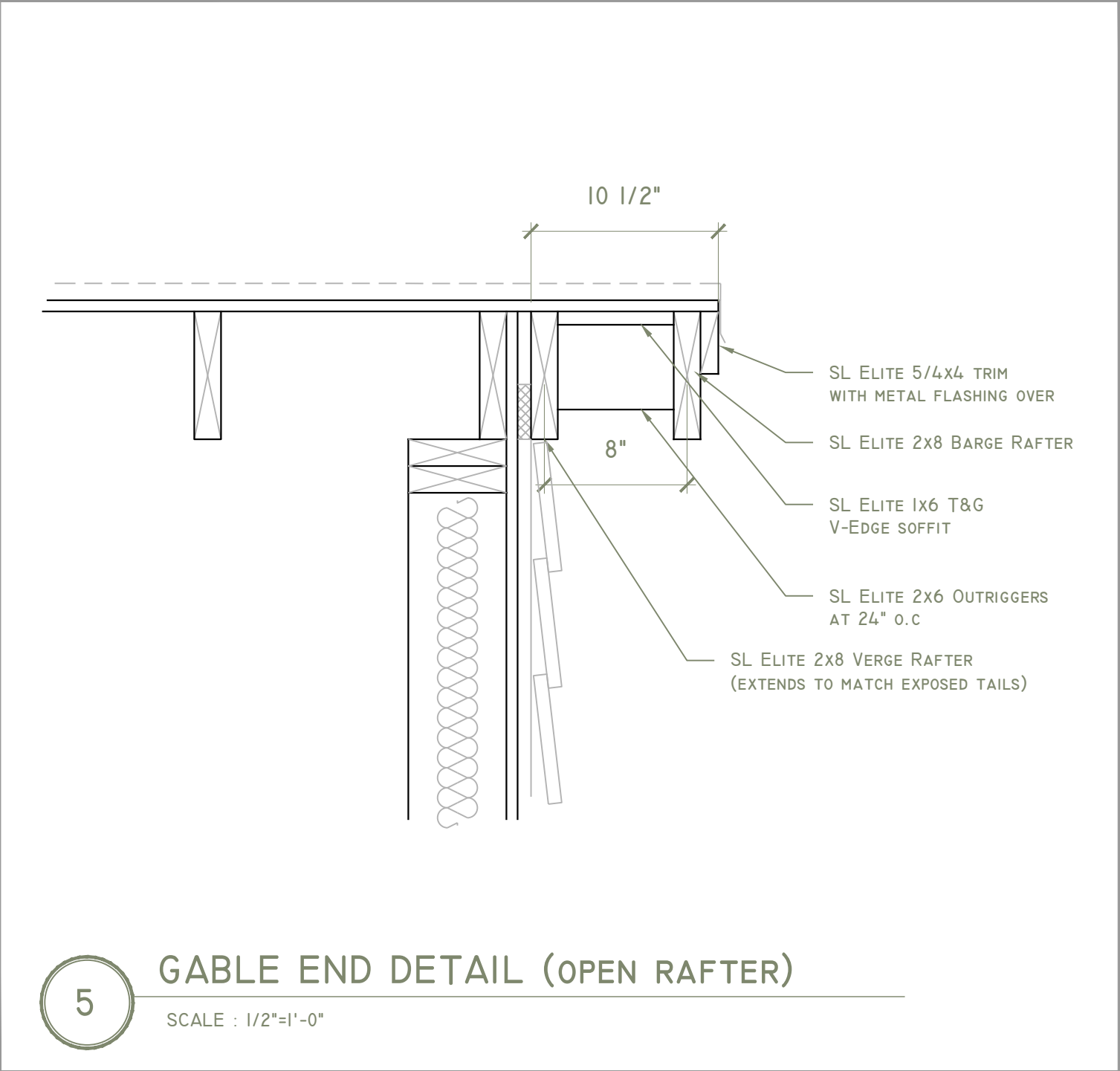
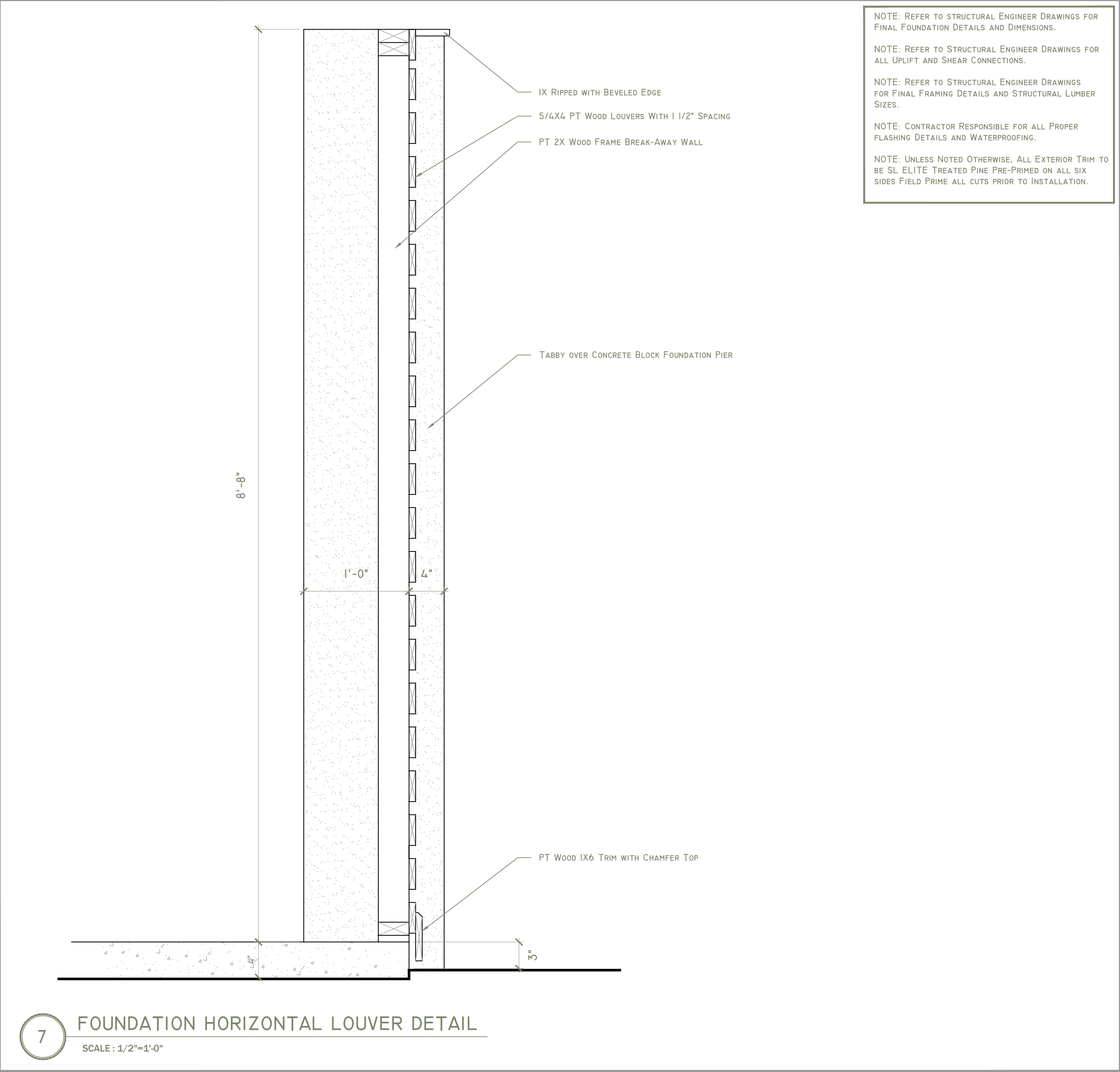
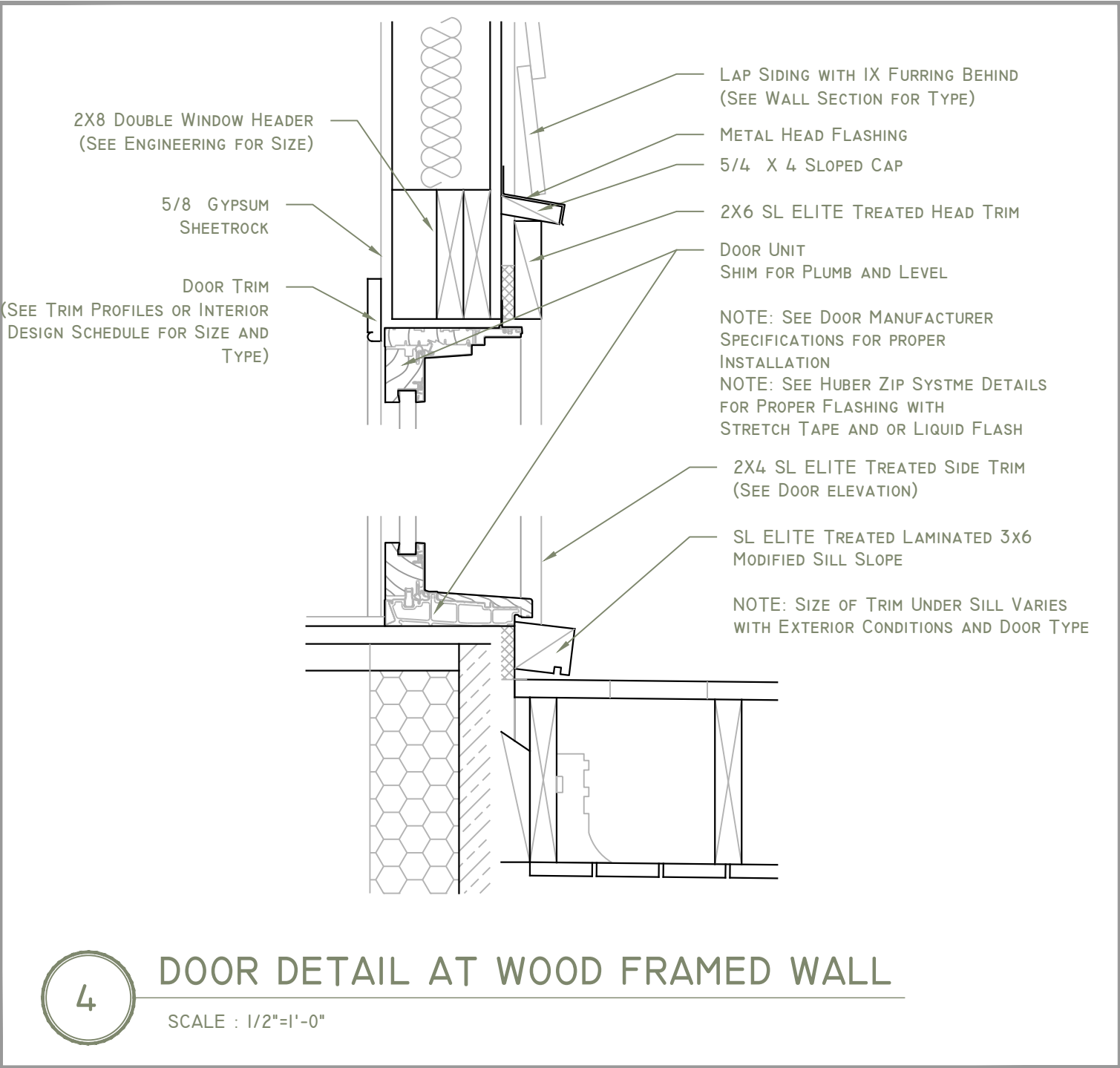
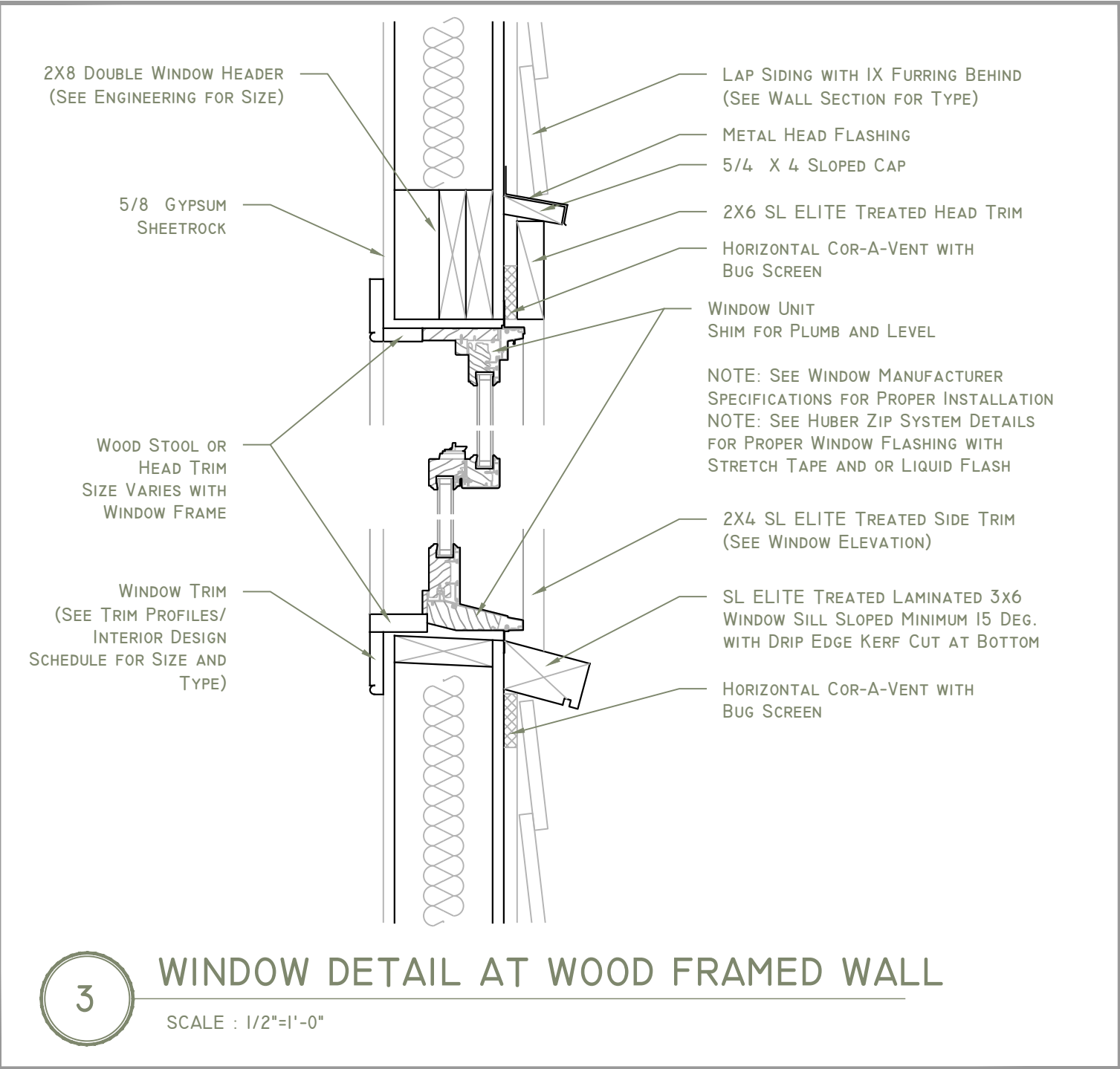
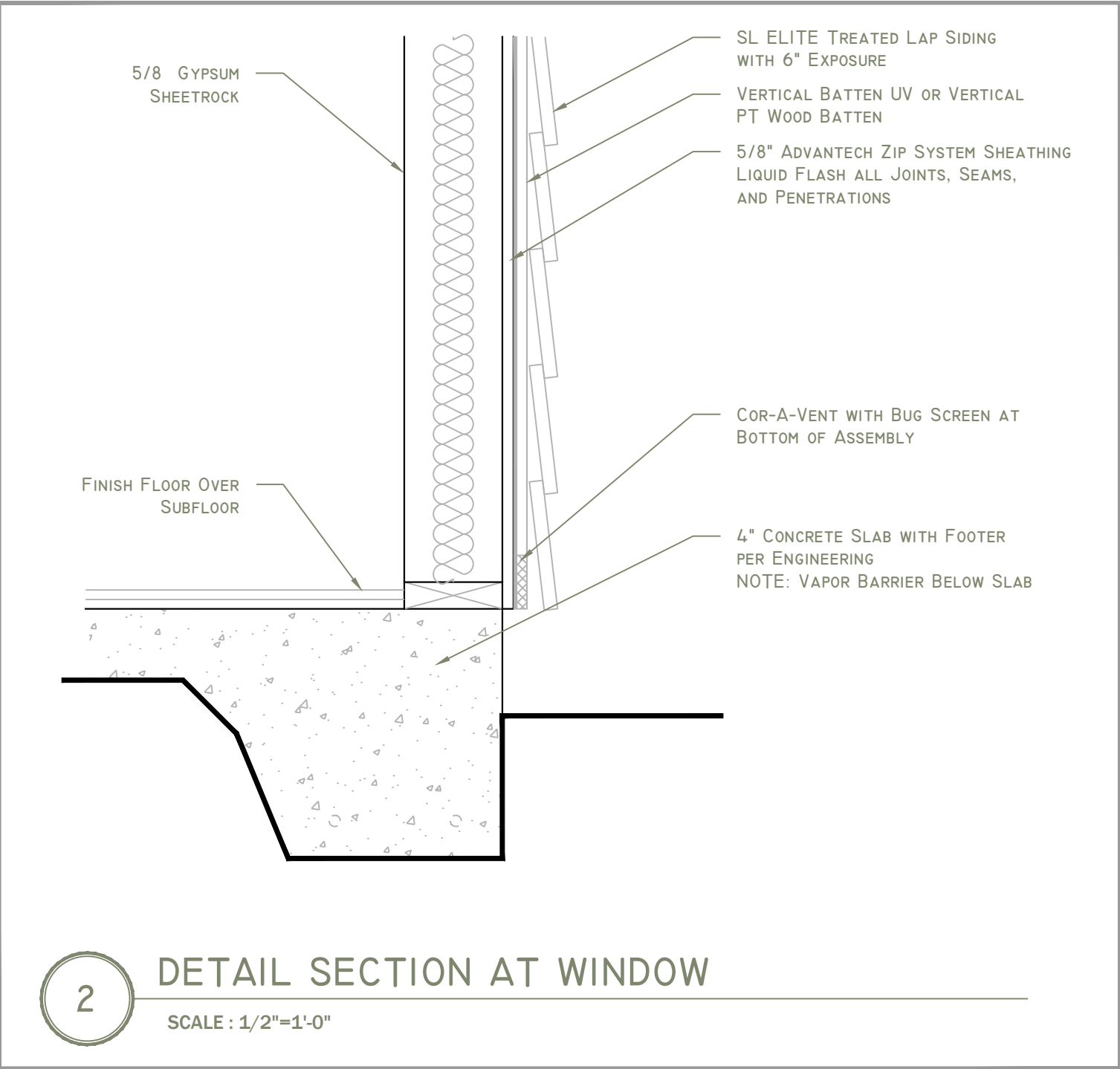
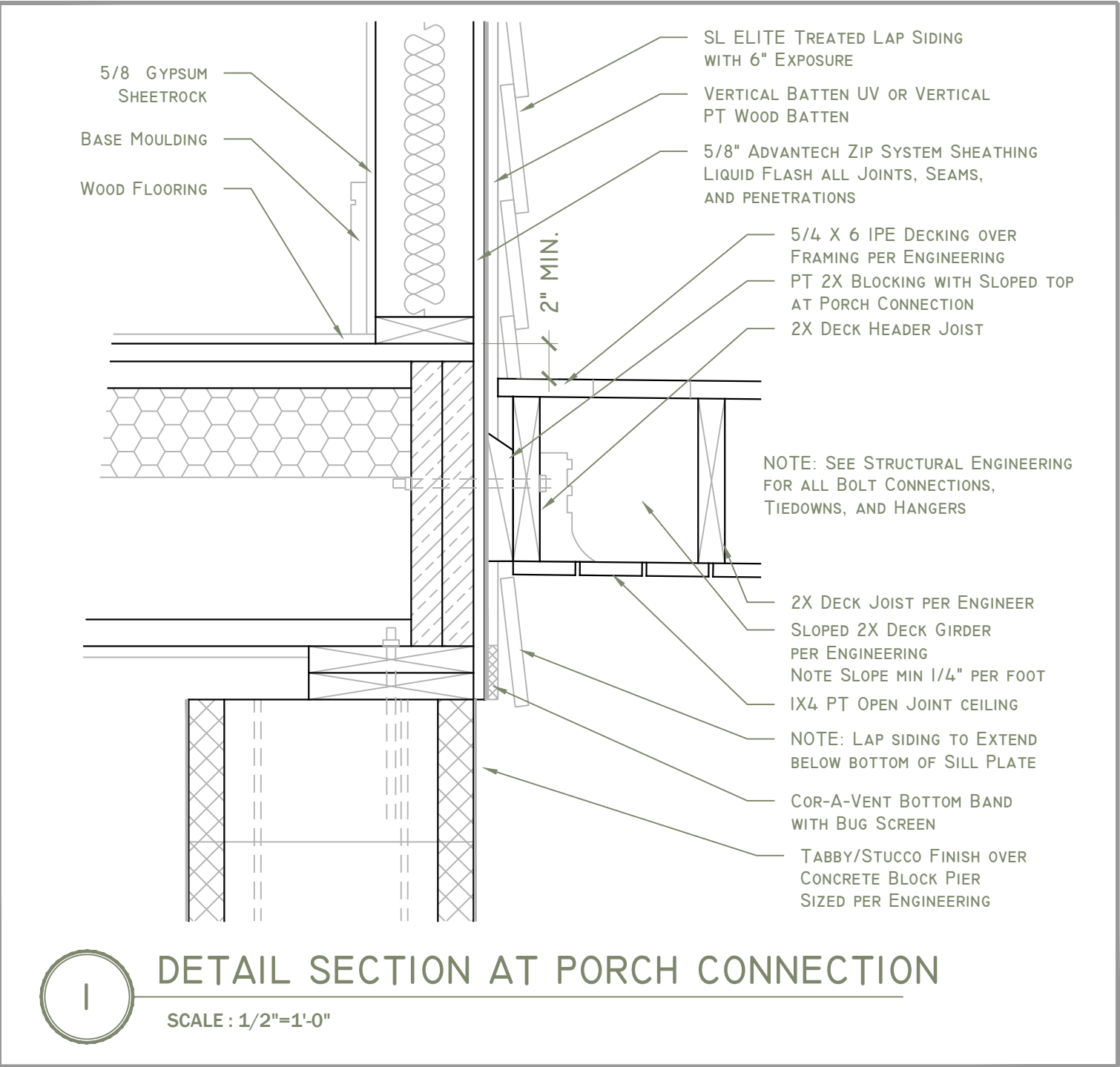
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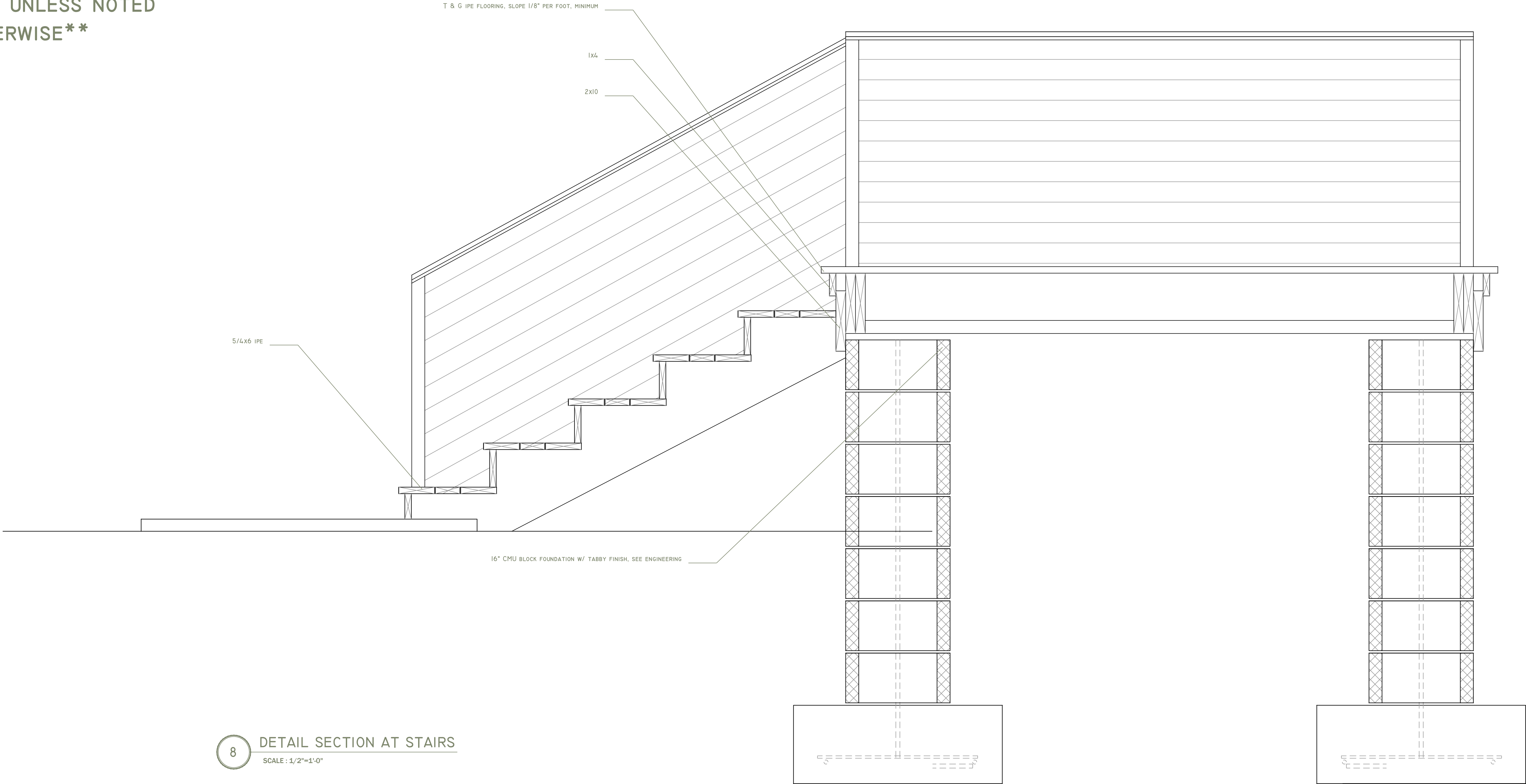
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*NOTE: REFER TO STRUCTURAL DRAWINGS FOR FINAL FRAMING DETAILS AND DIMENSIONS.

****ALL EXTERIOR TRIM TO BE PRE-PRIMED ELITE TREATED PINE UNLESS NOTED OTHERWISE****



8 DETAIL SECTION AT STAIRS
SCALE : 1/2"=1'-0"



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1100 Palm Blvd. Ste. 1-A
Isle of Palms, SC 29451
843-329-0667

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SULLIVAN'S ISLAND, SC, 29482

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