

1454 MIDDLE STREET RESIDENCE

Re-imagining the
HISTORIC FORT MOULTRIE POST THEATER
TOWNSHIP OF SULLIVAN'S ISLAND | SOUTH CAROLINA



FINAL DESIGN REVIEW
SEPTEMBER 2025



CISELL DESIGN STUDIO
EM STRUCTURAL ENGINEERS
MIDDLE STREET CONSTRUCTION
NK PARTNERS PROJECT MANAGEMENT
HENSLEY & GOERLING CONSULTING ENGINEERS

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The Final Design of 1454 Middle Street considers comments from neighbors, town staff, and Design Review Board members to revise the site plan and add additional detail and clarity to the revitalization and re-purpose of the historic Fort Moultrie Theater into a single-family residence. Extensive investigation of the building since the conceptual / preliminary phase has yielded additional information about the structure and original construction of the building that has advanced the design and preservation approach to the building. This has included a full 3D scan of the building, as well as extensive evaluation by structural engineers and historic masonry restoration specialists.

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— 1 —
URBAN CONTEXT

SULLIVAN’S ISLAND CONTEXT

SITE AND STREET VIEWS

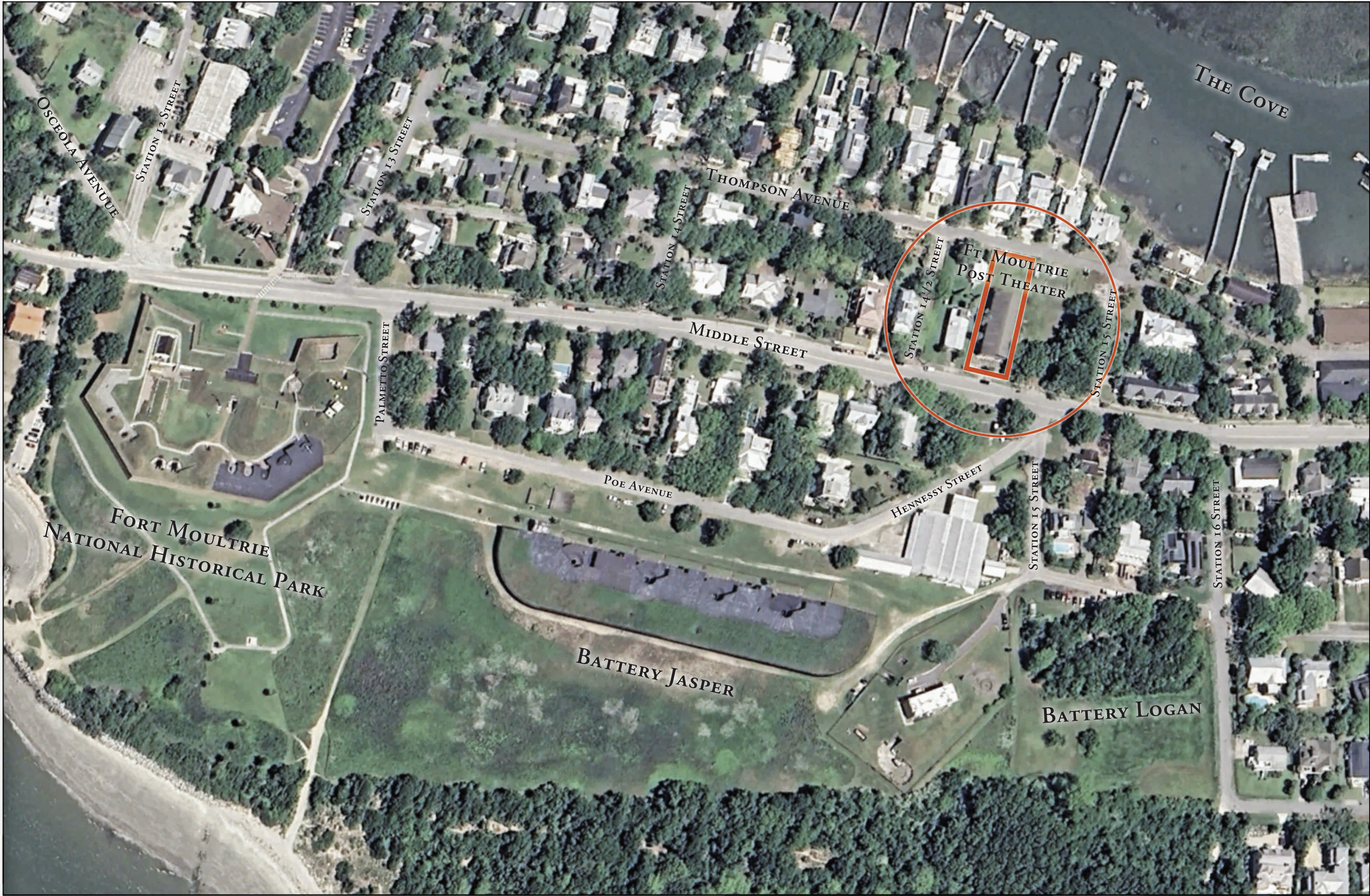
THEATER HISTORY

HISTORIC PROSCENIUM

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A LANDMARK BUILDING

The historic Fort Moultrie Post Theater sits on the north side of Middle Street, near the southern tip of Sullivan's Island. Primarily surrounded by single-family residences, the building stands out along the street due to its larger size and decidedly commercial architecture. Built to house a theater for entertaining service members, as well as providing a space for presentations and WWII updates, the building was designed in the style of other Fort Moultrie buildings, with a simple gabled roof and nondescript brick shell. A large open forecourt on Middle Street, once a half-moon lawn, now a concrete apron, also distinguishes it from the surrounding residences. Unfortunately there is no building signage remaining, or any historical marker that indicates it was once the Theater, so passersby are presented with a less noble time in the building's history, the conversion to a warehouse in the 1970s. With windows boarded up and the main aperture of the facade, once the ticketing and entrances, filled in, it reminds one more of an abandoned car service center than a grand military theater.



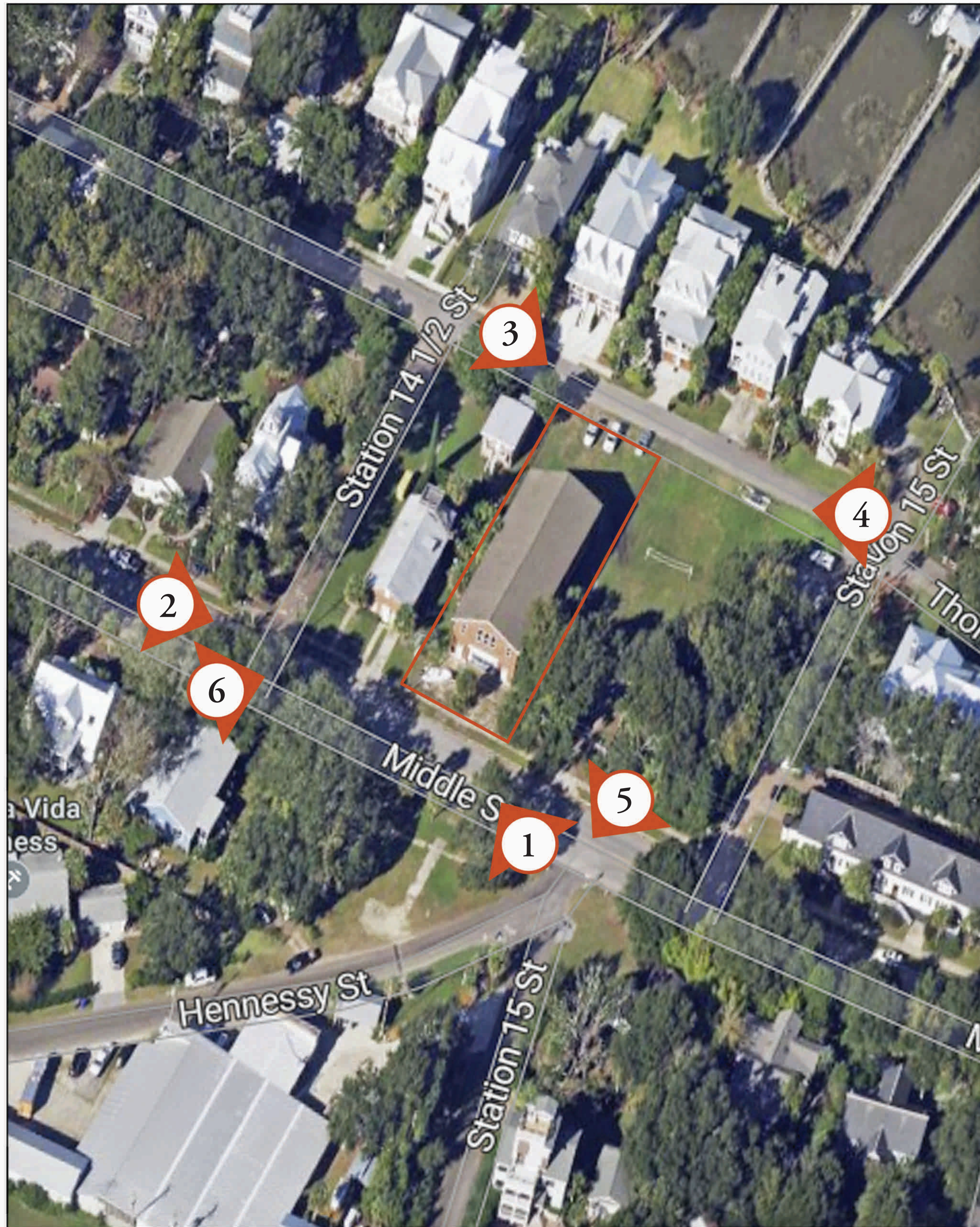
SULLIVAN'S ISLAND CONTEXT

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER

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SITE AND STREET VIEWS

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER





Soldiers in formation on the half-moon lawn in front of the theater, preparing to enter the theater for an event or show.



By the late 20th Century the building was boarded up and abandoned, with its canopy gone and the exterior ticket plaza walled up.



This image of the theater at Christmas shortly after its construction shows the original configuration of the facade. A recessed ticket plaza under the canopy contained a projecting ticket booth flanked by theater entrances with what appear to be signs above. The signature palmetto tree, a symbol of the fort and the island, centers a half-moon lawn in front of the theater.

The Fort Moultrie Post Theater served as the primary entertainment venue for the fort's service members from 1930 to 1947. It was sold by the government to in the 1950s and converted to a warehouse around 1975. The red brick building is largely utilitarian on the exterior, with the exception of the Middle Street facade, which has a regular order of door and window openings, with three roman arched windows on the upper level centering the facade. Over its lifespan the building has had various windows on the sides moved or altered, and the entrance facade has been altered to close off the original recessed ticket plaza. The original canopy has been mostly lost, and the projecting ticket booth and original theater entrances were removed.

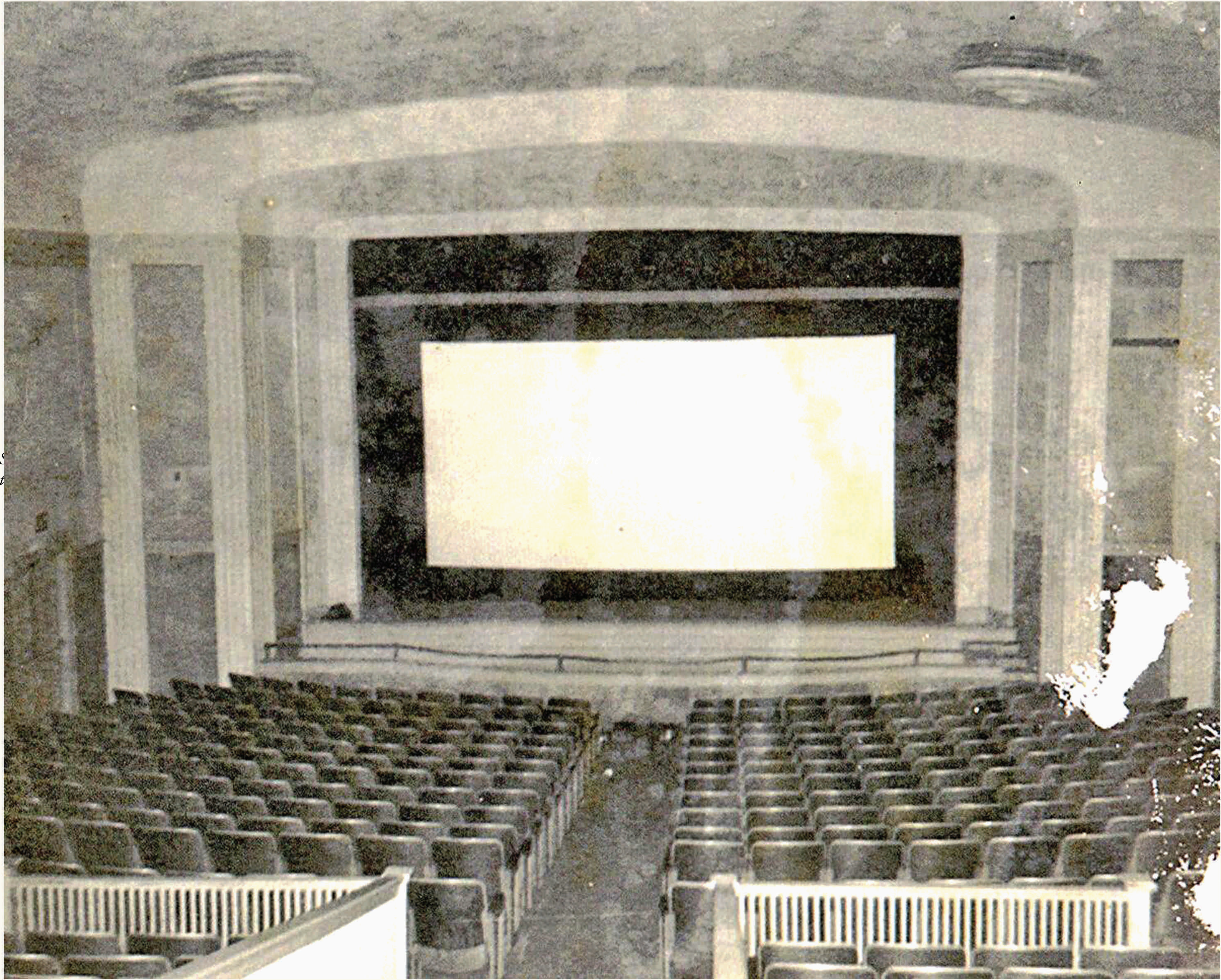
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HISTORIC CONTEXT

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER





The interior of the theater was much less utilitarian than the exterior. A large theater space with a formal proscenium and an elliptical arched ceiling housed sloped seating on the lower level and a tiered gallery on the upper level. A central aisle divided the seating, and side aisles led to the gallery and to exit doors on the sides of the building. When the building was converted to a warehouse in the 1970s the theater seats were removed and the floor was raised level with the stage.



The theater interior as it exists today, with the screen removed and the seating area filled in. The lower exit doors have been bricked in and there is a general level of degradation of the plaster and wood finishes.

HISTORIC PROSCENIUM

1454 MIDDLE STREET | SULLIVAN’S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER

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— 2 — EXISTING CONDITIONS

SITE SURVEY

THEATER LEVEL ONE

THEATER LEVEL TWO

STREET ELEVATIONS

SIDE ELEVATIONS

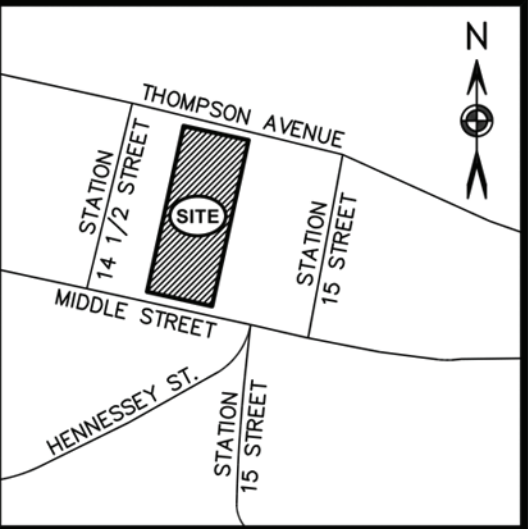
EXTERIOR BUILDING PHOTOS

INTERIOR BUILDING PHOTOS

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VICINITY MAP (NOT TO SCALE)

LEGEND	
●	PROPERTY CORNER FOUND (AS DESCRIBED)
△	CALCULATED POINT (NO MARKER SET/FOUND)
⊙	STORM DRAINAGE JUNCTION BOX MANHOLE
⊠	STORM DRAINAGE GRATE INLET
—SD—	UNDERGROUND STORM DRAINAGE LINE
⊕	WATER METER
⊙	POWER POLE
—OHP—	OVERHEAD POWER LINE
+7.86	SPOT ELEVATION
-9-	CONTOUR LINE
—x—x—	FENCE LINE
—	FEMA FLOOD LINE
—	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	RIGHT-OF-WAY
■	CONCRETE

EXISTING LOT COVERAGE:
LOT SQ FT = 16,270 SQ. FT.
IMPERVIOUS AREA = 7,848 SQ. FT.
MAIN BUILDING AREA = 5,212 SQ. FT.
BOILER ROOMS AREA = 283 SQ. FT.
CONCRETE AREA = 2,328 SQ. FT.
STEPS AREA = 25 SQ. FT.
TOTAL LOT COVERAGE = 48.20%

BENCHMARK: MAG NAIL SET IN CURB
ELEVATION = 5.82' (NAVD 1988)

LOCAL LAND SURVEYING, LLC

1075 WINSLOW DRIVE
CHARLESTON, SC 29412
PHONE: (843) 990-6328
EMAIL: jnance@localandsurveying.com



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

Joshua W. Nance
JOSHUA W. NANCE, PLS
S.C.P.L.S. No. 26606
THIS PLAT OR SURVEY IS INVALID UNLESS IT CONTAINS THE ORIGINAL SIGNATURE AND CRIMPED SEAL OF THE ABOVE STATED SURVEYOR.
DATE: 4-26-2021

LOT 20, BLOCK K
FORT MOULTRIE SUBDIVISION
1450 MIDDLE STREET
ROBERTA SCOTT
TMS No. 523-07-00-044

LOT 19, BLOCK K
FORT MOULTRIE SUBDIVISION
1454 MIDDLE STREET
FERGUSON ASSOCIATES, LLC
TMS No. 523-07-00-043
16,270 Sq.Ft.
0.374 Ac.

LOT 18, BLOCK K
FORT MOULTRIE SUBDIVISION
TOWNSHIP OF SULLIVANS ISLAND
TMS No. 523-07-00-042

LOT 16, BLOCK K
FORT MOULTRIE SUBDIVISION
TOWNSHIP OF SULLIVANS ISLAND
TMS No. 523-07-00-040



FLOOD NOTE

THIS PROPERTY IS LOCATED IN FLOOD ZONE AE (EL 10) & VE (EL 11), PER FEMA FLOOD MAP PANEL No. 45019C0528K, COMMUNITY No. 455418 (TOWN OF SULLIVANS ISLAND)
MAP REVISED DATE: 01-29-2021.

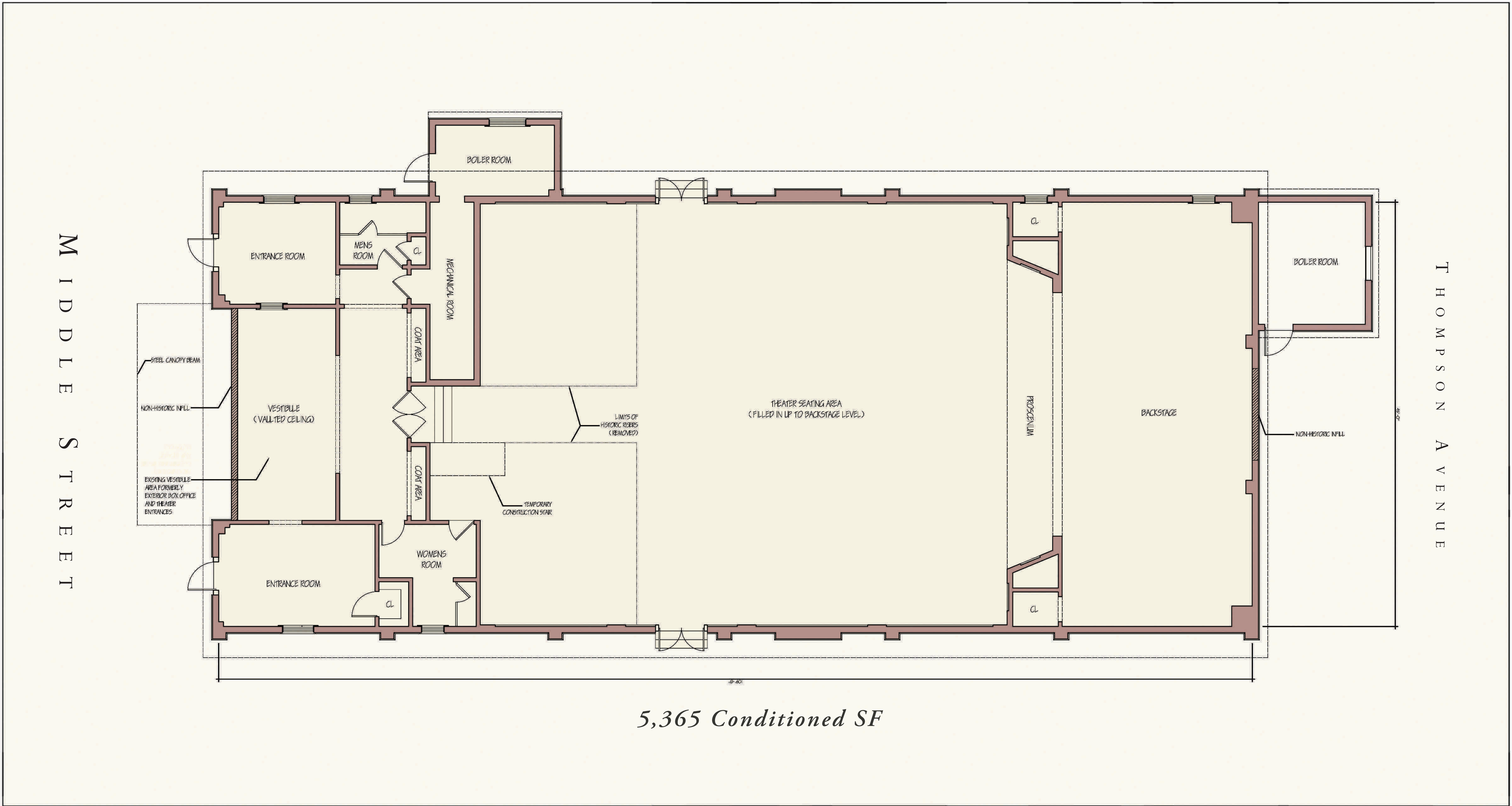
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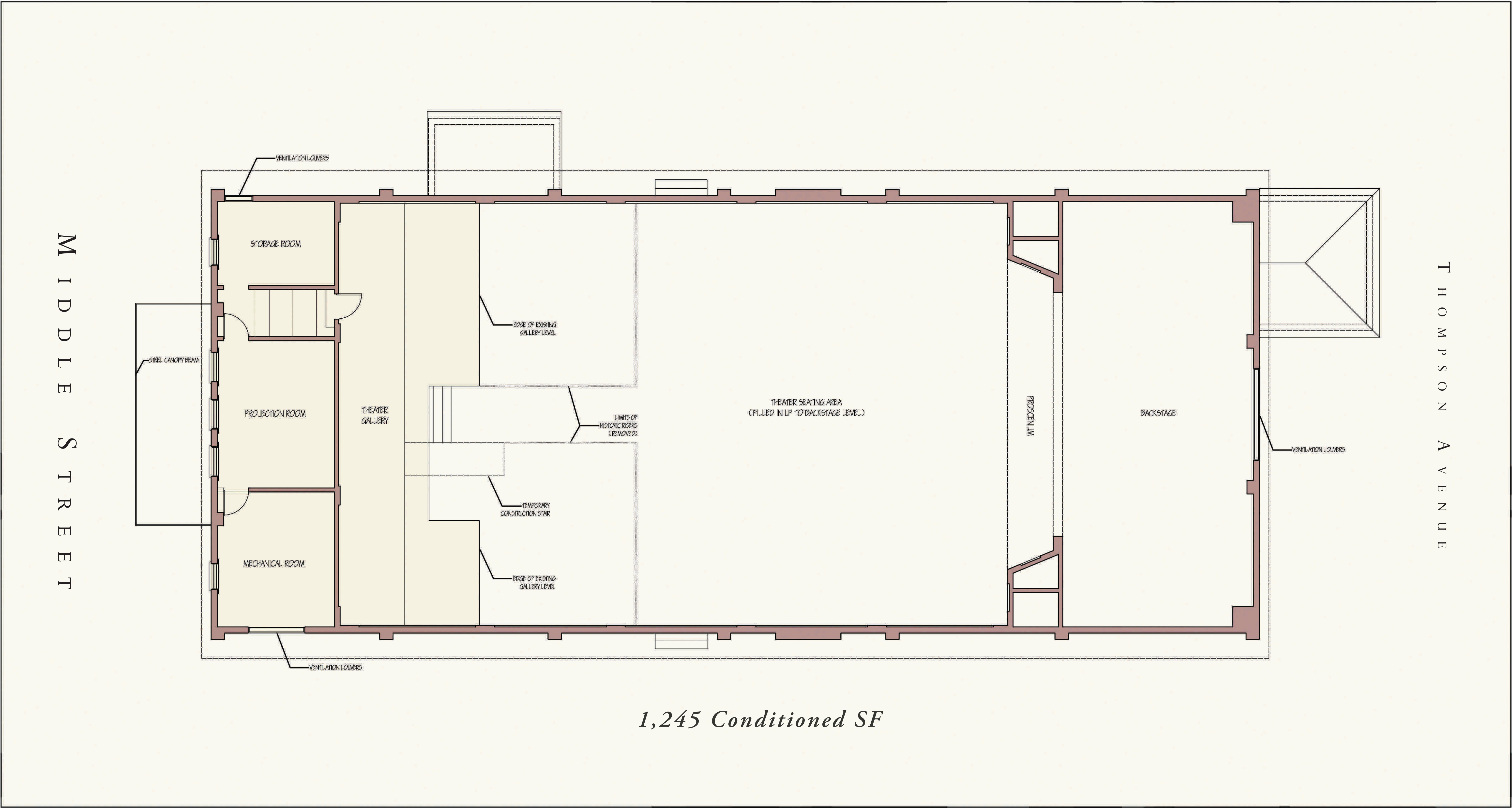
- 1) CONTOURS ARE IN ONE FOOT INTERVALS.
- 2) ELEVATIONS ARE BASED ON NAVD 29 DATUM.
- 3) COORDINATES ARE BASED ON SOUTH CAROLINA STATE PLANE GRID NAD 83 (2011).
- 4) ALL 8" & LARGER TREES OF ALL SPECIES ARE SHOWN HEREON. TREE SIZES SHOWN HEREON ARE IN INCHES OF DIAMETER. TREE IDENTIFICATIONS ARE NOT MADE BY A CERTIFIED ARBORIST.
- 5) DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
- 6) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
- 7) THIS PLAT OR SURVEY SHOWS ALL UTILITIES EVIDENT AT THE TIME OF THE SURVEY. NO UNDERGROUND UTILITY INVESTIGATION WAS MADE AT THIS TIME.
- 8) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION WAS PERFORMED FOR THIS PLAT OR SURVEY. THEREFORE, THIS PLAT OR SURVEY DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
- 9) THE PUBLIC RECORDS REFERENCED ON THIS PLAT OR SURVEY ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
- 10) THIS PROPERTY IS LOCATED IN THE TOWN OF SULLIVANS ISLAND ZONING DISTRICT RS (RESIDENTIAL DISTRICT).
- 11) ZONING AND SETBACK NOTE: ALL PARTIES NEED TO VERIFY ZONING AND SETBACKS WITH THE TOWN OF SULLIVANS ISLAND.

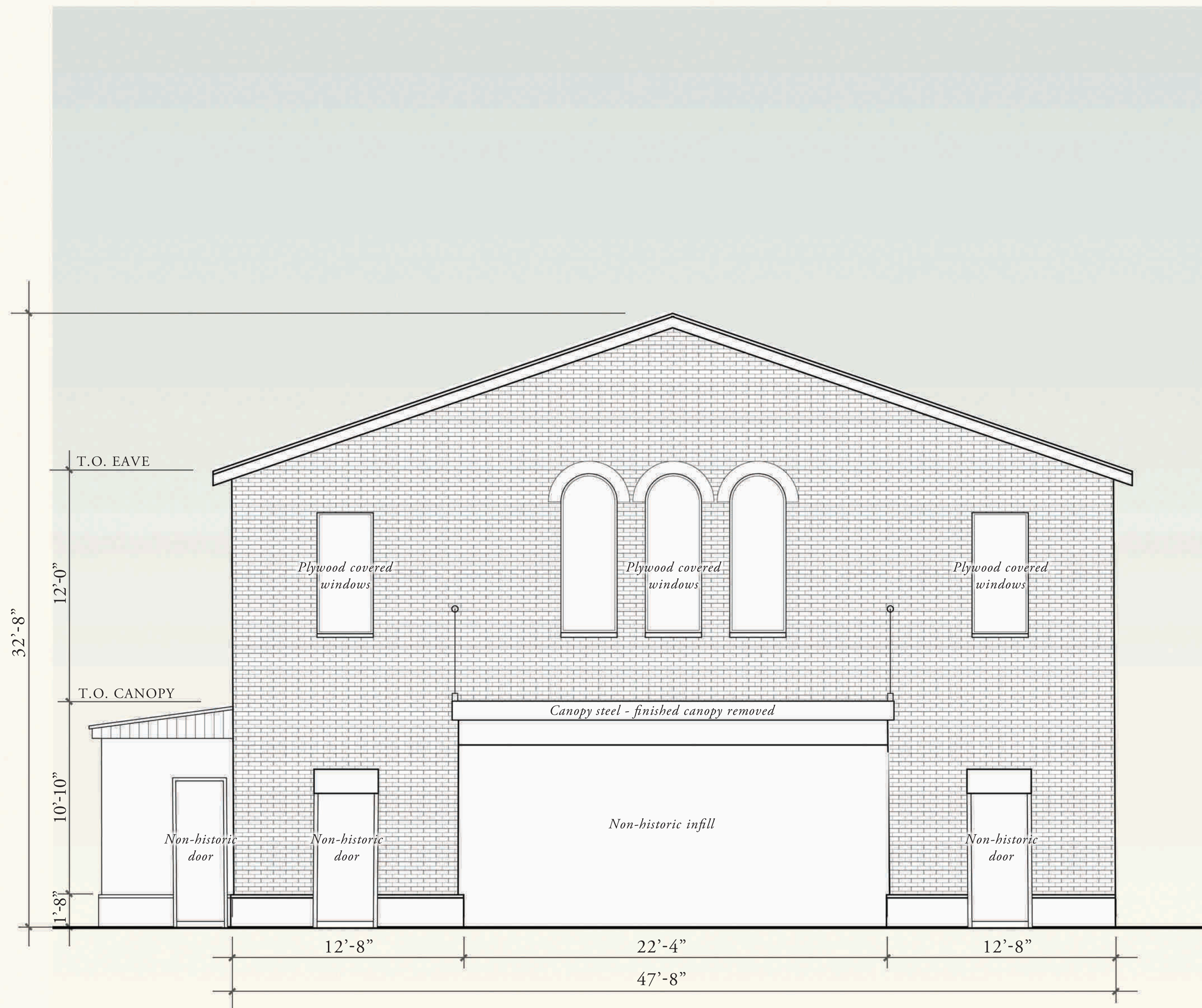
REFERENCES

- 1) PROPERTY DEED FOR TMS No. 523-07-00-043, RECORDED AT CHARLESTON COUNTY ROD, DEED BOOK P317, PAGE 337.
- 2) PLAT ENTITLED "REVISED SUBDIVISION OF FORT MOULTRIE, SULLIVANS ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA". DATED: DECEMBER, 1951 BY: JOHEAR SANDERS, JR., SURVEYOR RECORDED AT CHARLESTON COUNTY ROD, PLAT BOOK H, PAGE 112.

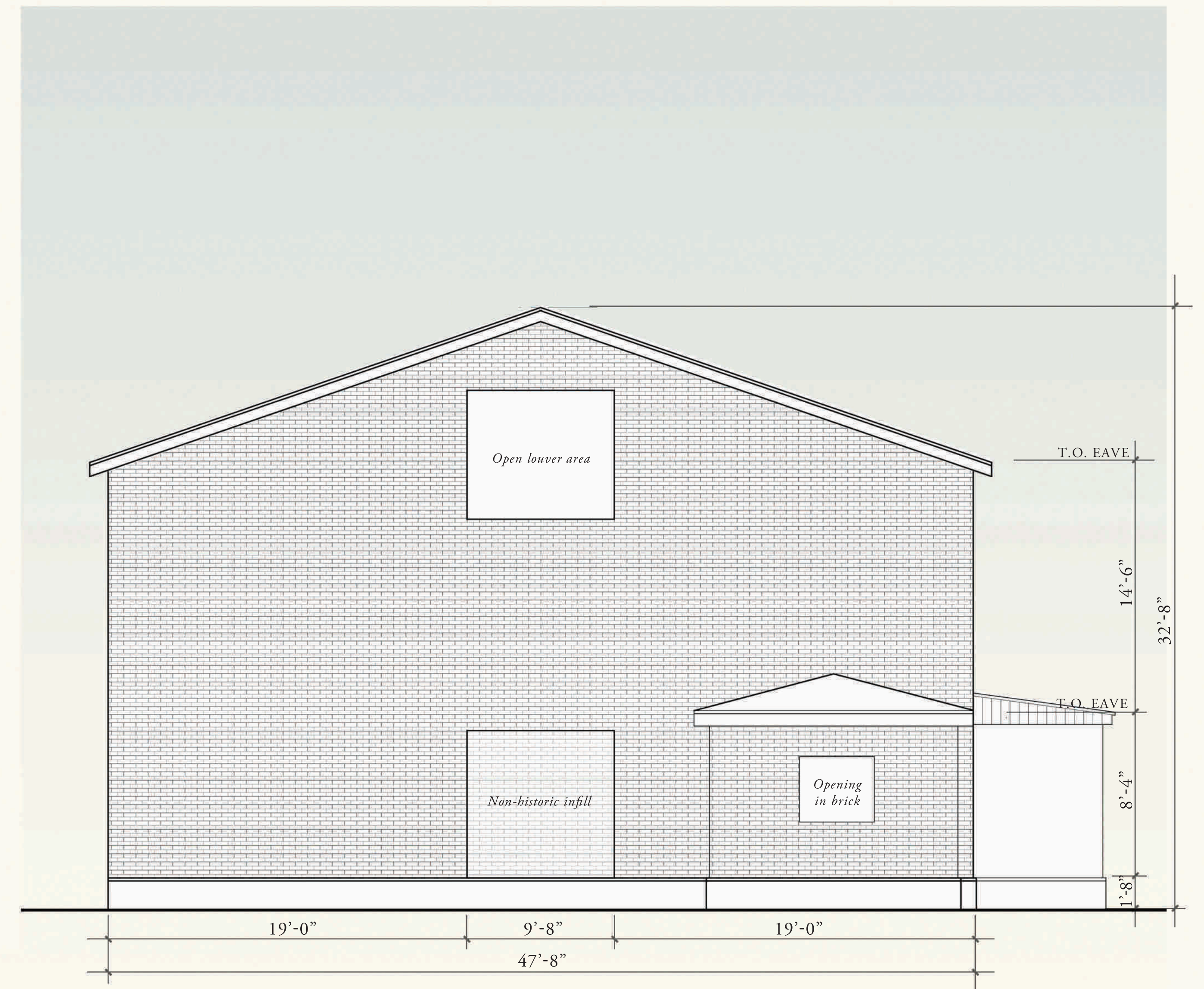
BOUNDARY, TREE, TOPOGRAPHIC
& AS-BUILT SURVEY
SHOWING LOT 19, BLOCK K
FORT MOULTRIE SUBDIVISION
1454 MIDDLE STREET
TMS No. 523-07-00-043
OWNED BY: FERGUSON ASSOCIATES, LLC
LOCATED IN THE
TOWN OF SULLIVANS ISLAND
CHARLESTON COUNTY, SOUTH CAROLINA
DATE: APRIL 26, 2021 SCALE: 1"=10' PROJECT No. 21014







MIDDLE STREET (SOUTH) ELEVATION



THOMPSON AVENUE (NORTH) ELEVATION

NOT TO SCALE

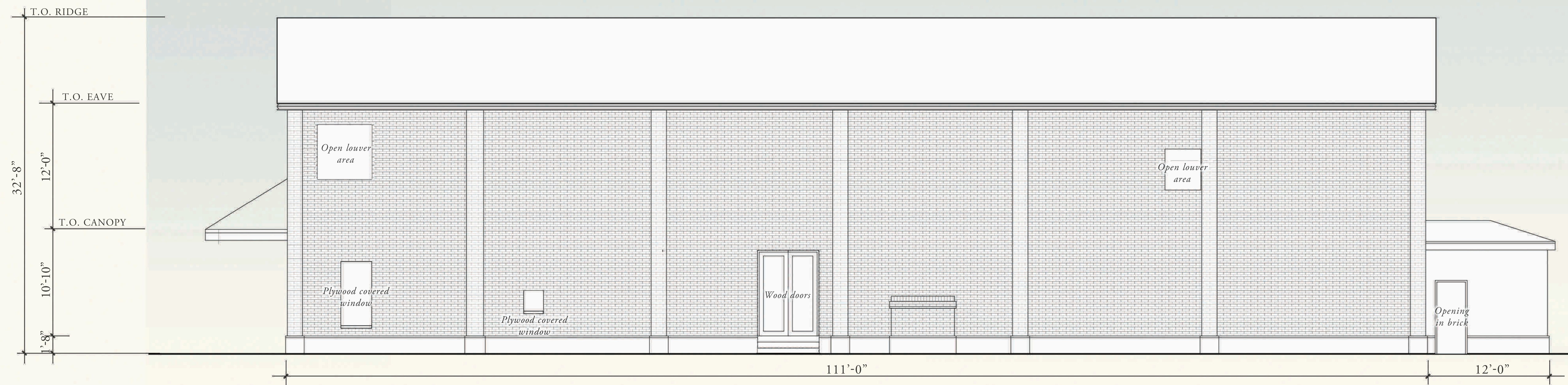
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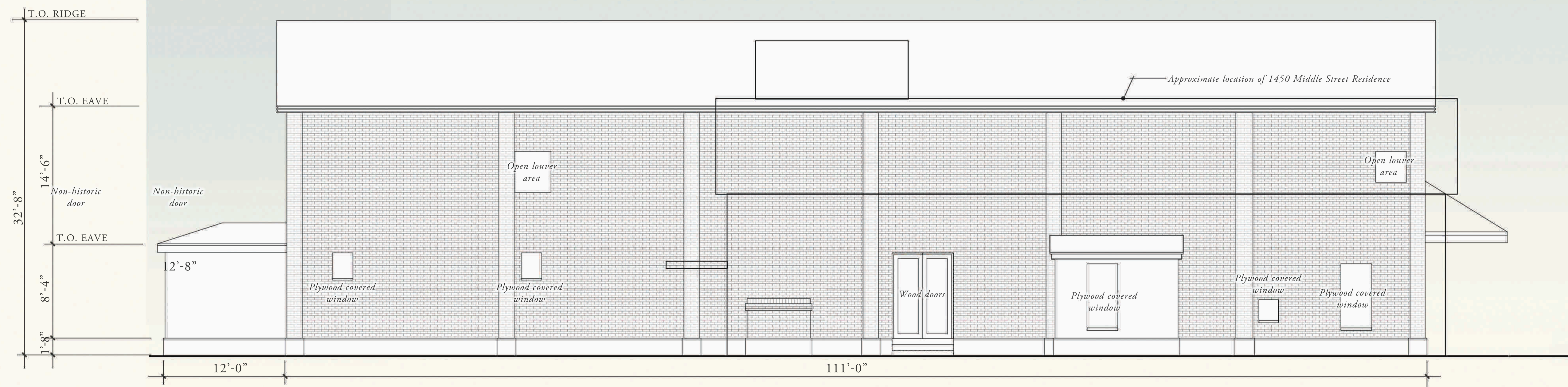
EXISTING STREET ELEVATIONS

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER





EAST ELEVATION



WEST ELEVATION

NOT TO SCALE

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EXISTING SIDE ELEVATIONS

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER





The side elevations are defined by a series of brick pilasters, with minimal windows and louvered ventilation openings.



The Thompson Avenue facade with its louvered vent, the boiler room, and evidence of a rear opening that has been filled in.



The Middle Street facade is the only formal facade, with an ordered series of doors and windows centered by three Roman-arched upper windows. The former recessed ticket and entry plaza has been covered with an infill wall.



Boarded up windows on the side sit below the modern flood plain.



Evidence of filled historic openings on the side facade.



View of the smaller side boiler room.



View of the side theater entrance.



Ventilation openings in the side facade vary in size from this large opening to much smaller vents.



Incompatible brick repairs will need to be remediated to prevent further degradation of the brickwork..

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BUILDING EXTERIOR

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER





Interior of the arched windows on the Middle Street facade.



Exposed brick and roof structure in the backstage area.



The original theater vestibule doors with porthole windows.



View of the formal proscenium and elliptical arched ceiling. The theater seating area has been filled in up to the level of the former stage.



View towards the front door in the room flanking the vestibule.



The former ticket window area with arched ceiling.



The vestibule and coat hanging area.



View to the back of the theater and the upper gallery area. Seating and the lower tiers have been removed.

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BUILDING INTERIOR
1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER



3

SITE DESIGN

CONCEPTUAL SITE PLAN RENDERING

FINAL SITE PLAN RENDERING

ARCHITECTURAL SITE PLAN

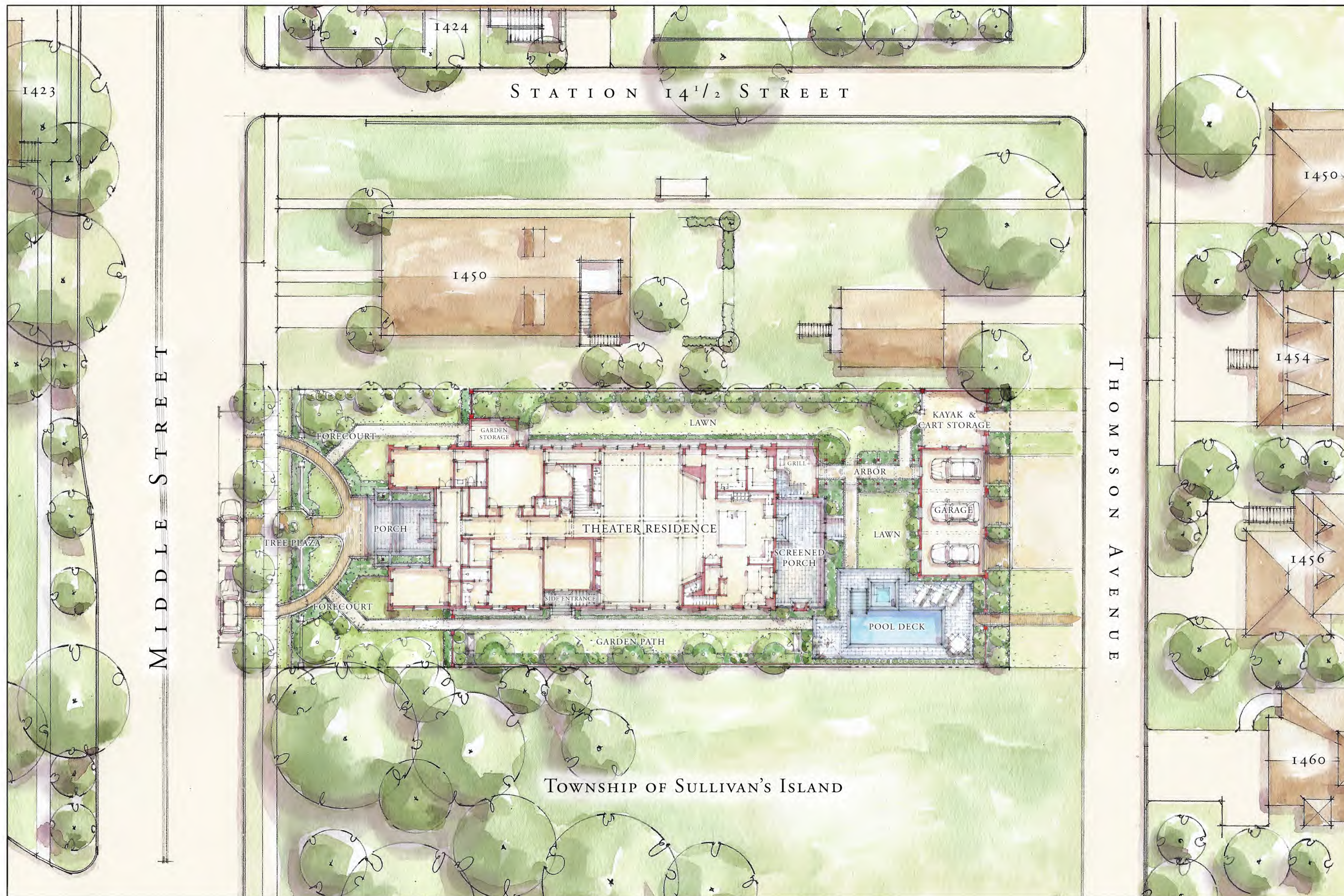
LANDSCAPE PLAN

STREETSCAPE ELEVATIONS

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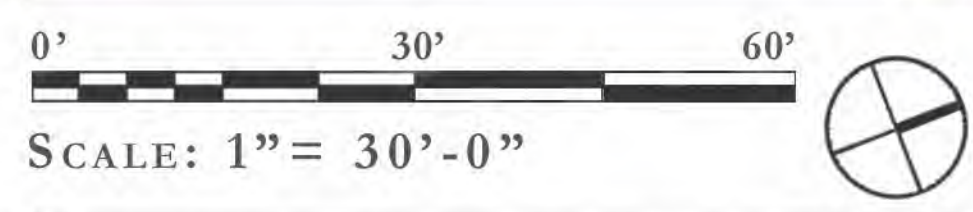


RENOVATION MASTER PLAN

The renovation and re-use of the Fort Moultrie Post Theater into a single-family residence will breathe new life into a landmark site and building on Sullivan's Island that has sat abandoned since the late 20th century. The goal of the conversion is to preserve the character and distinctive features of the existing theater building, and where elements and materials cannot be retained in place, preserve them and re-use them in the building as close to their original location as possible. The conceptual site design envisions a forecourt on Middle Street that keeps taller landscape to the sides, allowing the current view of the historic facade to remain unobstructed. Brick walks recall the half-moon plaza that soldiers would form up in prior to entering the theater for entertainment.

Low landscape and a brick knee wall defines the private yard from the sidewalk, and a small entry plaza is created around the historic palmetto tree, a symbol of the fort and the island. A bronze plaque in this location educates visitors and passersby on the history of the building and the significance of the tree. A series of slow steps transition visitors under the porch canopy and up to the front door which is set at the modern flood plain elevation.

The private yard is enclosed by a privacy fence that is set well back from the historic street facade, and contains a series of open lawns separated by gravel paths, with landscape focused on the perimeter edges. A small pool deck and recreation lawn are contained by a new screened porch and a garage that is accessed from Thompson Avenue.



SCALE: 1" = 30'-0"

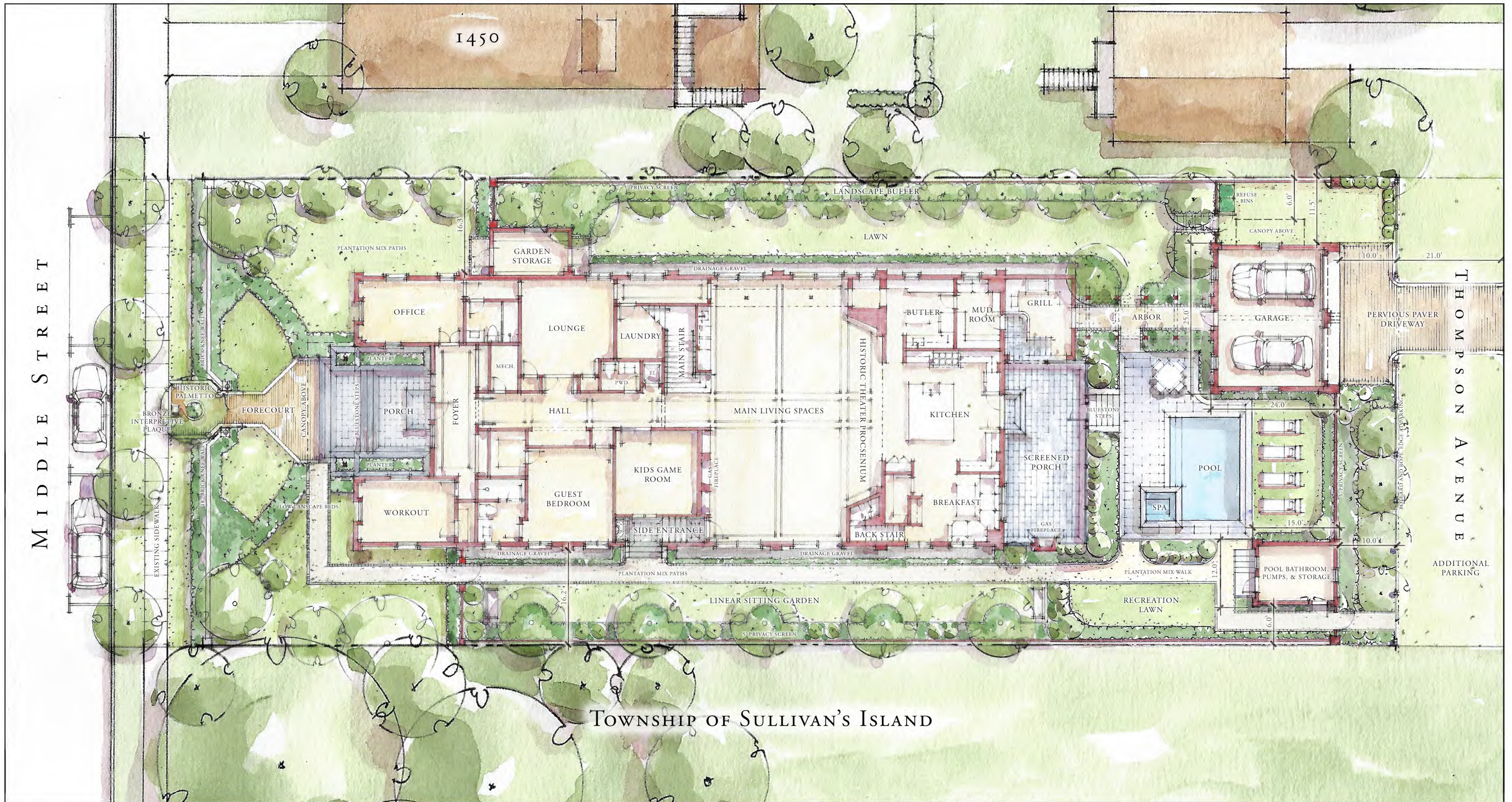
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CONCEPT SITE PLAN

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER





0' 16' 32'

SCALE: 1/8" = 1'-0" @ 22x34

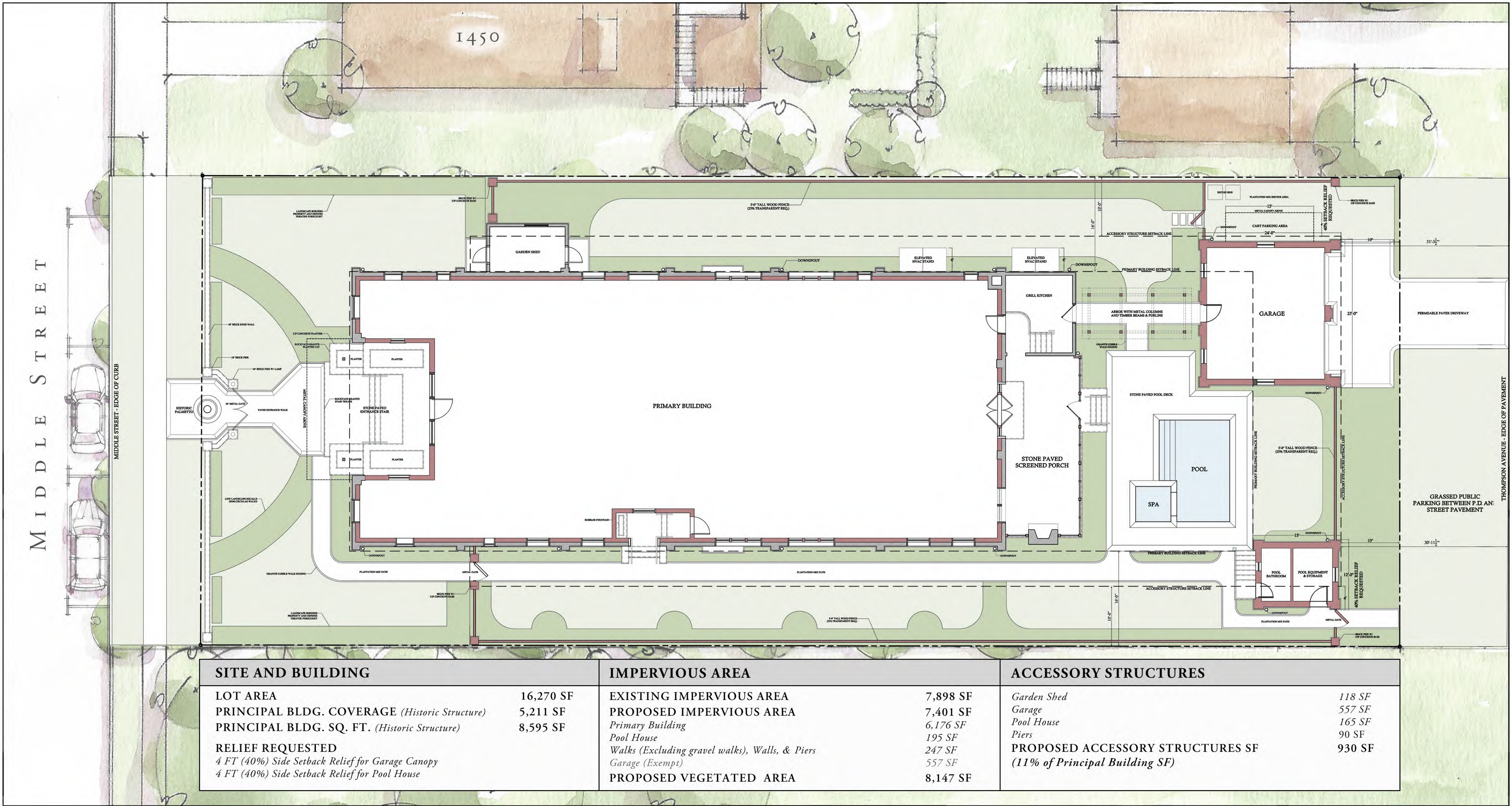
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FINAL DESIGN SITE PLAN

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER





ARCHITECTURAL SITE PLAN

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA

HISTORIC FORT MOULTRIE POST THEATER



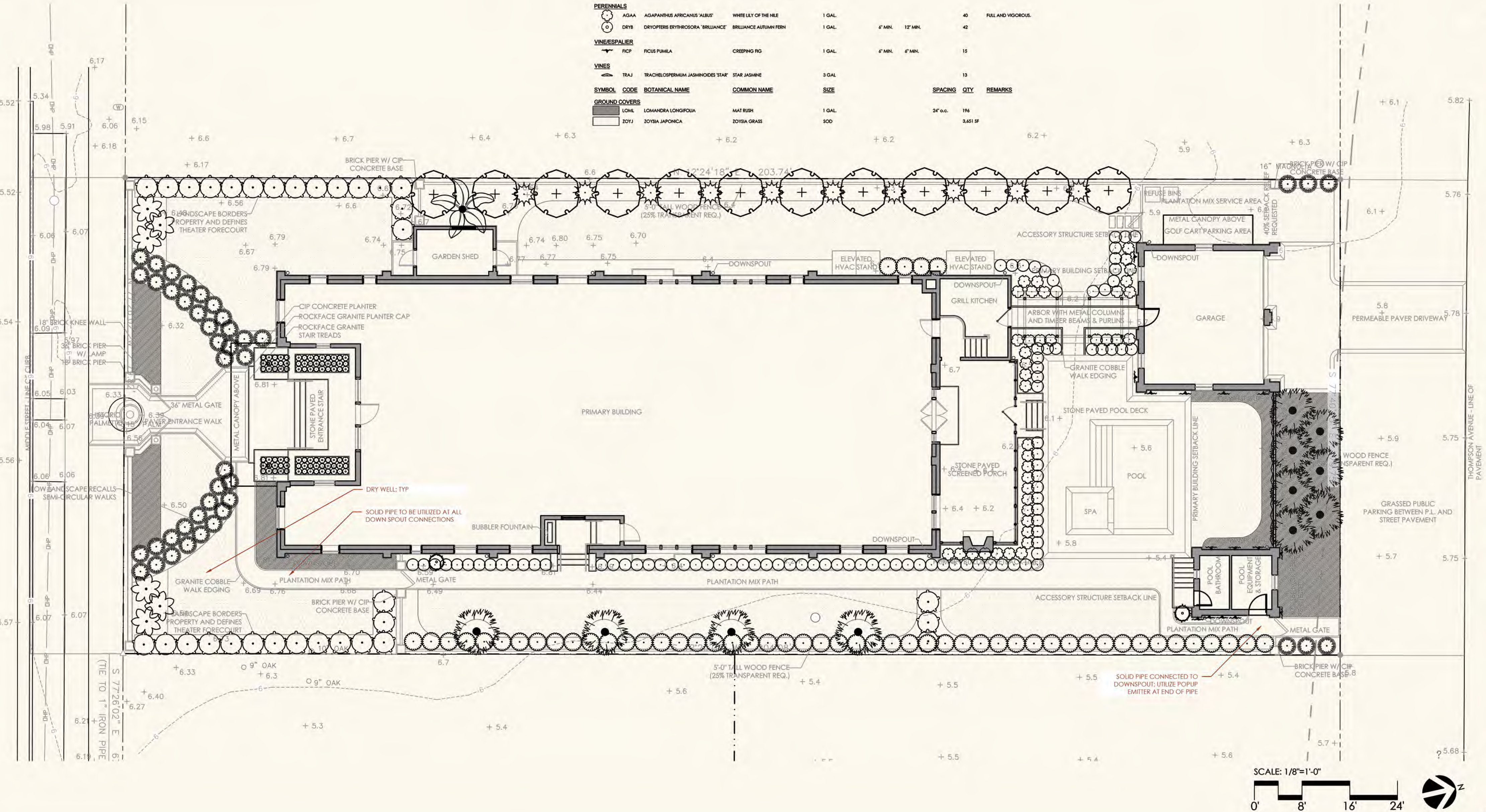
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2. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING THE CABLE LOCATOR SERVICE 811 TO LOCATE ALL EXISTING UNDERGROUND ELECTRICAL AND TELEPHONE UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR TO MAKE THESE CONTACTS PRIOR TO BEGINNING WORK.
3. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN AREAS WHERE ADDITIONAL UNDERGROUND UTILITIES MAY EXIST. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES, BOTH KNOWN AND UNKNOWN. CONTRACTOR SHALL OBSERVE SAFETY PRACTICES WHILE WORKING NEAR VEHICULAR TRAFFIC.
4. THE CONTRACTOR SHALL VERIFY PLANS IN THE FIELD AND NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL NECESSARY LICENSES AND INSURANCE TO COMPLETE WORK.
6. CONTRACTOR SHALL SUBMIT SCHEDULE OF WORK TO REMARK STUDIO ONCE CONTRACT IS AWARDED.



PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	SPREAD	QTY	REMARKS
TREES								
	BUTC	BUTIA CAPATA	PINCO PALM	8'-10' HT, 4'-5' SPREAD			1	HALF ROOTED
	LEE	ILEX X. ATRENIATA 'EAGLESTON'	EAGLESTON HOLLY	2.5' CAL.	8-10' HT.	3'-4'	12	
	ANT	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR EASTERN RED CEDAR	2.5' CAL.	10-12'	2'-3'	2	FEEL TO GROUND.
	SASP	SABAL PALMETTO	PALMETTO	---	12'-14'	4'-6'	11	
SHRUBS								
	BUX	BUXUS SEPIPERVIRENS	COMMON BOXWOOD	18" HT. MIN.			90	FEEL AND VIGOROUS.
	MAGL	MAGNOLIA GRANDIFLORA 'LITTLE GEM'	LITTLE GEM DWARF SOUTHERN MAGNOLIA	4" HT. MIN.			32	FEEL TO GROUND
	PODM	PODOCARPUS MACROPHYLLUS	YEW PODOCARPUS	3'-4' HT.			53	FEEL
	POLA	POLYSTICHUM MACROSPICHODES	CHRISTMAS FERN	1 GAL.			42	
	SABM	SABAL MINOR	DWARF PALMETTO	15 GAL.	30'-36"	34'-36"	4	
	SERP	SERENOA REPENS 'CINEREA'	SILVER SAW PALMETTO	24" HT. MIN.			10	FEEL
	TRIO	TRIPLODIUM DACTYLOIDES NANA	DWARF FAKA HATCHEE GRASS	3 GAL.			43	FEEL
PERENNIALS								
	AGAA	AGAPANTHUS AFRICANUS 'ALBUS'	WHITE LILY OF THE LILIE	1 GAL.			40	FEEL AND VIGOROUS.
	DRYS	DRYOPTERIS ERYTHROSORA 'BRILLIANCE'	BRILLIANCE AUTUMN FERN	1 GAL.	6" MIN.	12" MIN.	42	
VINES/PAWLER								
	PCP	FICUS PUMILA	CREeping FIG	1 GAL.	6" MIN.	6" MIN.	15	
VINES								
	TRAJ	TRACHELOSPERMUM JASMINEODS STAR	STAR JASMINE	3 GAL.			13	
GROUND COVERS								
	LOMA	LOMANDRA LONGICOLIA	MAT RUSH	1 GAL.		24" o.c.	194	
	ZOYI	ZOYSIA JAPONICA	ZOYSIA GRASS	500			3,651 SF	



REMARK

landscape architecture

1859 summerville ave, suite 550
charleston, sc 29405
P843.952.7817
M843.303.6798
E jr@remarkstudiollc.com
W remarkstudiollc.com

innovation
collaboration
stewardship

We create engaging sustainable designs
that transcend style through innovation,
collaboration, and stewardship.



FORT MOULTRIE THEATER

1454 MIDDLE STREET
SULLIVAN'S ISLAND, SC

PROJECT #: 25053
DATE: 07.28.25
DRAWN BY: HSC
CHECKED BY: JRK

LANDSCAPE
PLAN

STATUS:
CONCEPTUAL

L200

ARCHITECTURAL SITE PLAN

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER

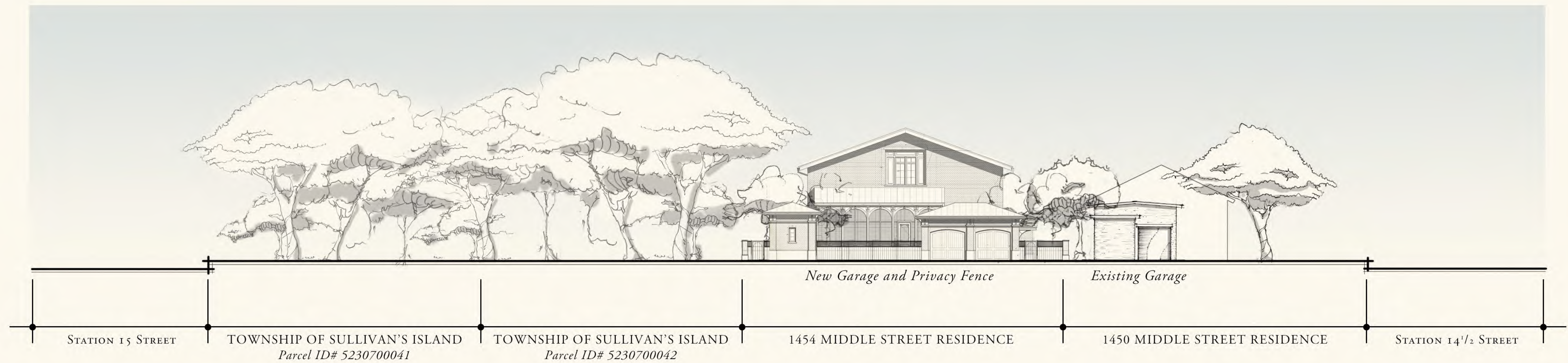


CISSELL DESIGN STUDIO

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MIDDLE STREET CONTEXT



THOMPSON AVENUE CONTEXT

0' 30' 60'

SCALE: 1" = 15'-0" @ 22x34

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STREETSCAPE CONTEXT

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER

Novella
HOMES

FINAL DESIGN

LEVEL ONE FLOOR PLAN

Concept Level 1

LEVEL TWO FLOOR PLAN

Concept Level 2

GARAGE & POOL HOUSE FLOOR PLAN

MIDDLE STREET ELEVATION

Concept Design Elevation

EAST ELEVATION

Concept Design Elevation

THOMPSON AVENUE ELEVATION

Concept Design Elevation

WEST ELEVATION

Concept Design Elevation

GARAGE ELEVATIONS

Concept Design Elevations

POOL HOUSE ELEVATIONS

BUILDING WALL SECTIONS

COLORS, MATERIALS, & PRODUCTS

MIDDLE STREET RENDERING

SIDE WALK & ENTRANCE RENDERING

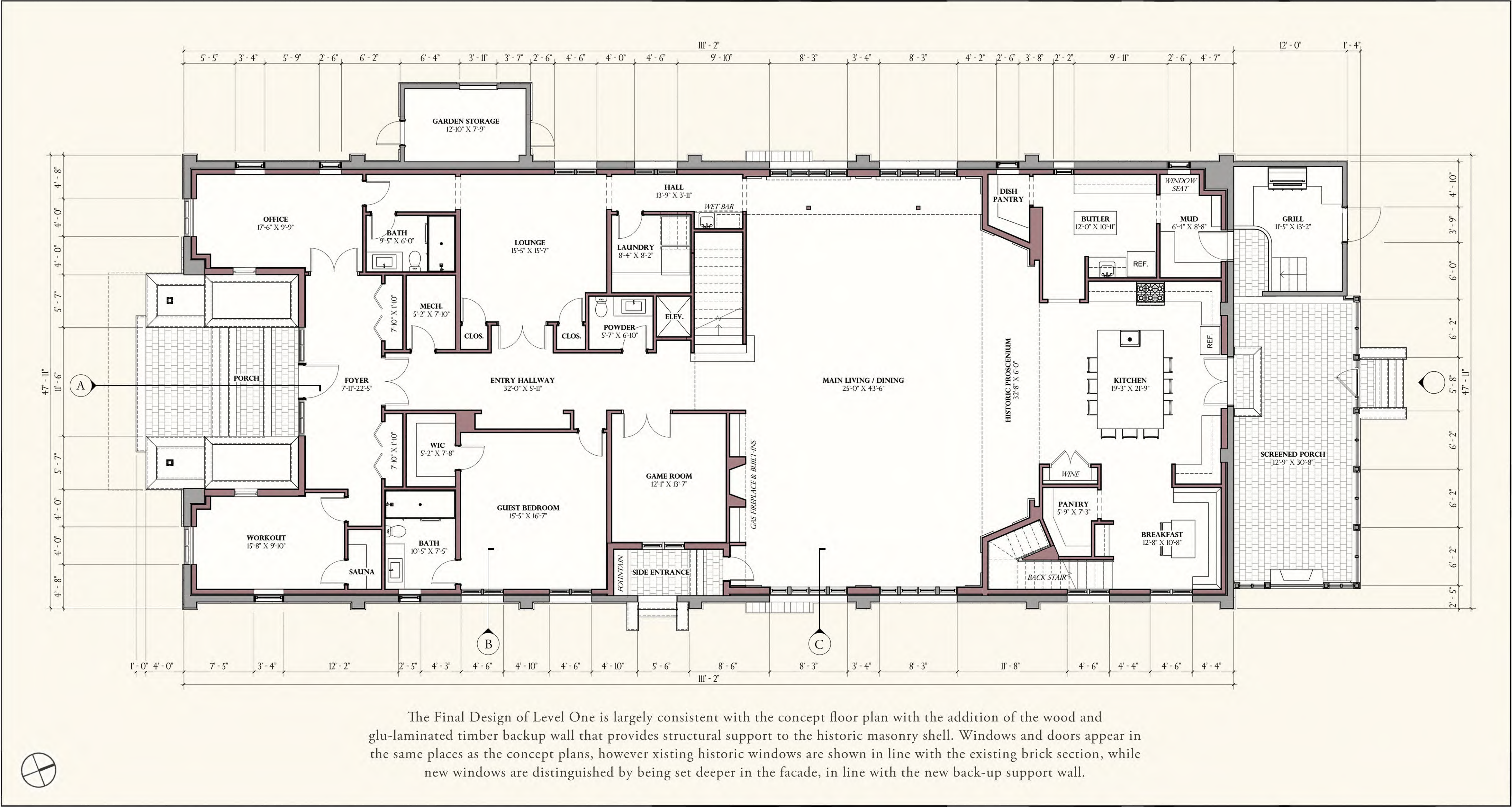
REAR COURTYARD RENDERING

THOMPSON AVENUE RENDERING

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The Final Design of Level One is largely consistent with the concept floor plan with the addition of the wood and glu-laminated timber backup wall that provides structural support to the historic masonry shell. Windows and doors appear in the same places as the concept plans, however xisting historic windows are shown in line with the existing brick section, while new windows are distinguished by being set deeper in the facade, in line with the new back-up support wall.

SCALE: 1"= 5'-0" @ 22x34

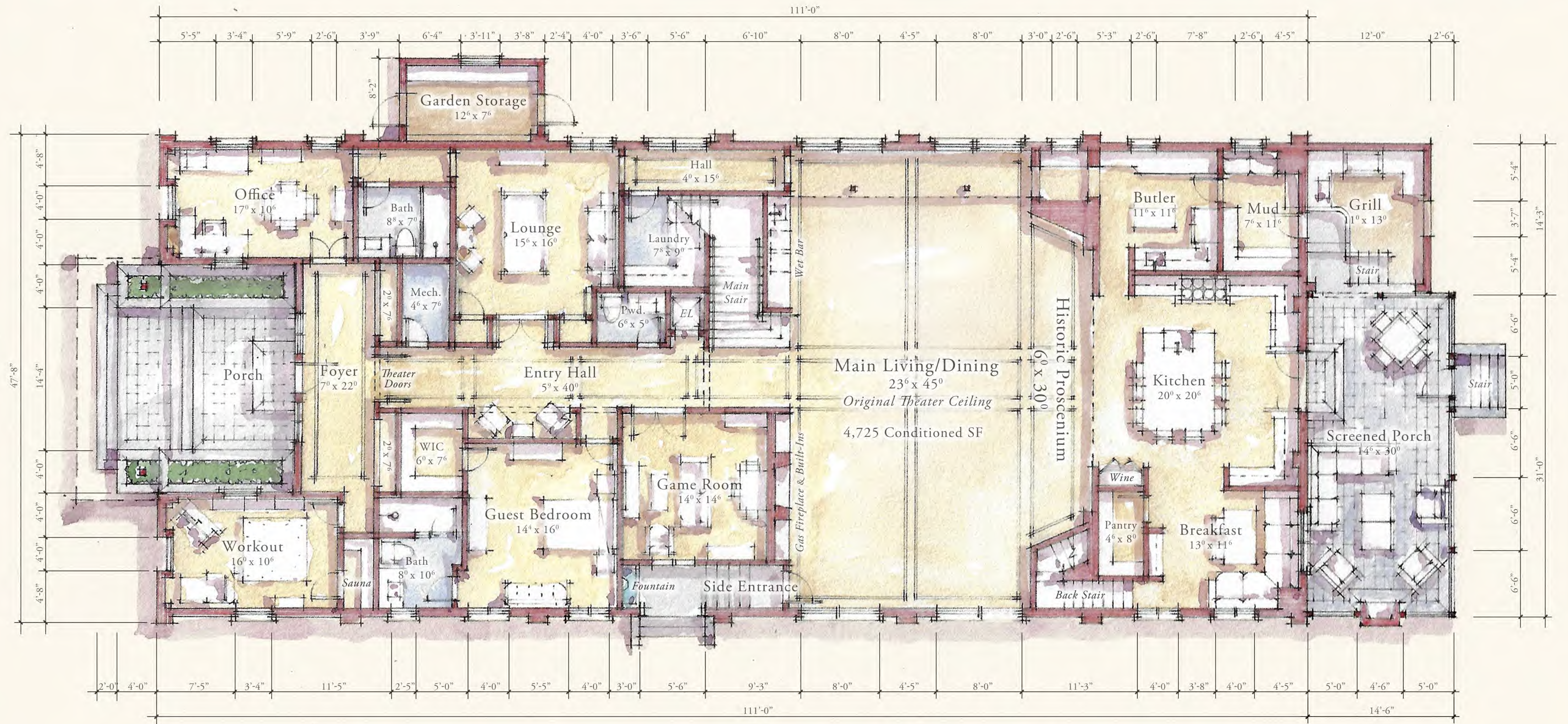
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LEVEL ONE FINAL

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HISTORIC FORT MOULTRIE POST THEATER





The design of the lower level of the residence preserves the character defining features of the historic theater. The non-historic wall enclosing the former ticket plaza is removed and a new porch created with a centered entrance. The vestibule and its coat areas and flanking rooms are preserved in the plan, and occupants move through the original theater doors into the main area of the house. A central corridor follows the former aisle of the theater leading to the historic proscenium, where a full height living space preserves the original volume of the theater and it's plaster ceiling.

SCALE: 1"= 5'-0" @ 22x34

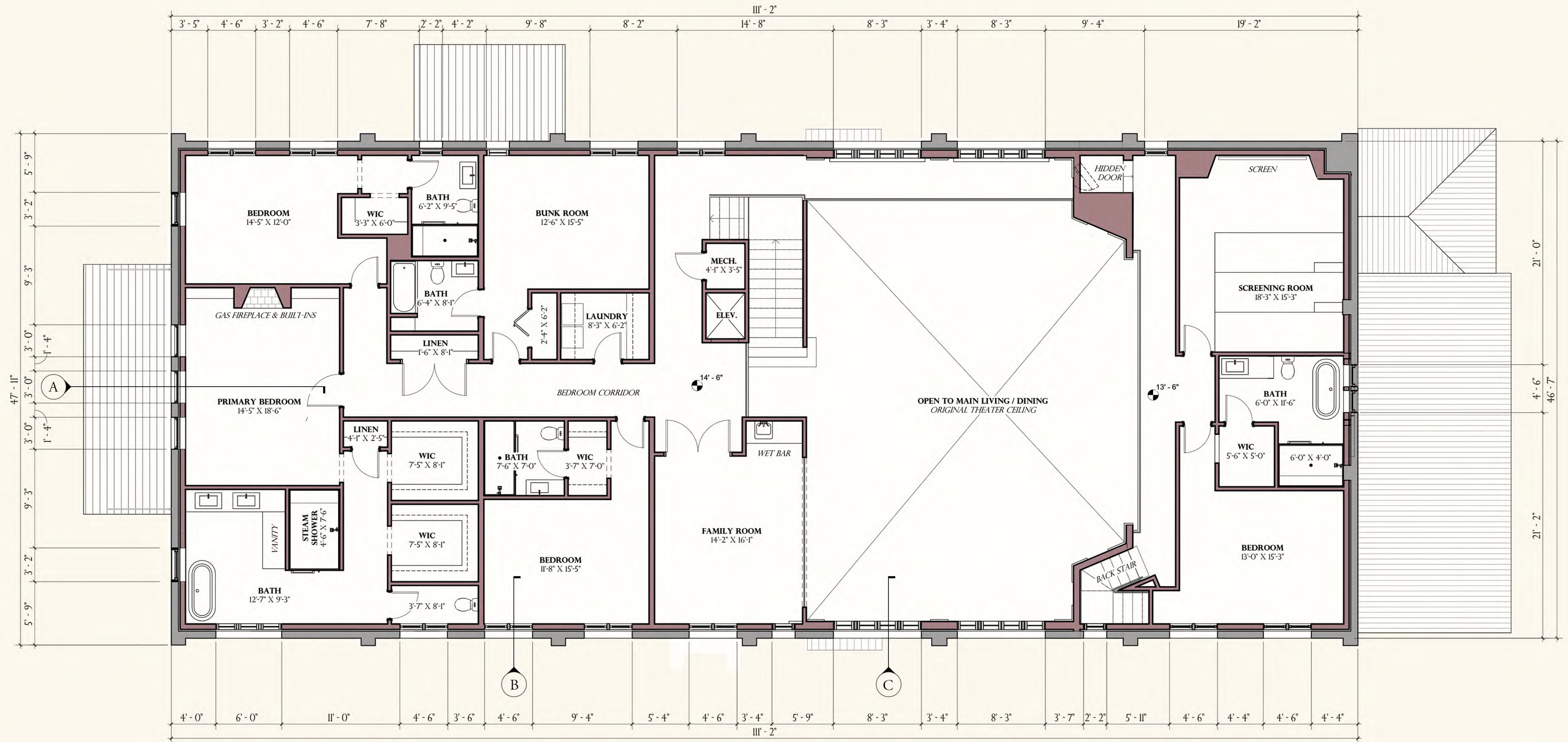
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LEVEL ONE CONCEPT

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER

Novella
HOMES



The Final Design of Level Two is largely consistent with the concept floor plan with the addition of the wood and glu-laminated timber backup wall that provides structural support to the historic masonry shell. The overall volume of the main living space has increased in order to preserve the rythmn of classical pilasters in the theater interior, and some interior walls have been re-aligned to create structural shear walls that traverse the entire width of the building.

SCALE: 1"= 5'-0" @ 22x34

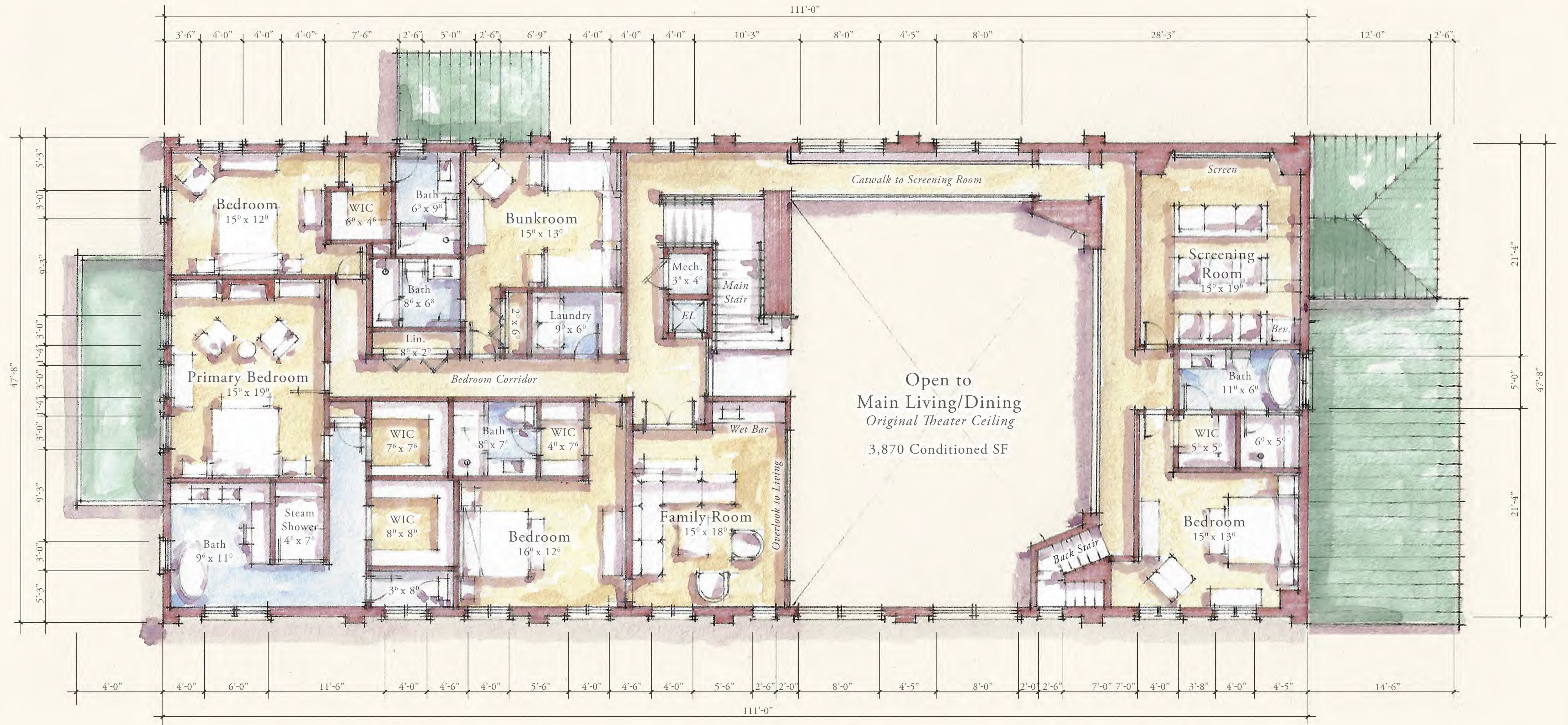
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LEVEL TWO FINAL

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HISTORIC FORT MOULTRIE POST THEATER

Novella
HOMES



The upper level of the house activates the large interior volume while preserving character defining features, such as the full-height space in front of the historic proscenium and the single room behind the three arched windows in the Middle Street facade. From the main stair a catwalk visually floats through the theater space to access space in the backstage area, with a back stair enclosed within the proscenium itself. The upper level overlooks the living area, extending the sense of the theater volume deeper into the upper level. The original theater ceiling is preserved and expressed in the living space and, where possible, in the bedrooms .



SCALE: 1"= 5'-0" @ 22x34

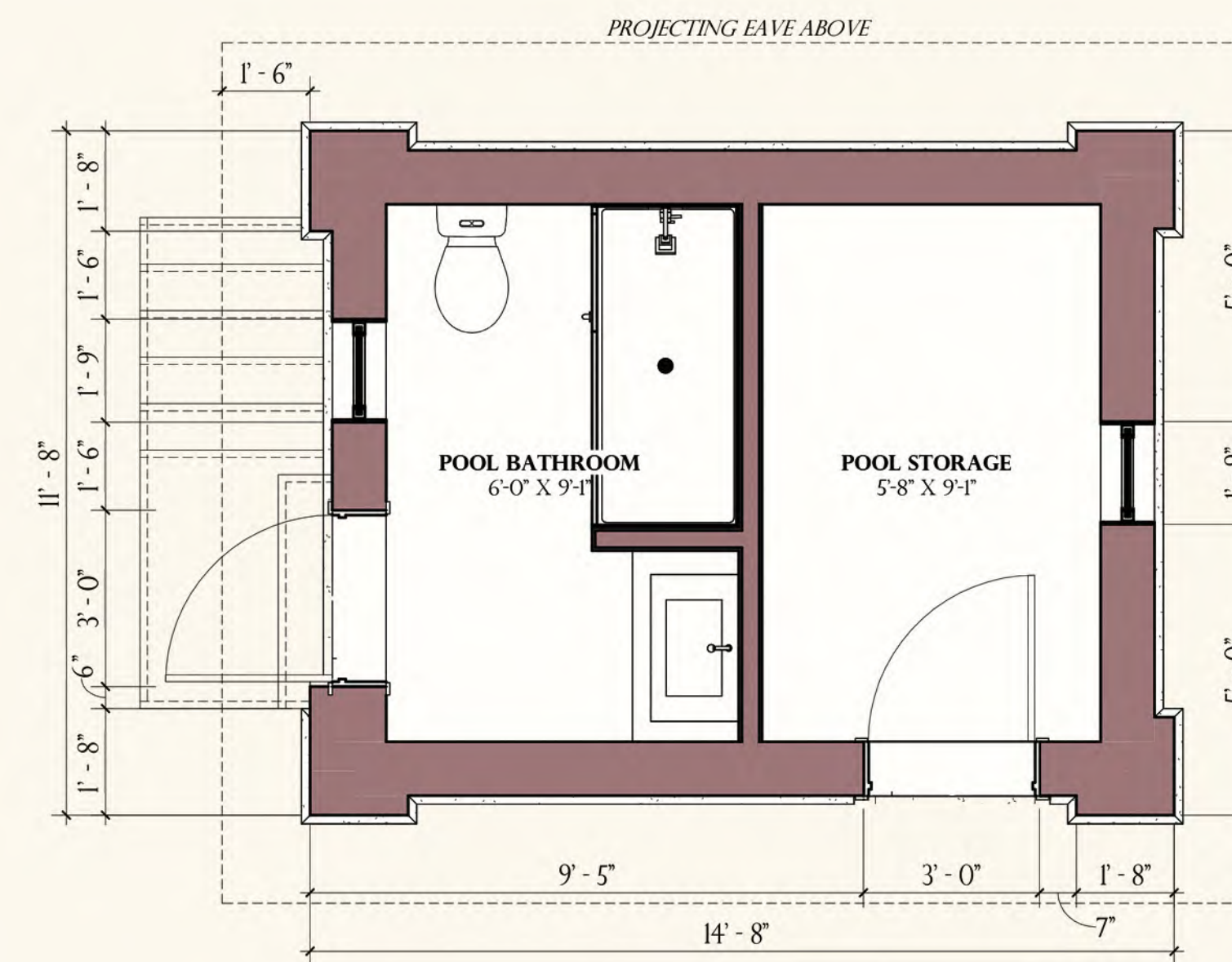
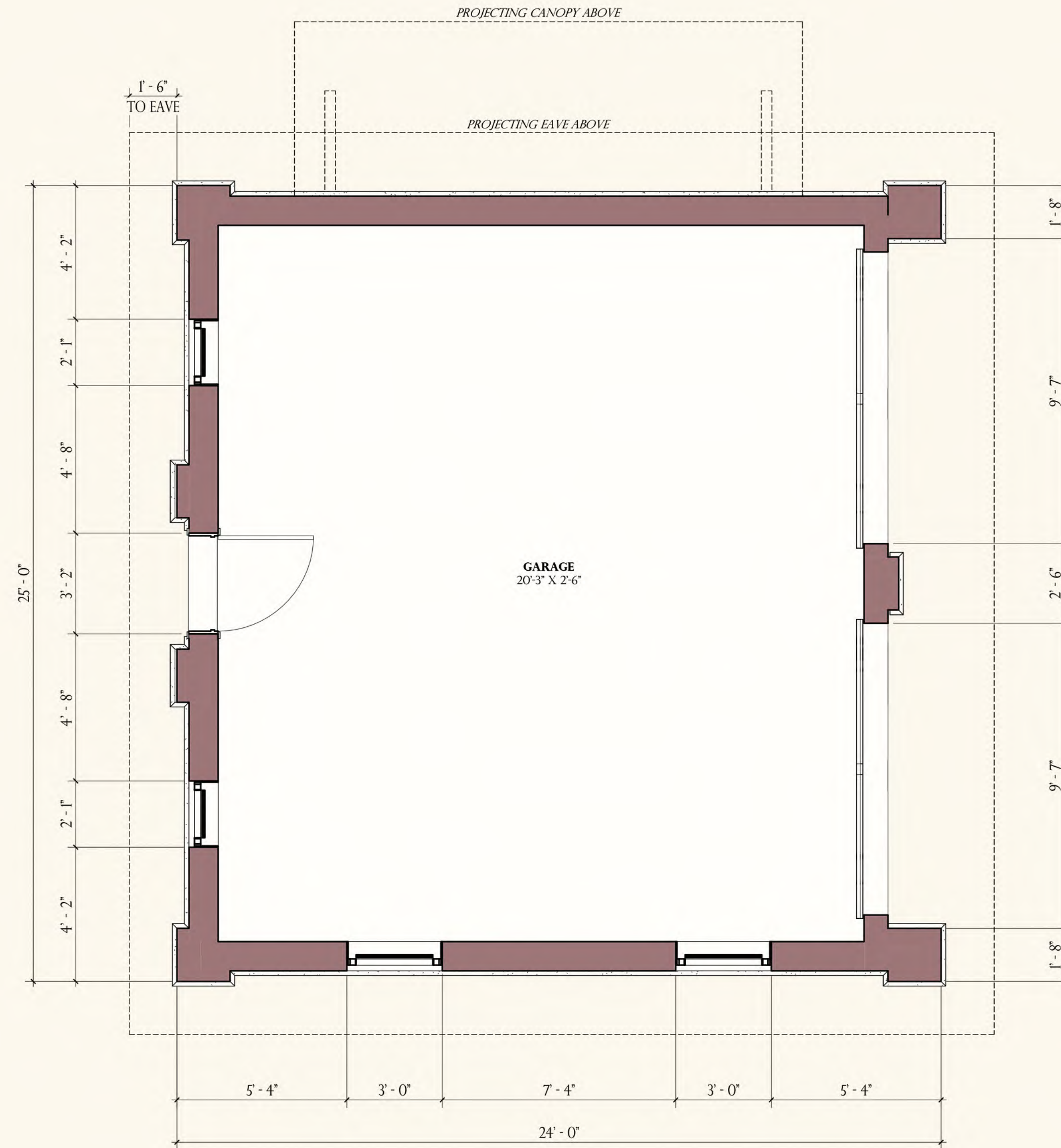
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LEVEL TWO CONCEPT

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER





The Final Design of the Garage and Pool House creates a varied scale along Thompson Avenue, enclosing the rear yard with massing that is appropriate to the historic structure. The buildings continue a palette of details that are compatible but distinct from the historic theater structure. A concrete water table is expressed at a different height, a projecting eave is utilized, but with a closed soffit and metal brackets from the new screened porch. A combination of fixed and operable casement windows continues the language of new windows for the main building.



SCALE: 3/8" = 1'-0" @ 22x34

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ACCESSORY STRUCTURES FINAL

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HISTORIC FORT MOULTRIE POST THEATER





Proposed Final Design

SCALE: 1/4" = 1'-0" @ 22x34

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MIDDLE STREET ELEVATION FINAL

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HISTORIC FORT MOULTRIE POST THEATER





SCALE: 1/4" = 1'-0" @ 22x34

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MIDDLE STREET ELEVATION CONCEPT

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER





Proposed Final Design

SCALE: 3/16"= 1'-0" @ 22x34

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EAST ELEVATION FINAL

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HISTORIC FORT MOULTRIE POST THEATER





SCALE: 3/16" = 1'-0" @ 22x34

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EAST ELEVATION CONCEPT

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HISTORIC FORT MOULTRIE POST THEATER





Proposed Final Design

SCALE: 1/4" = 1'-0" @ 22x34

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THOMPSON AVENUE ELEVATION FINAL

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HISTORIC FORT MOULTRIE POST THEATER





SCALE: 1/4" = 1'-0" @ 22x34

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THOMPSON AVENUE ELEVATION CONCEPT

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER





Proposed Final Design

SCALE: 3/16"= 1'-0" @ 22x34

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WEST ELEVATION FINAL

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HISTORIC FORT MOULTRIE POST THEATER





SCALE: 3/16" = 1'-0" @ 22x34

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WEST ELEVATION CONCEPT

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HISTORIC FORT MOULTRIE POST THEATER

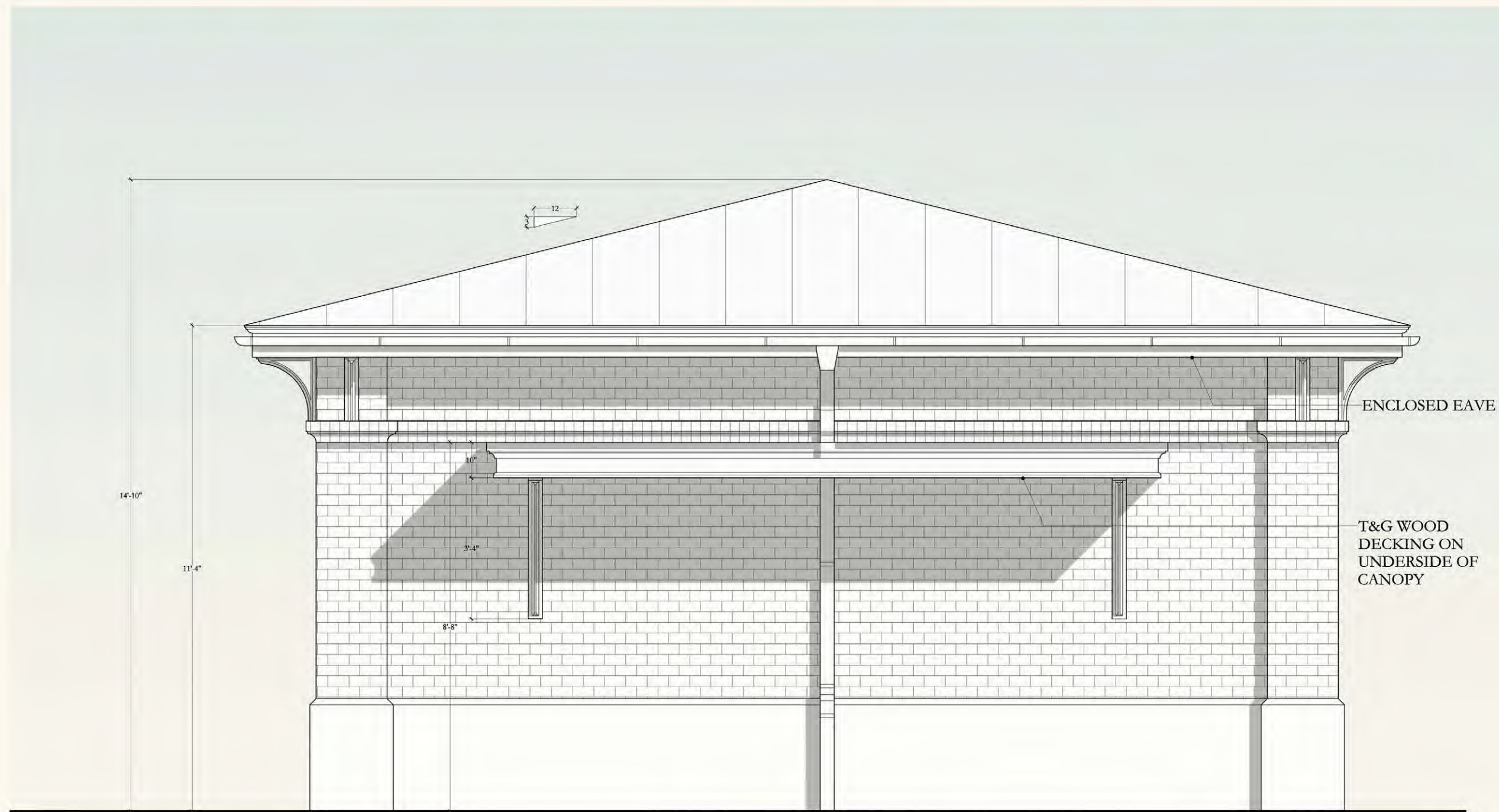




East Elevation



North Elevation (Thompson Avenue)



West Elevation



South Elevation

SCALE: 3/8" = 1'-0" @ 22x34

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GARAGE ELEVATIONS FINAL

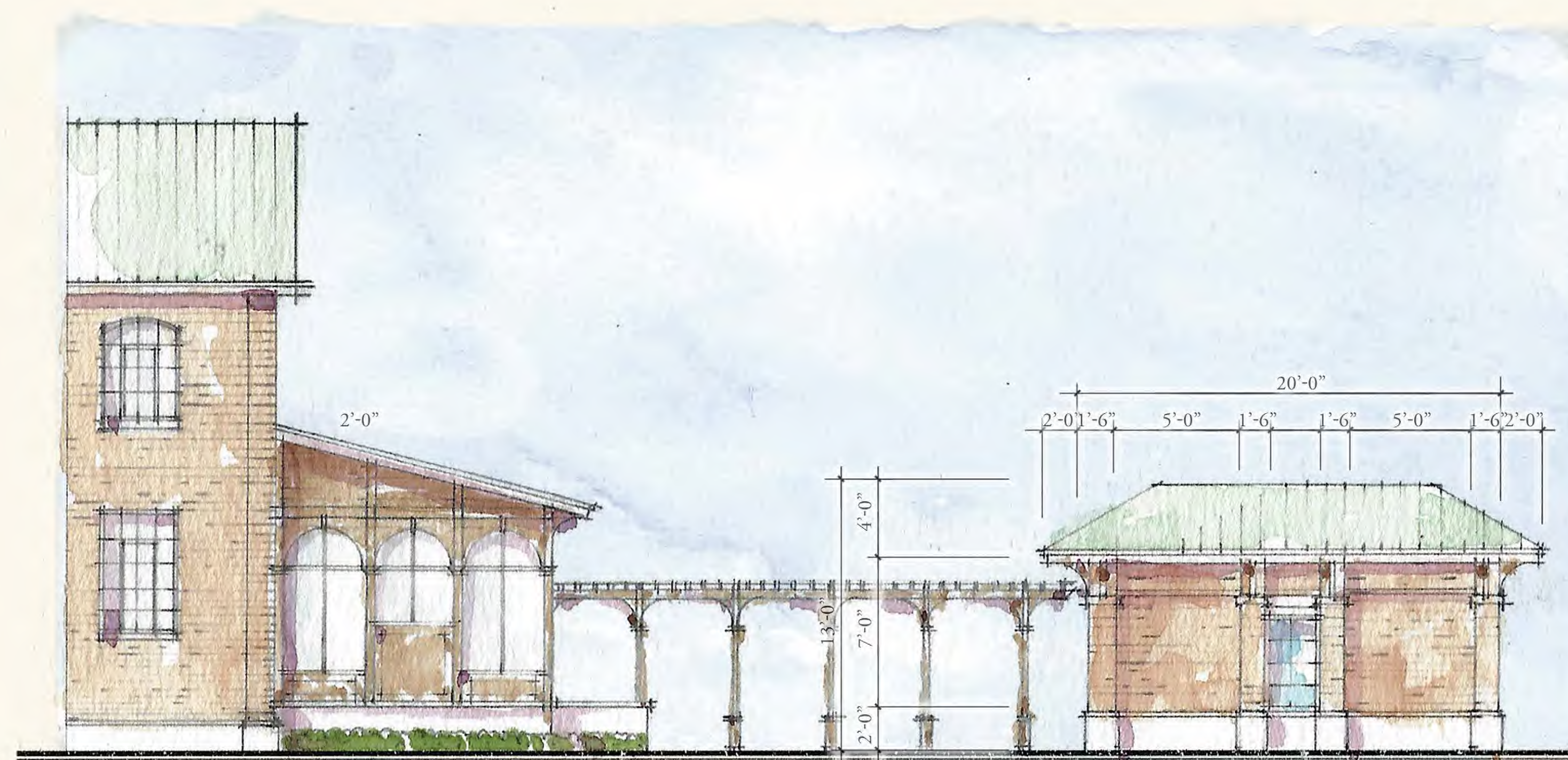
1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER



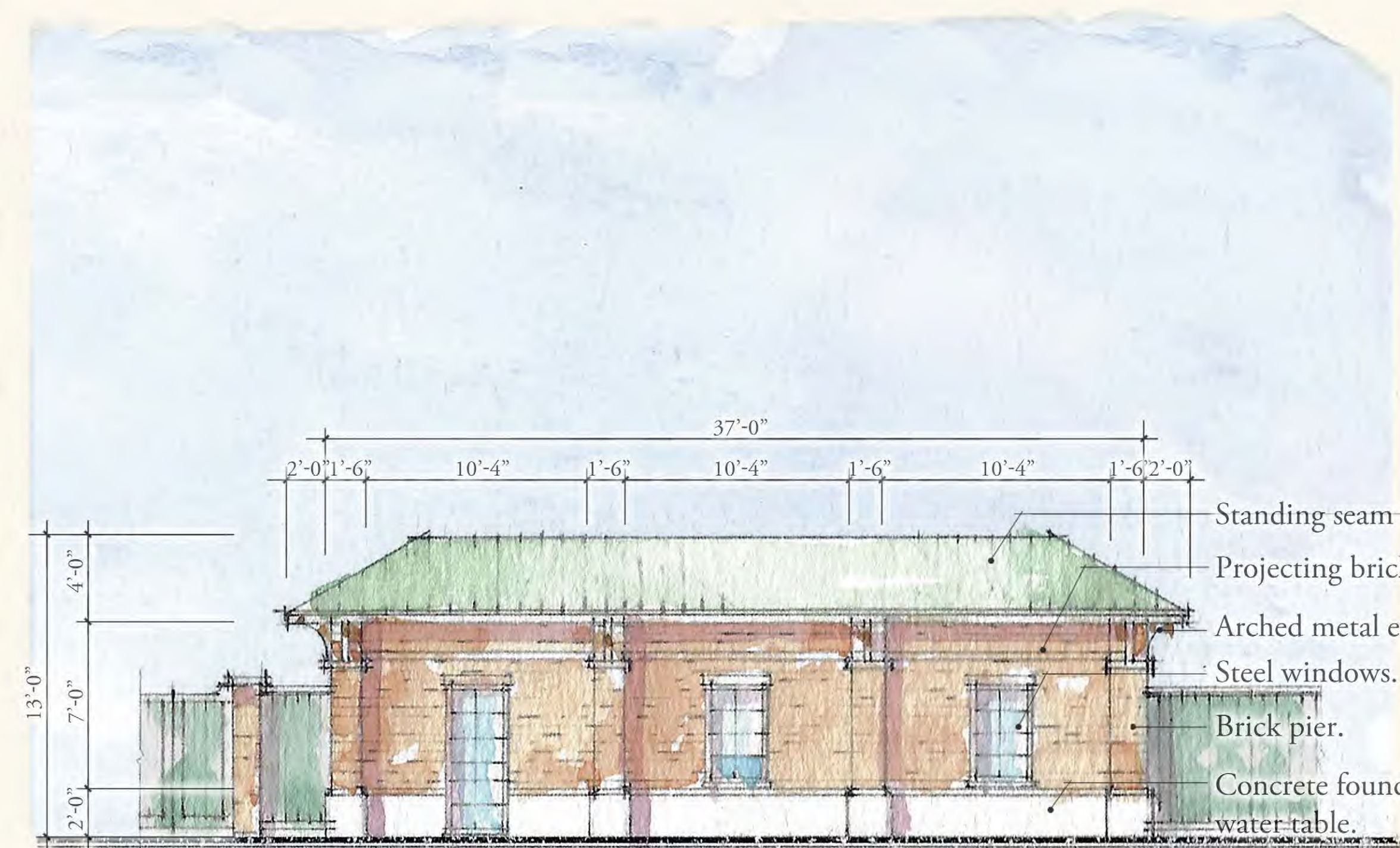


- Standing seam metal hipped roof.
- Painted metal infill around door.
- Arched metal eave bracket.
- Wood garage door.
- Brick pier.
- Concrete foundation and water table.

Thompson Avenue Elevation



Side Elevation



- Standing seam metal hipped roof.
- Projecting brick band.
- Arched metal eave bracket.
- Steel windows.
- Brick pier.
- Concrete foundation and water table.

Rear Elevation

SCALE: 3/16" = 1'-0" @ 22x34

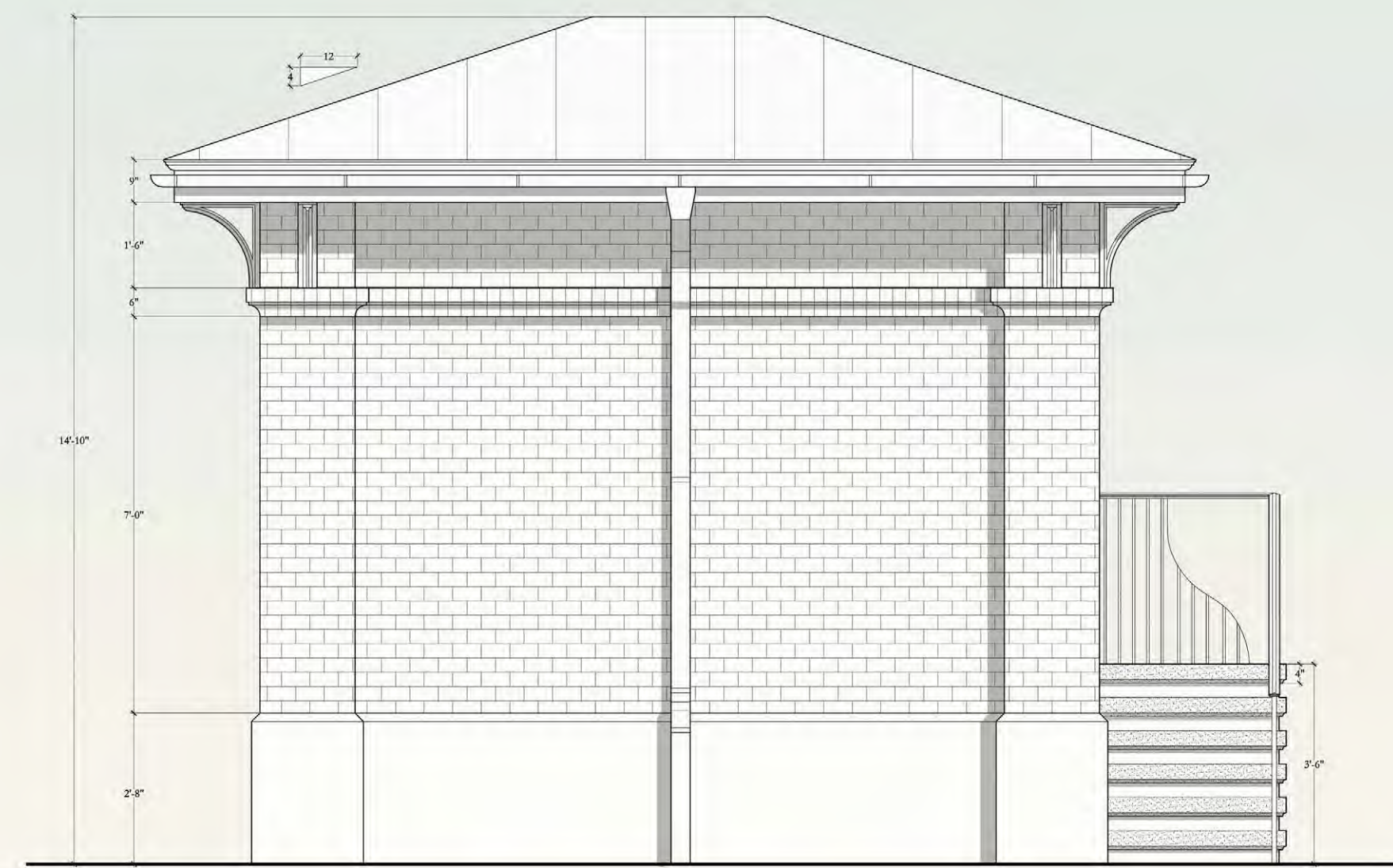
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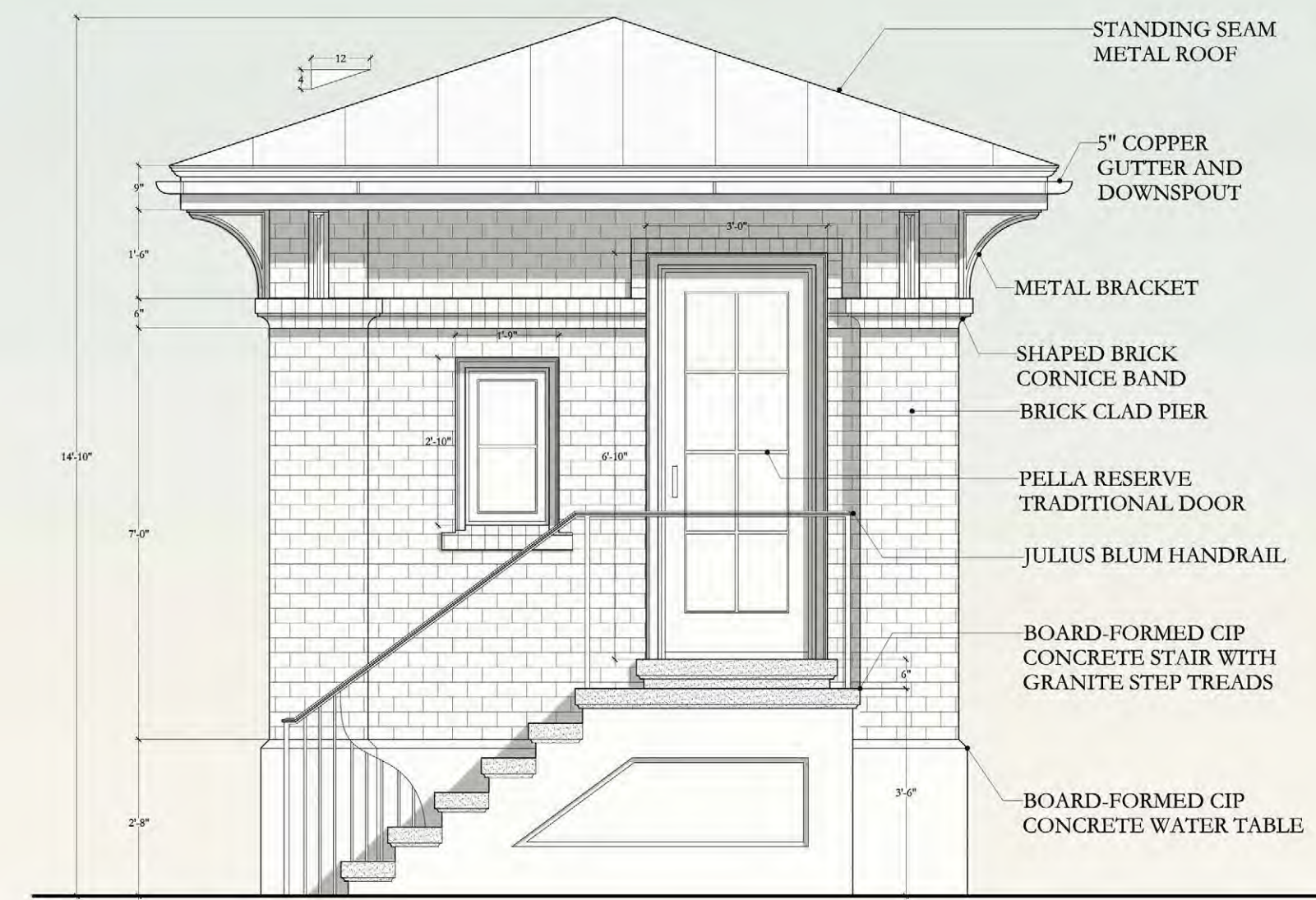
GARAGE ELEVATIONS CONCEPT

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER

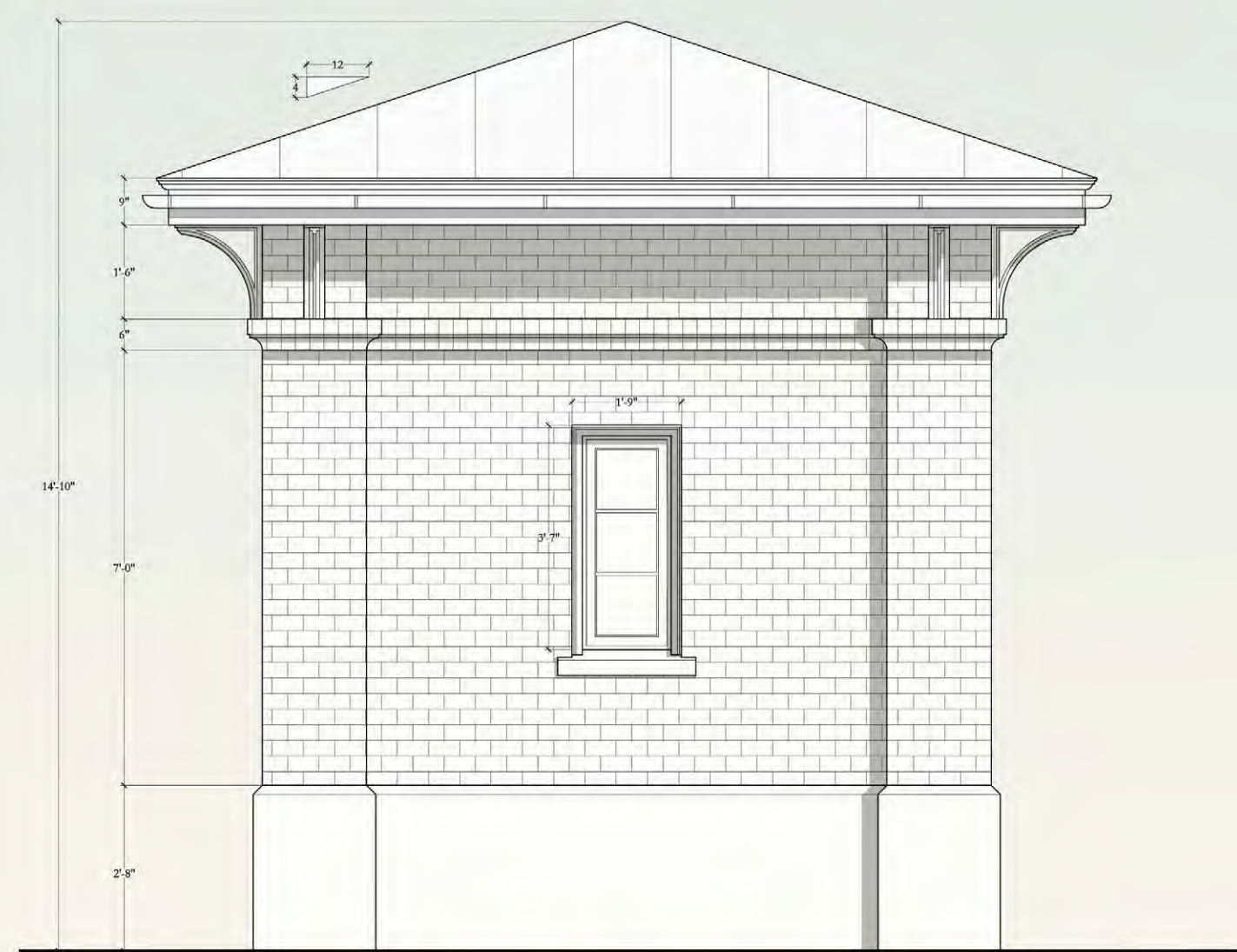




West Elevation



South Elevation



North Elevation (Thompson Avenue)



East Elevation

SCALE: 3/8" = 1'-0" @ 22x34

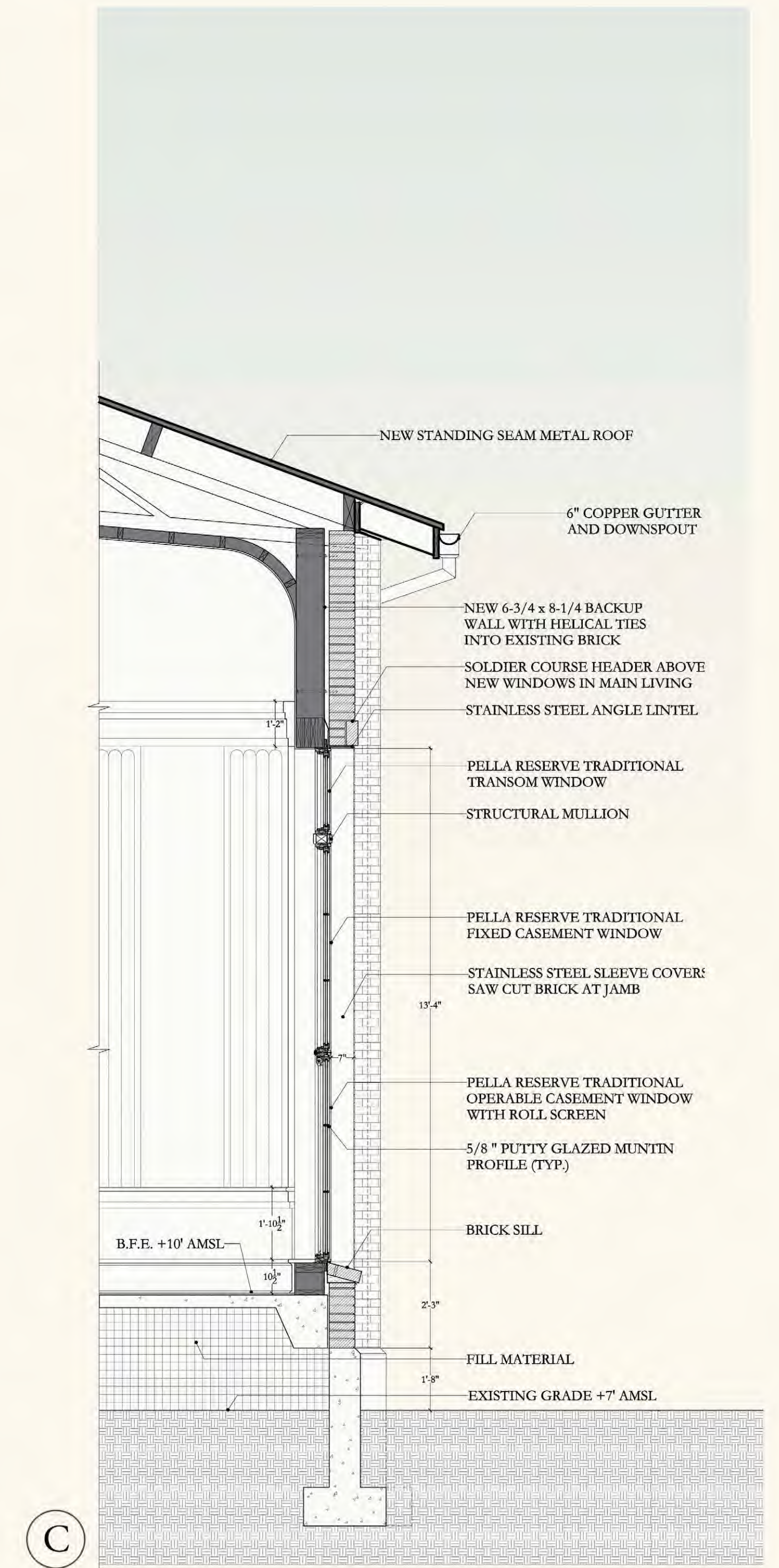
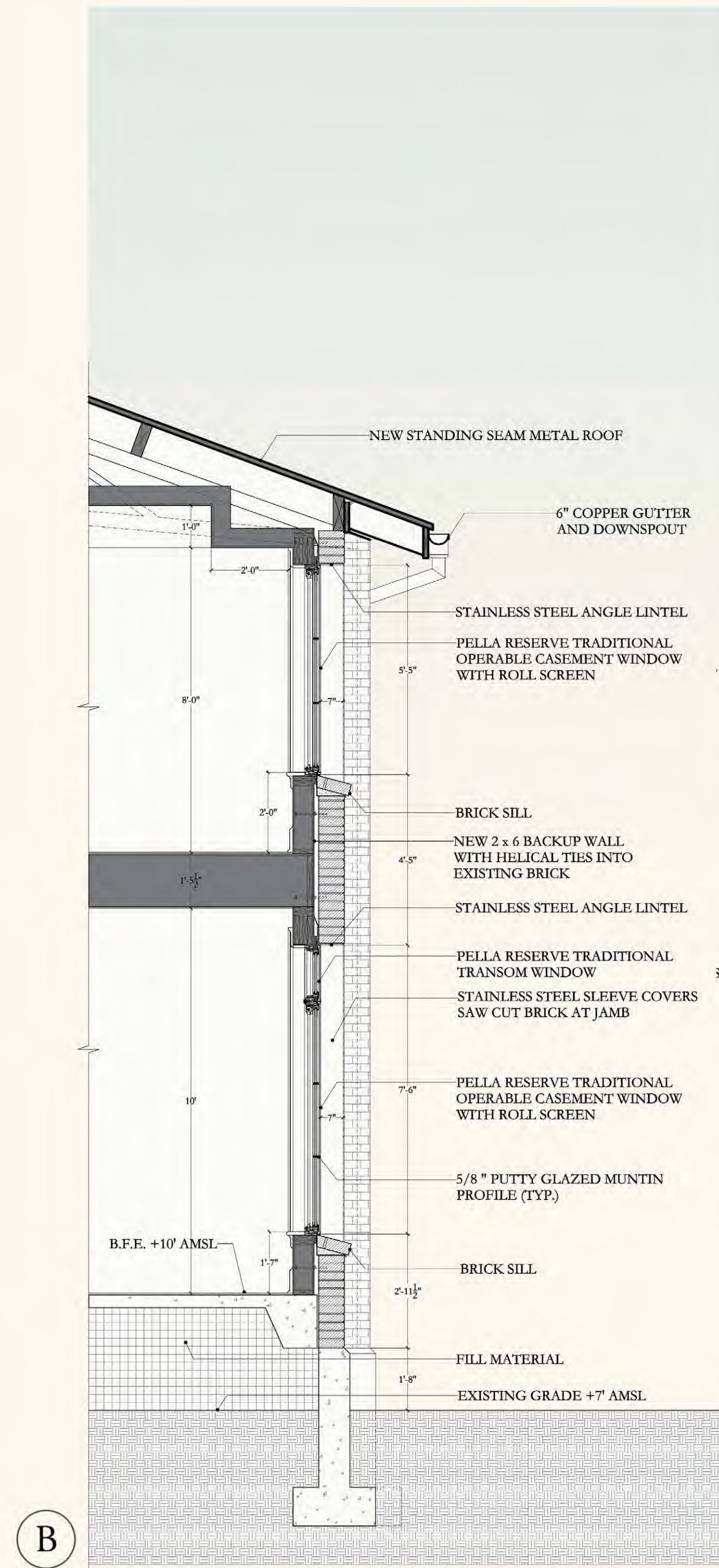
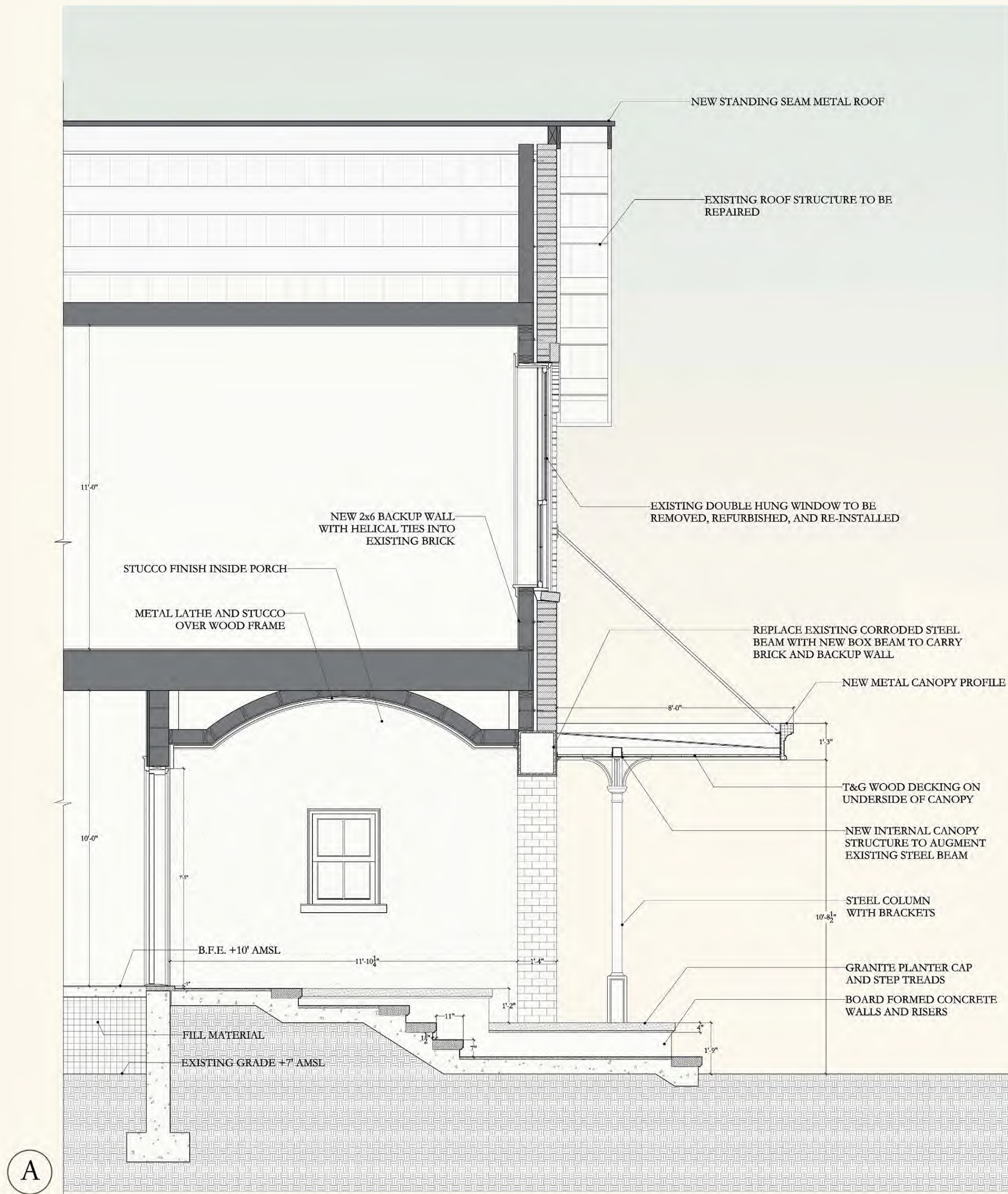
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GARAGE ELEVATIONS FINAL

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HISTORIC FORT MOULTRIE POST THEATER





SCALE: 3/8" = 1'-0" @ 22x34

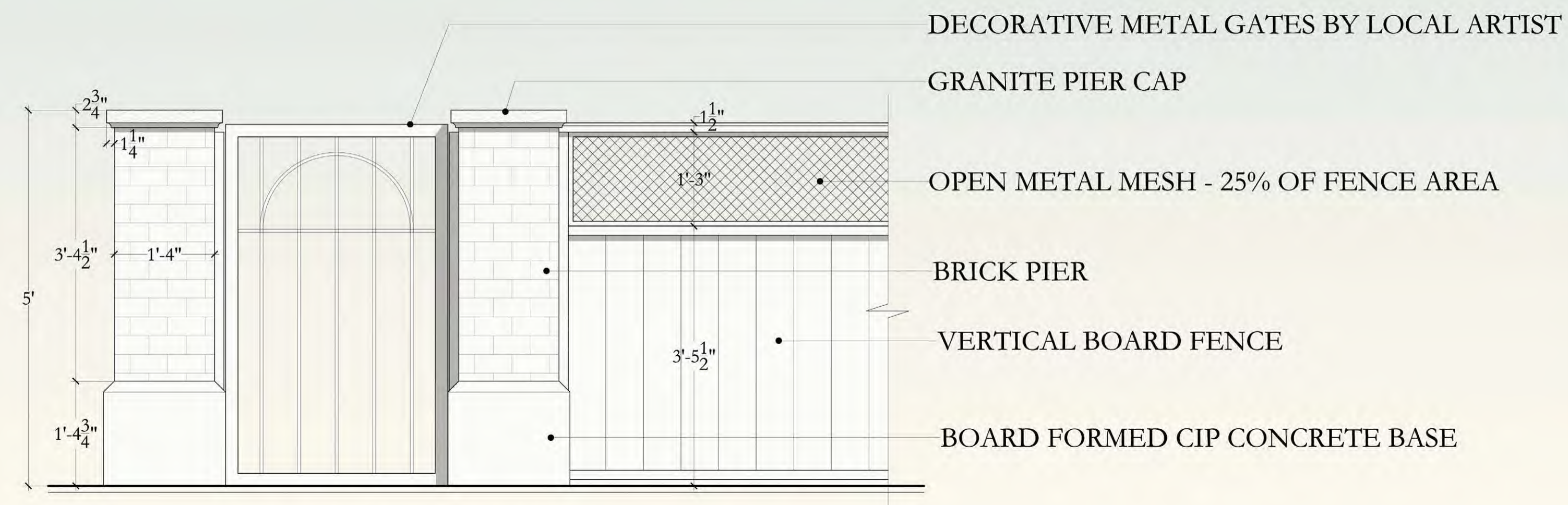
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BUILDING WALL SECTIONS

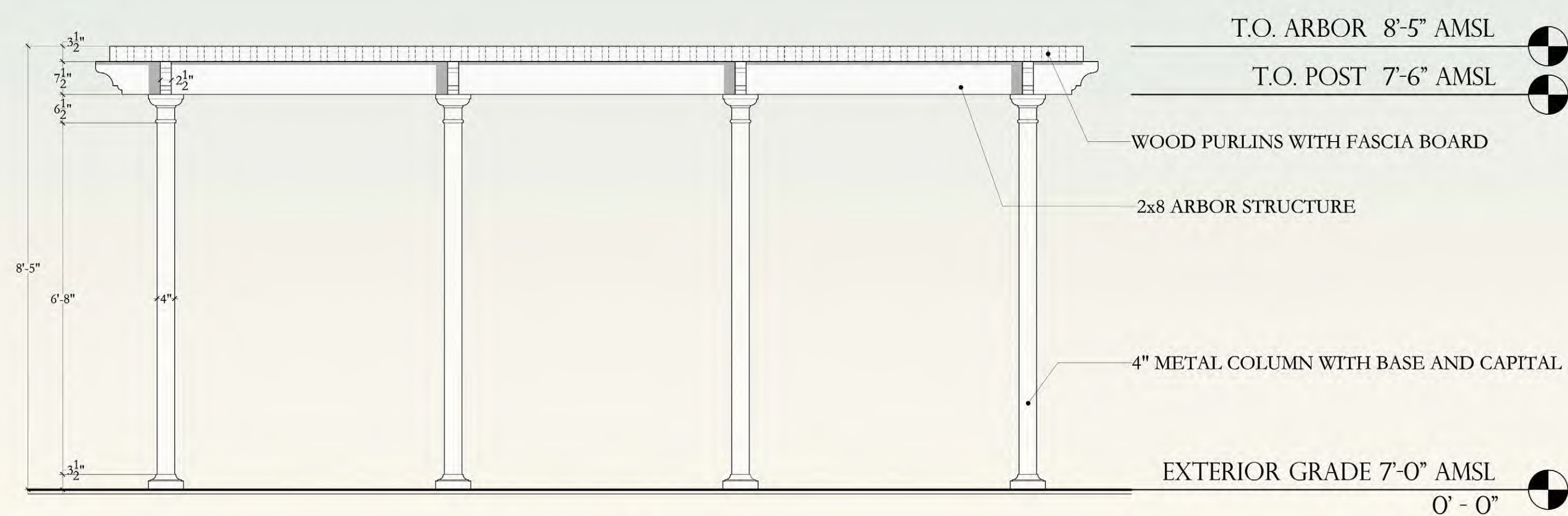
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HISTORIC FORT MOULTRIE POST THEATER

Novella
HOMES



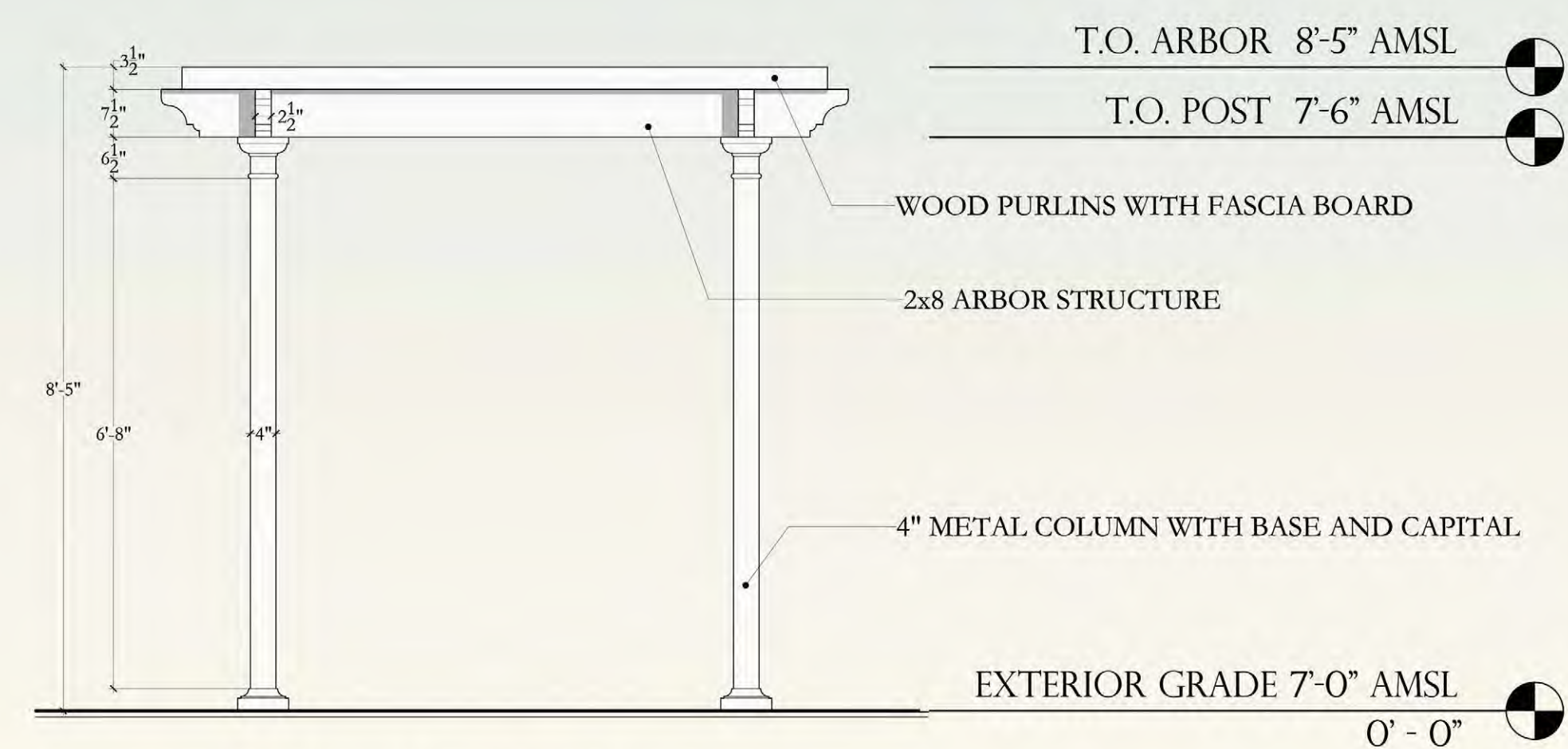
Pier and Fence Elevation Detail

SCALE: 3/4" = 1'-0" @ 22x34



Arbor Side Elevation

SCALE: 1/2" = 1'-0" @ 22x34



Arbor End Elevation

SCALE: 1/2" = 1'-0" @ 22x34

ARBOR & FENCE DETAIL

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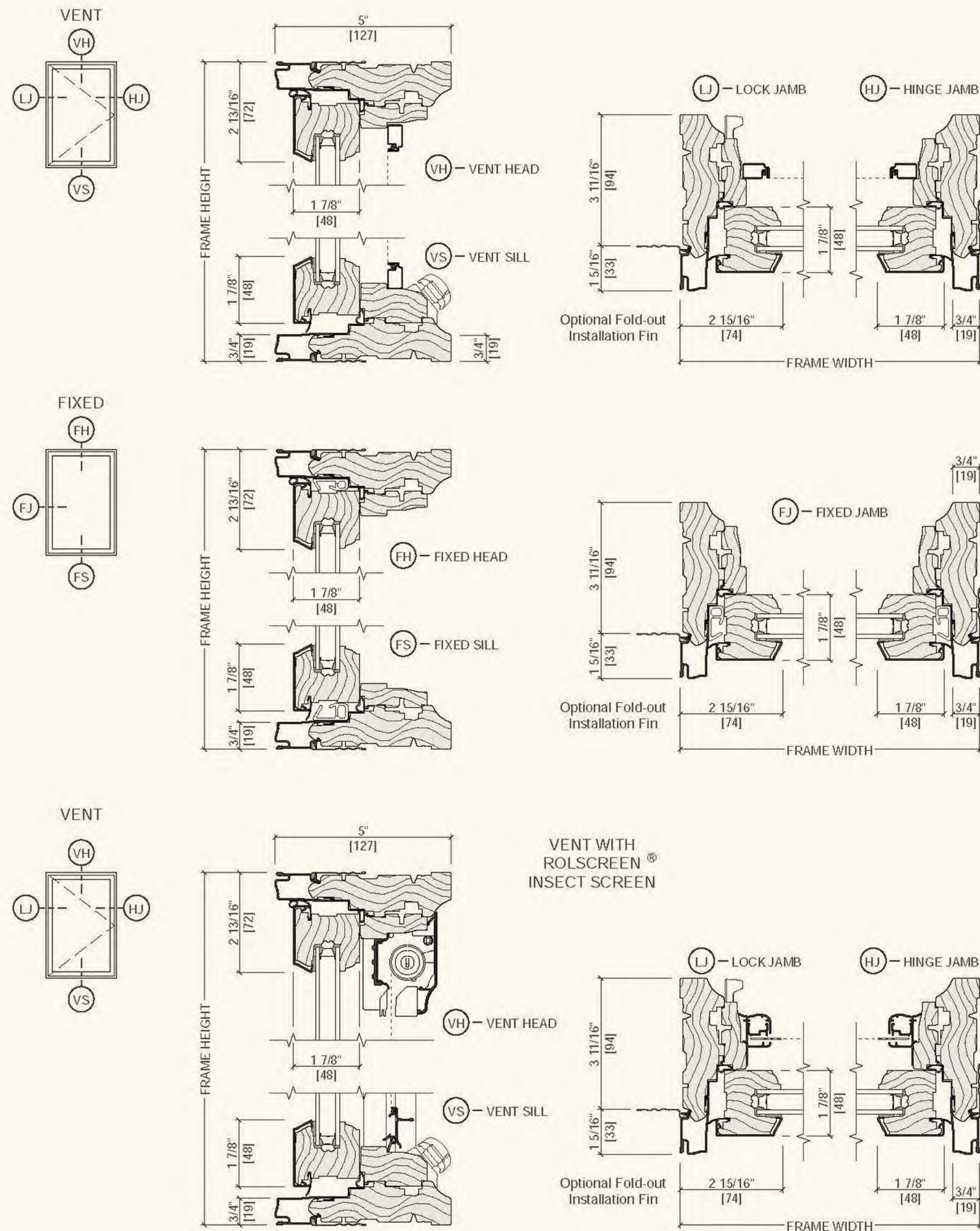
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Pella® Reserve™ Traditional Casement Window

Unit Sections – Aluminum-Clad Exterior, Putty Glaze Exterior Profile



Scale 3\"/>

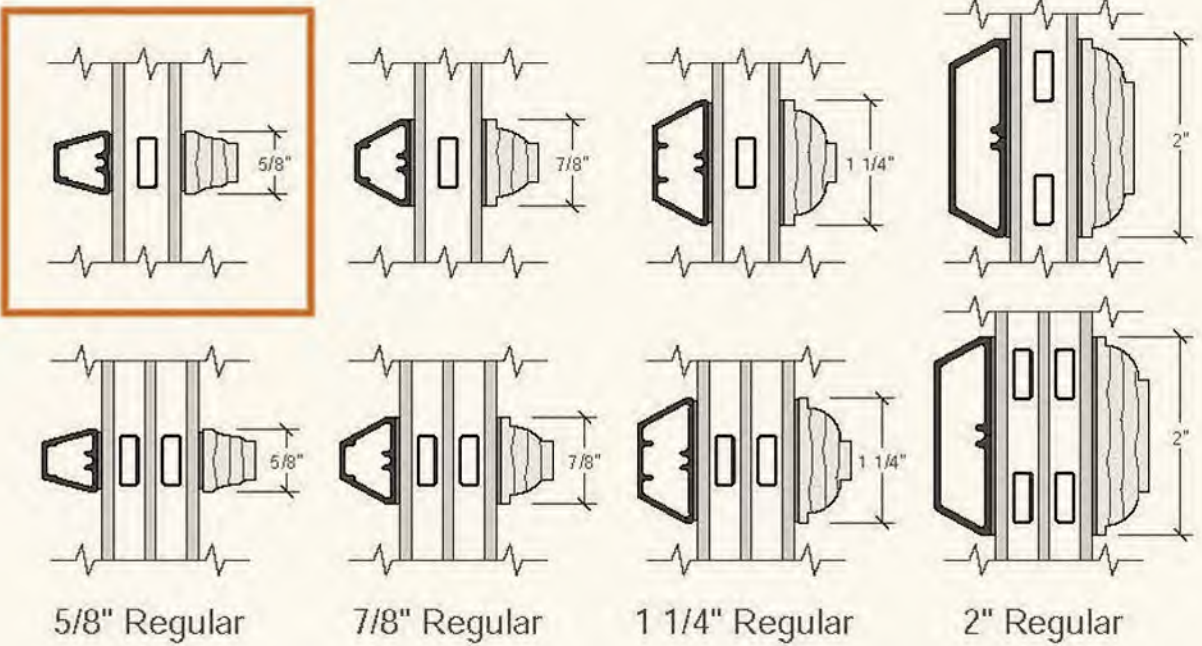


Pella® Reserve™ Traditional Casement Window

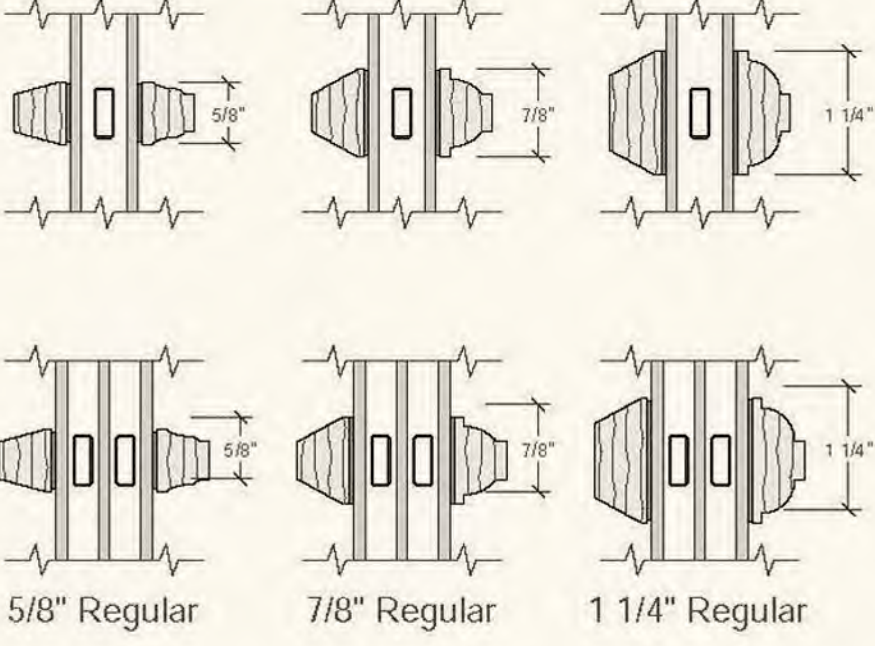
Grille Profiles

Traditional Style Collection - Integral Light Technology®

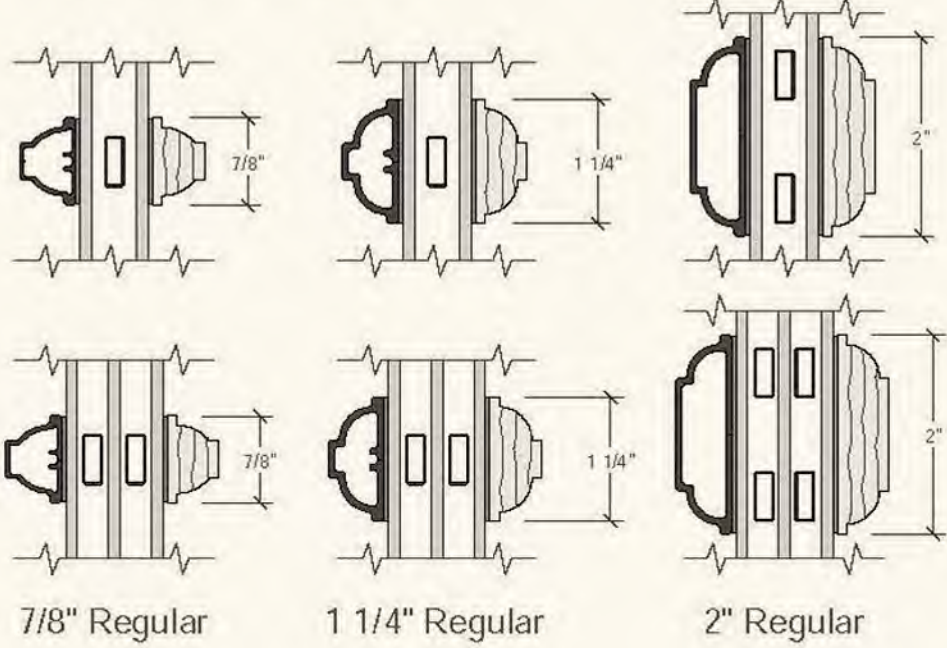
Putty Glaze and Ogee Grilles
Clad Exterior - Wood Interior



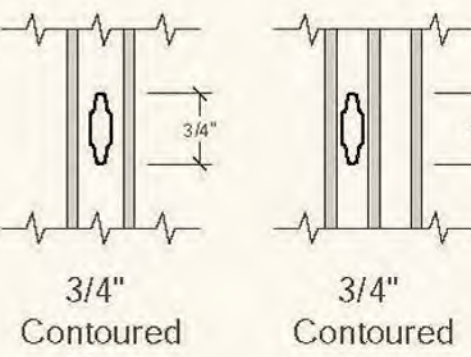
Putty Glaze and Ogee Grilles
Wood Exterior - Wood Interior



Ogee Grilles
Clad Exterior - Wood Interior



Grilles-Between-the-Glass



Interior Wood ILT grilles available in Pine, Mahogany, Douglas Fir to match complete unit.
Exterior wood ILT grilles available in Pine or Mahogany to match complete unit.

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OPERABLE & FIXED WINDOWS

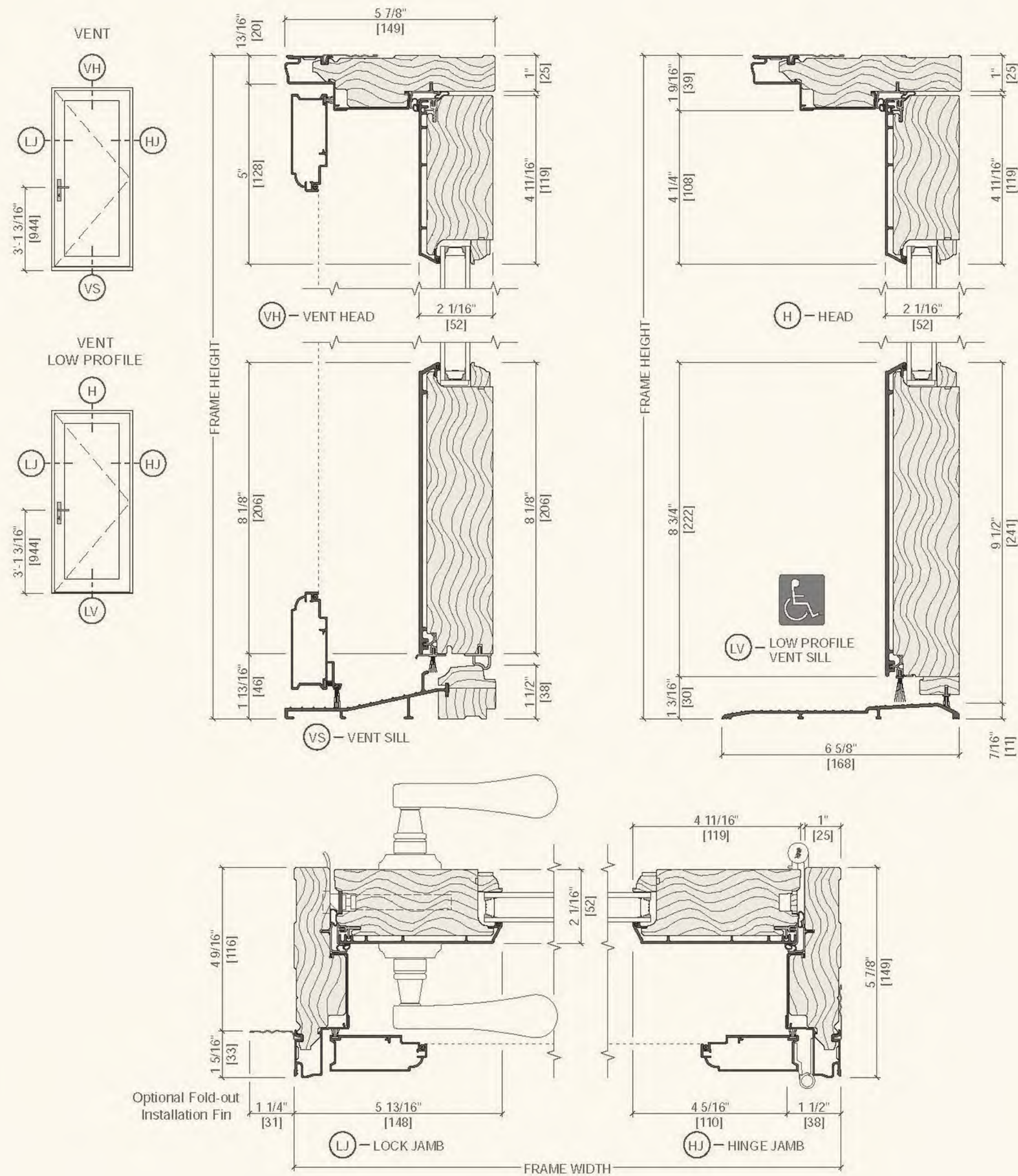
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HISTORIC FORT MOULTRIE POST THEATER





Pella® Reserve™ Traditional In-Swing Patio Door

Unit Sections – Aluminum-Clad Exterior, Putty Glaze Exterior Profile



Scale 3" = 1' 0"
All dimensions are approximate.
Water resistance is 0 psf for doors with low profile sill
rev. 8/30/21

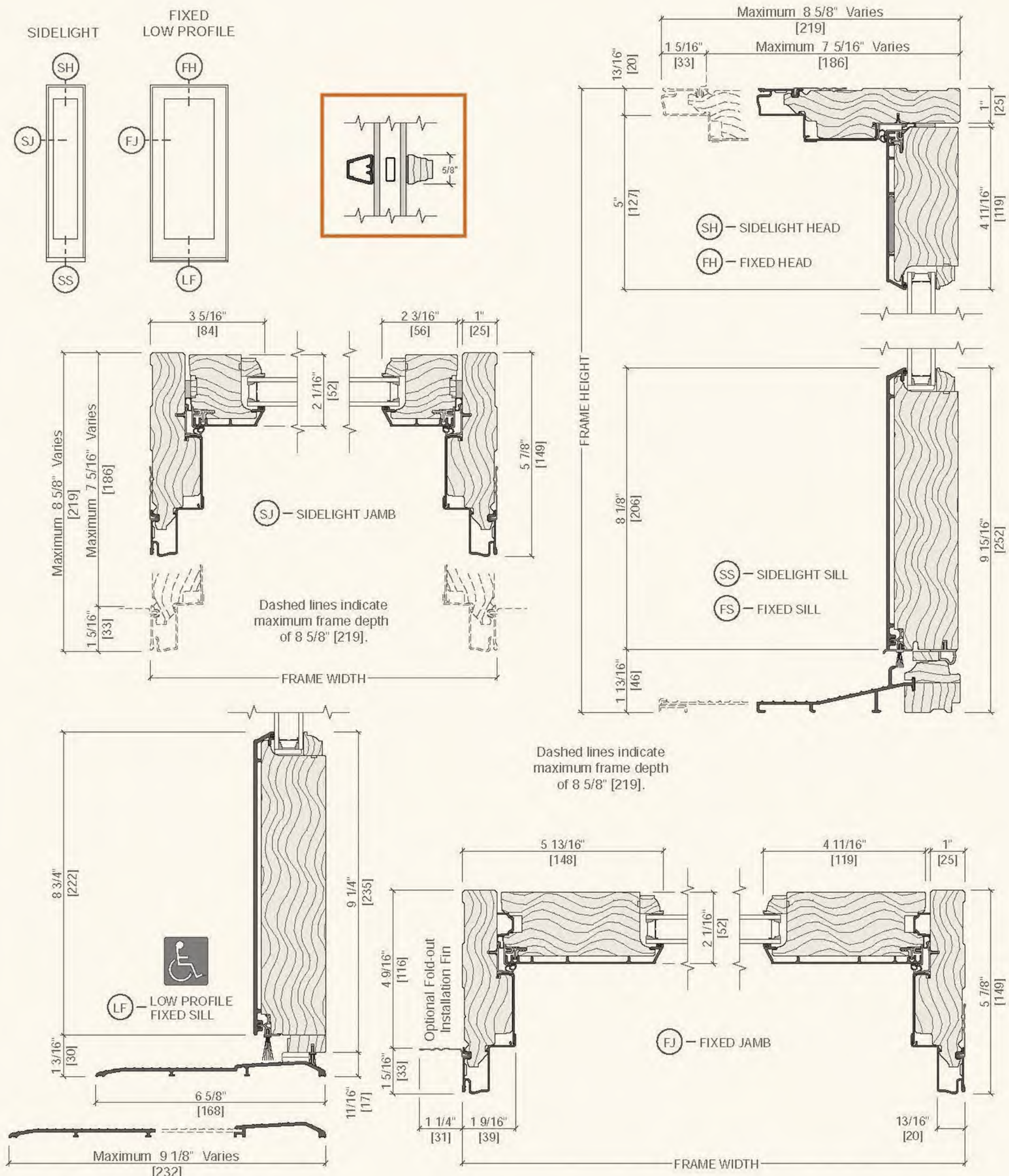
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ISD-37



Pella® Reserve™ Traditional In-Swing Patio Door

Unit Sections – Aluminum-Clad Exterior, Putty Glaze Exterior Profile



Scale 3" = 1' 0"
All dimensions are approximate.
rev. 1/19/23

Water resistance is 0 psf for doors with low profile sill.

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ISD-38

OPERABLE & FIXED DOORS

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER

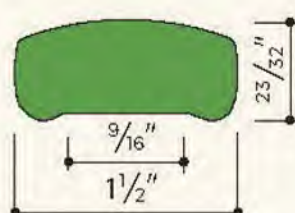
CISSELL DESIGN STUDIO

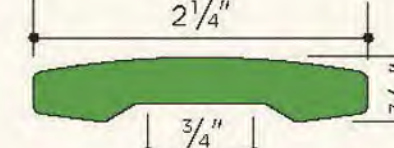
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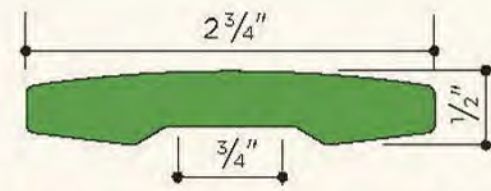


■ STAINLESS Type 304 (18-8), 20' lengths, except as noted ■ STEEL C1010, 20' lengths


Scale: 6" = 1'-0", except as noted

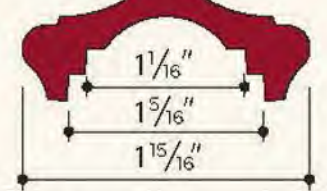

6503 Stainless 2.54 lb/ft
No fittings available
16' lengths

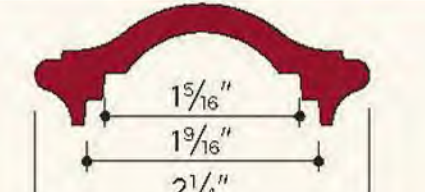

6502 Stainless 2.80 lb/ft
No fittings available
16' lengths

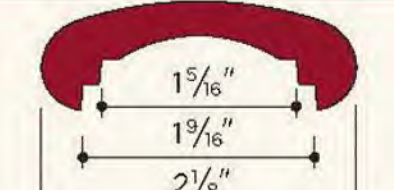

6501 Stainless 4.05 lb/ft
No fittings available
16' lengths

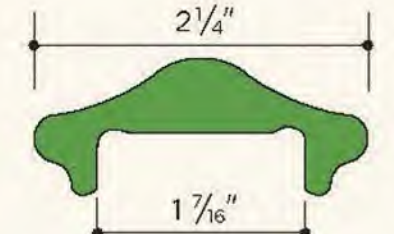
Steel mouldings are hot-rolled carbon steel, C1010. Fittings are cast in malleable iron, making them weldable and bendable.

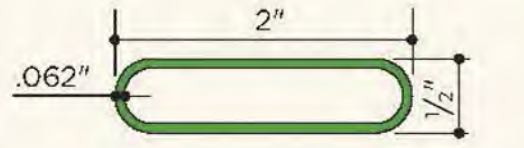

4429 used with 1" channel
4429 Prime Domestic Steel 1.50 lb/ft
Fittings: B-C-CC-CL-CR-E-F-GL-GR-JL-JR-L-N-S-SL-SR-T-U-UC-UL-V

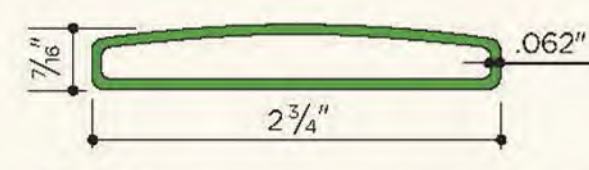

4428 Steel 2.25 lb/ft
Fittings: B-C-CC-CL-CR-E-GL-GR-L-N-S-V

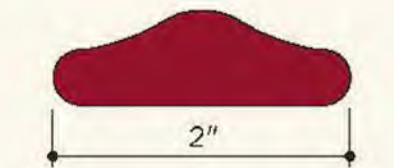

4441 Steel 2.14 lb/ft
Fittings: B-C-CC-CL-CR-E-GL-GR-N-S-T-U-UC-V



4435 Steel 2.65 lb/ft
Fittings: V

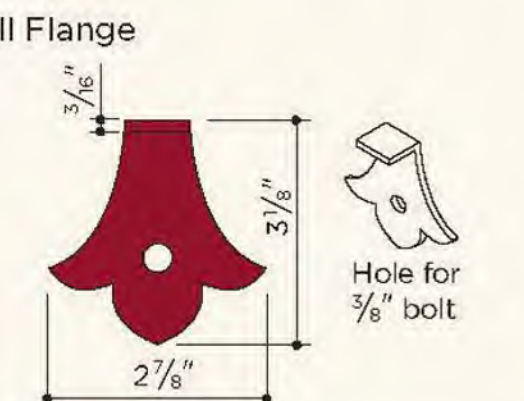

6513 Stainless 2.85 lb/ft
Fittings: N

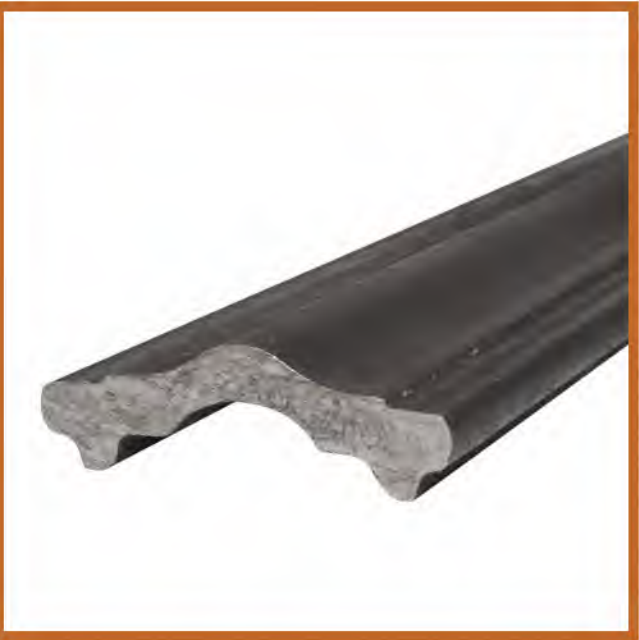

4488 Stainless .944 lb/ft
Fittings: N Suitable for elevator cab handrails


6511 Stainless 1.25 lb/ft
Fittings: N


4416 Steel 3.15 lb/ft
No fittings available


4445 Steel .688 lb/ft
Loafer rail fits over pipe or flat surface to discourage lounging or skating on fences, planters, railings, or storefronts.


401* Steel
Hole for 3/8" bolt
* Scale: 3" = 1'-0"



Symbols and Letter Designations for Steel Handrail Fittings
When specifying a fitting, add fitting designation to handrail moulding number (e.g. **4441-V**).
See page 116 for available channel sizes.

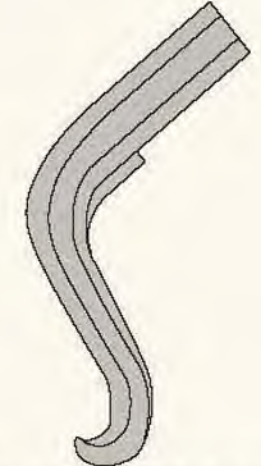
MALLEABLE IRON	
B	Bevel Lamb's Tongue
C	Corner Bend
CC	Channel Corner Bend
CL	Left Channel Lateral Scroll
CR	Right Channel Lateral Scroll
E	Terminal
F	Forged Lamb's Tongue
GL	Left Lateral Scroll
GR	Right Lateral Scroll
JL	Left Junior Lateral Scroll
JR	Right Junior Lateral Scroll
L	Corner Piece
N	Square End Piece
S	Straight Lamb's Tongue
SL	Left Junior Lateral Channel
SR	Right Junior Lateral Channel
T	Center Piece
U	End Urn Base
UC	Center Urn Base
UL	Corner Urn Base
V	Volute

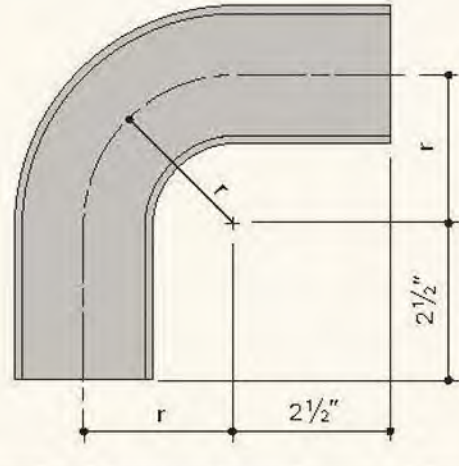
Julius Blum & Co., Inc. 800.526.6293 bluminfo@juliusblum.com juliusblum.com

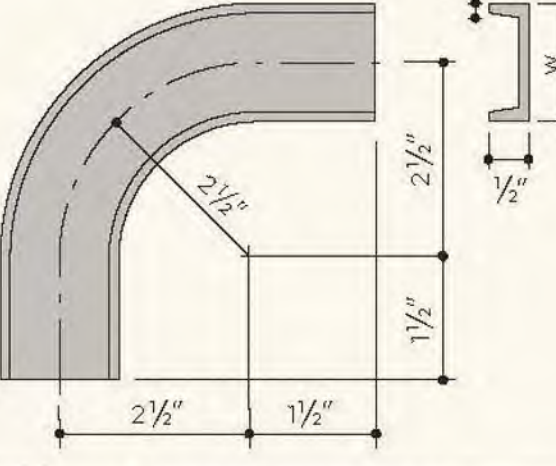
■ ALUMINUM ■ BRONZE ■ NICKEL-SILVER ■ MALLEABLE IRON/STEEL ■ STAINLESS

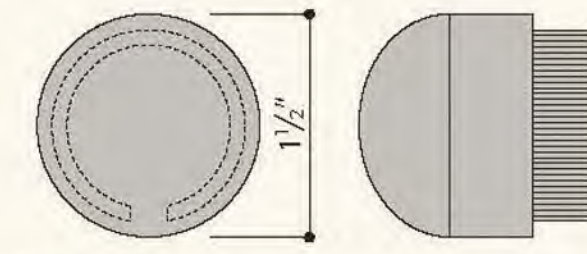
HANDRAIL FITTINGS

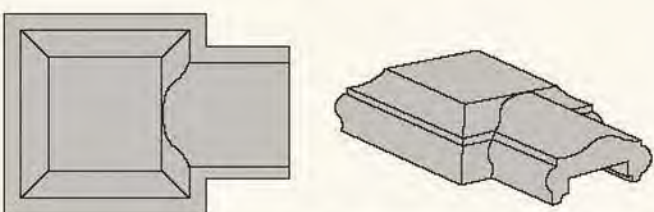
Satin finish, except as noted. Bronze and nickel-silver fittings are lacquered. See pages 44-46 for specific fittings availability.

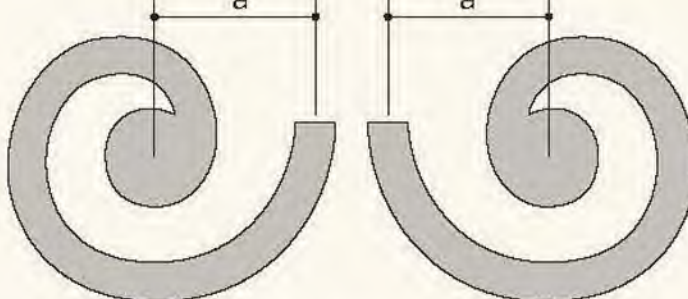

B Bevel Lamb's Tongue

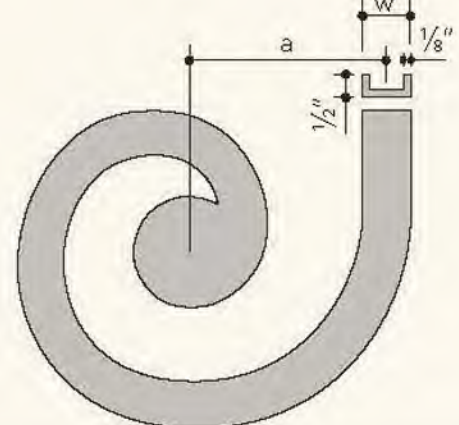

C Corner Bend
Trim one leg for use as a wall return. Combine two corner bends together for 180° turns.

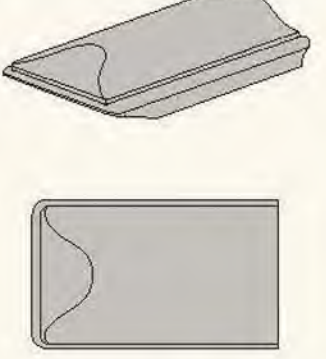

CC Channel Corner Bend
"As Cast" finish
Fits the underside of moulding corner bend.
See page 45 for fittings availability.

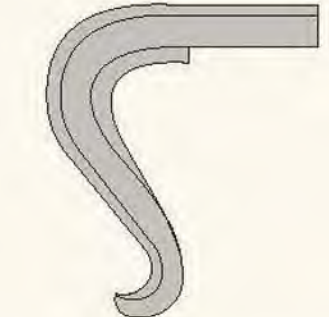

D Domed End Cap

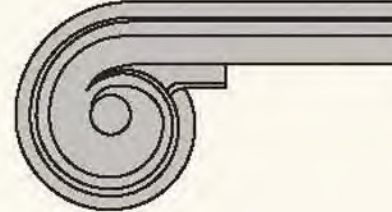

E Terminal


GL Left Lateral Scroll
GR Right Lateral Scroll


CL Left Channel Lateral Scroll
CR Right Channel Lateral Scroll
Fits the underside of moulding lateral scroll.


N** Square End Piece
** Stainless and steel with square front corners


S Straight Lamb's Tongue


V Volute

MOULDING LATERAL SCROLLS
Satin finish, except as noted. Moulding lateral scrolls may be bent to meet the pitch of stair railings. Cast channel and steel flat bar scrolls fit the underside of moulding lateral scrolls. They may be punched for round or square balusters. Malleable iron produced in "As Cast" finish.

Be aware that due to the differences in tolerances between extruded handrail and cast fittings, butt joints usually require special attention to assure a proper match.

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STAMPED FASCIA MOUNT GUTTER BRACKETS

Stamped Fascia Bracket,
5", 6" & 8" Copper,
13 Aluminum Colors & Galvalume



45°
37.5°
30°
22.5°
15°
7.5°
Wedges for Angled Fascia



OUTLETS (3", 4" & 5")



Funnel Outlet
for 6" gutter with 4" outlet
and 5" gutter with 3" outlet
Copper & Chromated Aluminum



Flat Bottom
round outlet for K style gutter
(round downspout is more and more
popular as an upgrade with K style gutter)
Available in 3", 4" & 5"
Copper & 13 Aluminum Colors



Wide Flange Half Round Outlets
5/8" flange allows installation outside of
gutter (more mechanically correct) if desired
with holes for rivets or screws. Available
in 3", 4" & 5" Copper & 13 Aluminum Colors

DOWNSPOUTS (3", 4" & 5")

ALL SMOOTH DOWNSPOUT HAVE ONE END EXPANDED FOR EASY ASSEMBLY



Copper
Aluminum
Galvalume

All downspouts and elbows are available in 3", 4" & 5" in smooth and corrugated. Available in copper, 13 aluminum colors and Galvalume. 5" available in select colors. Downspouts can be made from .032 custom Kynar colors only upon special request.

RESERVE® WOOD

LIMITED EDITION

- Handcrafted 5 or 4-layer wood construction with polystyrene insulation provides a durable and energy efficient door. R-value 5.9*.
- Built with a swing-out appearance and convenient upward-acting operation.
- Windows available in true divided or simulated divided window designs with clear glass are standard. Many glass options are available. See page 47 for options.
- Handcrafted, coped overlays are standard with true divided window designs. Non-coped overlays are standard with simulated divided windows.
- Heavy-duty hinges, rollers and track provide smooth, quiet, long-lasting operation.
- Unique one-piece drip cap design keeps water from flowing behind grooved overlays for improved durability.
- Vinyl weatherseal with optional aluminum weatherseal retainer helps seal out the elements and protect the bottom of the door.
- All doors can be factory primed, finished painted White or factory stained. See pages 40-43 for staining options. Custom stain and paint colors also available.
- Doors come standard with spade lift handles and step plate. Optional decorative hardware shown on page 44.

*Calculated door section R-value is in accordance with DASMA TDS-163.



DESIGN 1



DESIGN 5

Window/Top Sections



REC13



REC14



SQ23



SQ24



ARCH3



ARCH4



ARCH13



ARCH14



ARCH3 (Double Panel)



TOP11



TOP12



TOP13



TOP14



ARCH1

Additional double width door arch designs available. To view additional designs, windows and top sections available, please visit www.clopaydoor.com

Wood Options

OVERLAYS



Meranti (M)



Redwood (R)



Lt. Cedar (C)



Mixed Cedar (C)

BASE FACE MATERIAL



T&G Meranti (M)



T&G Redwood (R)



T&G Lt. Cedar (C)



T&G Mixed Cedar (C)



T&G Dark Cedar (C)



T&G Fir (F)



Dark Cedar (C)



Fir (F)



Extra* (P)

Extra* wood base and overlays cannot be stained. On tongue-and-groove (T&G) base doors, the wood species of the tongue-and-groove must match the wood species of the overlay.

18

GUTTERS & GARAGE DOORS

1454 MIDDLE STREET | SULLIVAN'S ISLAND | SOUTH CAROLINA
HISTORIC FORT MOULTRIE POST THEATER

CISSELL DESIGN STUDIO

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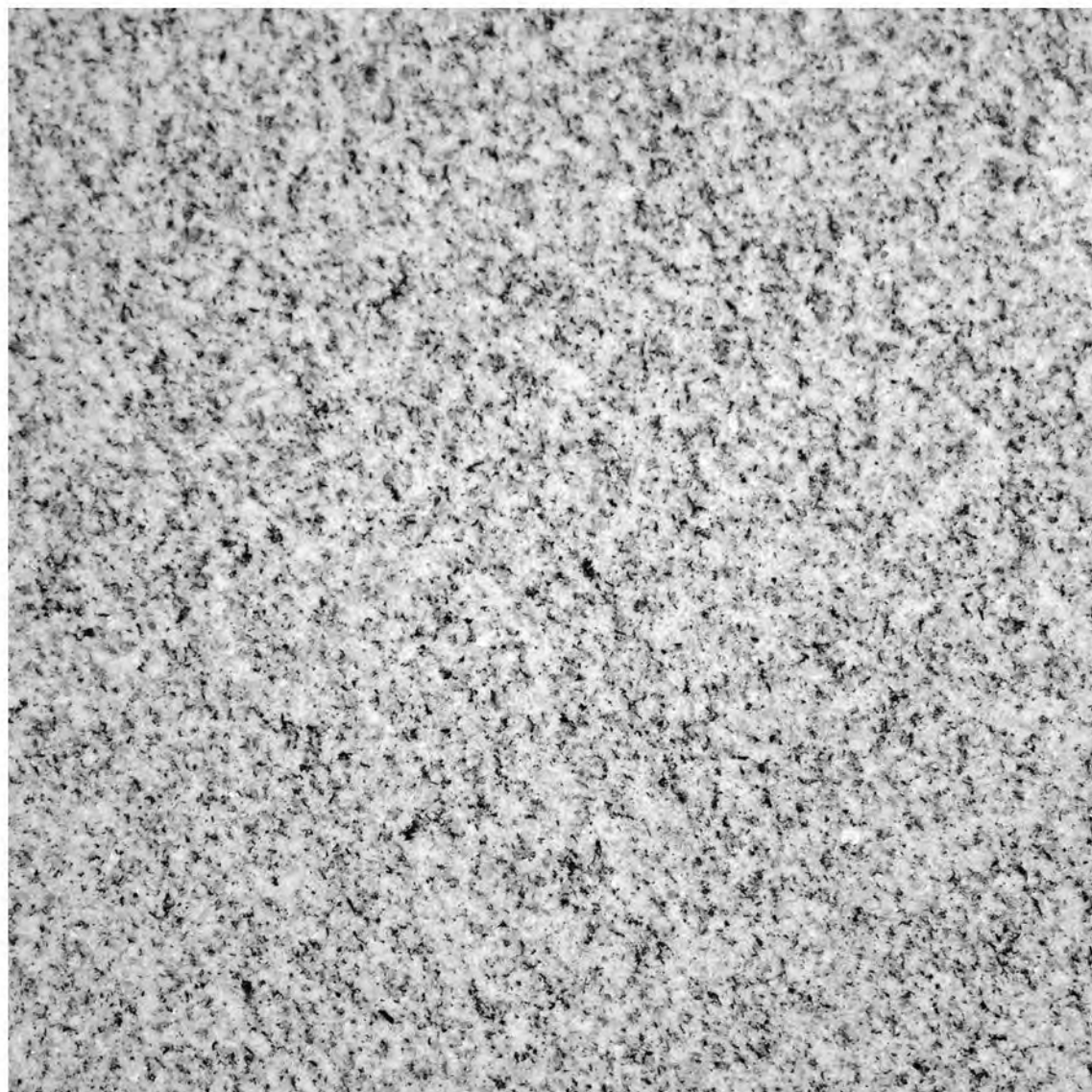
URBANE BRONZE - SW 7048

- Window Frames
- Metal Canopies & Columns
- Screened Porch Panels & Trim
- Handrails



AMAZING GRAY - SW 7044

- Building Eaves
- Eave Fascia
- Stucco in Porches



GEORGIA GRAY GRANITE

- Planter Caps
- Step Treads
- Paving in Porches and Pool Deck



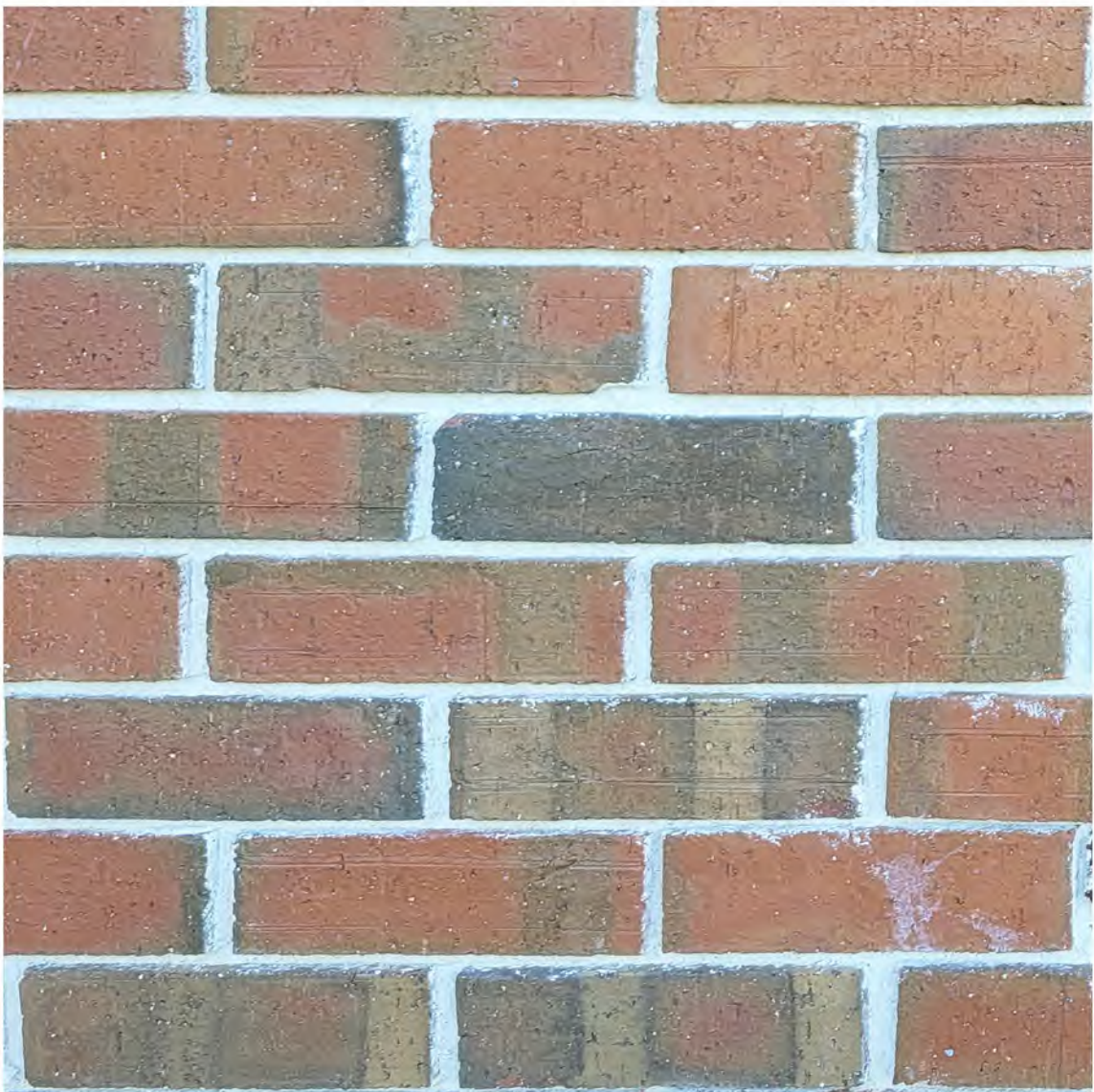
DARK BRONZE STANDING SEAM METAL

- Principal Building Roof
- Accessory Structures Roofs



CAST-IN-PLACE CONCRETE

- Garage & Pool House Water Table
- Planter Walls & Stair Risers



VARIEGATED PRESSED BRICK

- Principal Building Repairs
- Garage & Pool House Exterior



PLANTATION MIX GRAVEL

- Permeable Paths



NATURAL COPPER

- Gutters
- Downspouts



MIDDLE STREET VIEW

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SIDE ENTRANCE GARDEN VIEW

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REAR COURTYARD VIEW

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THOMPSON AVENUE VIEW

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