

Adams Residence | 1808 Ion Ave. | Sullivan's Island . SC . 29482

eefava architects, etc, inc. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefava.com

\*PROJECT DRAWINGS, DESIGN & DETAILS ARE THE PROPERTY OF E E FAVA ARCHITECTS, COMPLETED EXCLUSIVELY FOR: "CLIENT NAME" AND MAY NOT BE UTILIZED OTHERWISE WITHOUT ADVANCE WRITTEN PERMISSION FROM E E FAVA ARCHITECTS



SHEET LIST

|        |                                                 |
|--------|-------------------------------------------------|
| A000   | Cover                                           |
| Survey | Existing Exterior Photos                        |
| H101   | Property Timeline and Historic Plat Information |
| H102   | Historic Maps and Aerials                       |
| H103   | Historic Images                                 |
| PH101  | Existing Exterior Photos                        |
| AE100  | Existing Site Plan                              |
| AE101  | Existing First Floor Plan                       |
| AE102  | Existing Roof Plan                              |
| AE201  | Existing South and East Elevations              |
| AE202  | Existing North and West Elevations              |

Historic Designation Set  
Adams Residence - 1808 Ion Ave.

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

I CERTIFY THAT THE PROPERTY SHOWN HEREON IS IN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO FEMA AND HUD FLOOD HAZARD BOUNDARY MAPS.

| LINE TABLE |               |          |
|------------|---------------|----------|
| Id         | Bearing       | Distance |
| L1         | S 70°47'07" W | 12.35'   |
| L2         | N 72°31'32" E | 12.24'   |

NOTES:

1. THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN FLOOD ZONE AE, EL. 10' ON FLOOD INSURANCE RATE MAP NUMBER 45019C0539K. MAP REVISED JANURY 29, 2021.
2. THE BEARINGS SHOWN ARE MAGNETIC AND SUBJECT TO LOCAL ATTRACTION.
3. ANYTHING SHOWN OUTSIDE OF THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
4. THIS SURVEY IS BASED ON THE REFERENCE SHOWN AND DOES NOT CONSTITUTE A TITLE SEARCH.

- LEGEND:
- IPF1"PT - 1" PINCHED TOP PIPE FOUND, OLD.
  - IPF1"OT - 1" OPEN TOP PIPE FOUND, OLD.
  - REBAR(F) - 5/8" REBAR FOUND, OLD.
  - CP - CALC. POINT
  - PP - POWER POLE
  - LP - LIGHT POLE
  - EHH - ELECTRICAL HAND HOLE.
  - EBOX - ELECTRICAL BOX
  - WV - WATER VALVE
  - WM - WATER METER
  - ICV - IRRIGATION CONTROL VALVE
  - CHH - COMMUNICATION HAND HOLE.
  - SDGI - STORM DRAIN GRATE INLET
  - 12"RCP - 12" REINFORCED CONCRETE PIPE.
  - IE - INVERT ELEVATION.
  - 22"PALM - 22" PALM DIAMETER AT BREAST HEIGHT.
  - 8"LO - 8" LIVE OAK DIAMETER AT BREAST HEIGHT.
  - 18"MAG - 18" MAGNOLIA DIAMETER AT BREAST HEIGHT.
  - 7"YH - 7" YAUPOH HOLLY DIAMETER AT BREAST HEIGHT.
  - 13"PINE - 13" PINE DIAMETER AT BREAST HEIGHT.
  - 35"OAK - 35" OAK DIAMETER AT BREAST HEIGHT.
  - 7"POTA - 7" POTACARPUS DIAMETER AT BREAST HEIGHT.
  - 7"CYP - 7" CYPRESS DIAMETER AT BREAST HEIGHT.
  - 21"25"LO - DOUBLE 21"25" LIVE OAK DIAMETER AT BREAST HEIGHT.
  - CMC - CREPE MYRTLE CLUSTER DIAMETER AT BREAST HEIGHT.
  - EL 7.5' - SPOT ELEVATION 7.5' M.S.L., NAVD'88.

TMS: 529-09-00-001  
LOT 196  
No. 1802 ION AVENUE  
N/F: LAURA M. GROOMS  
& KEVIN L. GROOMS

TMS: 529-09-00-003  
N/F: THE 1813 MIDDLE / 1814 I'ON  
HORIZONTAL PROPERTY REGIME

## TOPOGRAPHIC PLAT

OF LOT 197 (0.45 ACRES) AND BEACH PASSAGE WAY (0.06 ACRES), MOULTRIEVILLE, TOWN OF SULLIVAN'S ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA. PRESENTLY OWNED BY THE KNOFF LIVING TRUST DATED APRIL 16, 2015.

SCALE: 1" = 20'

DATE: APRIL 10, 2023

REF: PLAT BK."R", PG. 063  
REF: DEED BK. "0470", PG. 446

TMS: 529-09-00-002 (LOT 197)  
TMS: 529-09-00-092 (BEACH ACCESS)

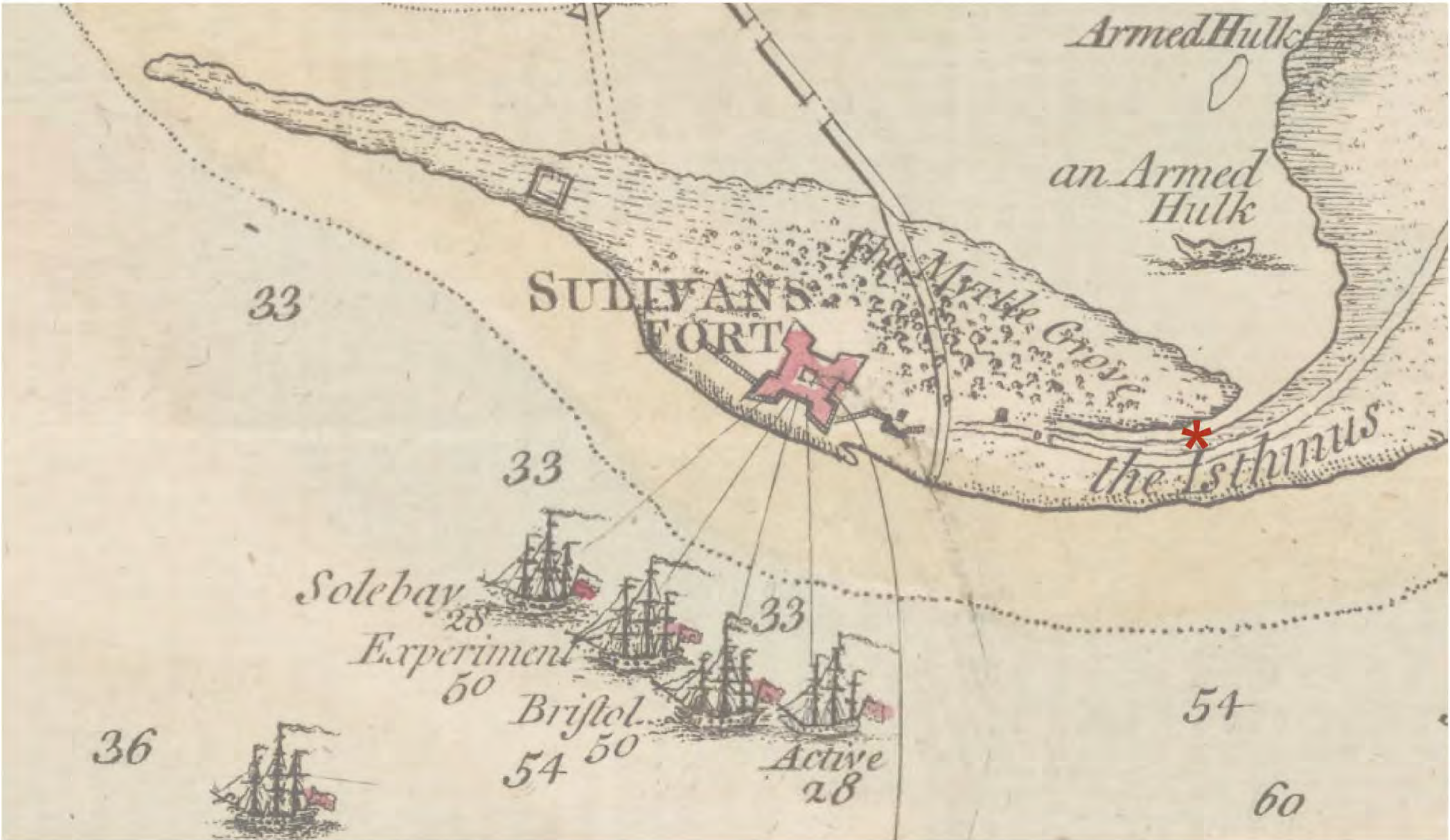
ALEXANDER C. PEABODY, PLS  
PEABODY & ASSOCIATES, INC.  
PROFESSIONAL LAND SURVEYING  
P.O. BOX 22646, CHARLESTON, SC 29413  
OFFICE 843-723-5225 MOBILE 843-270-4847



CHARLESTON COUNTY  
SOUTH CAROLINA

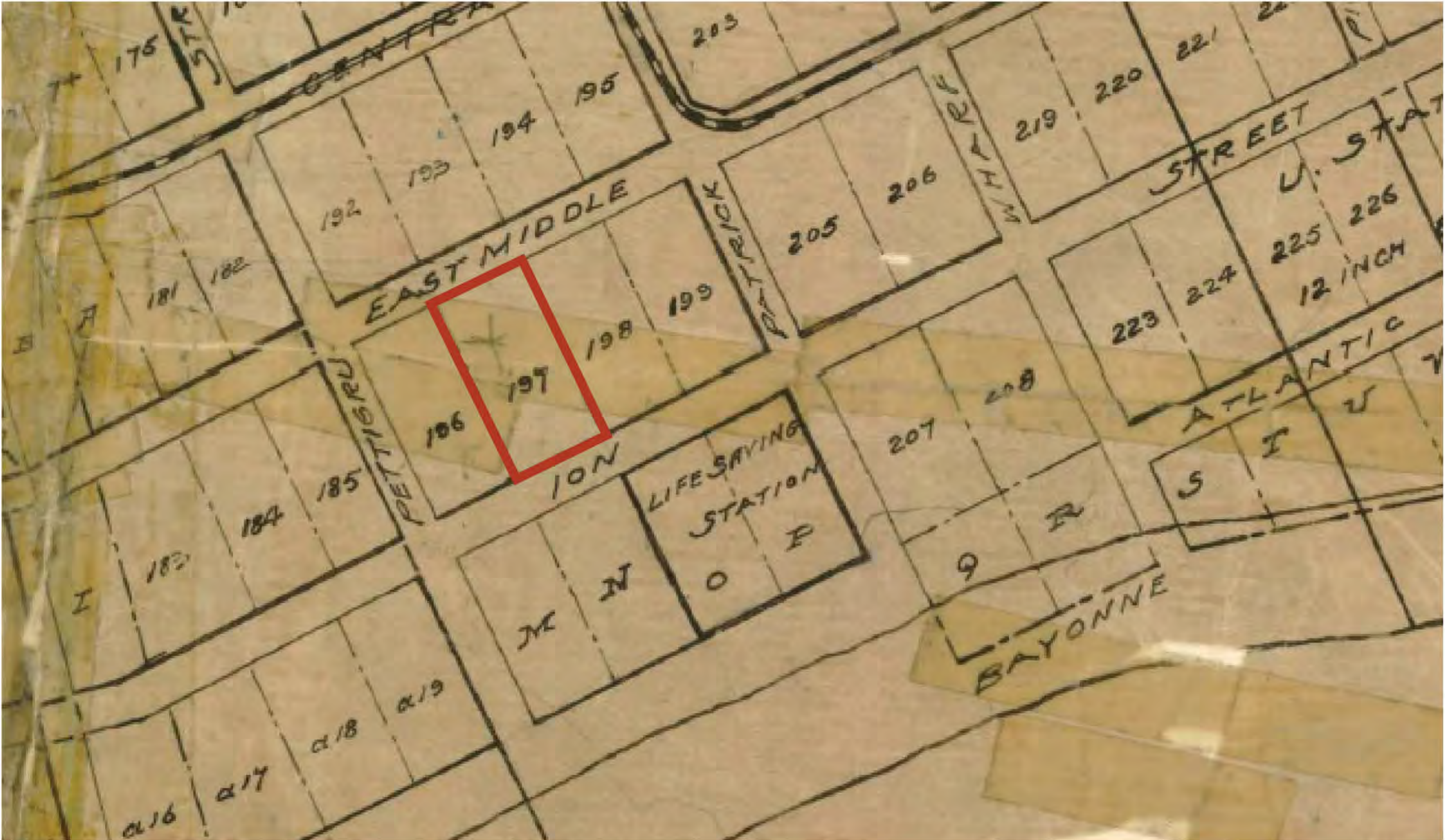
PROPERTY TIMELINE

|        |                                                                                                                                                                                                                |
|--------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| [1707] | A quarantine station is built on Sullivan’s Island.                                                                                                                                                            |
| [1776] | The Battle of Sullivan’s Island occurred nearby on the island.                                                                                                                                                 |
| [1817] | The town of Moultrieville is established on the south end of Sullivan’s Island.                                                                                                                                |
| [1861] | Fort Moultrie participated in the bombardment of Fort Sumter and the start of the Civil War.                                                                                                                   |
| [1895] | The Life-Saving Station is constructed across the street.                                                                                                                                                      |
| [1902] | The lot is noted as Lot 197 on the Plan of the Town of Moultrieville as it expanded north.                                                                                                                     |
| [1906] | The property is conveyed to John Henry F. Koenig. The house is constructed around this date.                                                                                                                   |
| [1906] | The town of Moultrieville is replaced with the town of Sullivan’s Island.                                                                                                                                      |
| [1908] | Central Avenue is extended north to Station 18.                                                                                                                                                                |
| [1912] | Koenig is forced to sell the property in a judgment for “R. M. Marshall & Brother,” operated by Alex and Trapier Marshall. Prudential Realty and Investment Company acquires the buildings and lot at auction. |
| 1924]  | The house is illustrated on the Sanborn Map. The lot is noted as 203 Ion Avenue.                                                                                                                               |
| 1933]  | Elise H. Marshall buys the property from the Prudential Realty and Investment Company.                                                                                                                         |
| 1938]  | The structure appears unchanged in the Sanborn map.                                                                                                                                                            |
| [1945] | Magdalen H. Siegling buys the property.                                                                                                                                                                        |
| [1967] | The property is listed for sale and purchased by Carole A. Austin for \$8,550.                                                                                                                                 |
| [1972] | John Robert Knopf purchases the property for \$14,200 as a beach house.                                                                                                                                        |
| [1990] | The property is conveyed to Ruth C. Knopf by the Estate of John Robert Knopf.                                                                                                                                  |
| [2015] | 1808 Ion Avenue is transferred to the Knopf Living Trust.                                                                                                                                                      |
| [2025] | The property is acquired by the current owners.                                                                                                                                                                |



Map of British Attack on Sullivan’s Island | c. 1776

\* Identifies the future location of 1808 I'on



Plat of Moultrieville Showing Lot 197 | c. 1902

historic images and mapping supplied by Coast Creek Design for reference and documentation.

Adams Residence | 1808 Ion Ave. | Sullivan's Island . SC . 29482

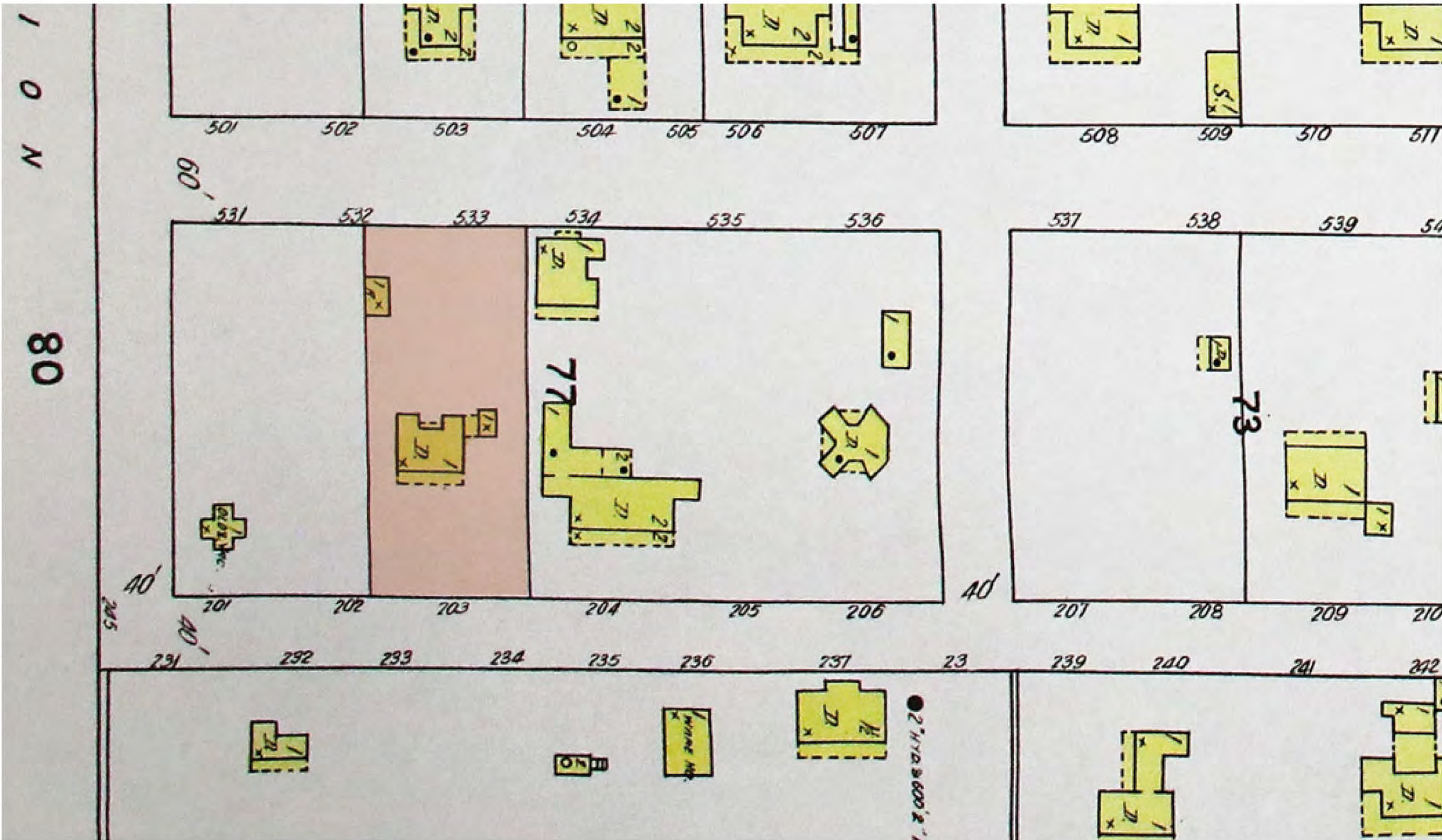
eefava architects, etc, inc. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefava.com

\*PROJECT DRAWINGS, DESIGN & DETAILS ARE THE PROPERTY OF E E FAVA ARCHITECTS, COMPLETED EXCLUSIVELY FOR "CLIENT NAME" AND MAY NOT BE UTILIZED OTHERWISE WITHOUT ADVANCE WRITTEN PERMISSION FROM E E FAVA ARCHITECTS

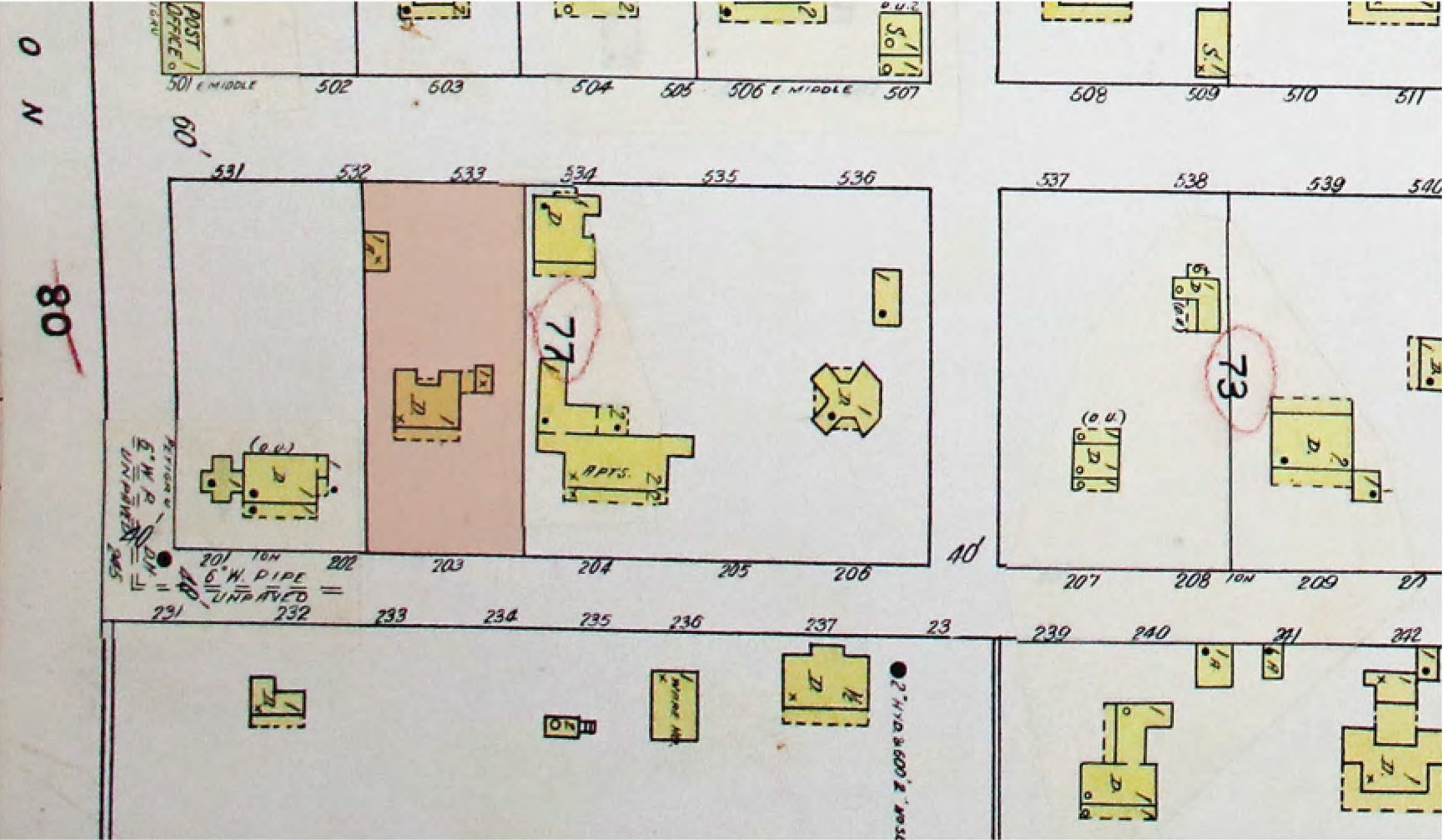
ALL DESIGN AND DETAILS ARE THE EXCLUSIVE PROPERTY OF E. E. FAVA ARCHITECTS, ETC.  
Note: These drawings are strictly representations of the existing conditions of the structure and are the result of on site investigations or accessible areas. All dimensions and scaled elements noted herein are for reference only and should be verified by all individuals utilizing these documents for any other purpose.



Census Map | 1917



Historic Sanborn Fire Insurance Map | 1924



Historic Sanborn Fire Insurance Map | 1938



Aerial Photograph | 1957

historic images and mapping supplied by Coast Creek Design for reference and documentation.

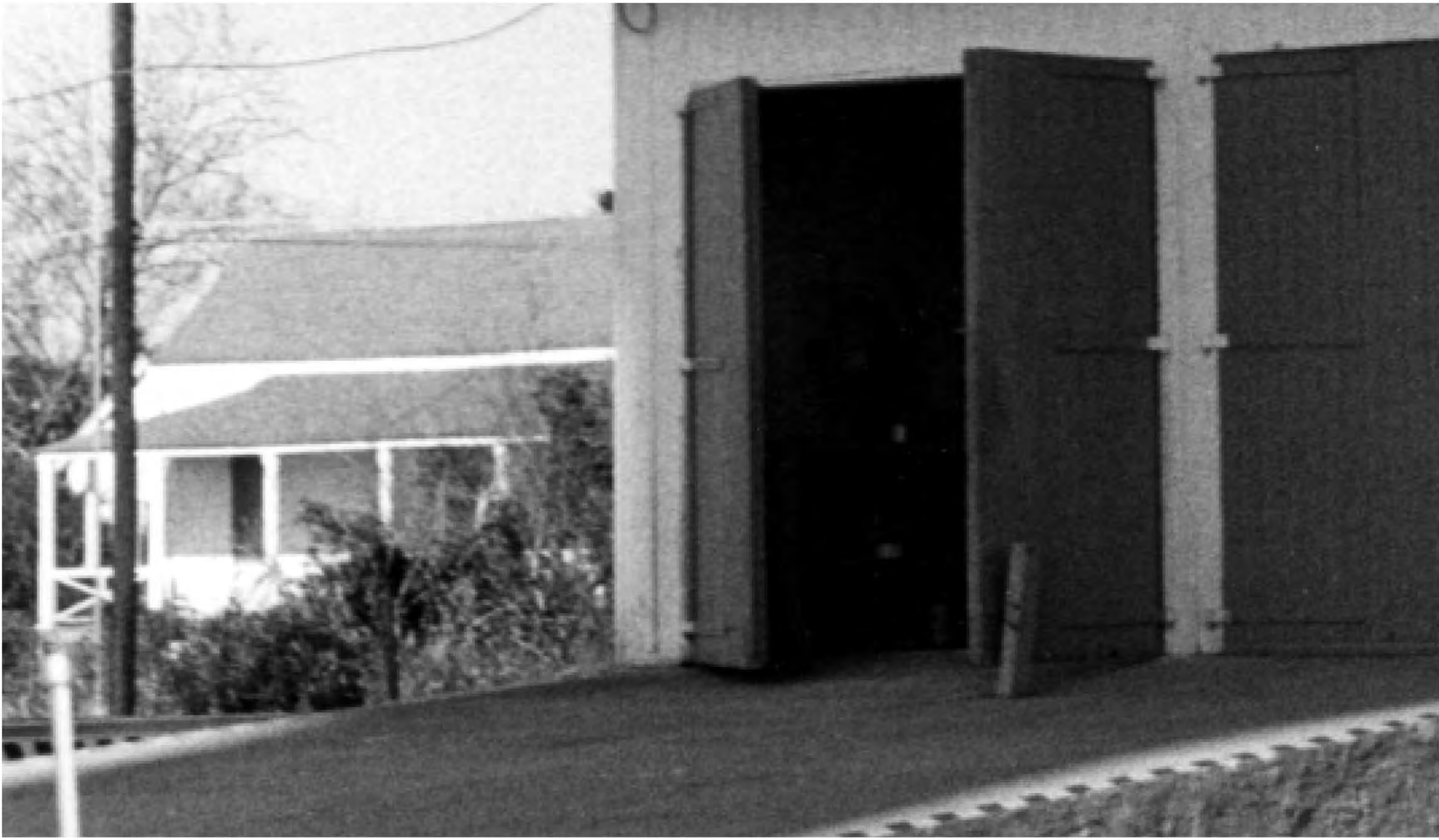
Adams Residence | 1808 Ion Ave. | Sullivan's Island . SC . 29482

eefava architects, etc, inc. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefava.com

\*PROJECT DRAWINGS, DESIGN & DETAILS ARE THE PROPERTY OF E. E. FAVA ARCHITECTS, COMPLETED EXCLUSIVELY FOR "CLIENT NAME" AND MAY NOT BE UTILIZED OTHERWISE WITHOUT ADVANCE WRITTEN PERMISSION FROM E. E. FAVA ARCHITECTS



Historic Photograph | 1940



Historic Photograph | 1972



Historic Photograph | 1972



Historic Photograph | 2004

historic images and mapping supplied by Coast Creek Design for reference and documentation.

Adams Residence | 1808 Ion Ave. | Sullivan's Island . SC . 29482

eefava architects, etc, inc. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefava.com

\*PROJECT DRAWINGS, DESIGN & DETAILS ARE THE PROPERTY OF E E FAVA ARCHITECTS, COMPLETED EXCLUSIVELY FOR "CLIENT NAME" AND MAY NOT BE UTILIZED OTHERWISE WITHOUT ADVANCE WRITTEN PERMISSION FROM E E FAVA ARCHITECTS

ALL DESIGN AND DETAILS ARE THE EXCLUSIVE PROPERTY OF E. E. FAVA ARCHITECTS, ETC.  
Note: These drawings are strictly representations of the existing conditions of the structure and are the result of on-site investigations or accessible areas. All dimensions and scaled elements noted herein are for reference only and should be verified by all individuals utilizing these documents for any other purpose.



Adams Residence | 1808 Ion Ave. | Sullivan's Island . SC . 29482

eefava architects, etc, inc. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefava.com

\*PROJECT DRAWINGS, DESIGN & DETAILS ARE THE PROPERTY OF E E FAVA ARCHITECTS, COMPLETED EXCLUSIVELY FOR "CLIENT NAME" AND MAY NOT BE UTILIZED OTHERWISE WITHOUT ADVANCE WRITTEN PERMISSION FROM E E FAVA ARCHITECTS



ALL DESIGN AND DETAILS ARE THE EXCLUSIVE PROPERTY OF E. E. FAVA ARCHITECTS, ETC.

be the result of on site investigations of accessible areas. All individuals utilizing these documents for any other purpose.

Adams Residence | 1808 Ion Ave. | Sullivan's Island . SC . 29482

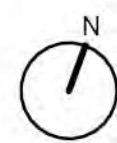
\*PROJECT DRAWINGS, DESIGN & DETAILS ARE THE PROPERTY OF E E FAVA ARCHITECTS, COMPLETED EXCLUSIVELY FOR "CLEINT NAME" AND MAY NOT BE UTILIZED OTHERWISE WITHOUT ADVANCE WRITTEN PERMISSION FROM E E FAVA ARCHITECTS

Denotes Historic  
Element Remaining



## First Floor Plan . Existing

SCALE: 1/4" = 1'-0'



e.e. fava architeds, etc.  
 54 broad street  
 newton, ma 02459/01  
 847.725.5069 | eefava.com

N

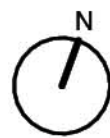
| Revisions |             |      |
|-----------|-------------|------|
| No.       | Description | Date |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |

10.17.2025

### Existing First Floor Plan

e. AE101

are the result of on site investigations of accessible areas. All dimensions and scaled elements noted herein are for reference only and should be verified by all individuals utilizing these documents for any other purpose.



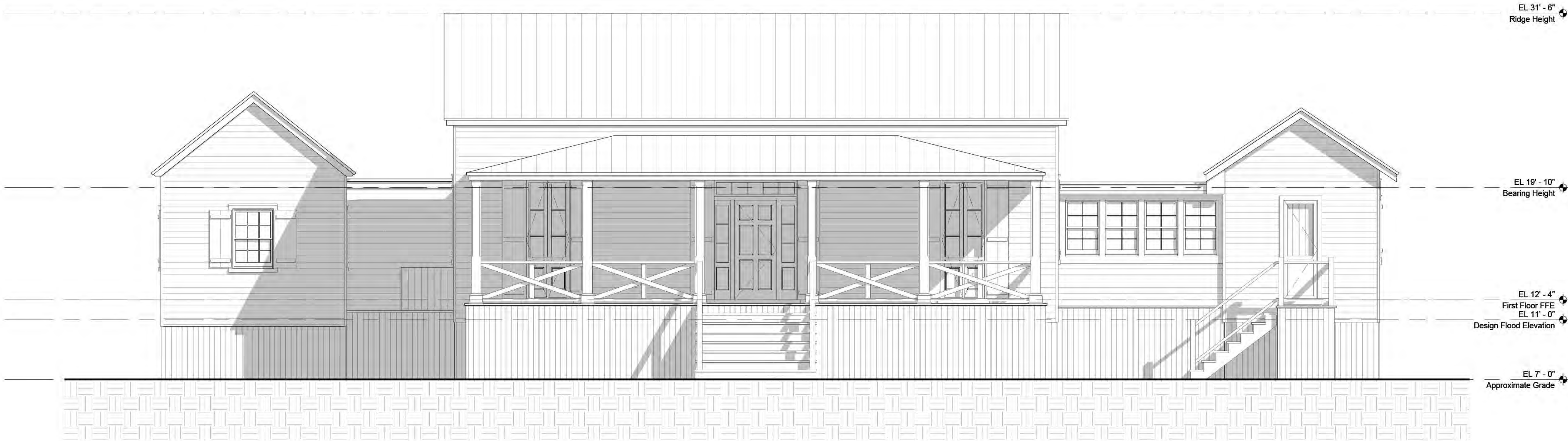
|  |  |                                                                                                    |
|--|--|----------------------------------------------------------------------------------------------------|
|  |  | e.e. feva architects, etc.<br>54 broad street<br>newbury, ny 12550/01<br>845.725.9589   eefeva.com |
|--|--|----------------------------------------------------------------------------------------------------|

N

| Revisions |             |      |
|-----------|-------------|------|
| No.       | Description | Date |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |
|           |             |      |

10.17.2025

ALL DESIGN AND DETAILS ARE THE EXCLUSIVE PROPERTY OF E. E. FAVA ARCHITECTS, ETC. - ALL RIGHTS RESERVED - DRAWINGS MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION. COPYRIGHT 2025.  
Note: These drawings are strictly representations of the existing conditions of the structure and are the result of on site investigations or accessible areas. All dimensions and scaled elements noted herein are for reference only and should be verified by all individuals utilizing these documents for any other purpose.



1  
AE201

Existing Elevation . SOUTH.

SCALE: 1/4" = 1'-0"



2  
AE201

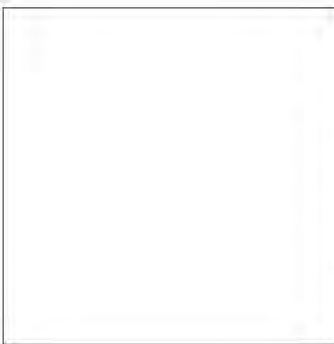
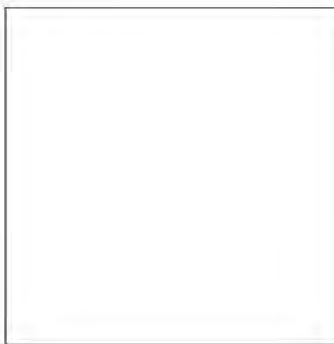
Existing Elevation . EAST.

SCALE: 1/4" = 1'-0"

General Notes

General Notes:

- Contractor shall maintain a neat & orderly construction site at all times and shall not allow the unnecessary accumulation of construction debris. Contractor's hours, access, staging area, dumpster, and portable w.c. location to be coordinated with and approved by Owner prior to commencement of work.
- The building shall remain secure and weather tight at all times. Contractor shall be responsible for securing all required permits and approvals necessary to initiate and complete specified work.
- All demolition and construction shall be in accordance with current applicable building codes and local regulation, including, but no limited to, the **MUNICIPALITY NAME** zoning and building inspections department as well as the State of South Carolina's Board of Adjustments and Appeals (FEMA variance).
- Contractor shall protect all existing doors, windows, casings, vainscoting, mantels, stair treads/raisls/balusters, and floor, wall, and ceiling surfaces specified to remain, TYPICAL.
- Contractor shall reference proposed plans while performing demolition work to confirm demolition boundaries. All dimensions must be verified by Contractor prior to the commencement of work.
- Contractor shall notify Architects immediately of any problems/discrepancies due to unforeseen conditions revealed during demolition & construction.
- Contractor shall notify Architect, Engineer and Owner immediately should demolition work reveal any additional 'hazmat' materials or substances that have not been previously removed. Architect waives all responsibility & liability for any work required, proposed and/or completed with hazardous materials or substances. Columns, exterior walls, and all other load-bearing components to remain undisturbed unless noted otherwise or approved by Licensed Structural Engineer.
- The design adequacy & safety of all temporary supports, bracing, & shoring is the sole responsibility of the Contractor.
- Contractor shall remove and properly dispose of ALL interior and exterior, obsolete electrical, and mechanical equipment, elements, piping, and building components specified for removal.
- Exterior windows/doors selected by Owner for removal or replacement shall not be removed until the openings may be sealed temporarily or finished as specified on construction documents.
- Removal of any finishes within the original structure shall be performed only after Owner approval. Contractor shall execute finish removal with greatest caution to prevent damage to adjacent components.
- All dimensions must be verified by Contractor prior to commencement of work, including installation of fixtures and/or architectural components. All fixture and architectural component sizes should be verified with Architect prior to purchase.
- Contractor shall verify with Architect and Engineer all structural, mechanical, electrical, and plumbing conditions requiring Engineer's / Consultant's approval. Contractor shall coordinate and verify all HVAC, Plumbing, and Electrical equipment fixture specifications and locations with Architect and Engineer prior to commencement of work.
- Contractor shall secure verification & approval in writing from the Owner for any requested change orders prior to commencing work associated with a change order.
- The Owner, Engineer, and Architect waive all responsibility & liability for Contractor's failure to follow the associated plans, specification notes, & design they convey, or for problems which arise from others' failure to obtain/follow the Owner's / Engineer's / Architect's guidance with respect to any inconsistencies, errors, omissions, ambiguities, or conflicts which are alleged.



e.e. fava architects, etc.  
54 broad street  
charleston, sc 29401  
843.723.5099 | eefava.com

Revisions

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

10.17.2025

Adams Residence | 1808 Ion Ave. | Sullivan's Island . SC . 29482

eefava architects, etc, inc. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefava.com

"PROJECT DRAWINGS, DESIGN & DETAILS ARE THE PROPERTY OF E E FAVA ARCHITECTS, COMPLETED EXCLUSIVELY FOR "CLIENT NAME" AND MAY NOT BE UTILIZED OTHERWISE WITHOUT ADVANCE WRITTEN PERMISSION FROM E E FAVA ARCHITECTS

Existing South and East  
Elevations  
AE201

ALL DESIGN AND DETAILS ARE THE EXCLUSIVE PROPERTY OF E. E. FAVA ARCHITECTS, ETC. - ALL RIGHTS RESERVED - DRAWINGS MAY NOT BE REPRODUCED IN ANY FORM WITHOUT WRITTEN PERMISSION. COPYRIGHT 2025.  
Note: These drawings are strictly representations of the existing conditions of the structure and are the result of on site investigations or accessible areas. All dimensions and scaled elements noted herein are for reference only and should be verified by all individuals utilizing these documents for any other purpose.



1  
AE202

Existing Elevation . NORTH.

SCALE: 1/4" = 1'-0"



2  
AE202

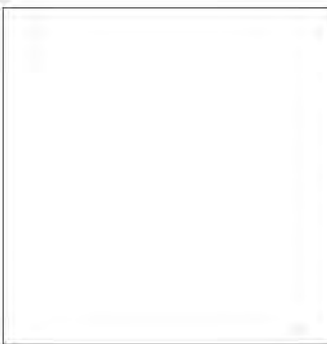
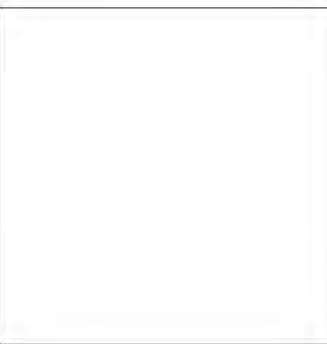
Existing Elevation . WEST.

SCALE: 1/4" = 1'-0"

General Notes

General Notes:

- Contractor shall maintain a neat & orderly construction site at all times and shall not allow the unnecessary accumulation of construction debris. Contractor's hours, access, staging area, dumpster, and portable w.c. location to be coordinated with and approved by Owner prior to commencement of work.
- The building shall remain secure and weather tight at all times. Contractor shall be responsible for securing all required permits and approvals necessary to initiate and complete specified work.
- All demolition and construction shall be in accordance with current applicable building codes and local regulation, including, but no limited to, the **MUNICIPALITY NAME** zoning and building inspections department as well as the State of South Carolina's Board of Adjustments and Appeals (FEMA variance).
- Contractor shall protect all existing doors, windows, casings, vainscoting, mantels, stair treads/raisls/balusters, and floor, wall, and ceiling surfaces specified to remain, TYPICAL.
- Contractor shall reference proposed plans while performing demolition work to confirm demolition boundaries. All dimensions must be verified by Contractor prior to the commencement of work.
- Contractor shall notify Architects immediately of any problems/discrepancies due to unforeseen conditions revealed during demolition & construction.
- Contractor shall notify Architect, Engineer and Owner immediately should demolition work reveal any additional 'hazmat' materials or substances that have not been previously removed. Architect waives all responsibility & liability for any work required, proposed and/or completed with hazardous materials or substances. Columns, exterior walls, and all other load-bearing components to remain undisturbed unless noted otherwise or approved by Licensed Structural Engineer.
- The design adequacy & safety of all temporary supports, bracing, & shoring is the sole responsibility of the Contractor.
- Contractor shall remove and properly dispose of ALL interior and exterior, obsolete electrical, and mechanical equipment, elements, piping, and building components specified for removal.
- Exterior windows/doors selected by Owner for removal or replacement shall not be removed until the openings may be sealed temporarily or finished as specified on construction documents.
- Removal of any finishes within the original structure shall be performed only after Owner approval. Contractor shall execute finish removal with greatest caution to prevent damage to adjacent components.
- All dimensions must be verified by Contractor prior to commencement of work, including installation of fixtures and/or architectural components. All fixture and architectural component sizes should be verified with Architect prior to purchase.
- Contractor shall verify with Architect and Engineer all structural, mechanical, electrical, and plumbing conditions requiring Engineer's / Consultant's approval. Contractor shall coordinate and verify all HVAC, Plumbing, and Electrical equipment fixture specifications and locations with Architect and Engineer prior to commencement of work.
- Contractor shall secure verification & approval in writing from the Owner for any requested change orders prior to commencing work associated with a change order.
- The Owner, Engineer, and Architect waive all responsibility & liability for Contractor's failure to follow the associated plans, specification notes, & design they convey, or for problems which arise from others' failure to obtain/follow the Owner's / Engineer's / Architect's guidance with respect to any inconsistencies, errors, omissions, ambiguities, or conflicts which are alleged.



e.e. fava architects, etc.  
54 broad street  
charleston, sc 29401  
843.723.5099 | eefava.com

Revisions

| No. | Description | Date |
|-----|-------------|------|
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |
|     |             |      |

10.17.2025

Adams Residence | 1808 Ion Ave. | Sullivan's Island . SC . 29482

eefava architects, etc, inc. | 54 Broad Street | Charleston, South Carolina 29401 | 843.723.5099 | eefava.com

"PROJECT DRAWINGS, DESIGN & DETAILS ARE THE PROPERTY OF E E FAVA ARCHITECTS, COMPLETED EXCLUSIVELY FOR: "CLIENT NAME" AND MAY NOT BE UTILIZED OTHERWISE WITHOUT ADVANCE WRITTEN PERMISSION FROM E E FAVA ARCHITECTS

Existing North and West  
Elevations  
AE202