

# PRIMARY SUITE ADDITION

## 2118 ATLANTIC AVENUE

### SULLIVAN'S ISLAND, SOUTH CAROLINA 29482

#### TMS # 529 09 00 061

ARCHITECTURAL DRAWINGS FOR DESIGN REVIEW BOARD

T1.0	TITLE SHEET	A1.1	FLOOR PLANS
SV1.0	CURRENT SURVEY	A2.0	EXTERIOR ELEVATIONS
SP1.0	SITE PLAN / PROPERTY INFO	A2.1	EXTERIOR ELEVATIONS
A1.0	FLOOR PLANS	A2.2	EXTERIOR ELEVATIONS



EXISTING EAST ELEVATION



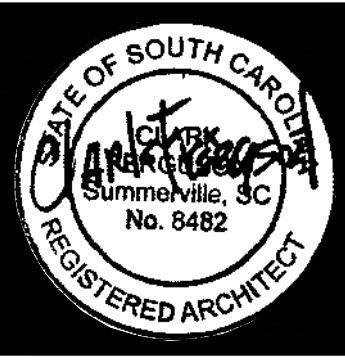
FEBRUARY 19TH DRB MEETING



MAY 21ST DRB MEETING

Owners:	Architect:	General Contractor:	Surveyor:	Structural Engineer:	Soils Engineer:	Pool Contractor:	Mechanical Contractor:	Electrical Contractor:	Plumbing Contractor:	Lighting Consultant:	Landscape Contractor:
John W. and Cynthia M. Ebert 2118 Atlantic Avenue Sullivan's Island, SC 29482	Clark Ferguson Architect 316 Hydrangea Street Summerville, South Carolina 29483 Email: mail@ClarkFerguson.com Website: ClarkFerguson.com Tel: 918.378.0753	Matt Teisort Bluebird Home Improvement 1520 Saint Stephens Way Hanahan, South Carolina 29410 Tel: 843.279.5470	Dean L. Britt Britt Land Surveying, Inc. P. O. Box 80333 Charleston, SC 29416 Tel: 843.810.6771	SK Structural Engineers Sara E. Katsanevakis, P.E. 972 Sea Gull Drive Mount Pleasant, SC 29464 Tel: 864.356.4531	Perryman Engineering, LLC John J. Perryman PE P.O. Box 62916 North Charleston, SC 29419 Tel: 843.693.2227	Aqua Blue Pools Christine Vanscoy 5190 Towels Road Hollywood, SC 29449 Tel: 843.76.7665	To Be Determined	To Be Determined	To Be Determined	To Be Determined	To Be Determined

CLARK  
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Cell 918 378 0753  
316 Hydrangea Street  
Summerville, South Carolina 29483  
Mail@ClarkFerguson.com  
LICENSED WITH STATE OF SOUTH CAROLINA



GENERAL CONTRACTOR:  
Matt Teisort

DRAWING  
FOR  
REVIEW

2118 ATLANTIC AVENUE  
SULLIVAN'S ISLAND, SOUTH CAROLINA 29482

ORIGINAL: 22 September 2023

DO NOT SCALE DRAWINGS  
SEE "S" SERIES DRAWINGS  
FOR MEMBER SIZING, ETC.

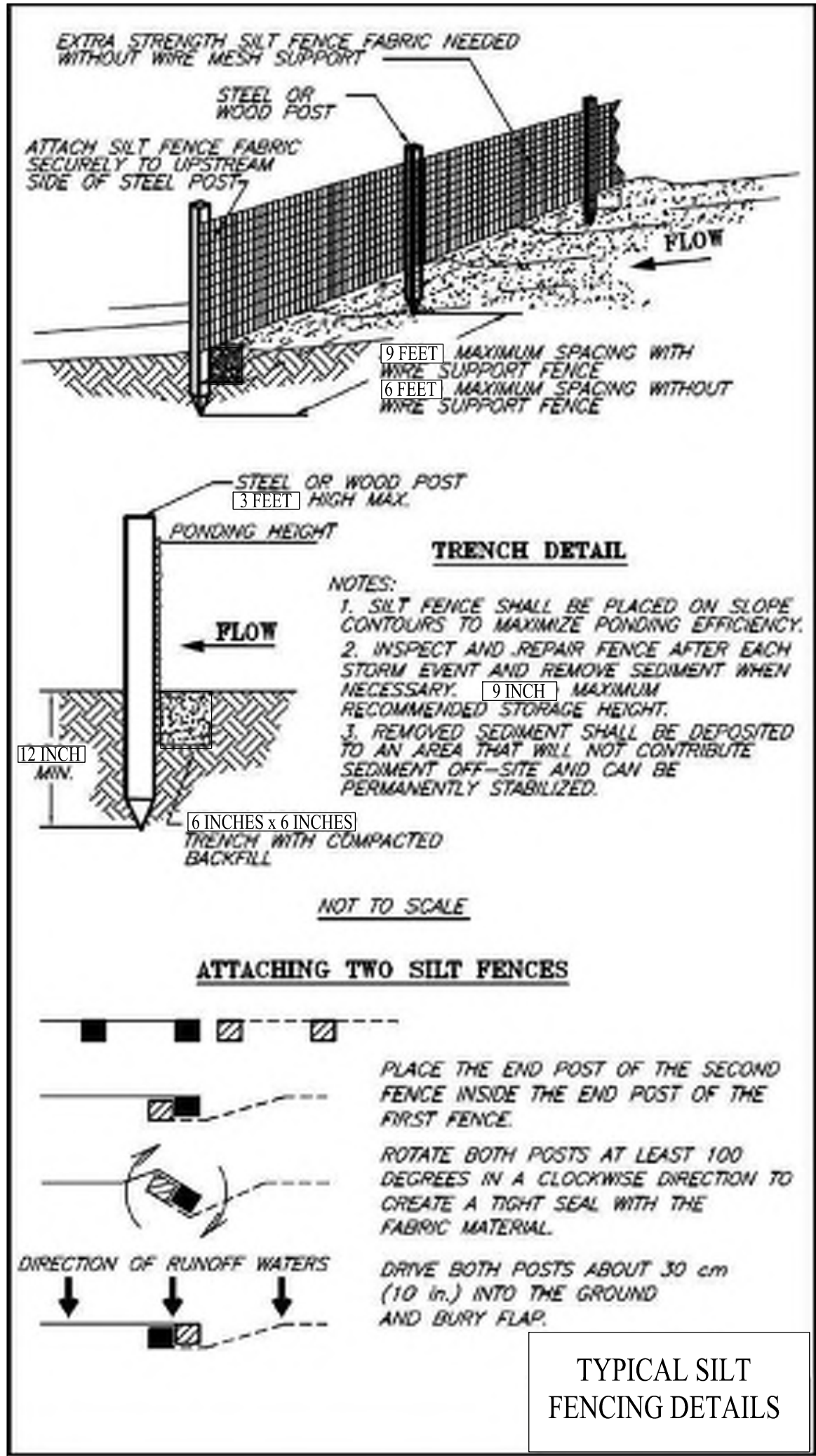
TITLE  
SHEET

T1.0

ORIGINAL DRAWING 24 INCHES X 36 INCHES



ORIGINAL DRAWING 24 INCHES X 36 INCHES



#### EROSION CONTROL NOTES:

1. SILT FENCE IS REQUIRED TO BE EMBEDDED TOWARDS CONSTRUCTION SITE.
2. STAKES ARE TO BE SPACE NO MORE THAN SIX (6) FEET.
3. ADDITIONAL ROWS MAY BE REQUIRED PER INSPECTION.
4. ROADS TO BE KEPT CLEAN. CONTRACTOR WILL BE RESPONSIBLE FOR SEDIMENT LEAVING SITE.
5. STORMWATER INLETS ARE TO BE PROTECTED WITH GEOTEXTILE FABRIC OR SILT FENCE WITH GRAVEL.
6. WASHOUT AREA AND DUMPSTER MUST BE LOCATED INSIDE SEDIMENT CONTROLLED AREA.

#### LEGEND:

- CMF CONCRETE MONUMENT FOUND 4"
- IS 5/8" RBS (REBAR SET)
- IF (IRON FOUND) SIZE/TYPE NOTED
- △ PK NAIL SET
- ▲ PK NAIL FOUND
- ⊗ WATER VALVE
- ⊗ WATER METER
- ⊠ ELECTRICAL TRANSFORMER
- ⊠ ELECTRICAL BOX
- ⊠ TELEPHONE BOX
- + SPOT ELEVATION
- ⊕ POWER POLE
- ⊙ SEWER CLEANOUT - SEWER TAP
- LOT LINE
- DHEC-OCRM (MARSH GRASS LINE)
- ADJACENT LOT LINE
- X - FENCE
- CED CEDAR
- \* PAL PALMETTO
- WN WALL NUT
- BLACK GUM
- OAK
- LO LIVE OAK
- GUM
- PEC PECAN TREE
- CH CHERRY
- HAK HACKBERRY
- PN PINE
- POP POPLAR TREE

#### NOTES:

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR.

THE SURVEY SHOWN HEREON REFLECTS THE ABOVE RECORDED REFERENCES.

BUILDING SETBACKS SHOULD BE VERIFIED BY THE GOVERNING BODY PRIOR TO ANY DESIGN OR CONSTRUCTION.

#### DATUM:

THE BEARINGS SHOWN HEREON ARE SOUTH CAROLINA GRID NAD 1983 (2011) MODEL.

#### REFERENCE:

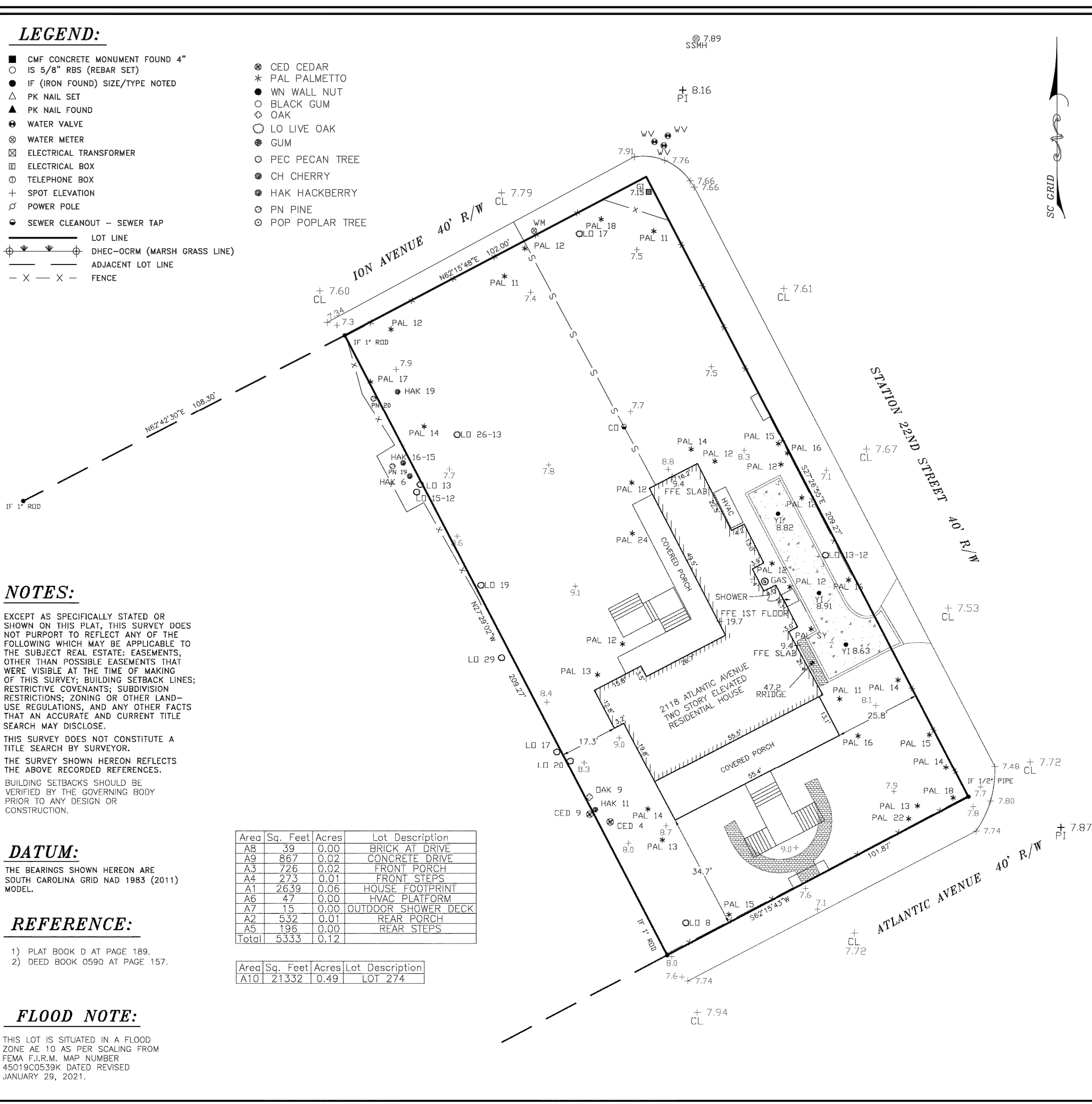
- 1) PLAT BOOK D AT PAGE 189.
- 2) DEED BOOK 0590 AT PAGE 157.

#### FLOOD NOTE:

THIS LOT IS SITUATED IN A FLOOD ZONE AE 10 AS PER SCALING FROM FEMA F.I.R.M. MAP NUMBER 45019C0539K DATED REVISED JANUARY 29, 2021.

Area	Sq. Feet	Acres	Lot Description
A8	59	0.00	BRICK AT DRIVE
A9	867	0.02	CONCRETE DRIVE
A3	726	0.02	FRONT PORCH
A4	273	0.01	FRONT STEPS
A1	2639	0.06	HOUSE FOOTPRINT
A6	47	0.00	HVAC PLATFORM
A7	15	0.00	OUTDOOR SHOWER DECK
A2	532	0.01	REAR PORCH
A5	196	0.00	REAR STEPS
Total	5333	0.12	

Area	Sq. Feet	Acres	Lot Description
A10	21332	0.49	LOT 274



LOCATION MAP N.T.S.

BRITT LAND SURVEYING, INC.  
P.O. BOX 80333  
CHARLESTON, SC 29416  
843-810-6771  
WWW.BRITTSURVEYINGINC.COM

REGISTERED LAND SURVEYOR  
PROFESSIONAL  
DEAN L. BRITT  
REG. NO. 15792

CERTIFICATE OF AUTHORIZATION  
NO. C 01825  
BRITT LAND SURVEYING, INC.

I, Dean L. Britt A Registered Professional Land Surveyor In the State of South Carolina certify to owner(s) shown hereon that this survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a class \_\_\_\_ survey as specified therein.

Date: / /

DEAN L. BRITT PLS S.C. REG. NO. 15792

SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.

SCALE: 1" = 20'

PLAT OF:  
AS-BUILT SURVEY SHOWING WESTERN PORTION  
OF LOT 274 SULLIVANS ISLAND  
PREPARED FOR:  
John W. Ebert and Cynthia M. Ebert  
LOCATED ON SULLIVANS ISLAND  
CHARLESTON COUNTY - SOUTH CAROLINA

THIS SURVEY IS THE PROPERTY OF BRITT LAND SURVEYING, INC., AND IS PROVIDED AS A SERVICE TO John W. Ebert and Cynthia M. Ebert. THIS SURVEY IS NOT FOR THE USE OF MARKETING, NOR IS IT TRANSFERABLE / SELLABLE, AND IS ONLY INTENDED FOR THE NAME SHOWN HEREON.

LOCATION: 2118 Atlantic Avenue - 29485

TAX MAP # 529-09-00-061

DATE: August 28, 2023

FIELD DATE: August 17, 2023

JOB NO. 233863

COUNTY/STATE CHARLESTON, S.C.



LEGEND

NOTE: ALL SYMBOLS MAY NOT BE USED ON THIS SHEET

EXISTING WALL	
NEW WALL	
ABOVE/BELOW	
RAILING	
PROPERTY LINE	
SETBACK LINE	
PAVEMENT/PATH LINE	
ROOF OVERHANG	
WATER FLOW	
ELEVATION MARKER	
TO BE DETERMINED	T.B.D.
VERIFY IN FIELD	V.I.F.
TYPICAL	TYP.

PROPERTY INFORMATION:

- THIS SITE PLAN WAS DEVELOPED FROM THE CURRENT SURVEY BY DEAN L. BRITT DATED AUGUST 28TH 2023.
- TMS # 529 09 00 061
- FLOOD ZONE (AE 10) AS SHOWN ON THE FEMA MAPS 45019C 0539 K DATED 1/29/2021.
- PROPERTY IS ZONED RS SINGLE FAMILY RESIDENTIAL DISTRICT.

PROJECT NOTES:

- A PRELIMINARY SITE LAYOUT IS RECOMMENDED BEFORE FINAL SITE DESIGN OR CONSTRUCTION.
- FLOOD ZONE SHOULD BE VERIFIED WITH THE GOVERNING MUNICIPALITY BEFORE DESIGN AND CONSTRUCTION.
- VERIFY SOIL BEARING CAPACITY BEFORE DESIGN AND CONSTRUCTION.
- NOTIFY ARCHITECT OF ANY DISCREPANCIES.

TREES:

NO GRAND TREES AFFECTED BY THIS PROJECT.

HEIGHTS:

MAXIMUM HEIGHT = 38'-0"  
EXISTING STRUCTURE HEIGHT = 36'-6" + -  
PROPOSED ADDITION HEIGHT = 28'-11"

EXISTING SQUARE FOOTAGES FROM SURVEY:

BRICK AT DRIVE	39
CONCRETE DRIVE	867
FRONT PORCH	726
FRONT STEPS	273
HOUSE FOOTPRINT	2639
HVAC PLATFORM	47
OUTDOOR SHOWER DECK	15
REAR PORCH	532
REAR STEPS	196
TOTAL	5333 SQUARE FEET

IMPERVIOUS COVERAGE:

LOT SIZE - 0.49 ACRE =	21,332 SQUARE FEET
MAXIMUM IMPERVIOUS COVERAGE = 30% =	6,399.6 SQ. FT.
PROPOSED PRINCIPAL BUILDING COVERAGE =	3,044 SQ.FT.
IMPERVIOUS COVERAGE - HVAC AND POOL EQUIP PLATFORMS =	105 SQ.FT.
IMPERVIOUS COVERAGE - POOL AND COPING =	515 SQ.FT.
IMPERVIOUS COVERAGE - CONCRETE DRIVE AND BRICK =	906 SQ.FT.
IMPERVIOUS COVERAGE - PORCHES, STEPS, AND SHOWER =	1,742 SQ.FT.
PROPOSED TOTAL IMPERVIOUS COVERAGE = 29.5% =	6,312 SQ.FT.

SET BACKS:

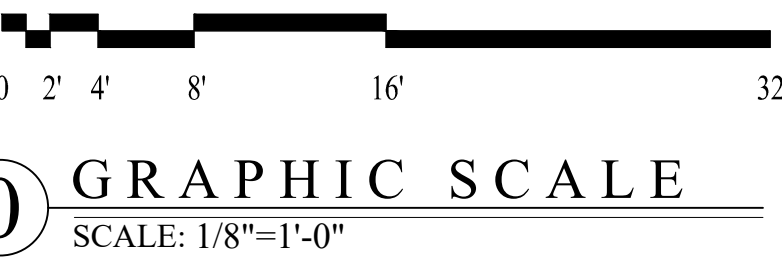
REAR SETBACK = 15' - 0"	PROPOSED ADDITION = 63' - 3"
CORNER LOT SIDE SETBACK = 10' - 0"	PROPOSED ADDITION = 27' - 5"
SIDE SETBACK = 5' - 0"	PROPOSED ADDITION = 56' - 2"
FRONT SETBACK = 10' - 0"	EXISTING PRINCIPAL BUILDING = 47' - 9"

PRINCIPAL BUILDING SQUARE FOOTAGE:

LOT SIZE - 0.49 ACRE - 21,332 SQUARE FEET  
[ (21,332 - 5,000) / 100 ] x (10) + 2,400 = 4,033 SQ. FT.  
MAXIMUM PRINCIPAL BUILDING SQUARE FOOTAGE = 4,033 SQ. FT.  
EXISTING PRINCIPAL BUILDING SQUARE FOOTAGE = 51 SQ.FT. OVER = 4,084 SQ. FT.  
OWNER REQUESTS 11% RELIEF = 449 SQ. FT. = TOTAL PRINCIPAL BUILDING SQ. FT. = 4,533 SQ. FT.

PRINCIPAL BUILDING COVERAGE:

LOT SIZE - 0.49 ACRE =	21,332 SQUARE FEET
EXISTING PRINCIPAL BUILDING COVERAGE AREA =	2,639 SQ. FT.
MAXIMUM PRINCIPAL BUILDING COVERAGE AREA = 15% =	3,200 SQ. FT.
PROPOSED PRINCIPAL BUILDING COVERAGE = 14.27% =	3,044 SQ. FT.



SCOPE OF WORK FOR THIS PROJECT:

- ADD NEW PRIMARY SUITE (449 SQ. FT.) AT REAR OF EXISTING STRUCTURE.
- ALL EXTERIOR FINISH MATERIALS TO MATCH EXISTING MATERIALS, I.E., SIDING, TRIM, ROOFING MATERIAL, ETC.
- ALL WINDOWS AND DOOR GLASS WILL BE IMPACT RATED.

STATION 22ND STREET 40' R/W

209'-2"

PROPERTY LINE

MINIMUM CORNER LOT SIDE SETBACK LINE

2 / A2.0

PROPOSED HVAC STAND

EXISTING POOL EQUIPMENT STAND

EXISTING HVAC STAND

OUTDOOR SHOWER

EXISTING TWO STORY WOOD CONSTRUCTION ELEVATED ON WOOD PILES

16" ARTICULATION PER SEC. 21-22 C. (3) (d)

THIS PROJECT  
PRIMARY SUITE ADDITION

2 / A2.1

ION AVENUE 40' R/W

102'-0"

PROPERTY LINE

MINIMUM REAR SETBACK LINE

TREE PROTECTIVE ZONE, TYP.

56'-1"

LIVE OAK 26"

56'-2"

ALL PERVIOUS PAVERS AT POOL DECK

EXISTING POOL

HOT TUB

UP

UP

EXISTING OPEN ELEVATED PORCH

UP

EXISTING POOL, POOL DECK, STAIRS, AND LANDINGS, TYP.

EXISTING TWO STORY WOOD CONSTRUCTION ELEVATED ON WOOD PILES

EXISTING COVERED ELEVATED FRONT PORCH

55'-6"

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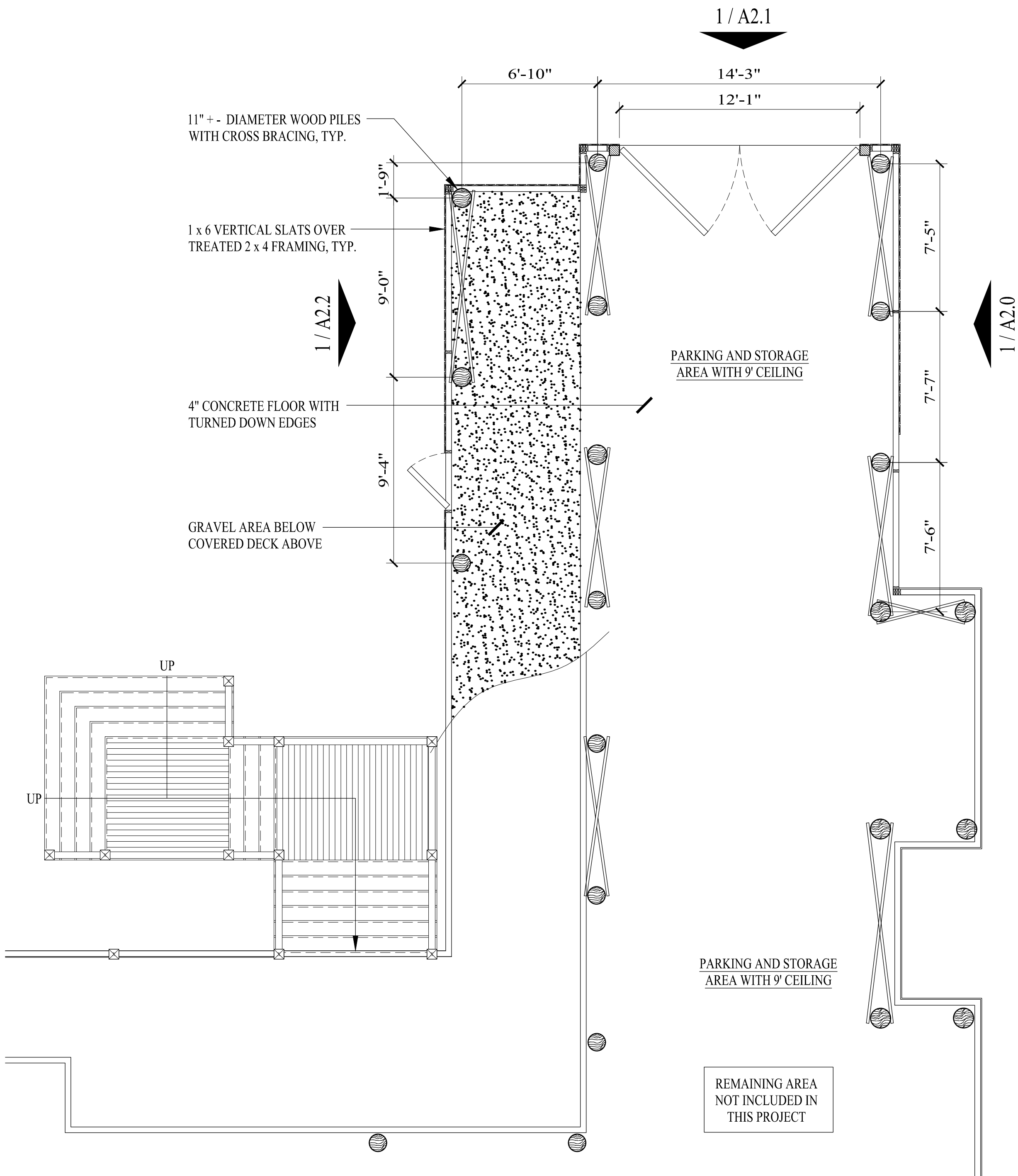
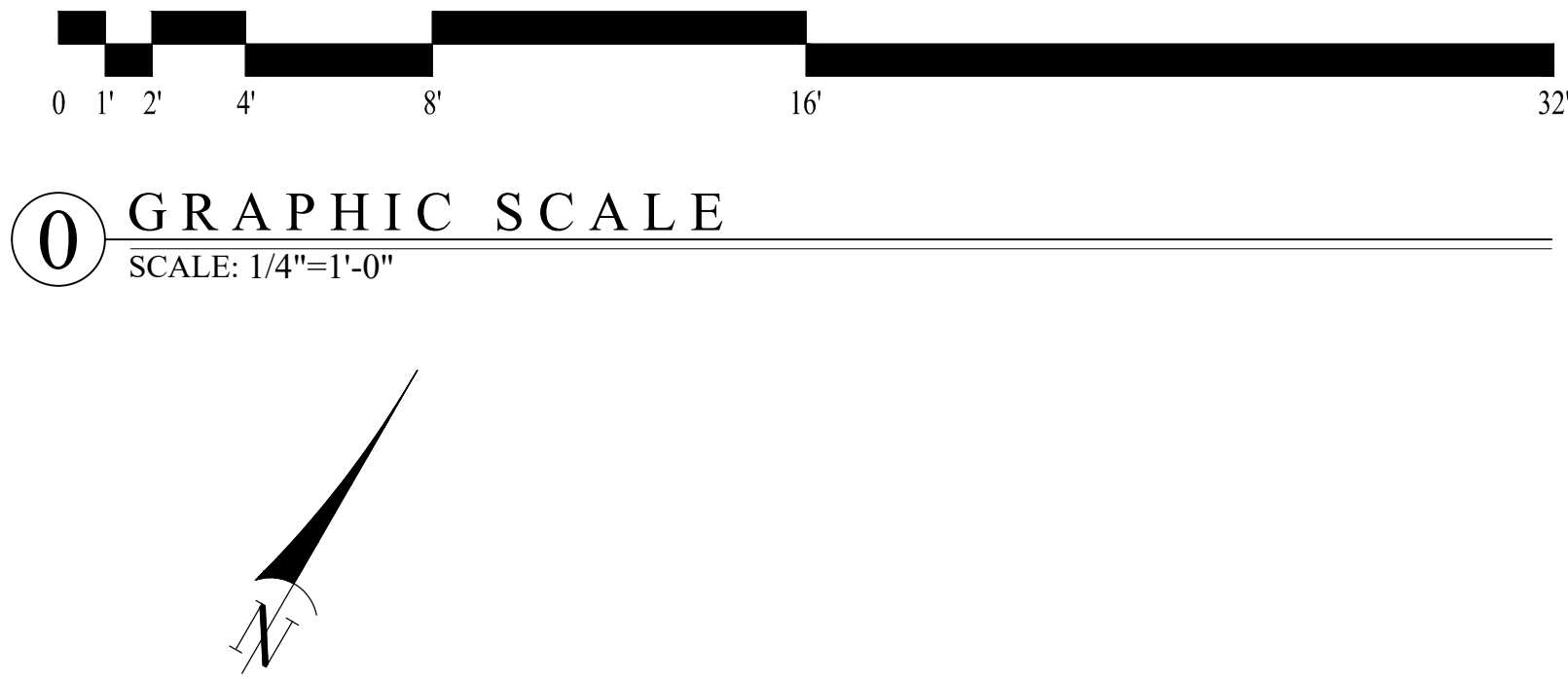
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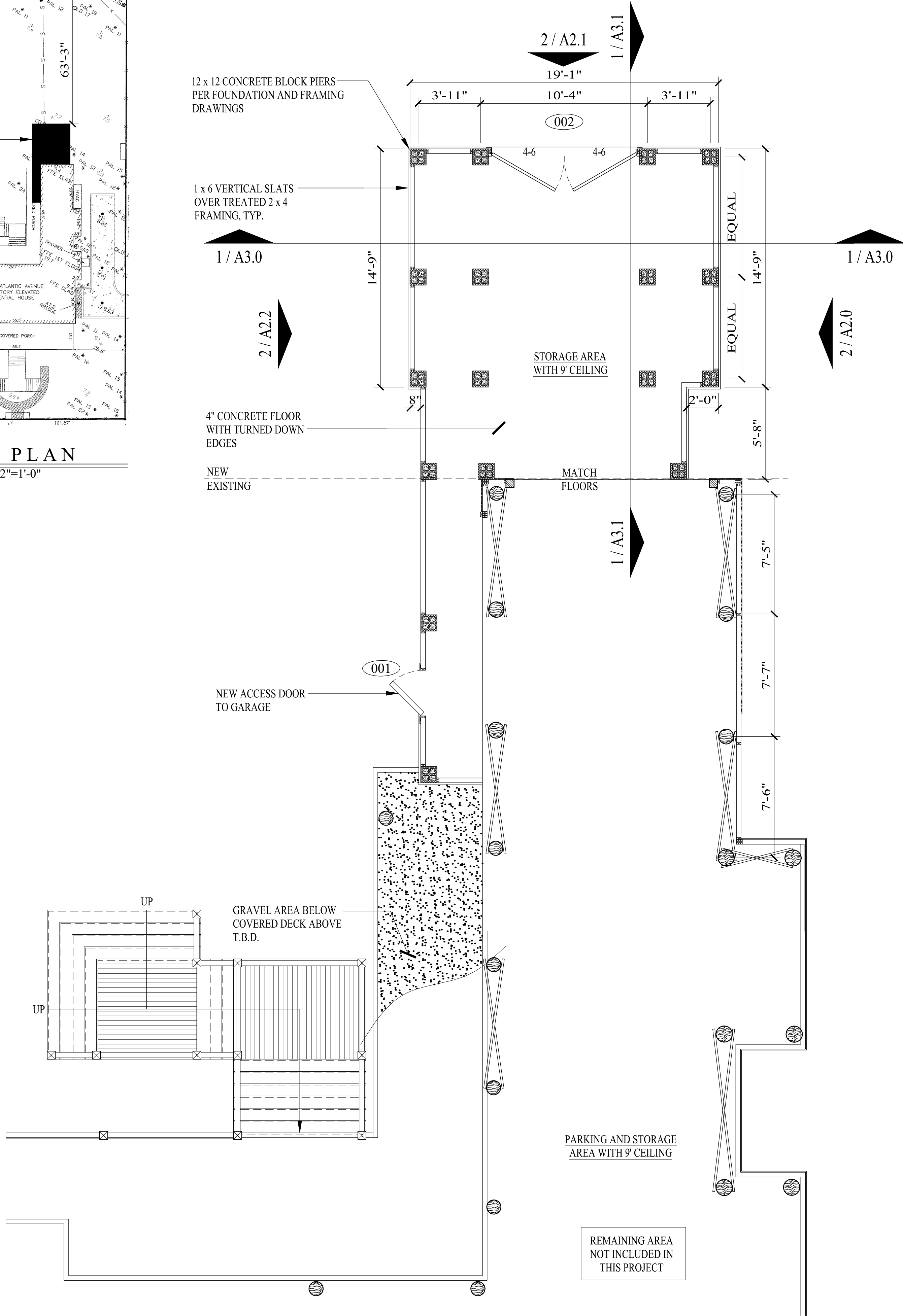
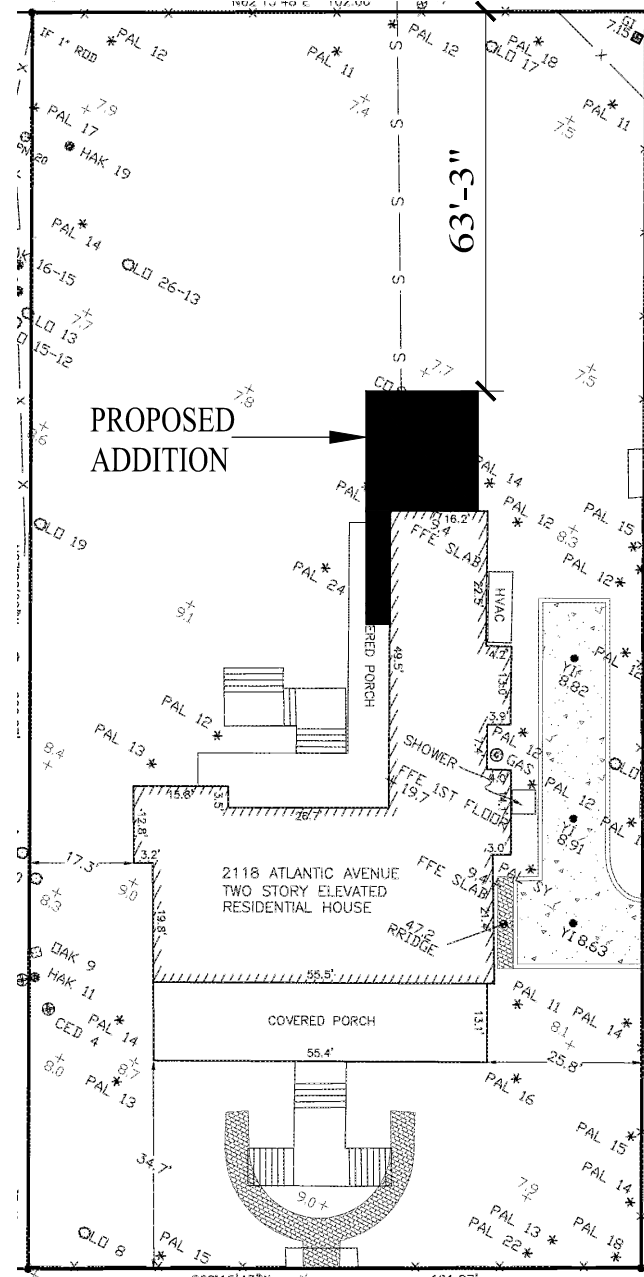
ORIGINAL DRAWING 24 INCHES X 36 INCHES

- LEGEND
- NOTE: ALL SYMBOLS MAY NOT BE USED ON THIS SHEET
- EXISTING WALL
- NEW WALL
- ABOVE/BELOW
- RAILING
- PAVEMENT/PATH LINE
- ROOF OVERHANG
- WOOD PILE
- DOOR TAG
- WINDOW TAG
- ELEVATION MARKER
- TO BE DETERMINED
- VERIFY IN FIELD
- TYPICAL



1 PARTIAL EXISTING GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"



2 PROPOSED GROUND FLOOR PLAN

SCALE: 1/4"=1'-0"

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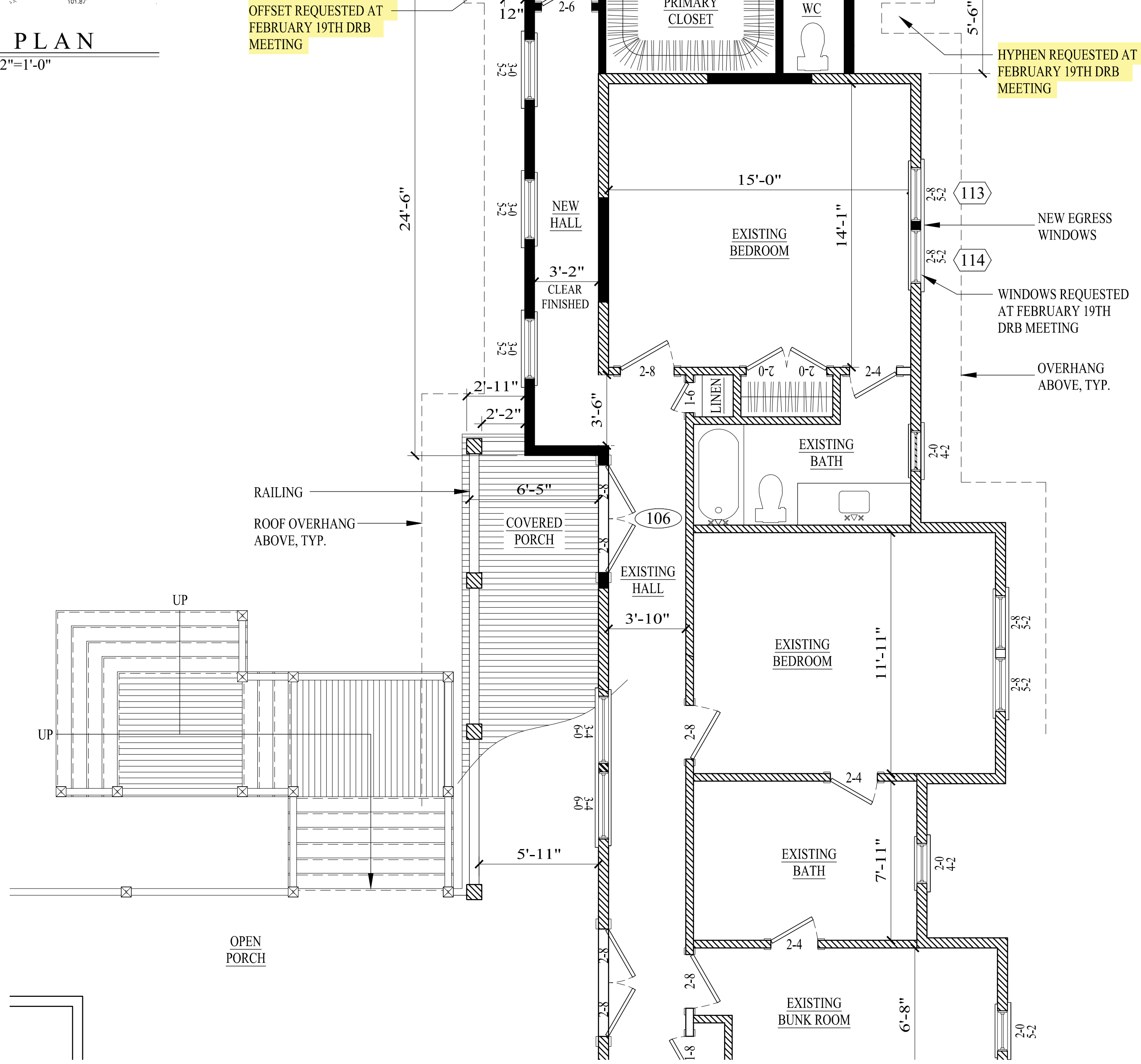
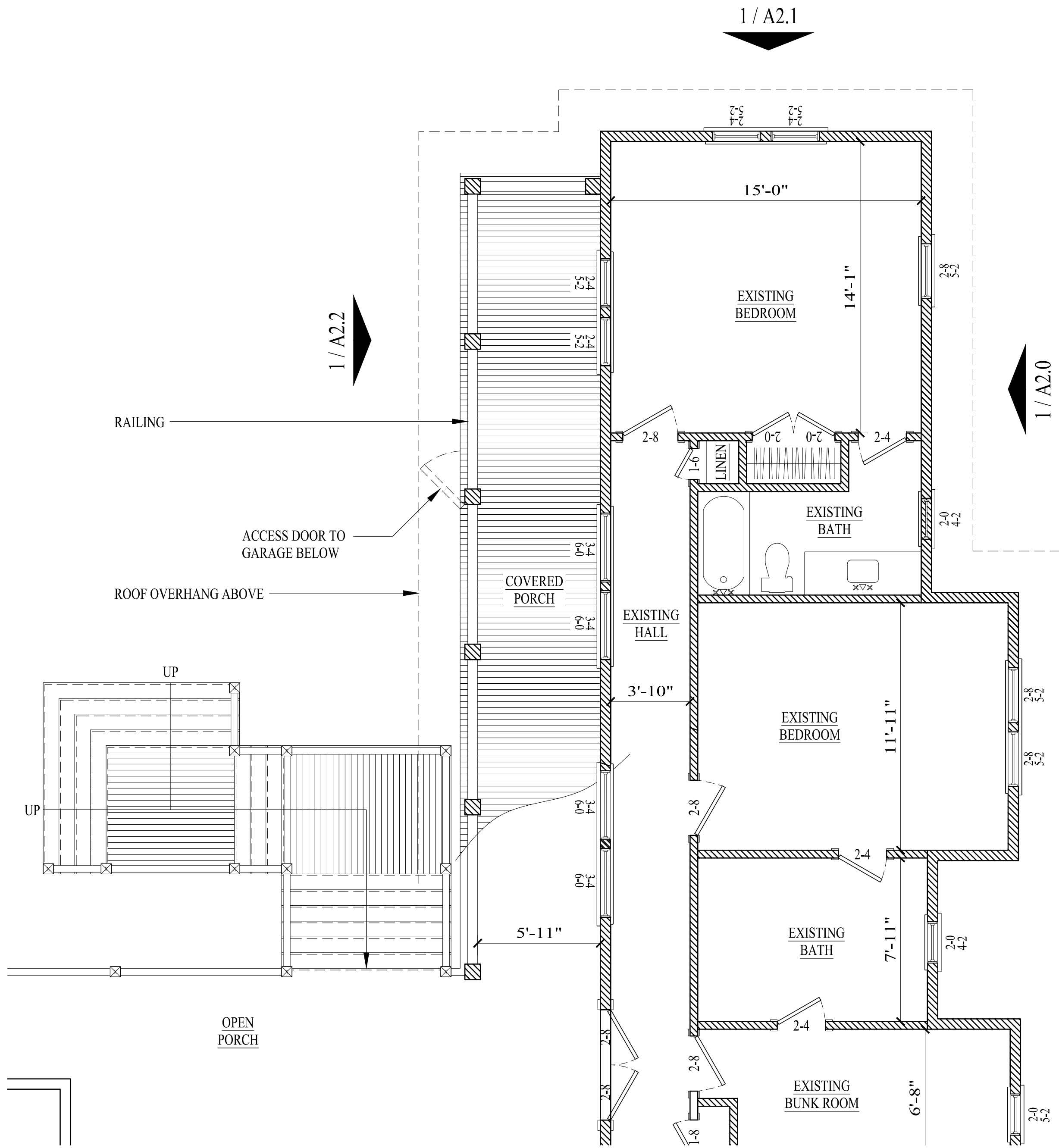
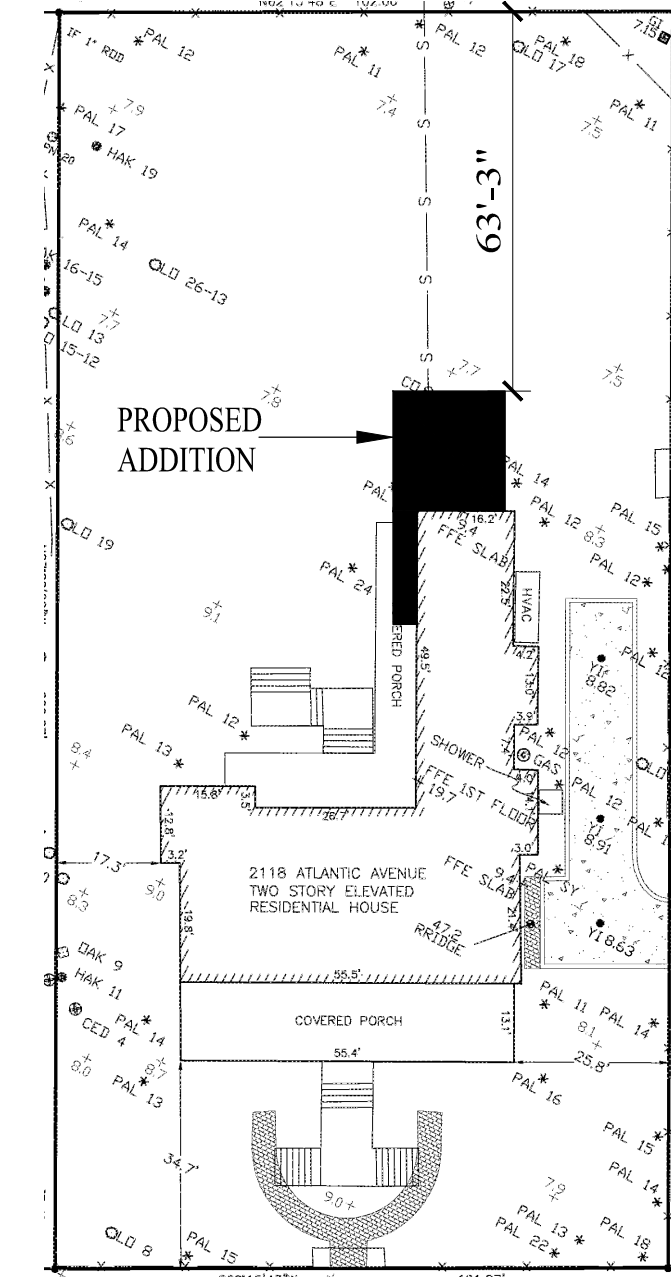
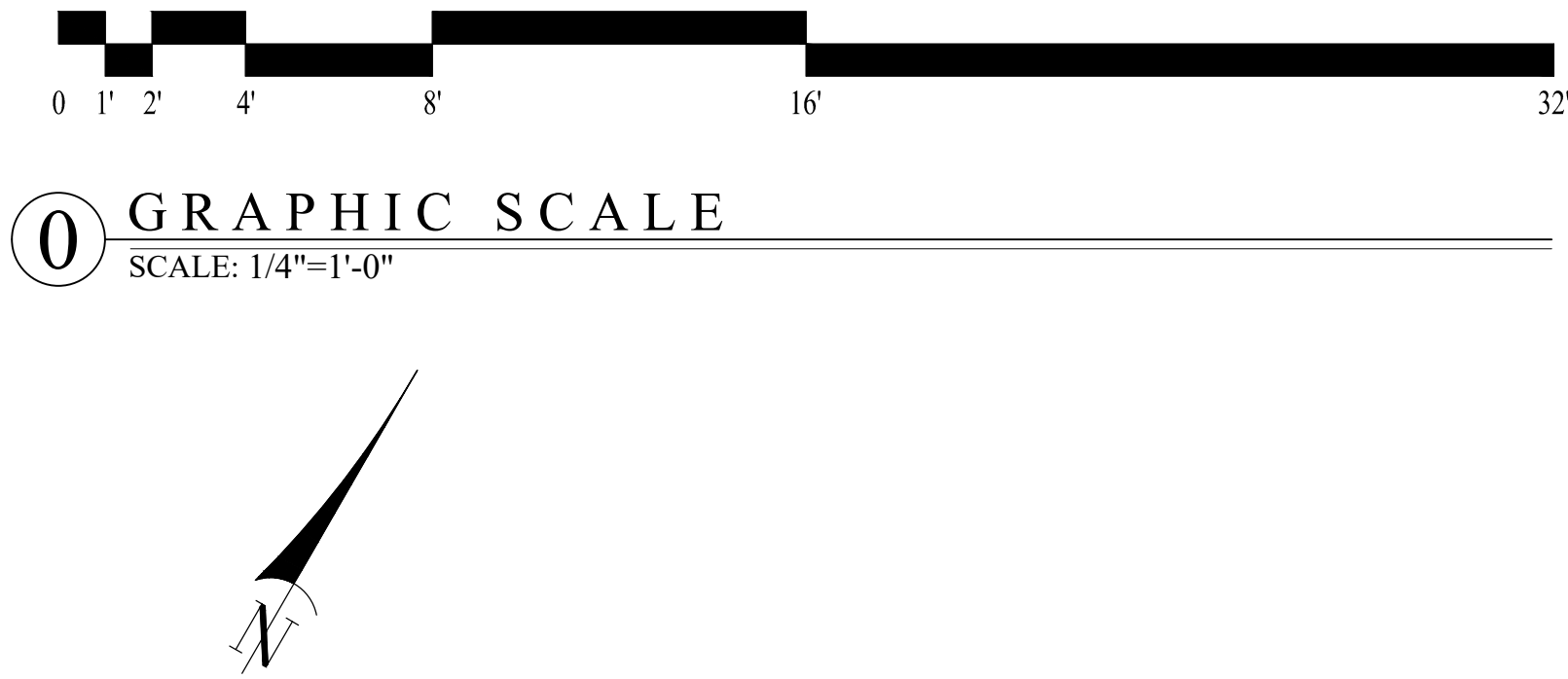
FLOOR  
PLANS

A1.0



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FLOOR  
PLANS

A1.1

ORIGINAL DRAWING 24 INCHES X 36 INCHES

TOP OF ROOF  
ELEVATION = 46' - 5"

SECOND FLOOR CEILING  
ELEVATION = 39' - 0"

EXISTING SECOND FLOOR  
ELEVATION = 30' - 0"

FIRST FLOOR CEILING  
ELEVATION = 28' - 10"

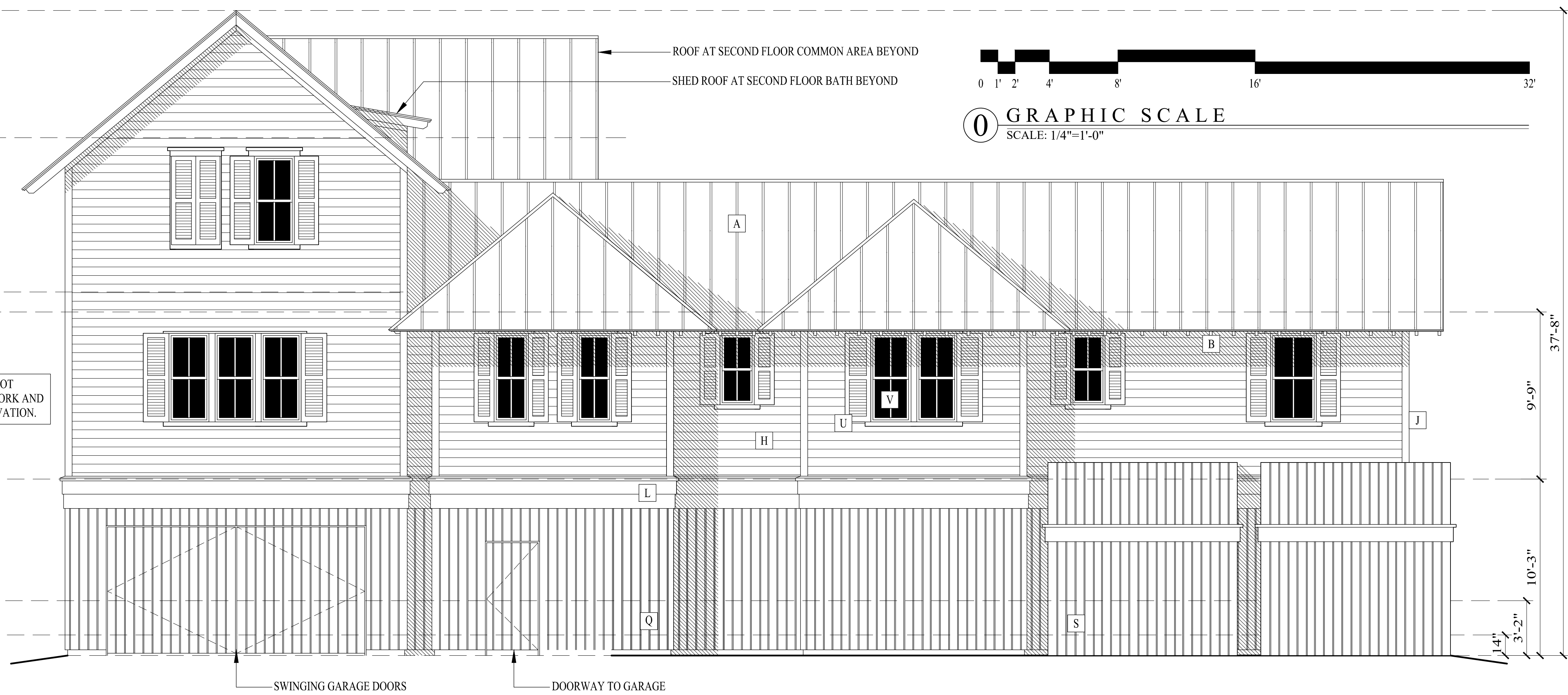
EXISTING FRONT PORCH NOT  
INCLUDED IN SCOPE OF WORK AND  
NOT SHOWN ON THIS ELEVATION.

FIRST FLOOR  
ELEVATION = 19' - 1"

DESIGN FLOOD  
ELEVATION = 12' - 0"

BASE FLOOD  
ELEVATION = 10' - 0"

ADJACENT GRADE  
ELEVATION = 8' - 10"



1 EXISTING EAST ELEVATION  
SCALE: 1/4"=1'-0"

TOP OF ROOF  
ELEVATION = 46' - 5"

SECOND FLOOR CEILING  
ELEVATION = 39' - 0"

EXISTING SECOND FLOOR  
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ADJACENT GRADE  
ELEVATION = 8' - 10"



2 PROPOSED EAST ELEVATION  
SCALE: 1/4"=1'-0"

#### MATERIALS LEGEND TYPICAL ALL ELEVATIONS

- A STANDING SEAM METAL ROOFING
- B RAFTER TAILS
- C CEDAR SHAKES
- D STRUCTURE BEYOND
- E EXHAUST / VENT
- F CHIMNEY CAP / SPARK ARRESTOR
- G LOUVERED VENT
- H FIBER CEMENT HORIZONTAL SIDING
- I BOARD AND BATTEN VERTICAL SIDING
- J FIBER CEMENT TRIM
- K FIBER CEMENT CORNICE
- L FIBER CEMENT WATER TABLE
- M FIBERGLASS TINI OR TRUSCENE SCREEN
- N TREATED RAILS AND BALUSTRADE
- O OPEN
- P TREATED TREADS AND RISERS
- Q TREATED VERTICAL SLATS
- R TREATED WOOD
- S HVAC STAND
- T HYDROSTATIC VENT
- U WORKING SHUTTERS
- V ALL IMPACT RATED WINDOWS
- W GUTTER AND DOWNSPOUT
- X BRACKETS TO BE DESIGNED
- Y VERIFY IN FIELD
- Z TO BE DETERMINED

NOTE  
ALL LABELS MAY NOT BE USED  
IN THIS SET OF DRAWINGS.

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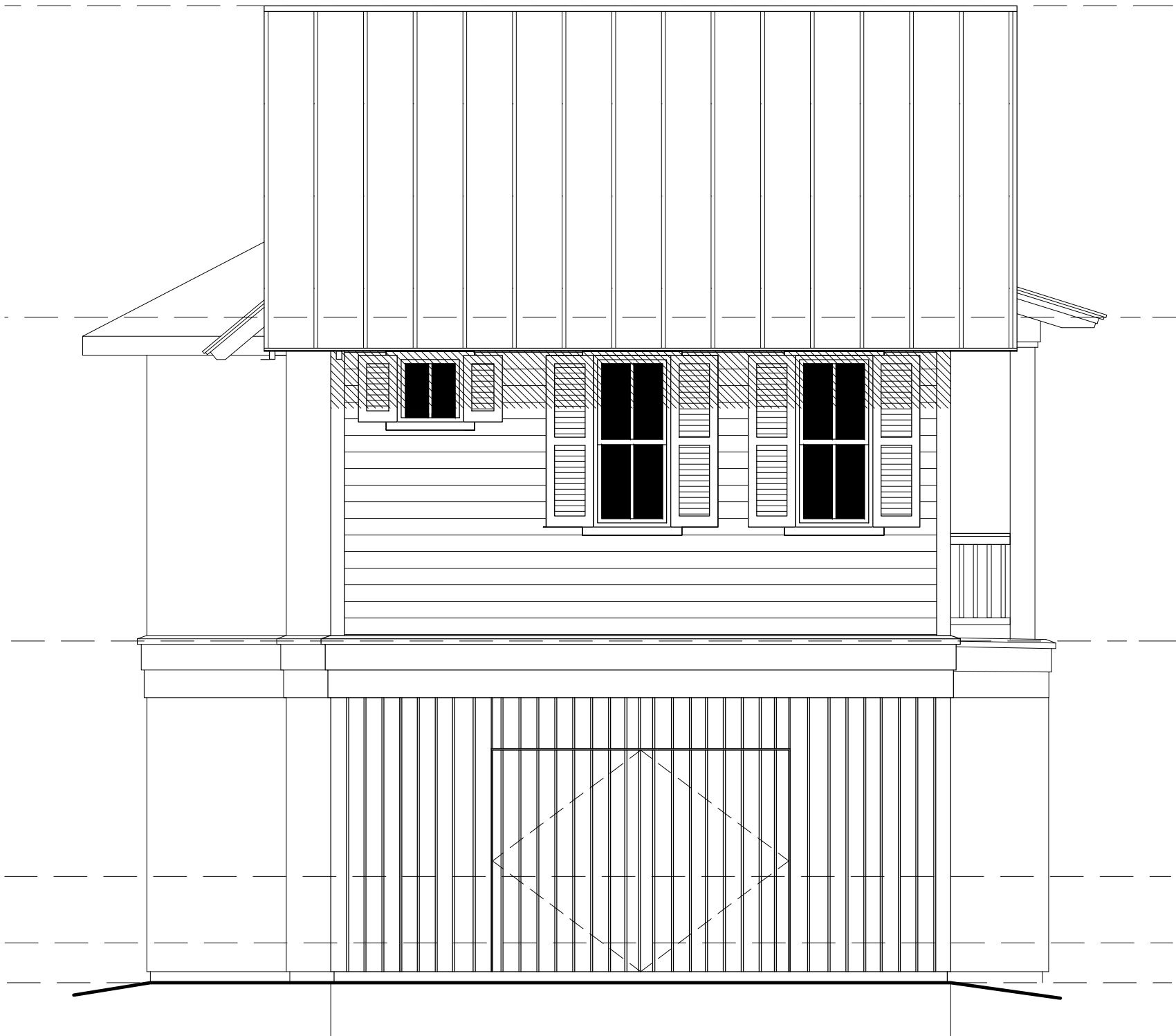
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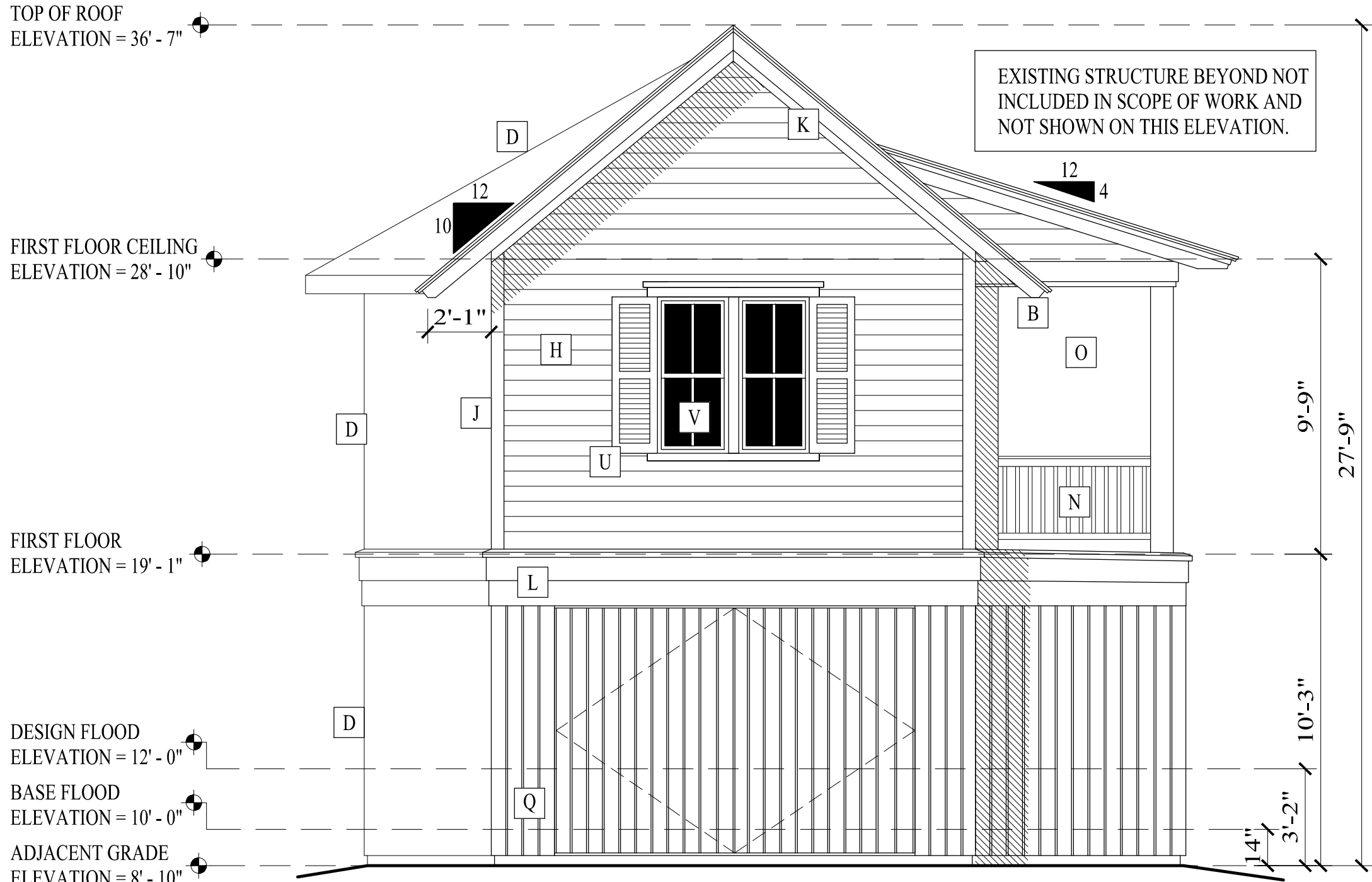
EXTERIOR  
ELEVATIONS

A2.0

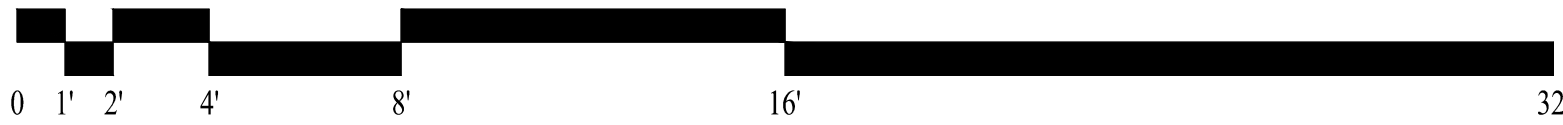
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3 FEBRUARY 19TH MEETING  
SCALE: 1/4"=1'-0"



1 EXISTING NORTH ELEVATION  
SCALE: 1/4"=1'-0"



0 GRAPHIC SCALE  
SCALE: 1/4"=1'-0"

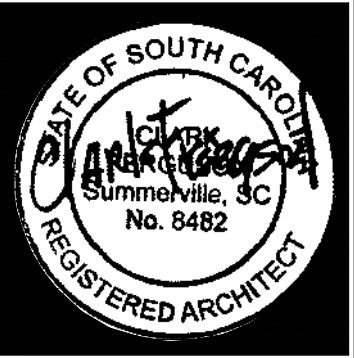


2 PROPOSED NORTH ELEVATION  
SCALE: 1/4"=1'-0"

- MATERIALS LEGEND  
TYPICAL ALL ELEVATIONS
- A STANDING SEAM METAL ROOFING
  - B RAFTER TAILS
  - C CEDAR SHAKES
  - D STRUCTURE BEYOND
  - E EXHAUST / VENT
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  - Q TREATED VERTICAL SLATS
  - R TREATED WOOD
  - S HVAC STAND
  - T HYDROSTATIC VENT
  - U WORKING SHUTTERS
  - V ALL IMPACT RATED WINDOWS
  - W GUTTER AND DOWNSPOUT
  - X BRACKETS TO BE DESIGNED
  - Y VERIFY IN FIELD
  - Z TO BE DETERMINED

NOTE  
ALL LABELS MAY NOT BE USED  
IN THIS SET OF DRAWINGS.

CLARK  
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ARCHITECT  
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316 Hydrangea Street  
Summerville, South Carolina 29483  
Mail@ClarkFerguson.com  
LICENSED WITH STATE OF SOUTH CAROLINA



GENERAL CONTRACTOR:  
Matt Teitsort

DRAWING  
FOR  
REVIEW

2118 ATLANTIC AVENUE  
SULLIVAN'S ISLAND, SOUTH CAROLINA 29482

ORIGINAL: 22 September 2023

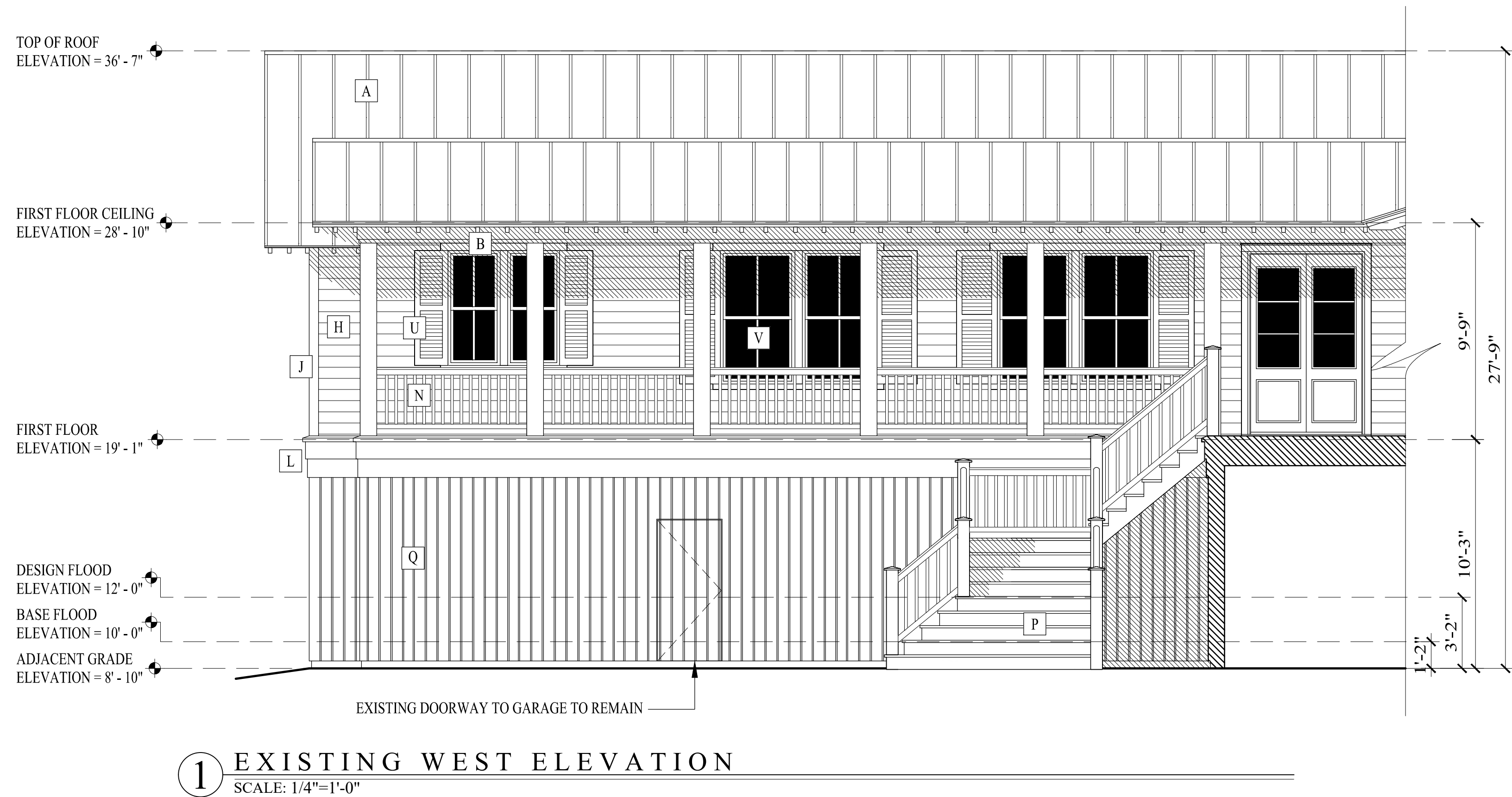
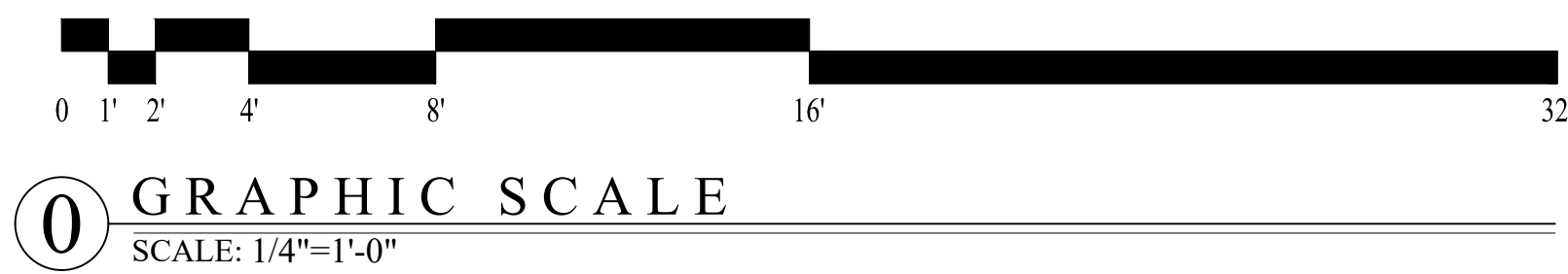
DO NOT SCALE DRAWINGS  
SEE "S" SERIES DRAWINGS  
FOR MEMBER SIZING, ETC.

EXTERIOR  
ELEVATIONS

A2.1



ORIGINAL DRAWING 24 INCHES X 36 INCHES



3 FEBRUARY 19TH MEETING  
SCALE: 1/4"=1'-0"

MATERIALS LEGEND  
TYPICAL ALL ELEVATIONS

- A STANDING SEAM METAL ROOFING
- B RAFTER TAILS
- C CEDAR SHAKES
- D STRUCTURE BEYOND
- E EXHAUST / VENT
- F CHIMNEY CAP / SPARK ARRESTOR
- G LOUVERED VENT
- H FIBER CEMENT HORIZONTAL SIDING
- I BOARD AND BATTEN VERTICAL SIDING
- J FIBER CEMENT TRIM
- K FIBER CEMENT CORNICE
- L FIBER CEMENT WATER TABLE
- M FIBERGLASS TINI OR TRUSCENE SCREEN
- N TREATED RAILS AND BALUSTRADE
- O OPEN
- P TREATED TREADS AND RISERS
- Q TREATED VERTICAL SLATS
- R TREATED WOOD
- S HVAC STAND
- T HYDROSTATIC VENT
- U WORKING SHUTTERS
- V ALL IMPACT RATED WINDOWS
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EXTERIOR  
ELEVATIONS

A2.2