

SHEETS SIZED FOR 24x36 (ARCH D) PAPER. IF PRINTED HALF-SIZE (12x18), ALL SCALES NOTED WILL BE 50% OF LISTED

MONROE RESIDENCE

3104 I'ON AVENUE
LOT I, BLOCK 13
SULLIVANS ISLAND, S.C.



VICINITY MAP
NOT TO SCALE

GENERAL NOTES:

- CONTRACTOR TO VERIFY ALL DIMENSIONS AND CONDITIONS AT THE PROJECT SITE PRIOR TO COMMENCEMENT OF THE WORK, AND SHALL NOTIFY CLARKE DESIGN GROUP IMMEDIATELY OF ANY DISCRPANCIES AND/OR ANY EXISTING SITE CONDITIONS THAT ARE INCONSISTENT WITH THE DRAWINGS.
- ALL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ALL OTHER DRAWINGS RELATED TO OTHER DISCIPLINES. THE GENERAL CONTRACTOR SHALL CHECK AND COORDINATE DIMENSIONS AND CLEARANCES WITH THE WORK OF ALL TRADES.
- THE DRAWINGS HEREIN ARE GRAPHIC IN NATURE AND ARE NOT INTENDED TO CONVEY ALL INFORMATION NECESSARY FOR CONSTRUCTION. CONTRACTOR SHALL COORDINATE SYSTEMS INSTALLATION REQUIREMENTS, ROUGH-IN CONNECTIONS, AND MATERIALS REQUIREMENTS FOR INSTALLATION.
- DIMENSIONS ARE TO FACE OF STUD U.N.O.

| ZONING STANDARDS WORKSHEET | | | | | | | |
|----------------------------|---------------------------------------|---|-----------------------------|---------------------------------------|------------------------------------|--------------------------|---|
| | ZONING ORDINANCE REFERENCE SECTION | ZONING STANDARD | "X" IF MEETS STANDARD | DRB'S MAX AUTHORITY FOR RELIEF | APPLICANT REQUEST FOR RELIEF | % RELIEF REQUESTED | TOTAL ALLOWED + REQUESTED RELIEF (SF) |
| SETBACKS | A FRONT YARD SETBACK | 25' | | 15% OR 3.75' | N/A | N/A | N/A |
| | B ADDITIONAL FRONT YARD SETBACK | 45 DEG. ABOVE 20' | | 15% | N/A | N/A | N/A |
| | C SIDE YARD SETBACK | 20'-0" W/ 10' MIN. | | 25% | 5' | 25% | 15' ALLOWED 10' PROPOSED |
| | D 2ND STORY SIDE FACADE SETBACK | 2' SETBACK REQUIRED FOR SECOND STORY WALL WIDER THAN 10' | | 100% (20 FEET) | 9' - 10" | 100% | 10' + 9'-10"= 19'-10" |
| | E REAR SETBACK | 25' | | NONE | N/A | N/A | N/A |
| LOT COVERAGE | F PRINCIPLE BUILDING COVERAGE | 2,584 SQFT | | 20% 517 SQFT | +223 SQFT REQUESTED | 8.6% +223 SQFT | 2,584+223 =2,807 PROPOSED |
| | G IMPERVIOUS COVERAGE | 5,169 SQFT 50% OF LOT AREA TO REMAIN NATURALLY VEGETATED | | N/A | N/A | N/A | N/A 5,169 ALLOWED 4,339 PROPOSED |
| | H PRINCIPLE BUILDING SQUARE FOOTAGE | 3,623 SQFT | | 25% 906 SQFT | +694 SQFT REQUESTED | 19.2% +694 SQFT | 3,623+694 =4,317 PROPOSED |
| | I THIRD STORY | MAX ALLOWED 400 SQFT | | N/A | 15% | N/A | N/A |
| DESIGN STANDARDS | J PRINCIPLE BUILDING FRONT FACADE | 50' OR 2/3 BUILDABLE LOT WIDTH | | 100% | 38'-4" REQUESTED | 36% DUE TO TREE COVERAGE | 88'-4" - 50'-0" = 38'-4" REQUESTED |
| | K PRINCIPLE BUILDING SIDE FACADE | 30' WITHOUT ARTICULATION (INSET OF 4') | | 100% OR 60' | | | |
| | L BUILDING ORIENTATION | N/A | | | | | |
| | M BUILDING FOUNDATION HEIGHT | 8' ABOVE LSM | | | | | |
| | N FOUNDATION ENCLOSURE | 1' SPACE | N/A | ADJUST FOR NEIGHBORHOOD COMPATIBILITY | | | |
| | O ACCESSORY STRUCTURE | MAX HEIGHT 18' POOL AND DECK 20' BEHIND FRONT FACADE | N/A | 20% 40% 20% AREA | | | |
| | | | | | | | |

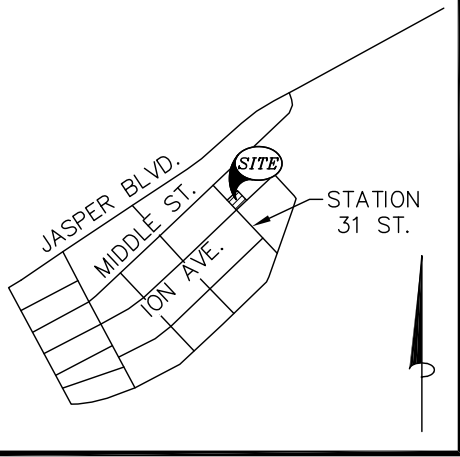
CONTACT INFORMATION:

CLARKE DESIGN GROUP
1100 PALM BLVD, STE 1A
ISLE OF PALMS, SC 29451
843-329-0667
PHIL@CLARKEDESIGNGROUP.COM

SHEET INDEX:

| | |
|-----------------|-------------------------|
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DRB SUBMITTAL: 6.20.25



VICINITY MAP (NTS)

REFERENCES:
1) PLAT BY J. O'HEAR SANDERS, JR., DATED JUNE 1951. RECORDED IN PLAT BOOK H PAGE 90, CHARLESTON COUNTY RMC.
2) SCDOT PLAN NO. 10.675, DATED 10/14/1971

NOTES:
1) AREA WAS DETERMINED BY THE COORDINATE METHOD.
2) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
3) THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
4) DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
5) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION OR SURVEYS WERE PERFORMED FOR THIS PLAT. THEREFORE THIS PLAT DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
6) PROPERTY ZONED RS.
FRONT SETBACKS 25'
REAR SETBACKS 25'
SIDE SETBACKS 20' (SIDE SETBACKS MUST TOTAL TO 40' AND BE NO LESS THAN 15').
7) NO LAND OR OTHER AREA IS DEDICATED FOR PUBLIC USE BY THIS PLAT UNLESS A DEDICATION IS EXPRESSLY STATED HEREON.

FLOOD NOTE:

THIS PROPERTY IS LOCATED IN FLOOD ZONE AE (ELEV 10) AS SHOWN FROM FEMA FLOOD MAPS. PANEL NO. 45019C 0539K, REVISED 01/29/2021.

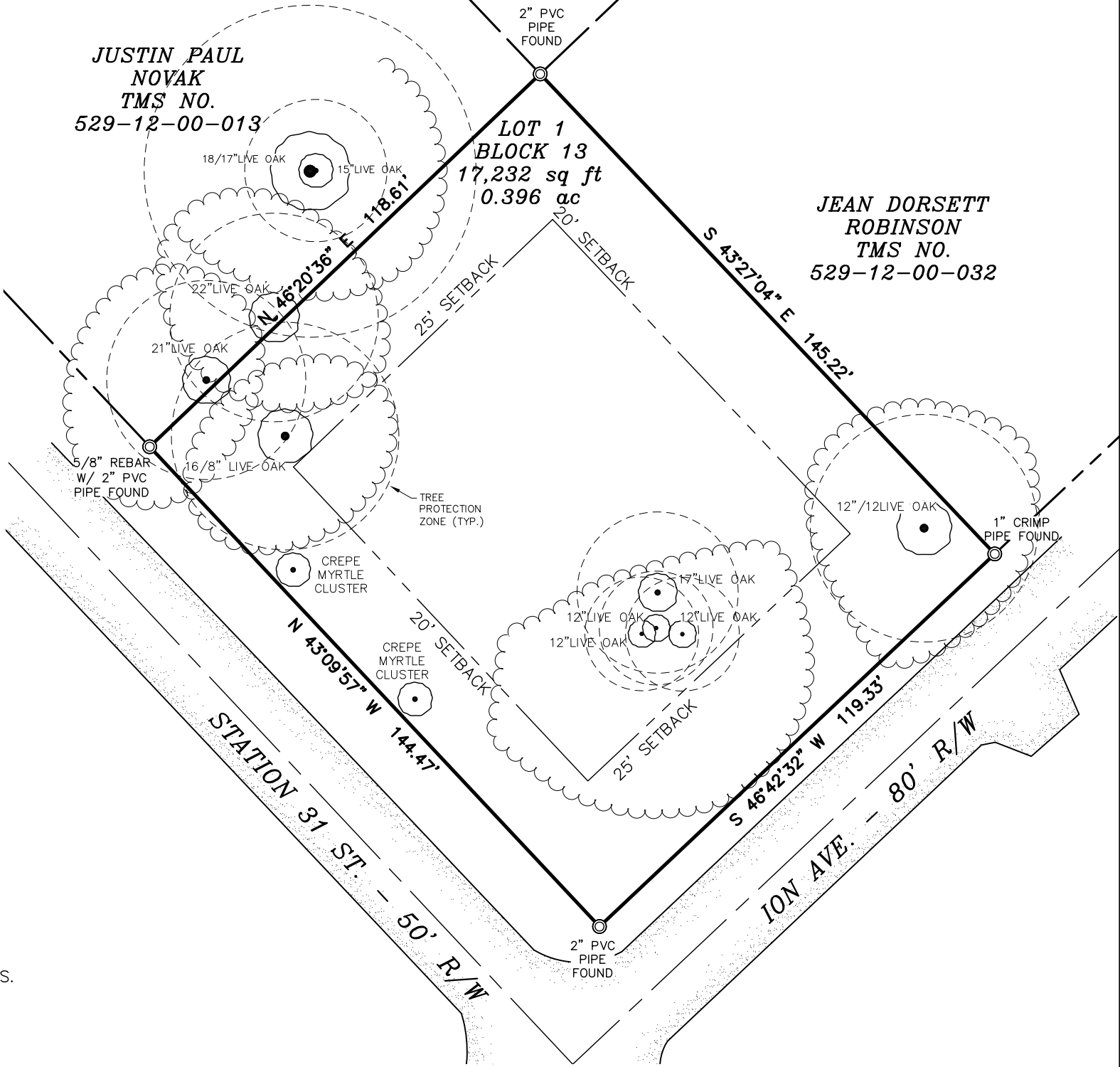


JAMES B
HYLER
TMS NO.
529-12-
00-014

JUSTIN PAUL
NOVAK
TMS NO.
529-12-00-013

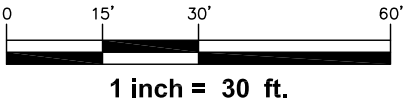
LOT 1
BLOCK 13
17,232 sq ft
0.396 ac

JEAN DORSETT
ROBINSON
TMS NO.
529-12-00-032



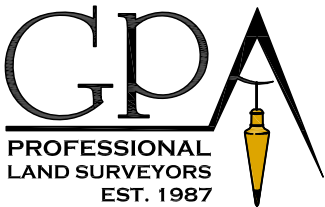
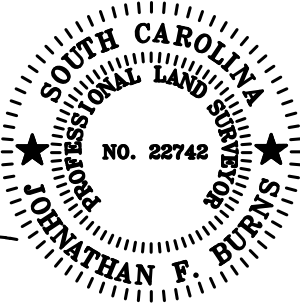
LEGEND

| | |
|-------|------------------|
| ⊙ | PROPERTY CORNER |
| --- | SETBACK LINE |
| --- | RIGHT-OF-WAY |
| --- | ADJOINER LINE |
| --- | ROAD CENTERLINE |
| ~~~~~ | TREE CANOPY LINE |
| ----- | TREE PROTECTION |



JOB NO. 215156

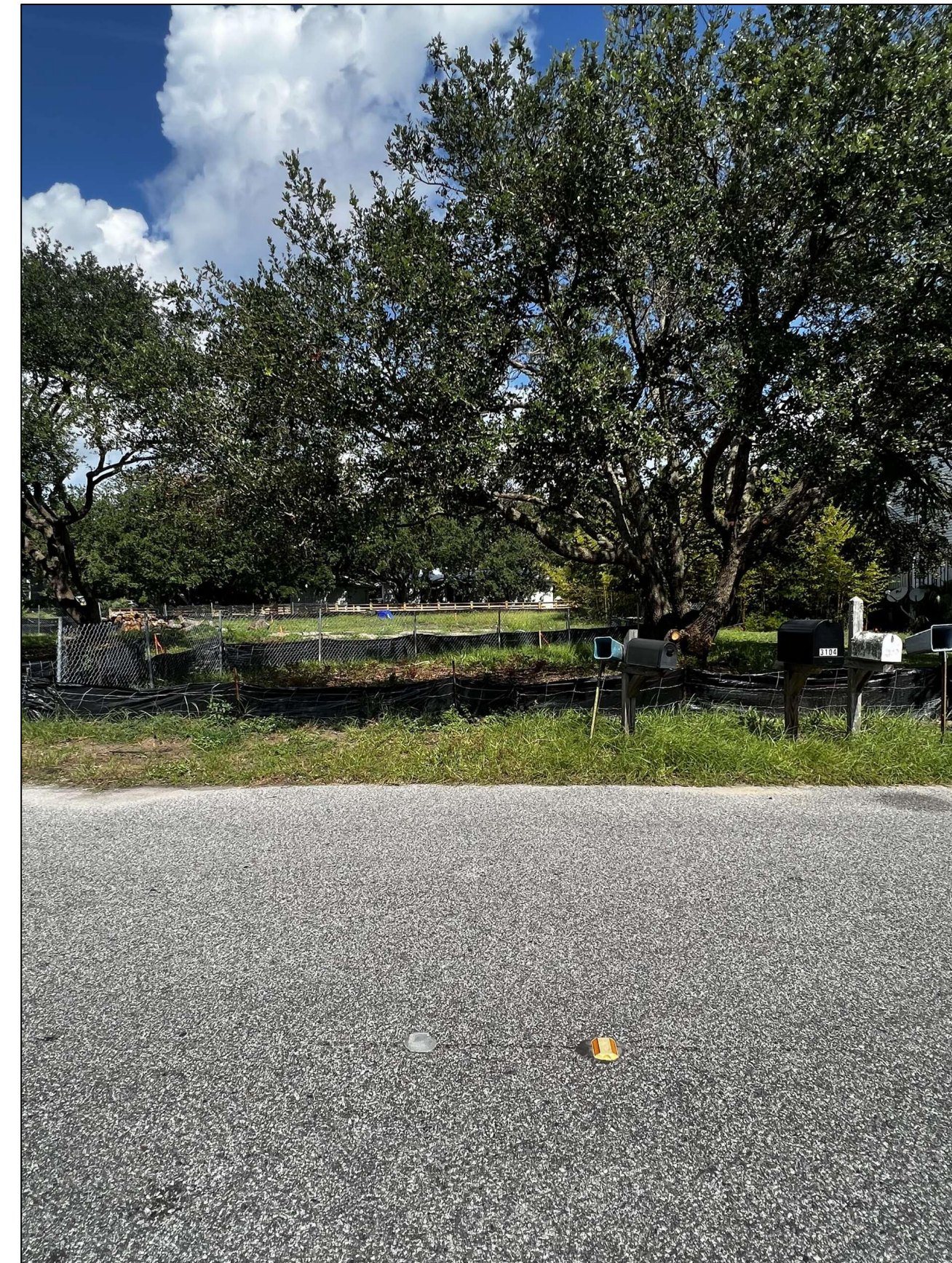
TREE CANOPY EXHIBIT
LOT 1 BLOCK 13
TMS NO. 529-12-00-033
MARSHALL RESERVATION SUBDIVISION
3104 ION AVE.
LOCATED IN THE TOWN OF SULLIVAN'S ISLAND
CHARLESTON COUNTY, SOUTH CAROLINA
JULY 12, 2022 SCALE: 1" = 30'

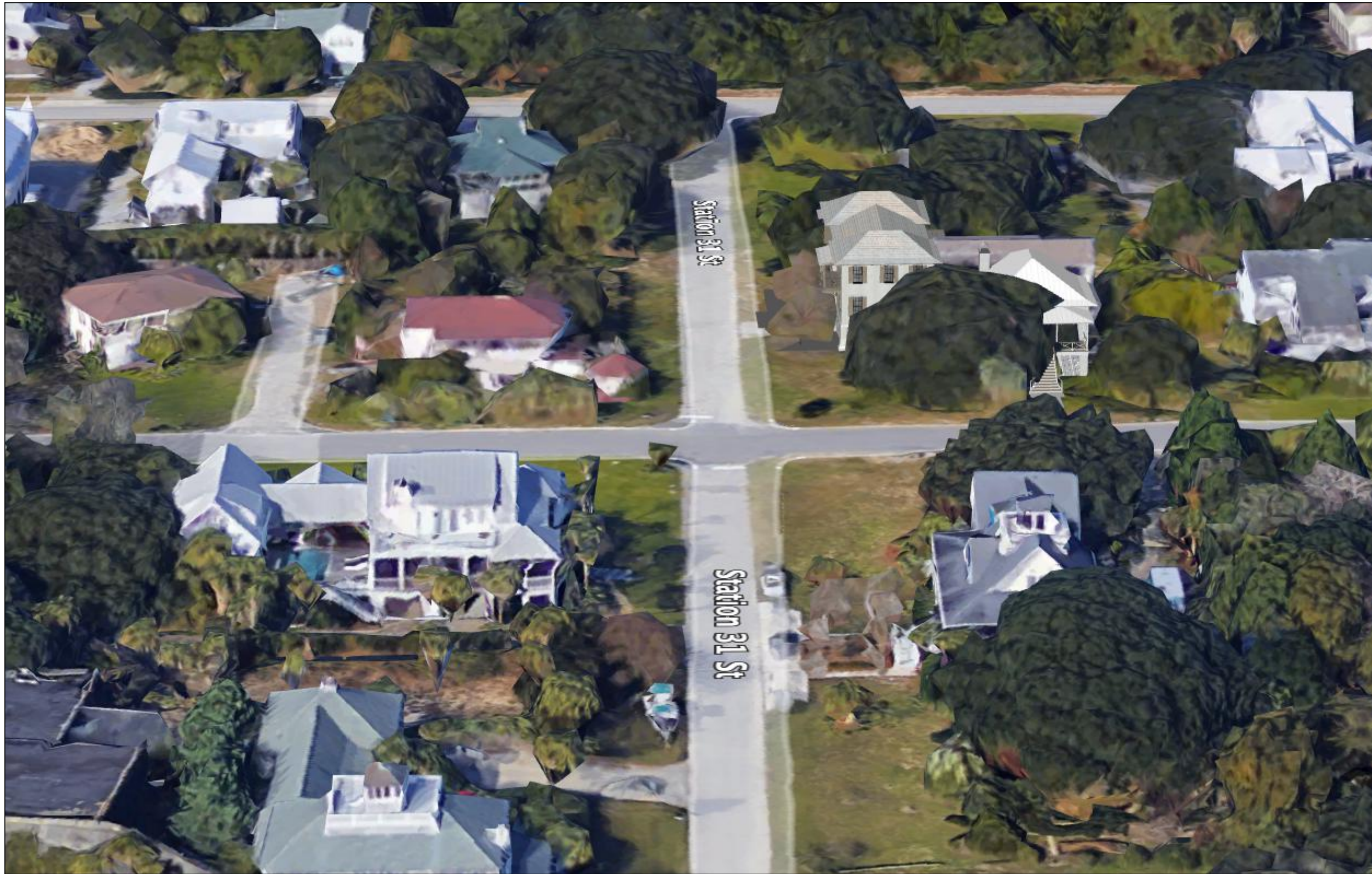


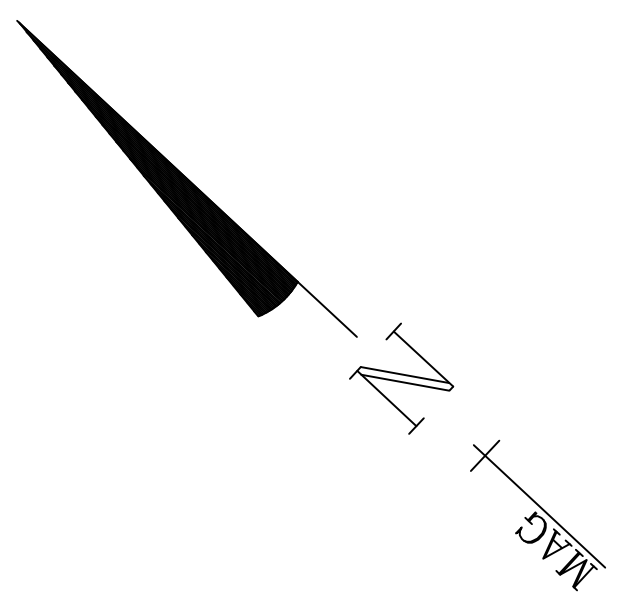
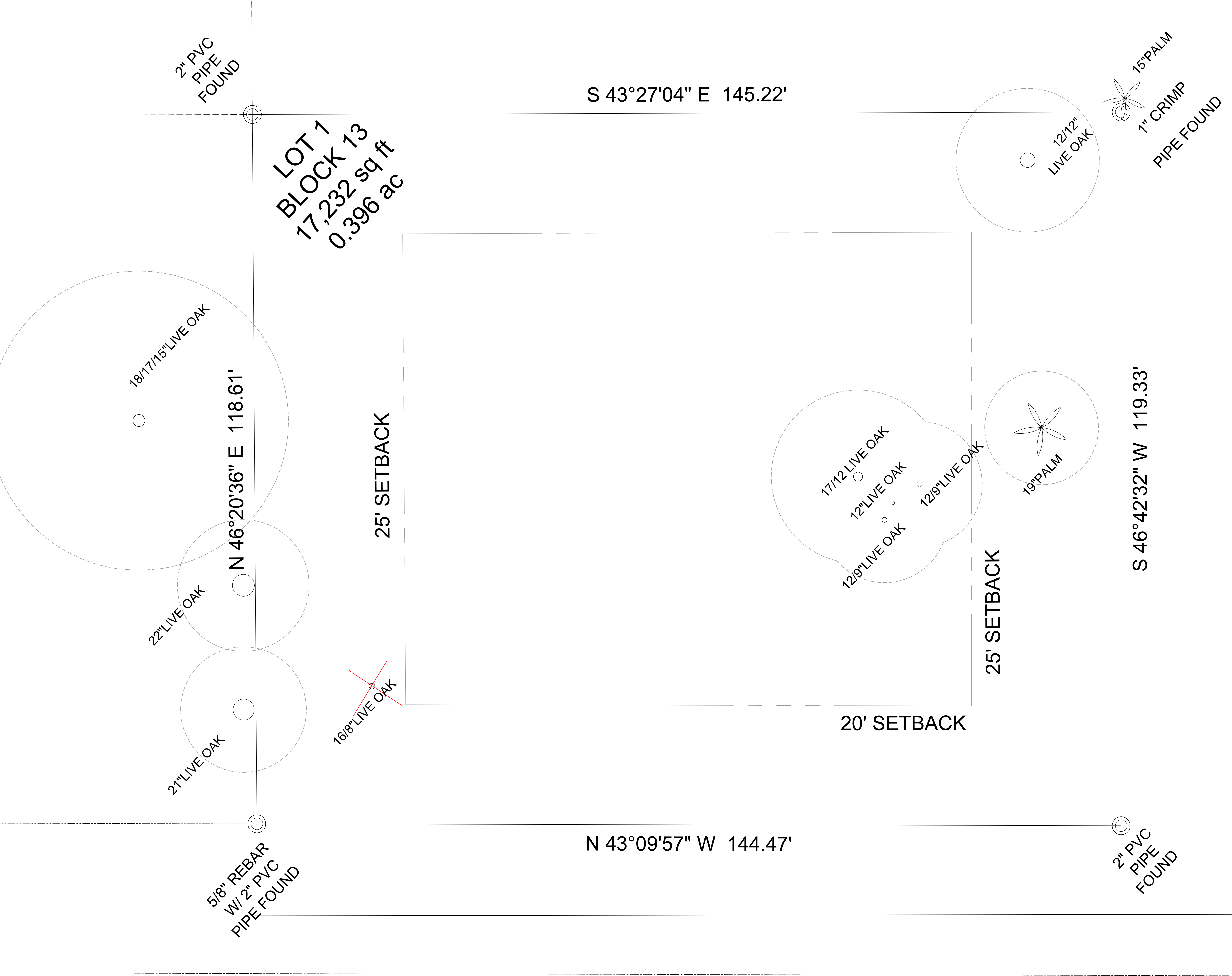
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AND NORTH CAROLINA
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GREENVILLE SC 29607
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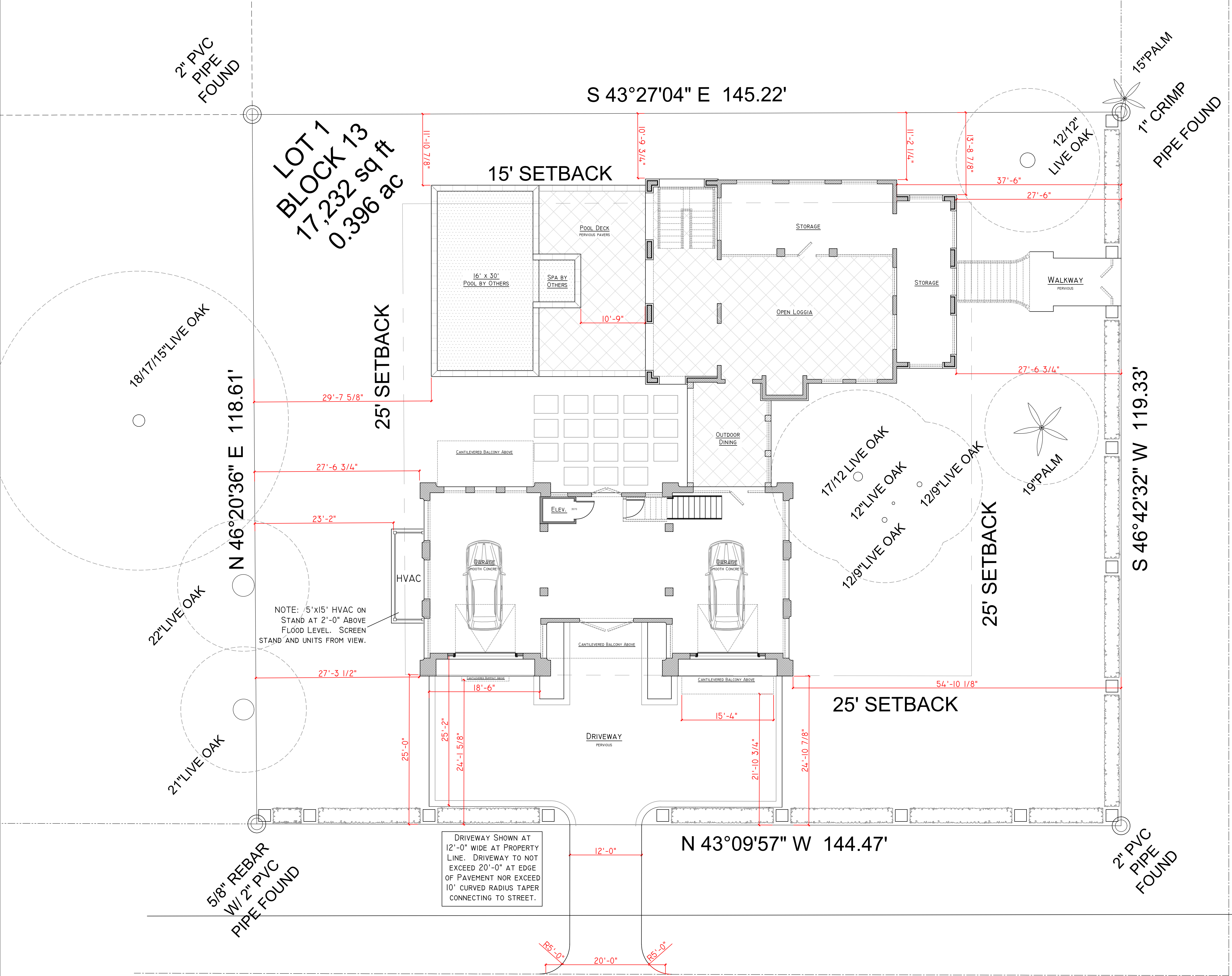
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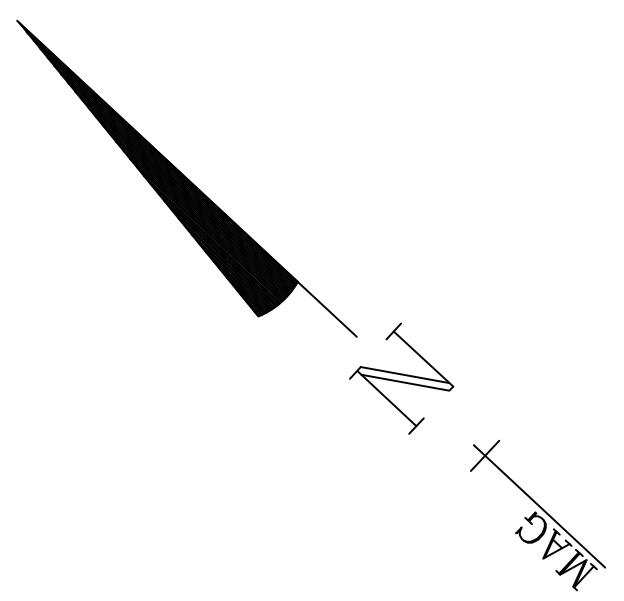




| ZONING STANDARDS COMPLIANCE WORKSHEET | |
|--|--|
| LOT COVERAGE | |
| F: 21-25 PRINCIPAL BUILDING COVERAGE | PERMITTED: (17,232 SF LOT X 15%) = 2,584 SF DRB 20% MAX = 2,584 X 1.2 = 3,100 PROPOSED: 2,807 (8.6%) |
| G: 21-26 IMPERVIOUS COVERAGE | AS PER FORMULA: ((30% X 17,232) = 5,169 SF PROPOSED: 4,339 (25.18) |
| H: 21-27 PRINCIPAL BUILDING SQUARE FOOTAGE | PERMITTED: [(17,232-5,000)/100] X 10 + 2,400 = 3,623 SF ALLOWED DRB 25% MAX = 3,623 X 1.25 = 4,529 SF PROPOSED: 4,317 (19.2) |

| |
|---|
| LOT SIZE: 17,232 FT |
| IMPERVIOUS TOTAL ALLOWED: 5,170 SQFT PER FORMULA |
| HOUSE FOOTPRINT: 3,700 SQFT PROPOSED POOL: 639 SQFT |
| TOTAL: 4,339 SQFT PER FORMULA, MAX COVERAGE ALLOWED: 5,170 SQFT IMPERVIOUS COVERAGE %: 25.18% |

| |
|---|
| LOT SIZE: 17,232 FT |
| NATURAL VEGETATION RATIO: 50% (7,140 SQFT) |
| HOUSE FOOTPRINT: 3,700 SQFT PROPOSED POOL: 639 SQFT TOTAL PERVIOUS: 2,337 SQFT |
| TOTAL: 6,676 SQFT UN-NATURAL COVERAGE %: 38.7% NATURAL VEGETATION COVERAGE: 61.3% |



MONROE RESIDENCE - 3104 I'ON AVENUE - SULLIVAN'S ISLAND, SC
CLARKE DESIGN GROUP 1100 PALM BLVD. STE. 1A ISLE OF PALMS, SC 29451 843-329-0667

EXISTING SITE PLAN

SCALE: 1/8" = 1'

DRB SUBMITTAL: 6.20.25

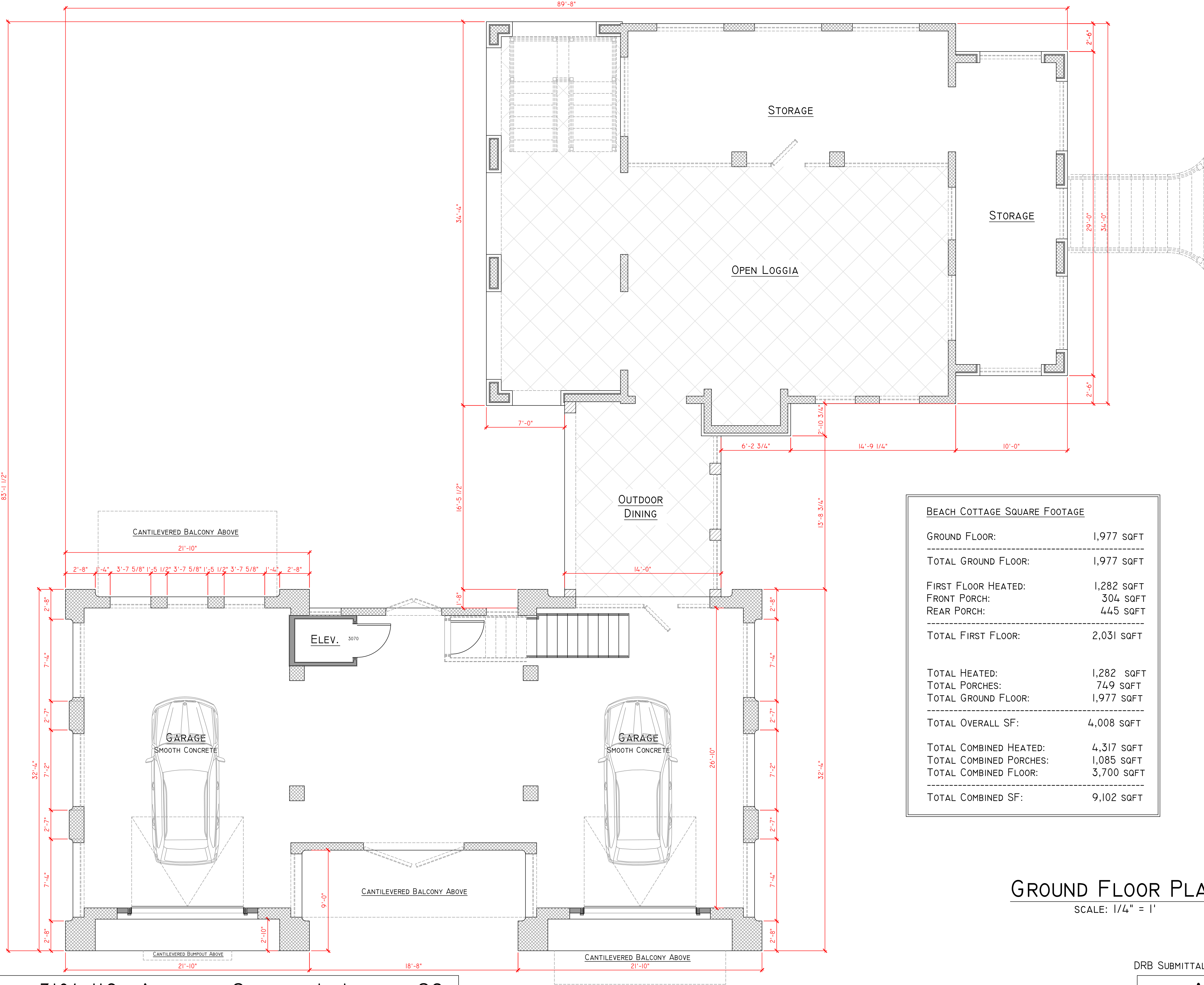
A101B

EXISTING SITE PLAN

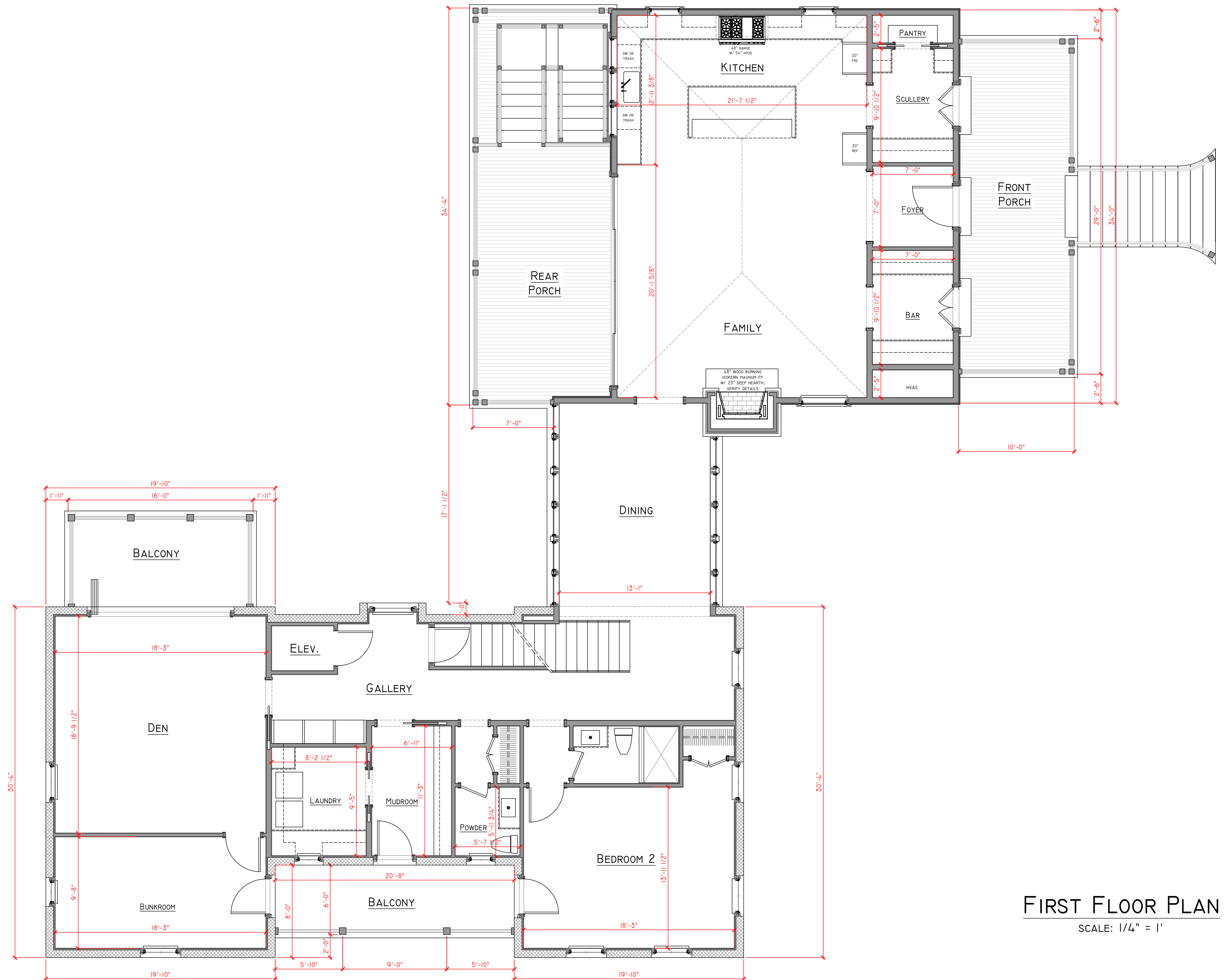
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| STUCCO ADDITION SQUARE FOOTAGE | |
|--------------------------------|------------|
| GROUND FLOOR: | 1,723 SQFT |
| ----- | |
| TOTAL GROUND FLOOR: | 1,723 SQFT |
| FIRST FLOOR HEATED: | 1,526 SQFT |
| BALCONY: | 138 SQFT |
| SIDE BALCONY: | 130 SQFT |
| ----- | |
| TOTAL FIRST FLOOR: | 1,794 SQFT |
| SECOND FLOOR HEATED: | 1,509 SQFT |
| SECOND FLOOR BALCONY: | 68 SQFT |
| ----- | |
| TOTAL SECOND FLOOR: | 1,577 SQFT |
| ----- | |
| TOTAL HEATED: | 3,035 SQFT |
| TOTAL PORCHES: | 336 SQFT |
| TOTAL GROUND FLOOR: | 1,723 SQFT |
| ----- | |
| TOTAL SF: | 5,094 SQFT |
| ----- | |
| TOTAL COMBINED HEATED: | 4,317 SQFT |
| TOTAL COMBINED PORCHES: | 1,085 SQFT |
| TOTAL COMBINED FLOOR: | 3,700 SQFT |
| ----- | |
| TOTAL COMBINED SF: | 9,102 SQFT |

| BEACH COTTAGE SQUARE FOOTAGE | |
|------------------------------|------------|
| GROUND FLOOR: | 1,977 SQFT |
| ----- | |
| TOTAL GROUND FLOOR: | 1,977 SQFT |
| FIRST FLOOR HEATED: | 1,282 SQFT |
| FRONT PORCH: | 304 SQFT |
| REAR PORCH: | 445 SQFT |
| ----- | |
| TOTAL FIRST FLOOR: | 2,031 SQFT |
| ----- | |
| TOTAL HEATED: | 1,282 SQFT |
| TOTAL PORCHES: | 749 SQFT |
| TOTAL GROUND FLOOR: | 1,977 SQFT |
| ----- | |
| TOTAL OVERALL SF: | 4,008 SQFT |
| ----- | |
| TOTAL COMBINED HEATED: | 4,317 SQFT |
| TOTAL COMBINED PORCHES: | 1,085 SQFT |
| TOTAL COMBINED FLOOR: | 3,700 SQFT |
| ----- | |
| TOTAL COMBINED SF: | 9,102 SQFT |



GROUND FLOOR PLAN
SCALE: 1/4" = 1'



FIRST FLOOR PLAN
SCALE: 1/4" = 1'

SCALE: 1/4" = 1'

A104
FLOOR PLAN

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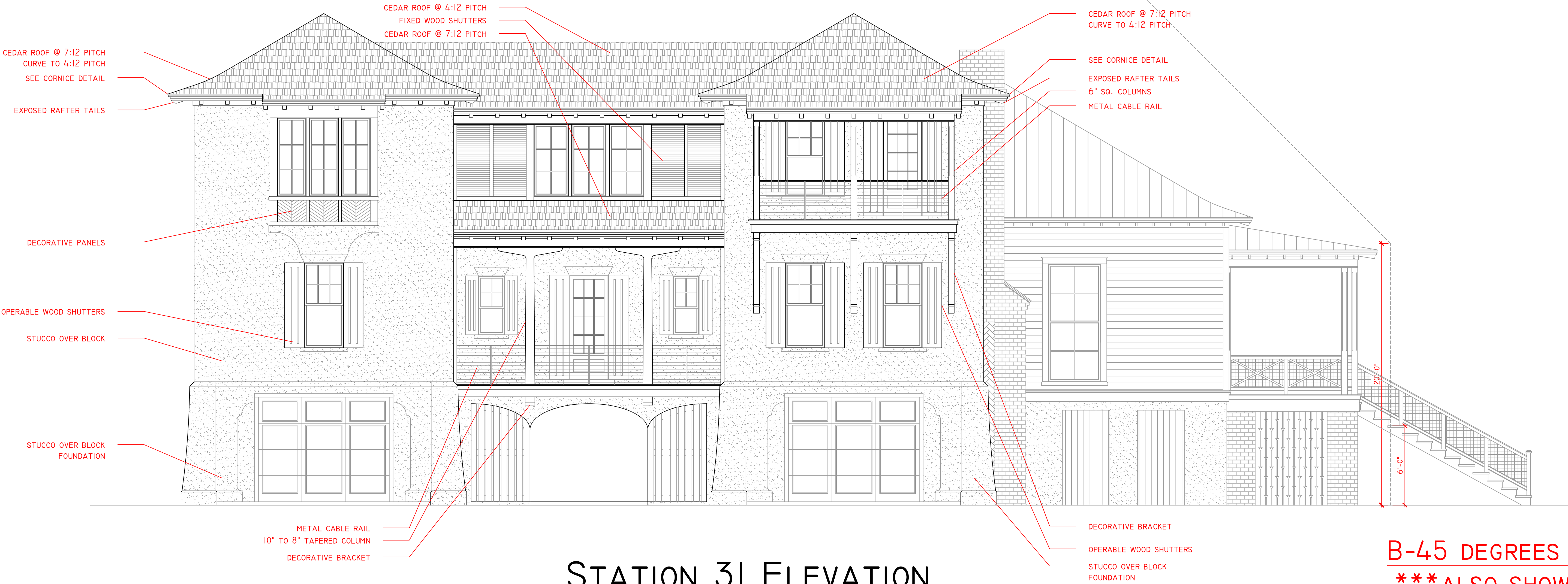
***SHOWING UNDER 38' MAX
RIDGE HEIGHT



I'ON AVENUE ELEVATION
SCALE: 1/4" = 1'

THE BUILDING FOUNDATION HEIGHT AT THE COTTAGE IS 8' TO LSM AND 9'-2 1/4" TO FFE. ON THE MASONRY WING OF THE HOUSE, THE FLOOR SYSTEM IS A RAISED SLAB AND IS THUS MUCH THINNER THAN A TRADITIONAL WOOD FRAMED HOUSE. THEREFORE, WHILE THE BLOCK HEIGHT IS HIGHER THAN 8,' THE FEE ON THE STUCCO WING IS 9'-4," IN ACCORDANCE WITH THE DRB STANDARD.

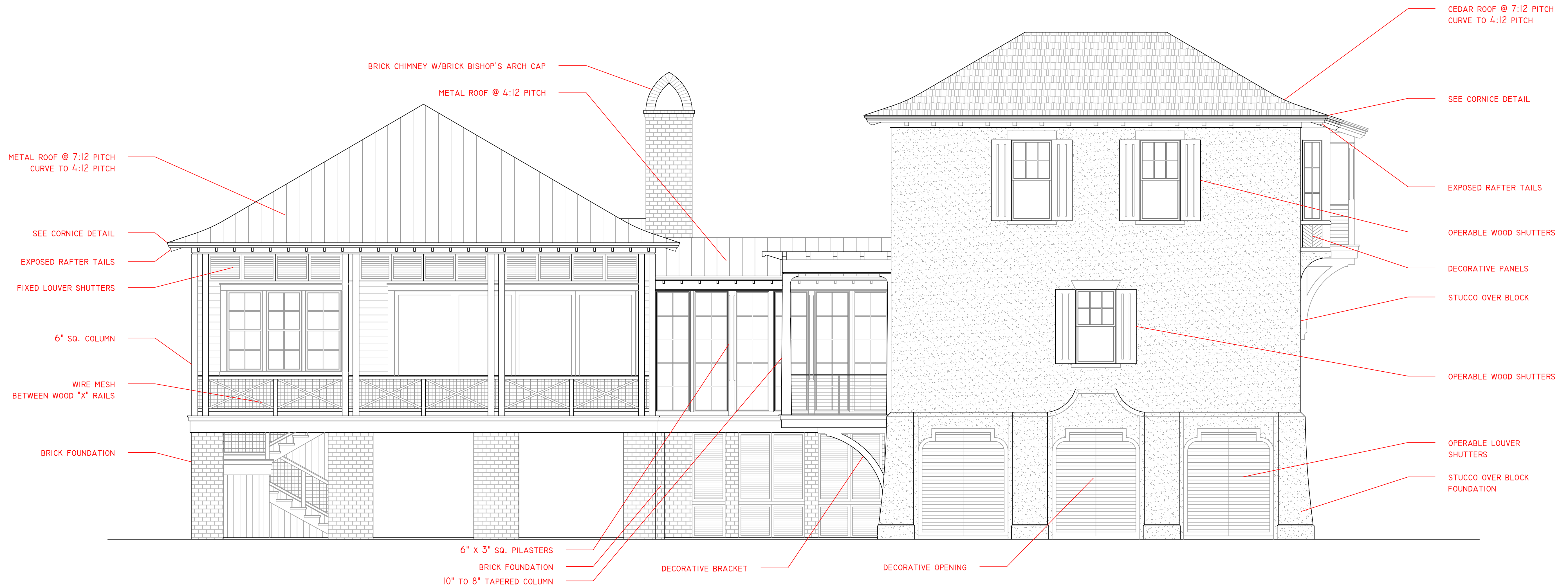
DUE TO THE TREES LOCATED AT THE CORNER OF I'ON AVE. AND STATION 31, THE SIDE FACADE
ALONG STATION 31 PRESENTS A TWO STORY STRUCTURE. THE MASS IS BROKEN UP AND HAS
SECOND STORY SETBACK AFTER A 19' LONG SIDE.



STATION 31 ELEVATION

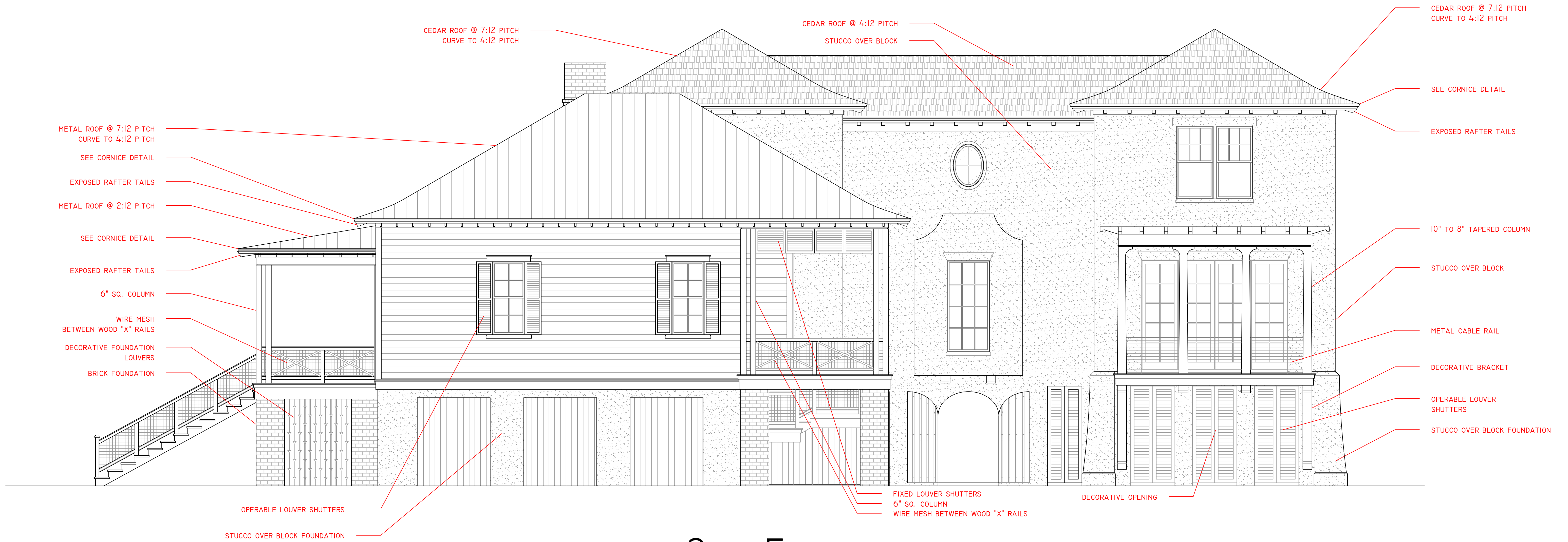
SCALE: 1/4" = 1'

B-45 DEGREES ABOVE 20'
*** ALSO SHOWING STAIR
HEIGHT AT FRONT SETBACK



COURTYARD ELEVATION

SCALE: 1/4" = 1'



SIDE ELEVATION

SCALE: 1/4" = 1'