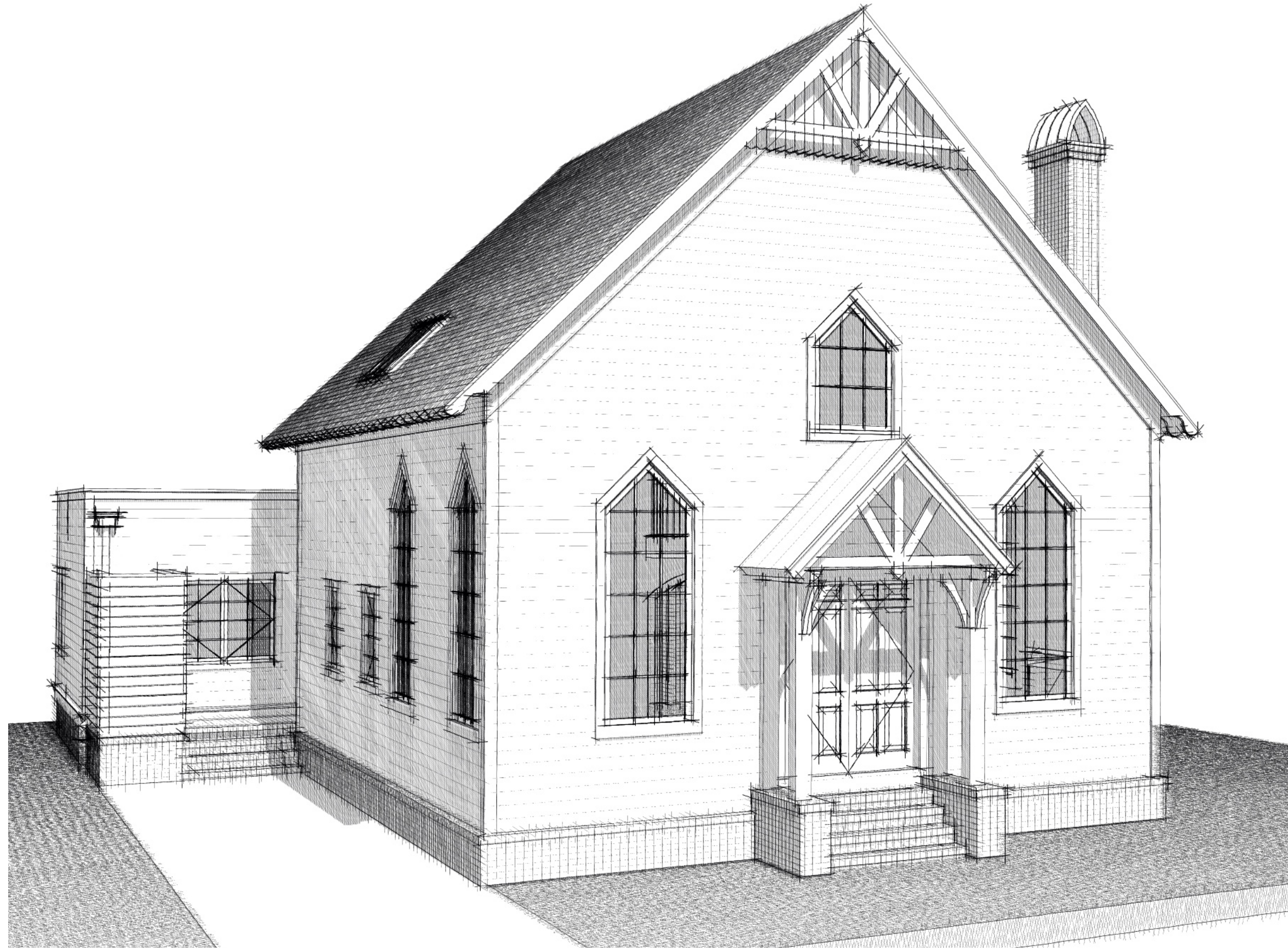


Yoak Residence



Yoak Residence 2415 Middle Street Sullivan's Island, SC 29482

2415 Middle Street

This project is an adaptive re-use project turning a former church into a single family residence while removing existing non-conformities and adding an off street parking spot. There are no original doors or windows in the structure and the original window fenestrations have all been modified with the installation of more modern elements - this proposed project creates a time and age appropriate middle entry into the building that is common of churches from this area.. The new exterior materials will be of the same scale, design and look of the original exterior materials to maintain the historic character of the property.

We are maintaining and repairing those original exterior elements that can be retained including the rafter tails, frieze, gable end detailing. A chimney is proposed along the right elevation which is appropriate for this adaptive re-use will be brick on the exterior. Siding will be removed such that insulation may be placed inside the exterior walls and sheathing added to which housewrap will be applied. There is no shifting of the current structure or expansion of footprint. The current modified front entry portion of the structure will be removed and off-street parking will be provided along the left side of the structure . We are reducing PBSF, PBCA, and impervious coverage as well as eliminating the front left encroachment onto the neighboring property to the NE and are removing the HVAC stand which encroaches onto the neighboring property to the SW.

At no given time during the historic rehabilitation shall more than 50% of the exterior facing walls or wall studs be removed.

CODE APPLICABILITY

- THIS STRUCTURE HAS BEEN DESIGNED USING THE FOLLOWING:
 - INTERNATIONAL BUILDING CODE 2021 WITH SC ADJMEMTMENTS
 - SSD 10, 1999 EDITION
 - 2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- USE GROUP: SINGLE FAMILY DWELLING
- EMERGENCY EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS HAVE MINIMUM 5.7 SQ.FT.

SITE INFORMATION

TMS: 529-10-00-012
Plat: Book G Page 79
Map#: 45019C 0539 K, (Jan 29, 2021)
Size of Lot: 3,504 SF (.08 Acres)
Flood Zone: Zone AE10
(Current Grades 7.1'-8.2')

ZONING NOTES

Setbacks:
Front: Historic Exemption - existing
Side: Historic Exemption - existing
Rear: Historic Exemption - existing
Bldg Height: 36' from natural grade at centerpoint of house (Existing)
Foundation Height: Existing
Cave Height: Existing

CALCULATIONS

SQUARE FOOTAGE CALCULATIONS:
EXISTING FIRST FLOOR HEATED: 2,409 SQ. FT.
EXISTING SECOND FLOOR HEATED: 1,261 SQ. FT.
TOTAL EXISTING HEATED: 3,670 SQ. FT.
NEW FIRST FLOOR HEATED: 2,165 SQ. FT.
NEW SECOND FLOOR HEATED: 725 SQ. FT.
TOTAL NEW HEATED: 2,890 SQ. FT.

EXISTING IMPERVIOUS LOT COVERAGE: 2,606 SF
NEW IMPERVIOUS LOT COVERAGE: 2,380 SF

EXISTING PRINCIPAL BUILDING COVERAGE: 2,409 SF
NEW PRINCIPAL BUILDING COVERAGE: 2,165 SF

DRB APPROVAL

DRB Approval Granted : 7/17/2024
No Relief Requested or Granted by DRB

VEGETATION

EXISTING VEGETATION COVERAGE: 714 SF
NEW NATURAL VEGETATION COVERAGE: 717 SF

DRIVEWAY

SCDOT PERMIT OBTAINED
DRIVEWAY WILL BE PERMITTED SEPARATELY -PERVIOUS DETAILS WILL BE INCLUDED

DRAWING SHEETS

SHEET INDEX

General Drawings	
G-001	COVER SHEET
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Architectural Site Plans	
AS-001	NEW ARCHITECTURAL SITE PLAN

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D-102	DEMO SECOND FLOOR PLAN
D-103	DEMO ROOF DEMO PLAN

Demolition Elevations	
D-201	DEMO FRONT ELEVATION
D-202	DEMO RIGHT ELEVATION
D-203	DEMO REAR ELEVATION
D-204	DEMO LEFT ELEVATION

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A-102	NEW SECOND FLOOR PLAN
A-103	NEW ROOF PLAN

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A-903	INTERIOR TRIM DETAILS
A-904	ENLARGED PLANS & INTERIOR ELEV
A-905	ENLARGED PLANS & INTERIOR ELEV
A-906	ENLARGED PLANS & INTERIOR ELEV
A-907	ENLARGED PLANS & INTERIOR ELEV
A-908	ENLARGED PLANS & INTERIOR ELEV
A-909	ENLARGED PLANS & INTERIOR ELEV
A-910	ENLARGED PLANS & INTERIOR ELEVATI
A-911	ENLARGED PLANS & INTERIOR ELEVATI
A-912	ENLARGED PLANS & INTERIOR ELEVATI
A-913	ENLARGED PLANS & INTERIOR ELEVATI

Interiors	Layout
	Layout
	Layout
	Layout

Structural	
S-01	GENERAL & DESIGN CRITERIA
S-02	ABBREV., SYMBOLS & LEGENDS
S-03	1ST FL DEMO & TEMP SHORING
S-04	1ST FL CLG/LOW ROOF/2ND FL DEMO
S-05	NEW FOUNDATION PLAN
S-06	NEW 1ST FL FRAMING PLAN
S-07	NEW 1ST FL CL G/2ND FL FRAMING



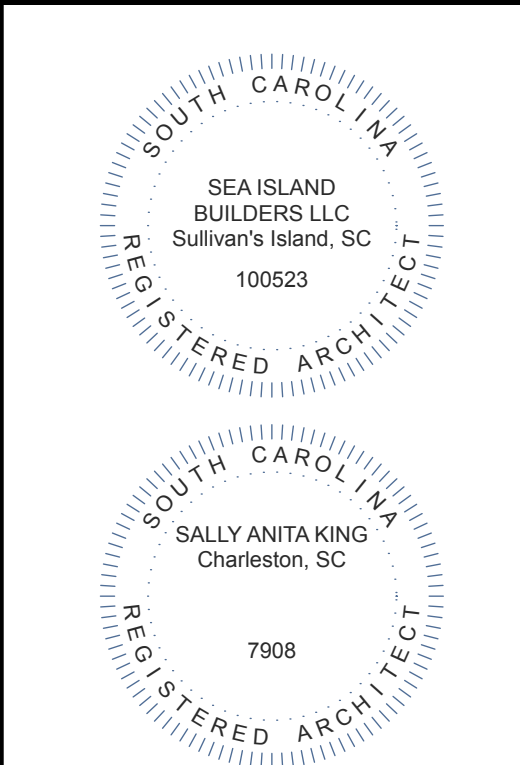
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Yoak Residence

2415 Middle Street
Sullivan's Island, SC
29482

6/18/2024	DRB FINAL
10/7/2024	PERMIT
6/20/2025	DRB SKYLIGHTS

PROJECT: 2415 MIDDLE
DATE: 6/17/25
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SHEET TITLE
COVER SHEET

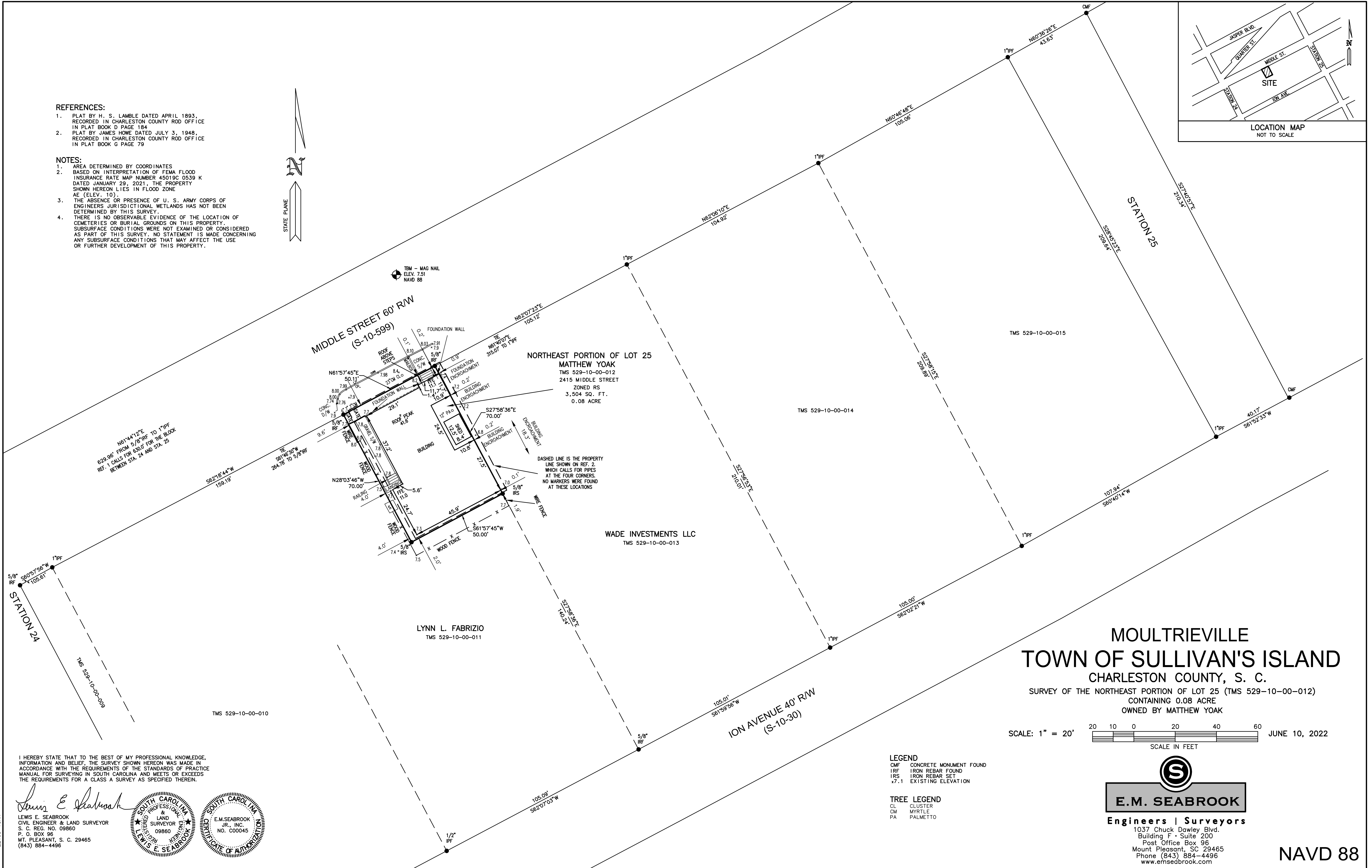
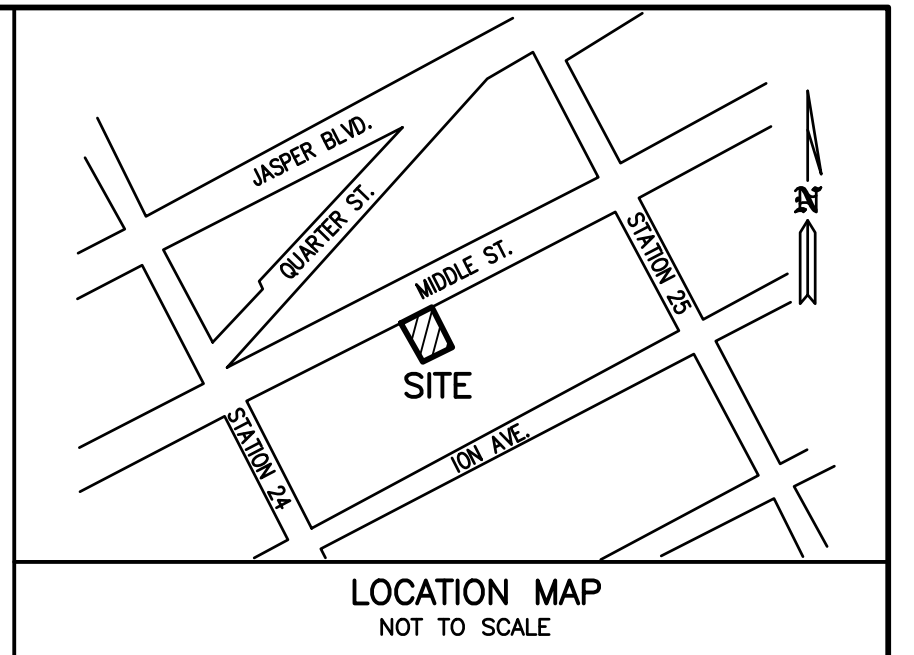
G-001
SHEET 1 OF 57

REFERENCES:

1. PLAT BY H. S. LAMBLE DATED APRIL 1893, RECORDED IN CHARLESTON COUNTY ROD OFFICE IN PLAT BOOK D PAGE 184
2. PLAT BY JAMES HOWE DATED JULY 3, 1948, RECORDED IN CHARLESTON COUNTY ROD OFFICE IN PLAT BOOK G PAGE 79

NOTES:

1. AREA DETERMINED BY COORDINATES
2. BASED ON INTERPRETATION OF FEMA FLOOD INSURANCE RATE MAP NUMBER 45019C 0539 K DATED JANUARY 29, 2021, THE PROPERTY SHOWN HEREON LIES IN FLOOD ZONE AE (ELEV. 10).
3. THE ABSENCE OR PRESENCE OF U. S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS HAS NOT BEEN DETERMINED BY THIS SURVEY.
4. THERE IS NO OBSERVABLE EVIDENCE OF THE LOCATION OF CEMETERIES OR BURIAL GROUNDS ON THIS PROPERTY. SUBSURFACE CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING ANY SUBSURFACE CONDITIONS THAT MAY AFFECT THE USE OR FURTHER DEVELOPMENT OF THIS PROPERTY.



I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS A SURVEY AS SPECIFIED THEREIN.

Lewis E. Seabrook
LEWIS E. SEABROOK
CIVIL ENGINEER & LAND SURVEYOR
S. C. REG. NO. 09860
P. O. BOX 96
MT. PLEASANT, S. C. 29465
(843) 884-4496

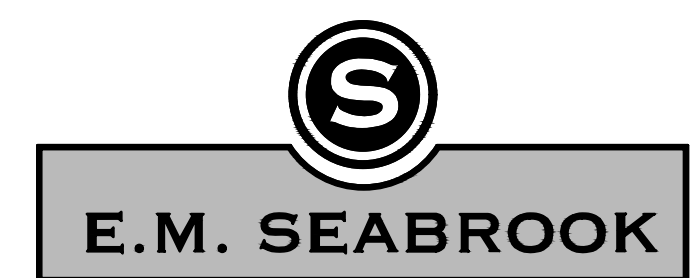


LEGEND
CMF CONCRETE MONUMENT FOUND
IRF IRON REBAR FOUND
IRS IRON REBAR SET
±7.1 EXISTING ELEVATION

TREE LEGEND
CL CLUSTER
OM MYRTLE
PA PALMETTO

MOULTRIEVILLE
TOWN OF SULLIVAN'S ISLAND
CHARLESTON COUNTY, S. C.
SURVEY OF THE NORTHEAST PORTION OF LOT 25 (TMS 529-10-00-012)
CONTAINING 0.08 ACRE
OWNED BY MATTHEW YOAK

SCALE: 1" = 20'
20 10 0 20 40 60
SCALE IN FEET
JUNE 10, 2022



Engineers | Surveyors
1037 Chuck Dowley Blvd.
Building F - Suite 200
Post Office Box 96
Mount Pleasant, SC 29465
Phone (843) 884-4496
www.emseabrook.com

NAVD 88

1 SURVEY DATED 6/10/2022

C-001

SHEET 2 OF 57



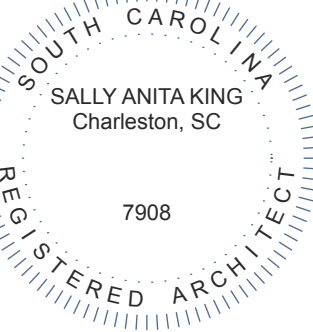
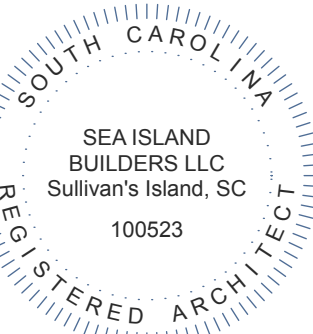
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10/7/2024	PERMIT
6/20/2025	DRB SKYLIGHTS

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SHEET TITLE

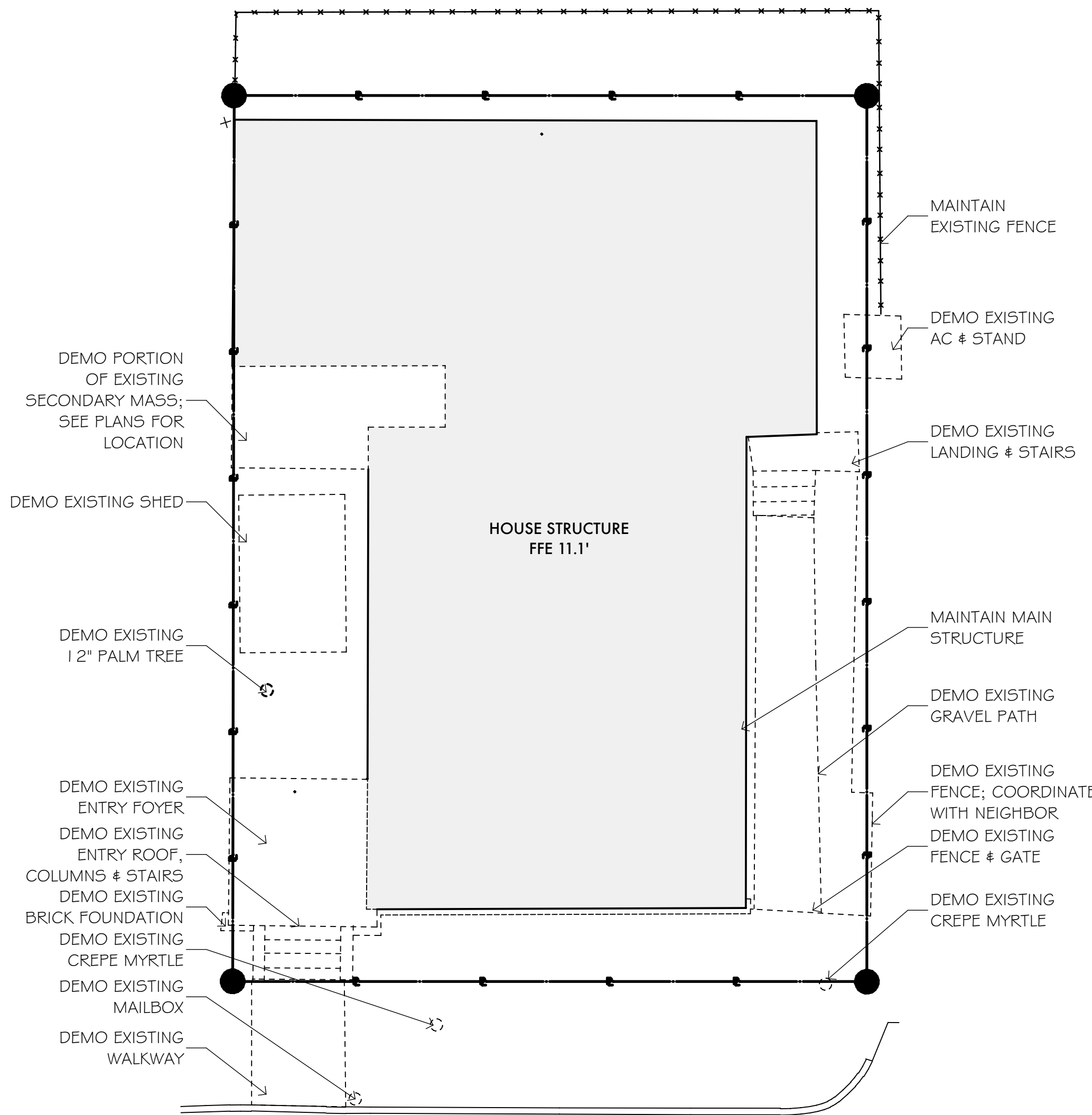
NEW
ARCHITECTURAL
SITE PLAN

AS-001

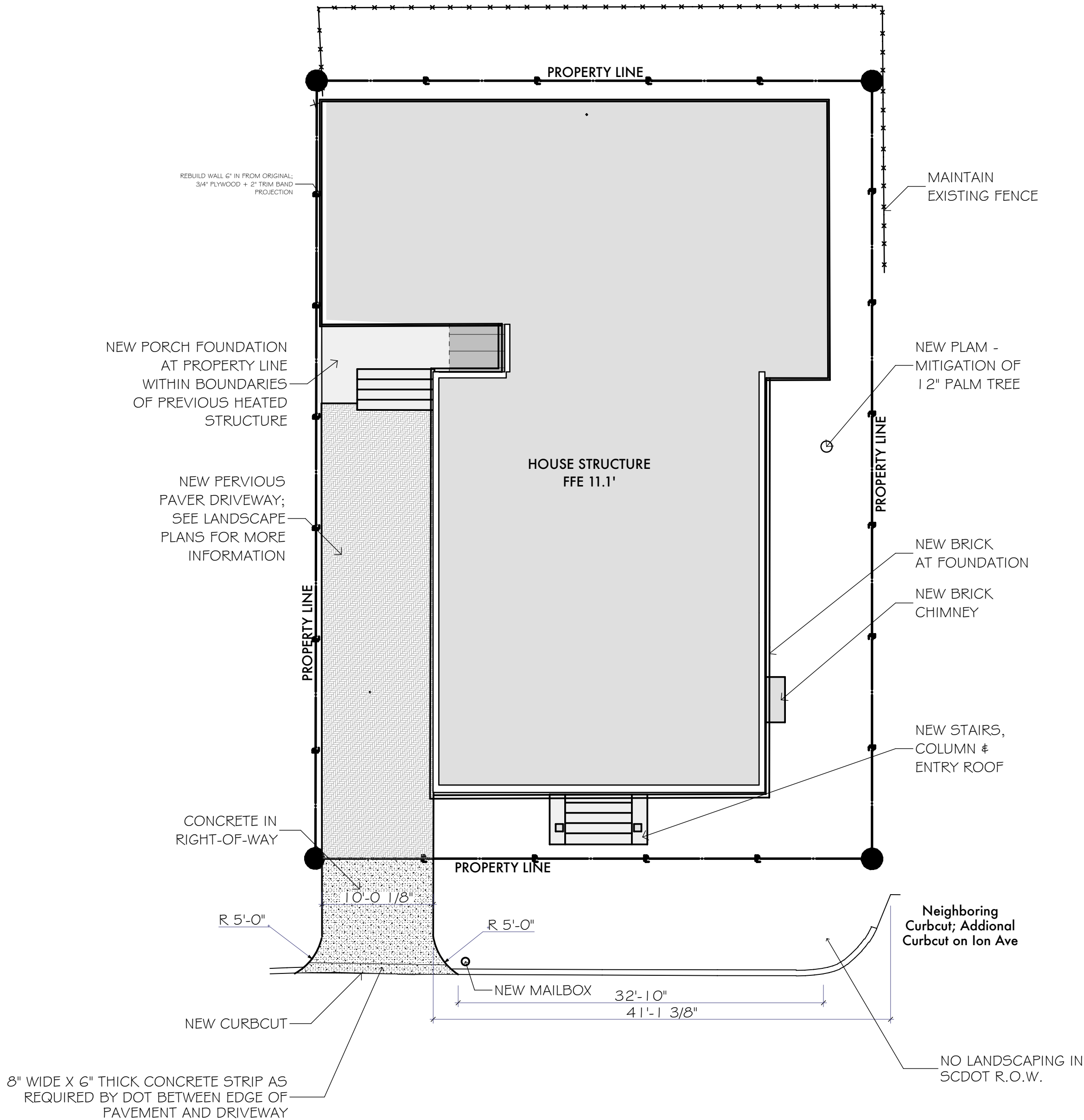
SHEET 3 OF 57

SITE PLAN NOTES

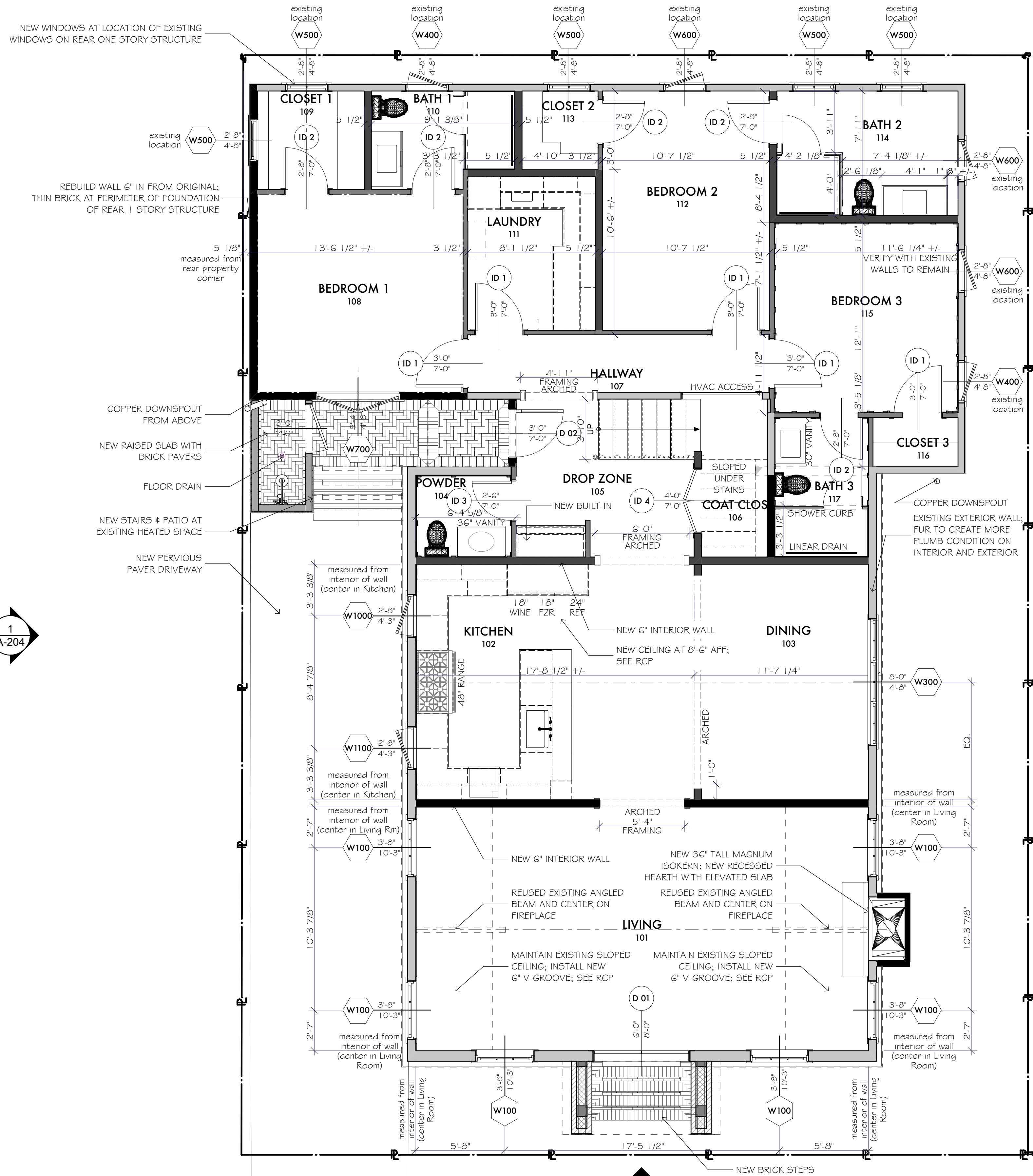
- EXISTING STRUCTURE REMAINS IN LOCATION AS SHOWN ON SITE PLANS. A PORTION OF THE STRUCTURE EXISTS OVER THE CURRENT PROPERTY LINE AND REMAINS OVER A PORTION OF THE PROPERTY LINE. SOME ELEMENTS OF THE STRUCTURE ARE REMOVED AS SHOWN BELOW. NO PART OF THE STRUCTURE IS BEING RELOCATED ON THE SITE.
- COORDINATE WITH NEIGHBORS ON ALL WORK THAT REQUIRES SITE ACCESS TO ADJACENT PROPERTIES.
- REMOVE FENCING WITHIN PROPERTY BOUNDARIES AND COORDINATE WITH ADJACENT PROPERTIES ON ANY FENCE REMOVAL ON ADJACENT PROPERTIES.
- REFERENCE LANDSCAPE PLANS FOR ALL NEW DRAINAGE, LANDSCAPE, HARDSCAPE AND FENCING.



1 DEMO SITE PLAN
SCALE: 1/8" = 1'-0"



2 NEW SITE PLAN
SCALE: 1/8" = 1'-0"



1 NEW FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

FLOOR PLAN NOTES

- EXISTING FRAMED WALLS AS SHOWN TO REMAIN. ALL FINISHES TO BE REMOVED. NEW SHEATHING, MOISTURE BARRIER AND EXTERIOR MATERIALS TO BE ADDED. MAINTAIN ALL EXISTING GABLE DETAILING, FRIEZE DETAILING AND EXPOSED RAFTER TAILS.
- ALL NEW INTERIOR WALLS ARE TO BE FRAMED WITH 2X4 WOOD STUDS @ 16"o.c. UNLESS OTHERWISE NOTED. ALL WALLS OR SECTIONS OF WALLS CONTAINING POCKET DOORS OR PLUMBING FIXTURES TO BE FRAMED WITH 2X6 @ 16"o.c. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL FRAMING INFORMATION.
- ALL DIMENSIONS ARE FROM FACE OF STUD, UNLESS OTHERWISE NOTED.
- ALL CEILINGS ARE TO UNDERSIDE OF FRAMING, UNLESS NOTED OTHERWISE TO ACCOMMODATE MECHANICAL OR ARCHITECTURAL FEATURES. ALL CEILINGS NOTED AS LOWER THAN FRAMING TO BE FURRED TO HEIGHT NOTED.
- FIELD VERIFY ALL DIMENSIONS FOR CABINETRY AND BUILT-IN DESIGNS.
- ALL NEW WINDOWS AND DOORS THROUGHOUT.
- SEE STRUCTURAL PLAN FOR NEW FOUNDATION WITH BREAKAWAY WALLS AND FLOOD VENT REQUIREMENTS.

FLOOR PLAN LEGEND

- EXISTING WALL
- NEW 4" STUD WALL CONSTRUCTION
- NEW 6" STUD WALL CONSTRUCTION



Sea Island
BUILDERS

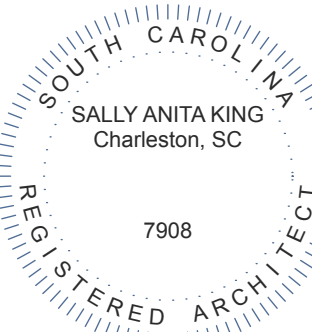
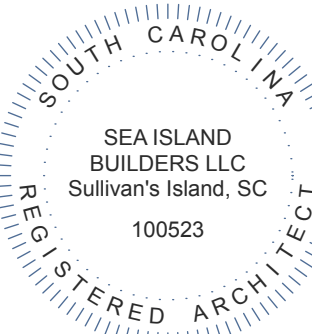
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Yoak Residence

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6/18/2024	DRB FINAL
10/7/2024	PERMIT
6/20/2025	DRB SKYLIGHTS

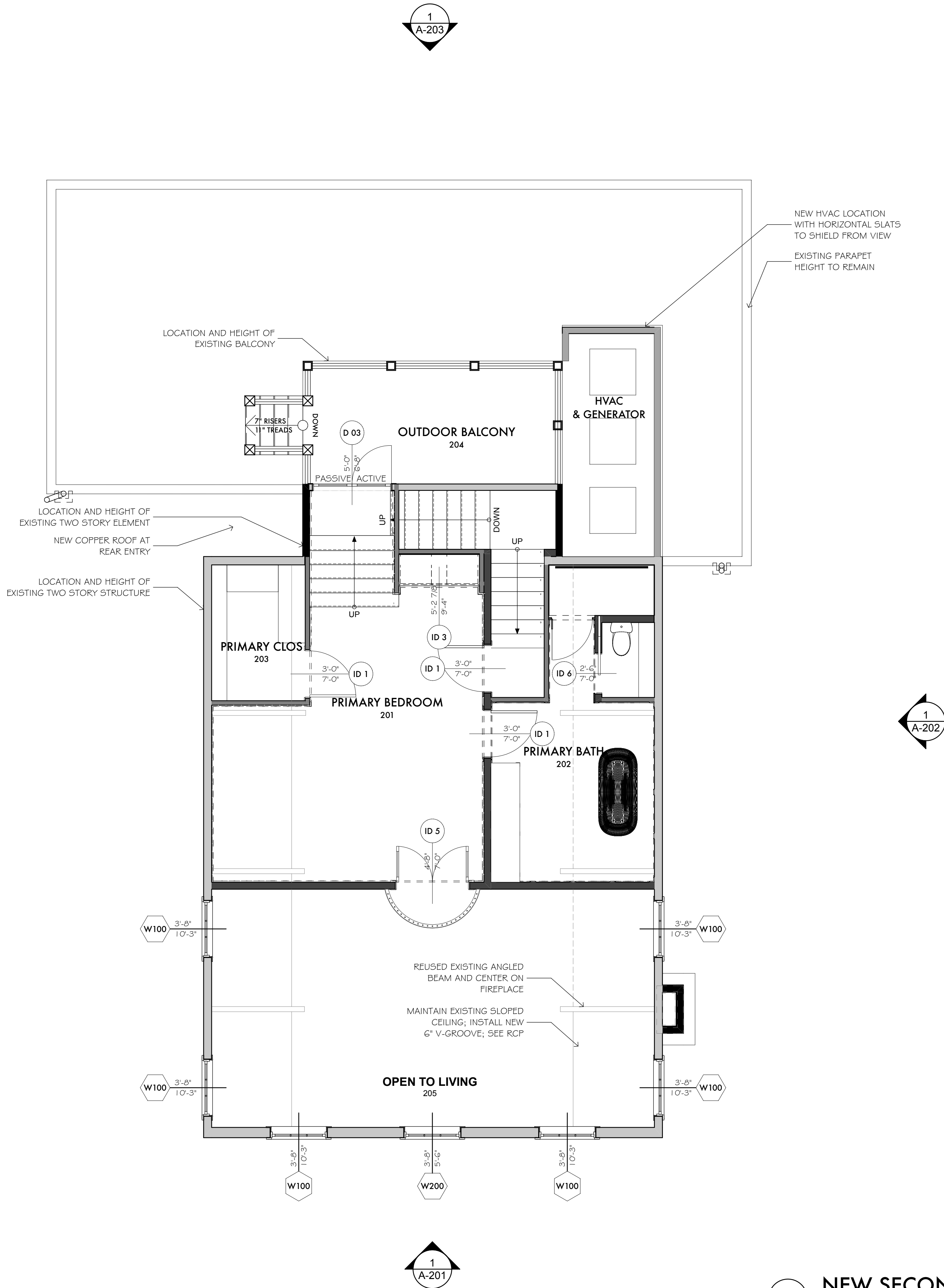
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SHEET TITLE

NEW FIRST FLOOR PLAN

A-101

SHEET 11 OF 57



FLOOR PLAN NOTES

- EXISTING FRAMED WALLS AS SHOWN TO REMAIN. ALL FINISHES TO BE REMOVED. NEW SHEATHING, MOISTURE BARRIER AND EXTERIOR MATERIALS TO BE ADDED. MAINTAIN ALL EXISTING GABLE DETAILING, FRIEZE DETAILING AND EXPOSED RAFTER TAILS.
- ALL NEW INTERIOR WALLS ARE TO BE FRAMED WITH 2X4 WOOD STUDS @ 16"o.c. UNLESS OTHERWISE NOTED. ALL WALLS OR SECTIONS OF WALLS CONTAINING POCKET DOORS OR PLUMBING FIXTURES TO BE FRAMED WITH 2X6 @ 16"o.c. SEE STRUCTURAL DRAWINGS FOR ADDITIONAL FRAMING INFORMATION.
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- FIELD VERIFY ALL DIMENSIONS FOR CABINETRY AND BUILT-IN DESIGNS.
- ALL NEW WINDOWS AND DOORS THROUGHOUT.
- MAINTAIN EXISTING DECORATIVE BEAMS; RELOCATE TWO AT LIVING ROOM TO ALIGN WITH CENTER OF FIREPLACE.

FLOOR PLAN LEGEND

- EXISTING WALL
- NEW 4" STUD WALL CONSTRUCTION
- NEW 6" STUD WALL CONSTRUCTION



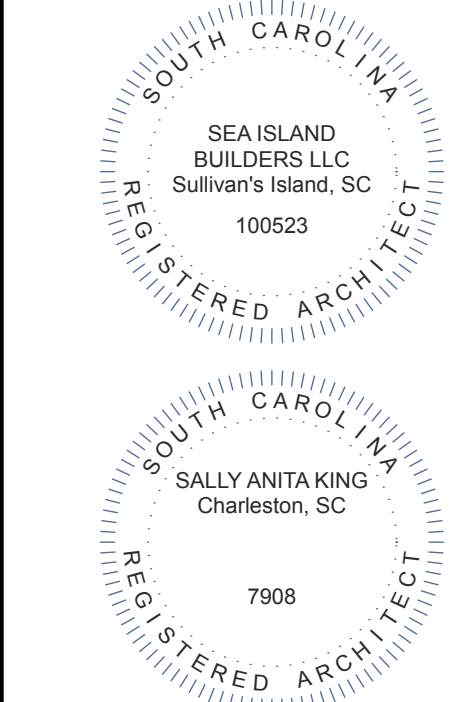
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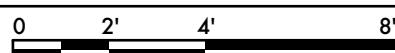
NEW SECOND FLOOR PLAN

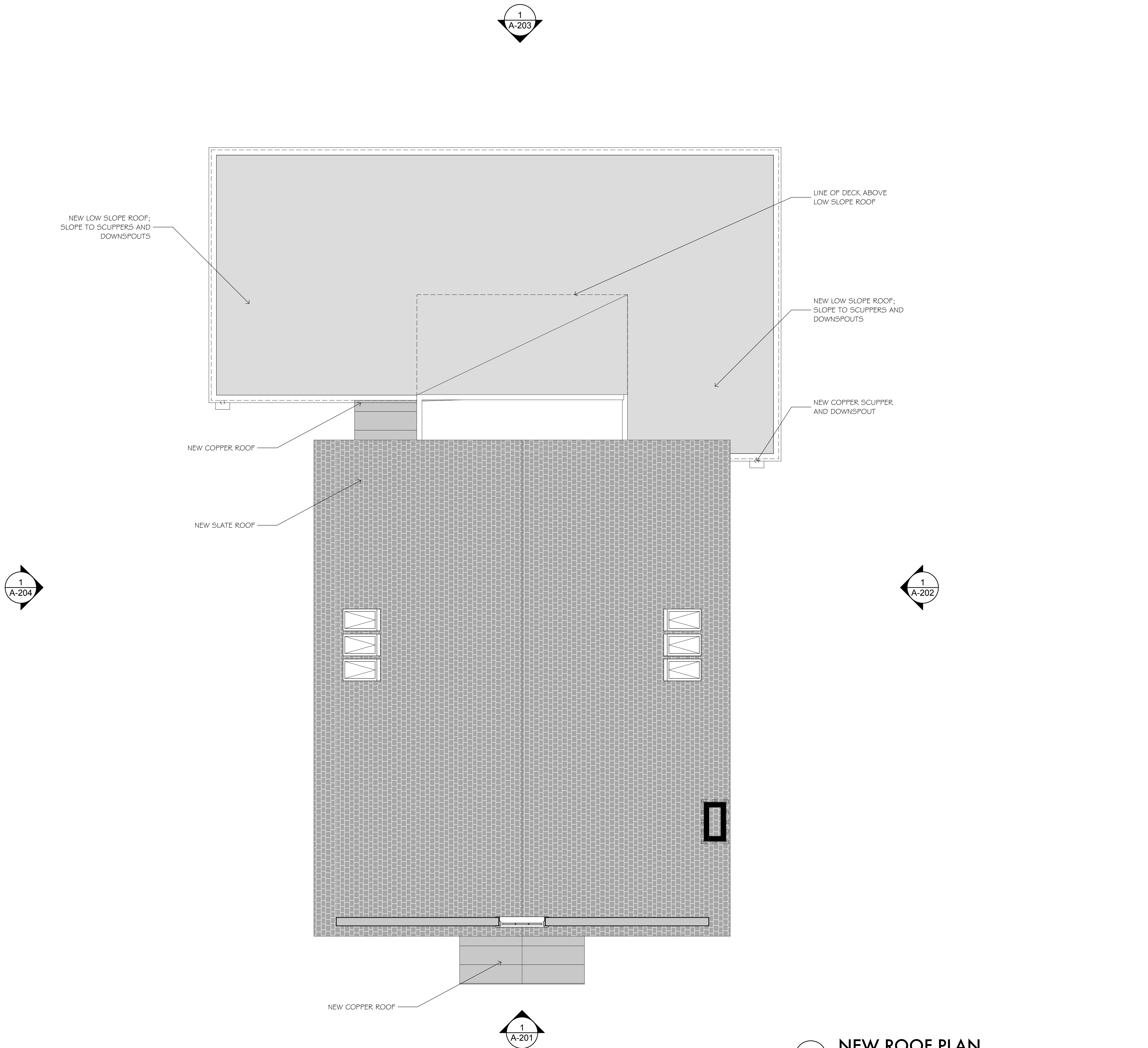
A-102

SHEET 12 OF 57

NEW SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"





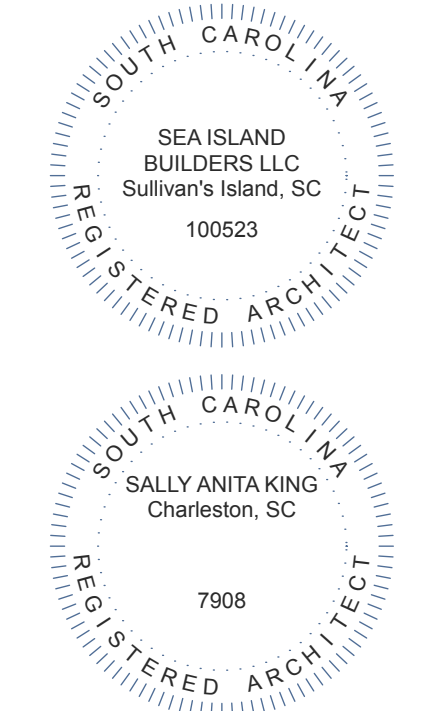
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SHEET TITLE

NEW ROOF PLAN

A-103

SHEET 13 OF 57



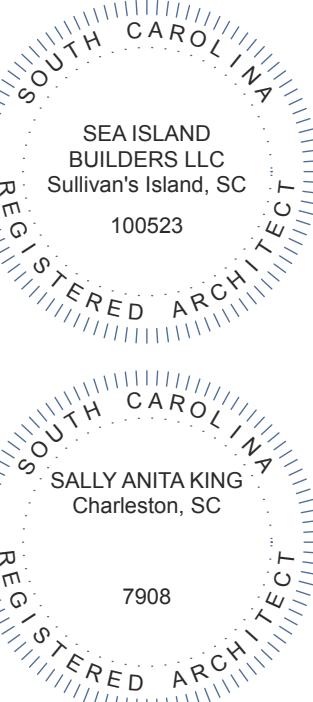
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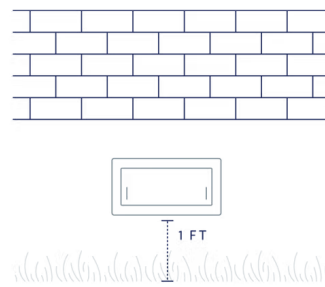
NEW FRONT
ELEVATION

A-201

SHEET 14 OF 57

ELEVATION NOTES

- EXISTING FRAMED WALLS AS SHOWN TO REMAIN. ALL FINISHES TO BE REMOVED. NEW SHEATHING, MOISTURE BARRIER AND EXTERIOR MATERIALS TO BE ADDED. MAINTAIN ALL EXISTING GABLE DETAILING, FRIEZE DETAILING AND EXPOSED RAFTER TAILS.
- REUSE EXISTING WOOD SIDING MATERIAL ON FRONT ELEVATION. ALL OTHER SIDING TO BE TRU-EXTERIOR MATCHING THE THICKNESS OR GREATER AND SPACING.
- MAINTAIN ALL FASCIA, FRIEZE, GABLE DETAILING AND EXPOSED RAFTERS AS POSSIBLE; REPAIR AND REPLACE AS NEEDED.
- ALL FOUNDATION WALLS TO BE BREAKAWAY BETWEEN PIERS; SEE STRUCTURAL FOR MORE INFORMATION. INSTALL ELEVEN (11) INSULATED SMARTVENTS TO MEET FLOOD ZONE REQUIREMENTS. (2165/200=10.825)



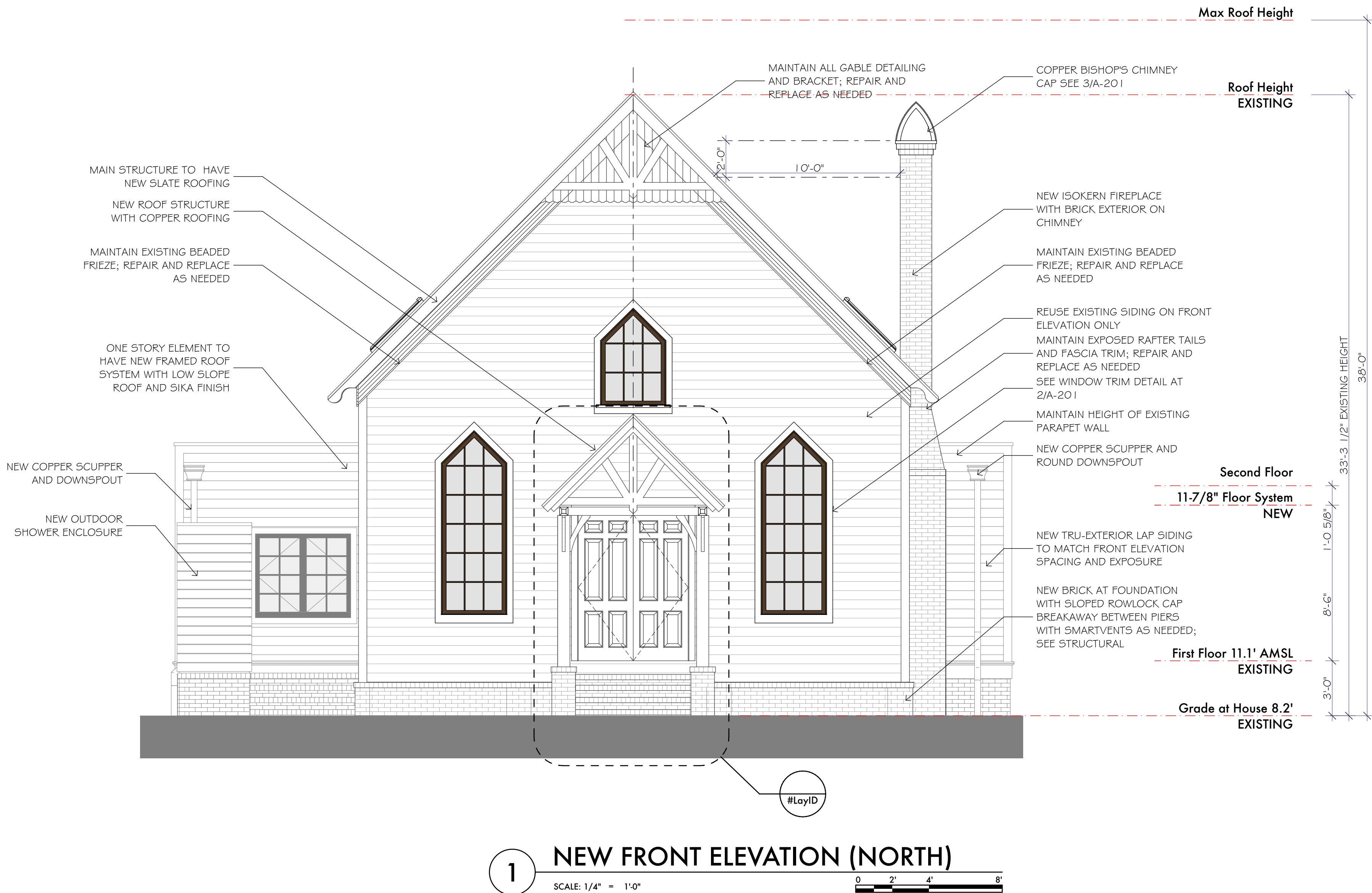
The bottom of each flood vent shall be no higher than 1 ft. above the highest interior or exterior adjacent grade.



There must be at least 2 openings on 2 different walls per each enclosed area below the BFE.

4

SMARTVENT DETAILS



1. EXISTING FRAMED WALLS AS SHOWN TO REMAIN. ALL FINISHES TO BE REMOVED, NEW SHEATHING, MOISTURE BARRIER AND EXTERIOR MATERIALS TO BE ADDED. MAINTAIN ALL EXISTING GABLE DETAILING, FRIEZE DETAILING AND EXPOSED RAFTER TAILS.
2. REUSE EXISTING WOOD SIDING MATERIAL ON FRONT ELEVATION. ALL OTHER SIDING TO BE TRJ-EXTERIOR MATCHING THE THICKNESS OR GREATER OR SPACING.
3. MAINTAIN ALL FASCIA, FRIEZE, GABLE DETAILING AND EXPOSED RAFTERS AS POSSIBLE; REPAIR AND REPLACE AS NEEDED.
4. ALL FOUNDATION WALLS TO BE BREAKAWAY BETWEEN PIERS; SEE STRUCTURAL FOR MORE INFORMATION. INSTALL ELEVEN (11) INSULATED SMARTVERTS TO MEET FLOOD ZONE REQUIREMENTS. (2.65/200 = 10.825)



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NEW RIGHT ELEVATION

SHEET 15 OF 57

2A SKYLIGHT SPECS

2B SKYLIGHT SPECS





1 NEW REAR ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"
0 2' 4' 8'

ELEVATION NOTES

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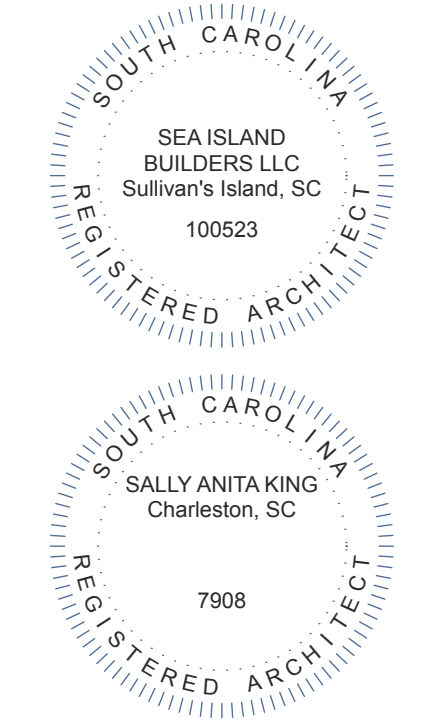
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Yoak Residence

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10/7/2024	PERMIT
6/20/2025	DRB SKYLIGHTS

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SHEET TITLE

NEW REAR ELEVATION

A-203

SHEET 16 OF 57

FCM

Fixed Curb-Mounted Skylight System

VELUX Fixed Curb-Mounted Skylight Systems are an energy-efficient option that make any dark room come to life with daylight and sky views.

Product Details

- Factory-installed white double-glazed room darkening solar-powered shade
- Solar-powered battery control system easily opens and closes shades with remote or smartphone app
- Laminated safety glass standard on all models; other glass options available
- Remote control included
- 10-year installation warranty when installed with VELUX Roofing Kit, 20 years on glass seal lifetime, 10 years on product, and 5 years on shades and controls
- 10-year full warranty with standard laminated safety glass
- Available in custom sizes

Remote Upgrades

VELUX Touch
Control all your shades from one touch screen remote control

VELUX App Control
Control your VELUX shades anytime, anywhere with your smartphone or smart home device

VELUX Skylights

The Skylight System Includes

- Solar-Powered Shade**
 - The insulated room darkening skylight shade is solar-powered and offers total light control, increasing the Skylight System's energy performance up to 42%.
- Remote Control**
 - Lock shade included in a Skylight System comes with a factory-printed remote control for easy set-up and operation.
- Standard Safety Glass**
 - Our Standard Safety Glass is a laminated glass that is safe for most applications. It is double-paned with an argon fill to help reduce unwanted outside noise while providing a clear view of the skies above.
- Weatherproof Guarantee**
 - VELUX Roofing is required to create a weatherright seal around curb-mount Skylight Systems, as well as qualify for our 10-year installation warranty.

Options 1

- Impact Glass 7
- White Laminated Glass 7
- Triple Pane Glass
- Sealed Glass 7

Available Flashing Kits 7

- Shingles, shales, and slate roof - ECL
- Tile roof - 120W

Compliance and Certifications

- CBR Florida
- ICC-ES
- IFRC - National Fire Protection Rating Council
- Energy Star
- WVMA - Window & Door Manufacturing Association

Technical Resources

- Installation instructions and videos
- Shop drawings
- Testing and certification documents
- Architectural Specifications
- BIM Models

FCM Fixed Curb-Mounted Skylight System

Standard Sizes (mm x mm)	1843	2232	2230	2234	2246	2270	2347	3030	3040
Outside Curb	22.5x x 48.5x	28.5x x 25.5x	25.5x x 25.5x	28.5x x 27.5x	28.5x x 28.5x	26.5x x 25.5x	26.5x x 30.5x	33.5x x 33.5x	33.5x x 48.5x

Standard Sizes (mm x mm)	3050	3171	3422	3434	3445	4622	4630	4646	4672
Outside Curb	33.5x x 58.5x	35.5 x 75	37.5x x 25.5x	37.5x x 27.5x	37.5x x 48.5x	48.5x x 25.5x	48.5x x 33.5x	48.5x x 48.5x	48.5x x 75.5x

20-Year Limited Warranty

Installation - 10 years from the date of purchase, VELUX 20-year installation warranty covers skylight installation. Shade and remote with VELUX Roofing Kit included adhesive underlayment.

Shingles - 10 years from the date of purchase, VELUX warrants that the skylight will be free from defects in material and workmanship.

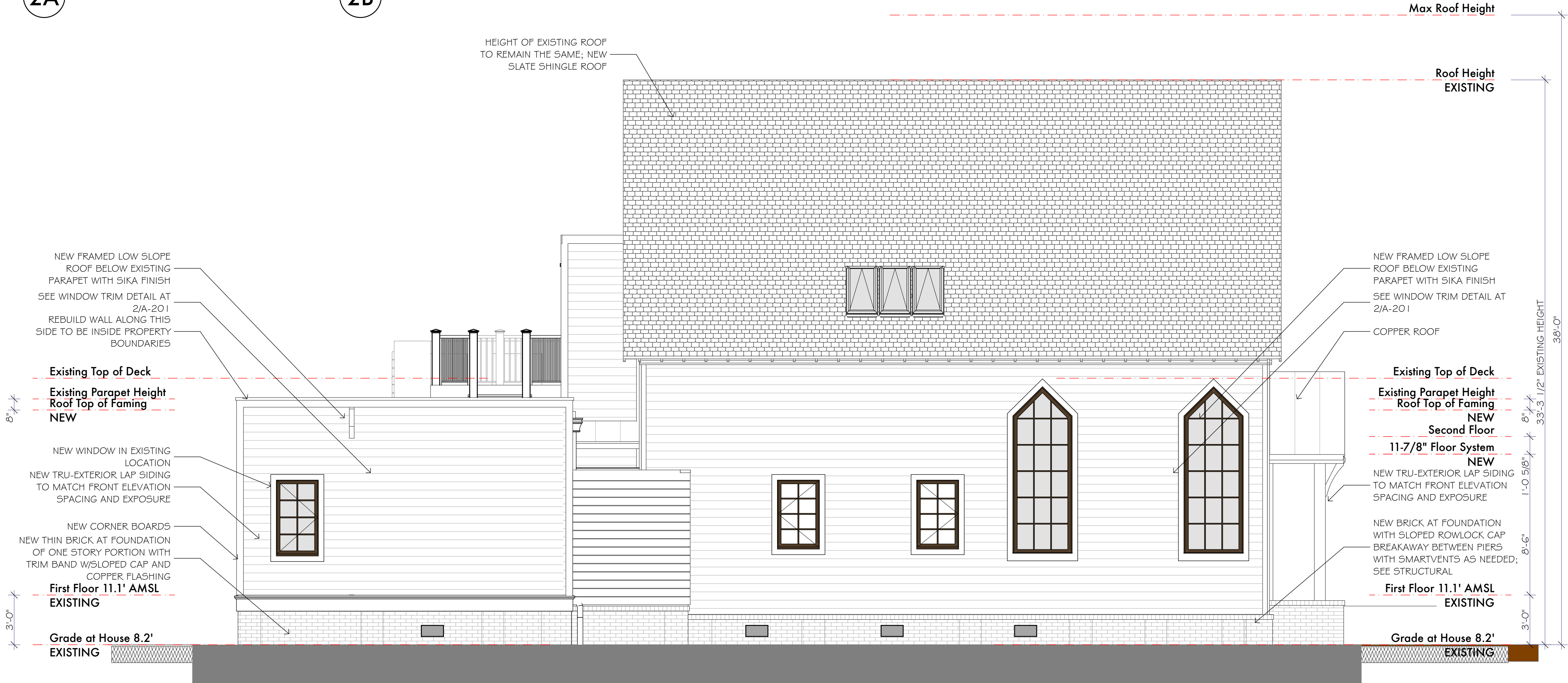
Glass Seal - 20 years from the date of purchase, VELUX warrants that the insulated glass pane will not develop a material defect due to loss of seal or failure of the glass seal.

Seal - 10 years from the date of purchase, VELUX warrants only laminated glass panes against full breakage.

Accessories and Electrical Components - 5 years from the date of purchase, VELUX warrants VELUX shades and control systems will be free from defects in material and workmanship.

2A SKYLIGHT SPECS

2B SKYLIGHT SPECS



1 NEW LEFT ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- EXISTING FRAMED WALLS AS SHOWN TO REMAIN. ALL FINISHES TO BE REMOVED. NEW SHEATHING, MOISTURE BARRIER AND EXTERIOR MATERIALS TO BE ADDED. MAINTAIN ALL EXISTING GABLE DETAILING, FRIEZE DETAILING AND EXPOSED RAFTER TAILS.
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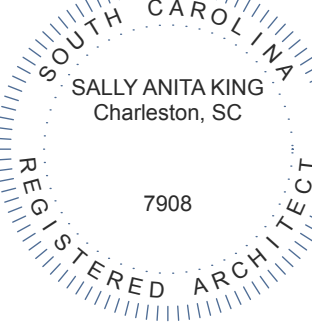
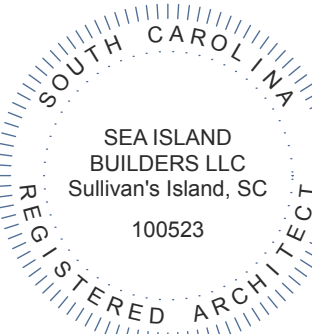
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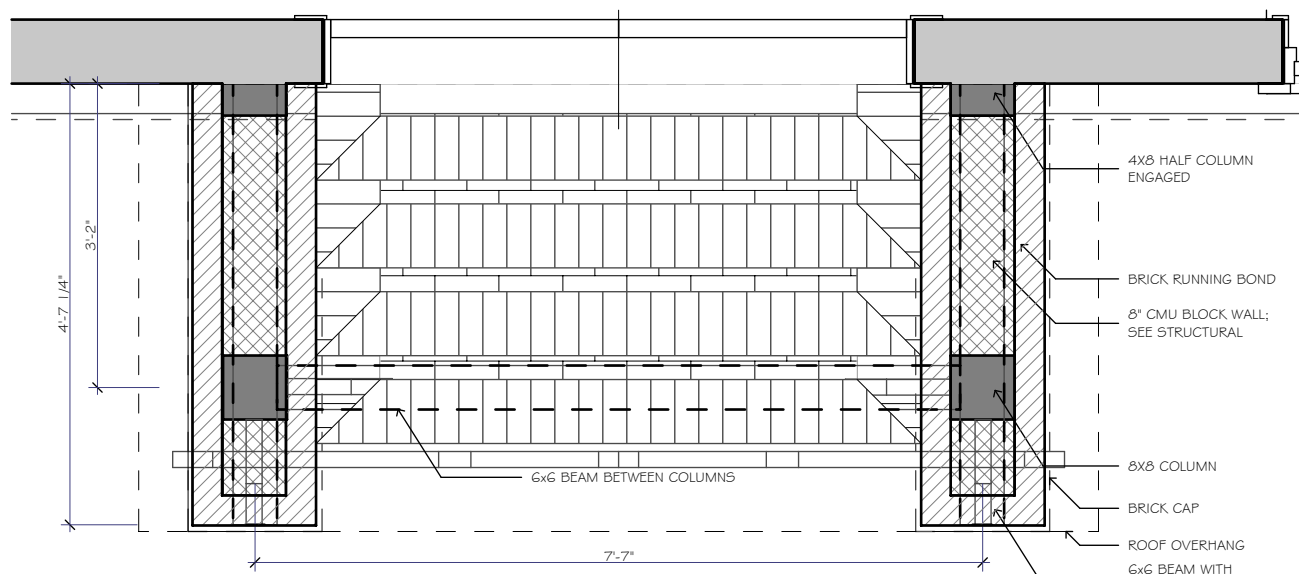
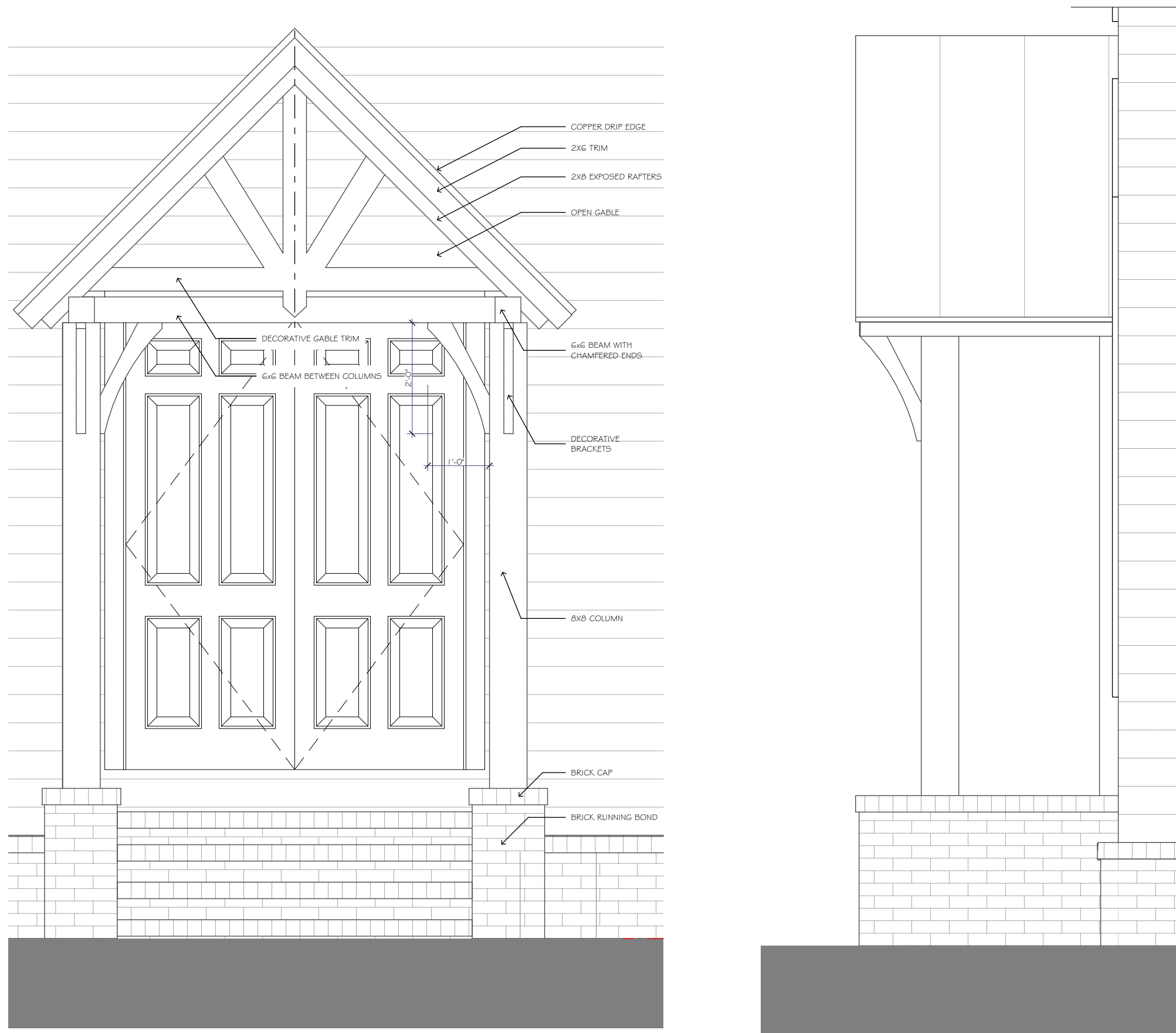
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SHEET TITLE

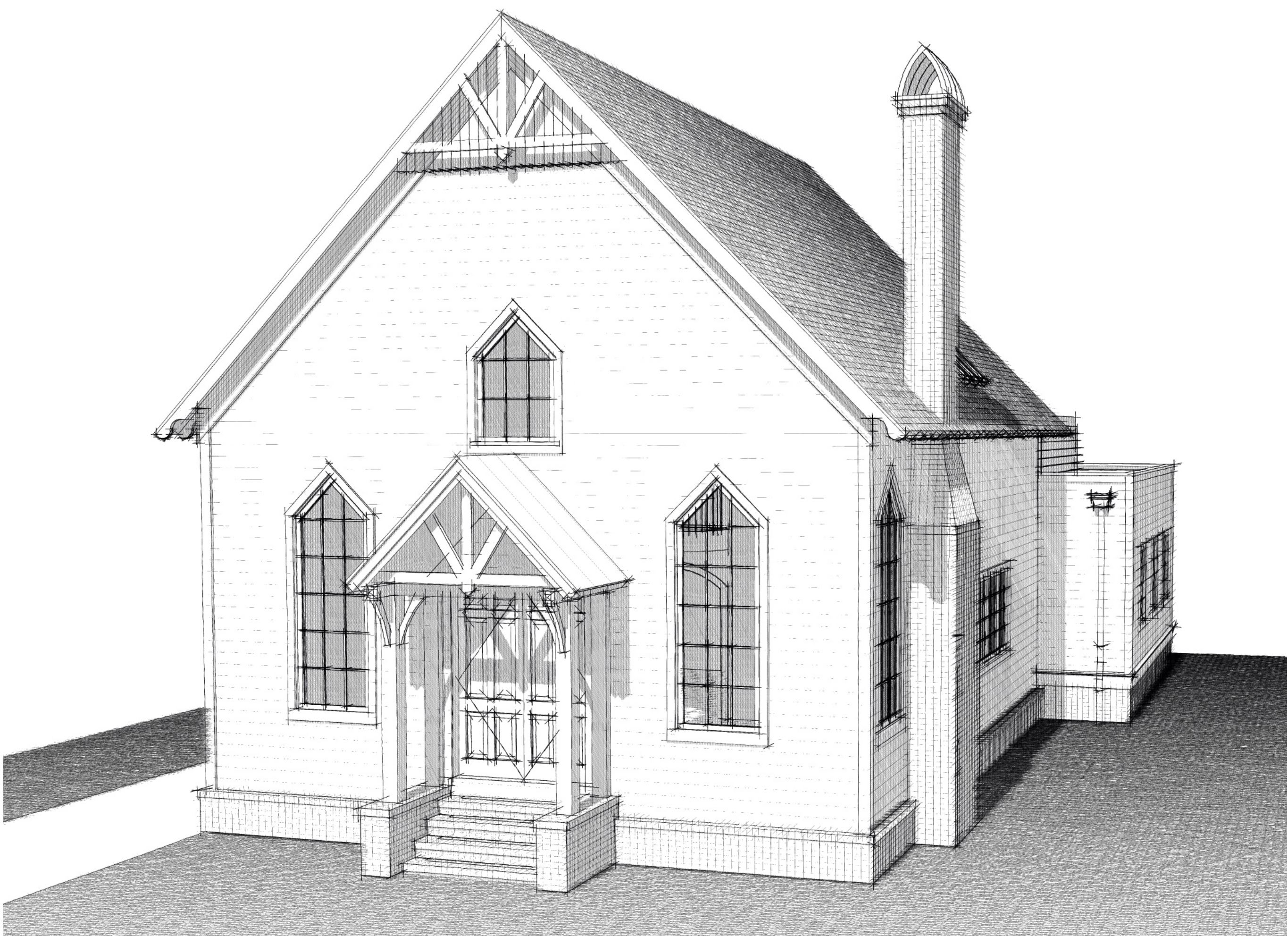
NEW LEFT
ELEVATION

A-204

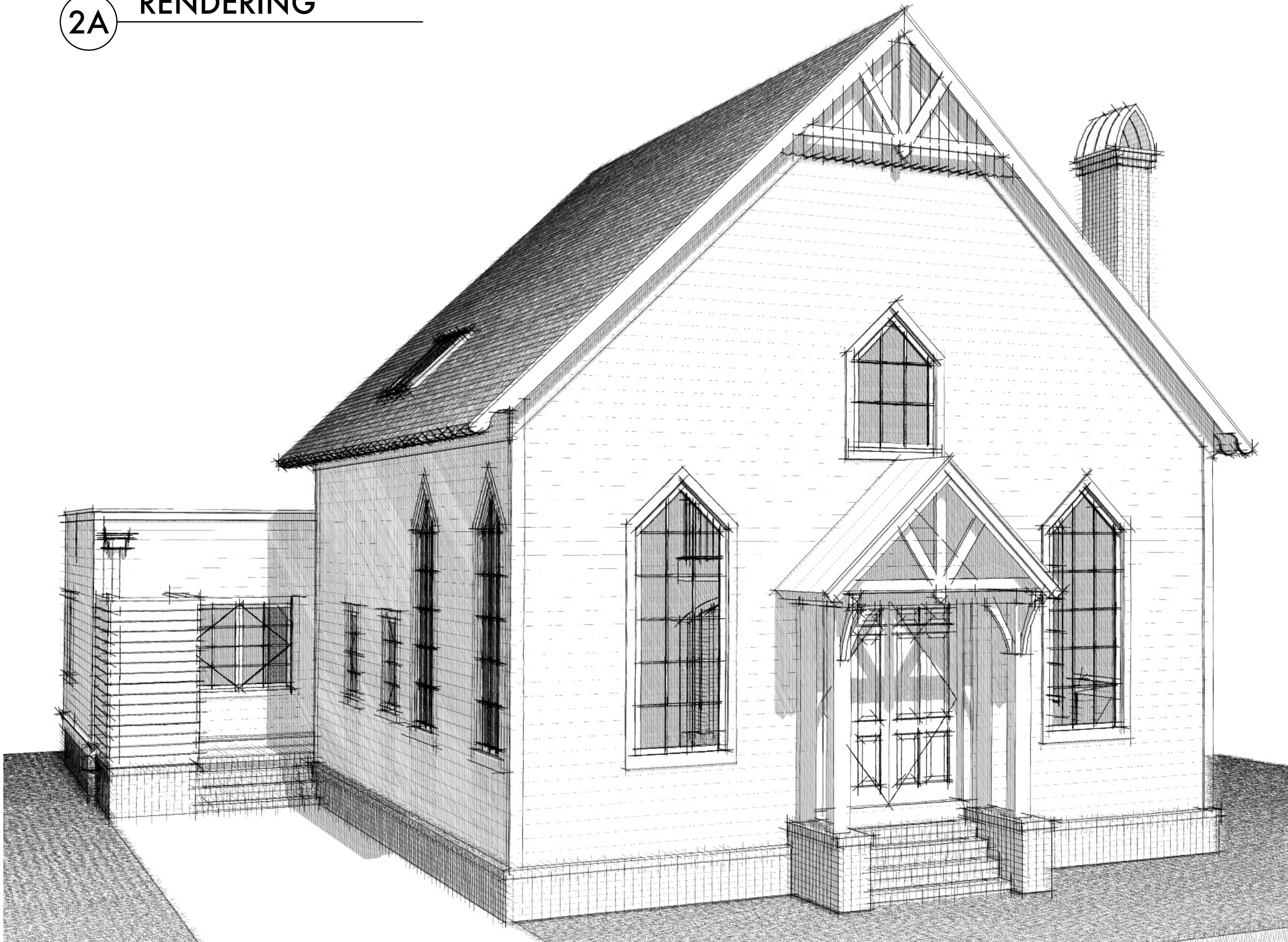
SHEET 17 OF 57



1 ENLARGED ENTRY DETAILS
SCALE: 1/2" = 1'-0"



2A RENDERING



2B RENDERING



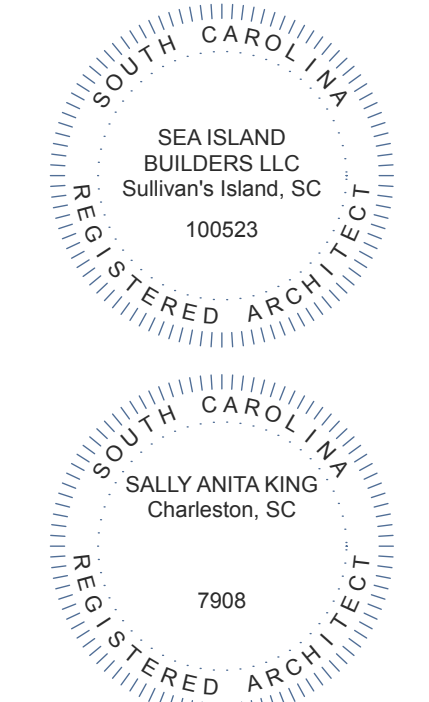
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SHEET TITLE
RENDERINGS & DETAILS

A-205
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