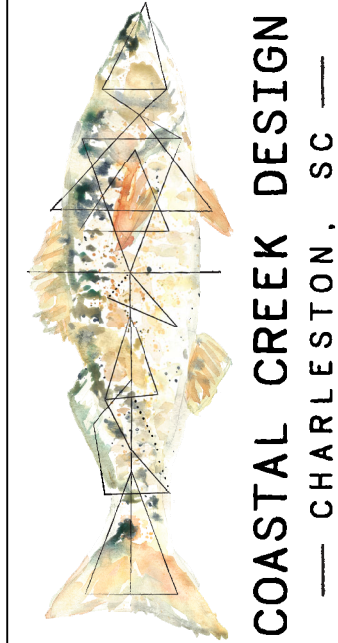


2102 ION AVE
SULLIVANS ISLAND, SC
TMS NO. 529-09-00-019



FRONT ELEVATION



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Project
ACCESSORY STRUCTURE
2102 ION AVE., SULLIVANS ISLAND, SC.
Sheet Title
PRELIMINARY SUBMITTAL - COVER PAGE

DATUM:

THE BEARINGS SHOWN HEREON ARE SOUTH CAROLINA GRID NAD 1983 (2011) MODEL. VERTICAL DATUM IS BASED ON NAVD 1986.

FLOOD NOTE:

THIS PROPERTY IS SITUATED IN A FLOOD ZONE AE 10 AS PER SCALING FROM FEMA F.I.R.M. MAP NUMBER 45019C 0539K DATED REVISED JANUARY 29, 2021.

LEGEND:

- CMF CONCRETE MONUMENT FOUND 4"
- IS 5/8" RB (REBAR)
- IF (IRON FOUND) SIZE/TYPE NOTED
- △ PK NAIL SET
- ▲ PK NAIL FOUND
- WATER VALVE
- WATER METER
- FH FIRE HYDRANT
- ELECTRICAL BOX
- TELEPHONE BOX
- SPOT ELEVATION
- POWER POLE
- SEWER CLEANOUT - SEWER TAP
- FFE FINISH FLOOR ELEVATION
- LOT LINE
- E — UNDERGROUND ELECTRICAL
- ADJACENT LOT LINE
- X - FENCE
- BP — OVERHEAD POWER
- S — EXISTING SEWER
- S — PROPOSED SEWER
- W — UNDERGROUND WATER
- 6 — CONTOUR LINE

REFERENCE:

- 1) PLAT BOOK D AT PAGE 189.
- 2) PLAT BOOK R AT PAGE 93.
- 3) PLAT BOOK AX AT PAGE 54.
- 4) PLAT BOOK S22 AT PAGE 0087.
- 5) SCDOT PROJECT 10.328, SHEET #4.
- 6) DEED BOOK 1225-354.

FOR APPROVAL STAMPS

NOTES:

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR. THE SURVEY SHOWN HEREON REFLECTS THE ABOVE RECORDED REFERENCES. CONTOUR INTERVAL IS AT 1'.

TMS# 529-09-00-020
2108 ION LLC
LOT 272-B

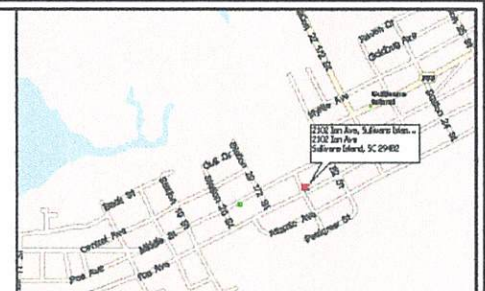
ZONING:

BUILDING SETBACKS SHOULD BE VERIFIED BY THE GOVERNING BODY PRIOR TO ANY DESIGN OR CONSTRUCTION.

THIS PROPERTY IS IN THE CC-COMMUNITY COMMERCIAL AND RS-SINGLE FAMILY RESIDENTIAL WITHIN THE COOD-2 OVERLAY DISTRICT.

ZONING: RS-SINGLE FAMILY SETBACKS:
FRONT: 25'
SIDE: A COMBINED SETBACK MINIMUM OF 15' AND A MAXIMUM OF 40'.
REAR: 25'.

ZONING: CC, COMMUNITY COMMERCIAL
FRONT: A COMBINED SETBACK OF 5' MINIMUM AND A MAXIMUM OF 10'.
SIDE: 5' (ONLY WHEN ATTACHED TO ADJACENT BUILDING) TO 5' MAXIMUM.
REAR: 15' MINIMUM.



LOCATION MAP N.T.S.



BRITT LAND SURVEYING, INC.
P.O. BOX 80333
CHARLESTON, SC 29416
843-810-6771
WWW.BRITTSURVEYINGINC.COM



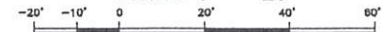
I, Dean L. Britt, a Registered Professional Land Surveyor in the State of South Carolina, certify to owner(s) shown herein that this survey shown herein was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a class A survey as specified therein.

Date: 09-12-2024

DEAN L. BRITT PLS S.C. REG. NO. 15792

SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.

SCALE: 1" = 20'



PLAT OF:
TOPOGRAPHIC SURVEY OF LOT 271
TMS# 529-09-00-019
CONTAINING A TOTAL OF
22,076 SQ-FT. / 0.507 ACRES
INTO LOT 271-A 11,020 SQ-FT. / 0.253 ACRES
2101 MIDDLE STREET
AND LOT 271-B 11,056 SQ-FT. / 0.254 ACRES
2102 ION AVENUE
OWNED BY:
RICHARD A. GRAHAM TRUST
LOCATED IN THE
TOWN OF SULLIVANS ISLAND
CHARLESTON COUNTY - SOUTH CAROLINA

LOCATION: 2102 ION AVENUE - 29482

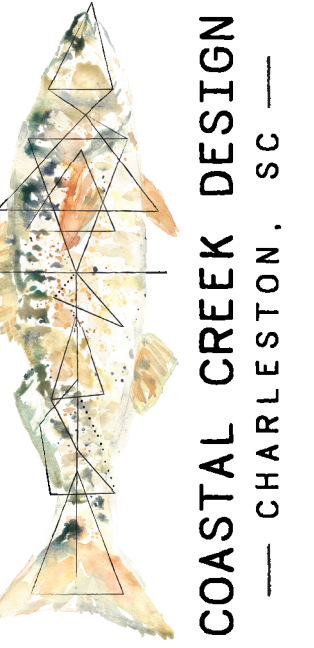
TAX MAP # 529-09-00-019

DATE: AUGUST 26, 2024

FIELD DATE: AUGUST 23, 2024

JOB NO. 244012

COUNTY/STATE CHARLESTON, S.C.



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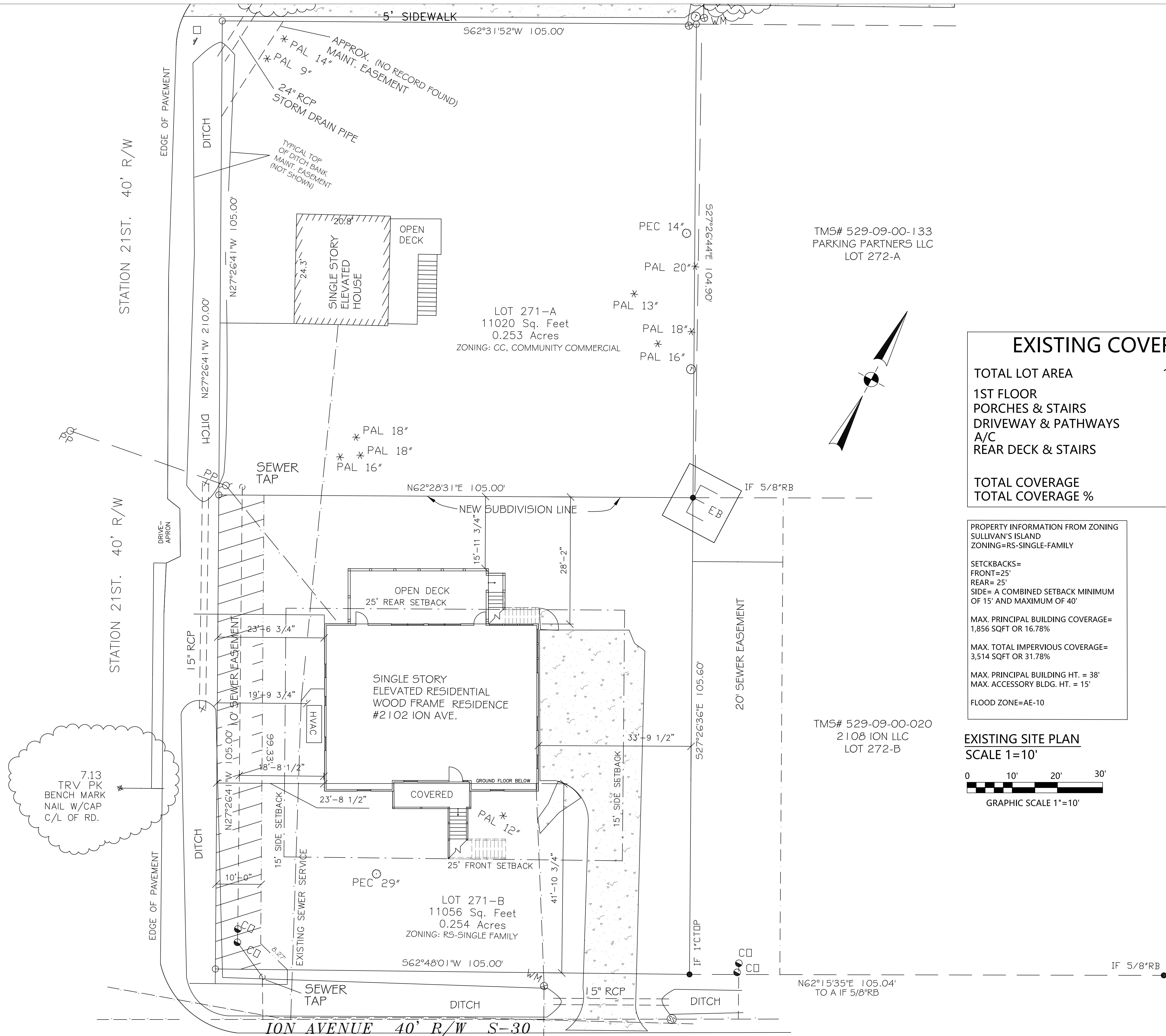
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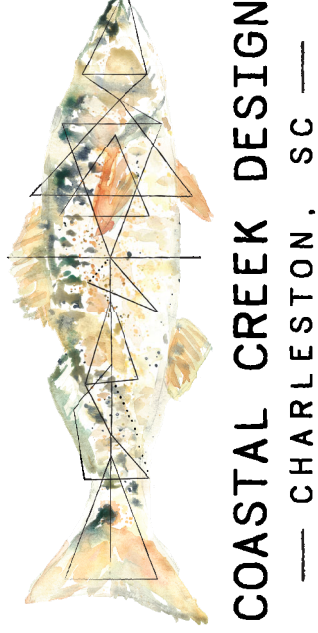
ACCESSORY STRUCTURE
2102 ION AVE., SULLIVANS ISLAND, SC.

Sheet Title

PRELIMINARY SUBMITTAL - EXISTING S

2/12





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PROPOSED COVERAGE	
TOTAL LOT AREA	11,056.31 SQFT
MAX. COVERAGE AREA	3,317 SQFT
1ST FLOOR	1,716 SQFT
PORCHES & STAIRS	187 SQFT
DRIVEWAY & PATHWAYS	0 SQFT
A/C	28 SQFT
REAR DECK & STAIRS	450 SQFT
GARAGE	528 SQFT
TOTAL COVERAGE	2,909 SQFT
TOTAL COVERAGE %	26.31 %

VEGETATION UNDISTURBED	
TOTAL LOT AREA	11,056.31 SQFT
TOTAL IMPERVIOUS COVERAGE	2,909 SQFT
PERVIOUS DRIVEWAY & PATHWAYS	1,622 SQFT
TOTAL COVERAGE WITH DRIVEWAY	4,531 SQFT
VEGETATION UNDISTURBED	6,525 SQFT
	59%

PROPERTY INFORMATION FROM ZONING
SULLIVAN'S ISLAND
ZONING=RS-SINGLE-FAMILY

SETBACKS=
FRONT=25'
REAR= 25'
SIDE= A COMBINED SETBACK MINIMUM
OF 15' AND MAXIMUM OF 40'

MAX. PRINCIPAL BUILDING COVERAGE=
1,856 SQFT OR 16.78%

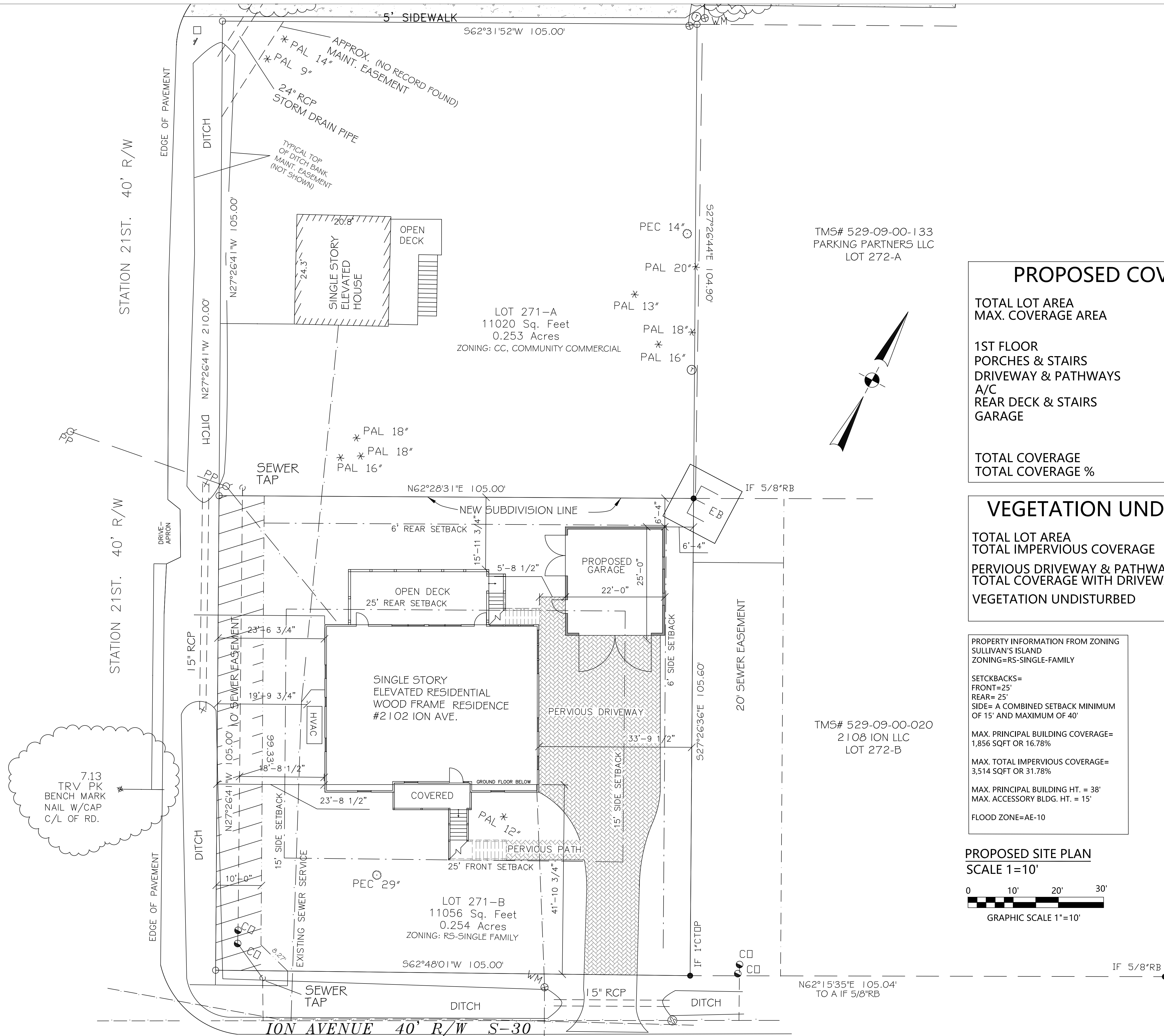
MAX. TOTAL IMPERVIOUS COVERAGE=
3,514 SQFT OR 31.78%

MAX. PRINCIPAL BUILDING HT. = 38'
MAX. ACCESSORY BLDG. HT. = 15'

FLOOD ZONE=AE-10

PROPOSED SITE PLAN

SCALE 1=10'



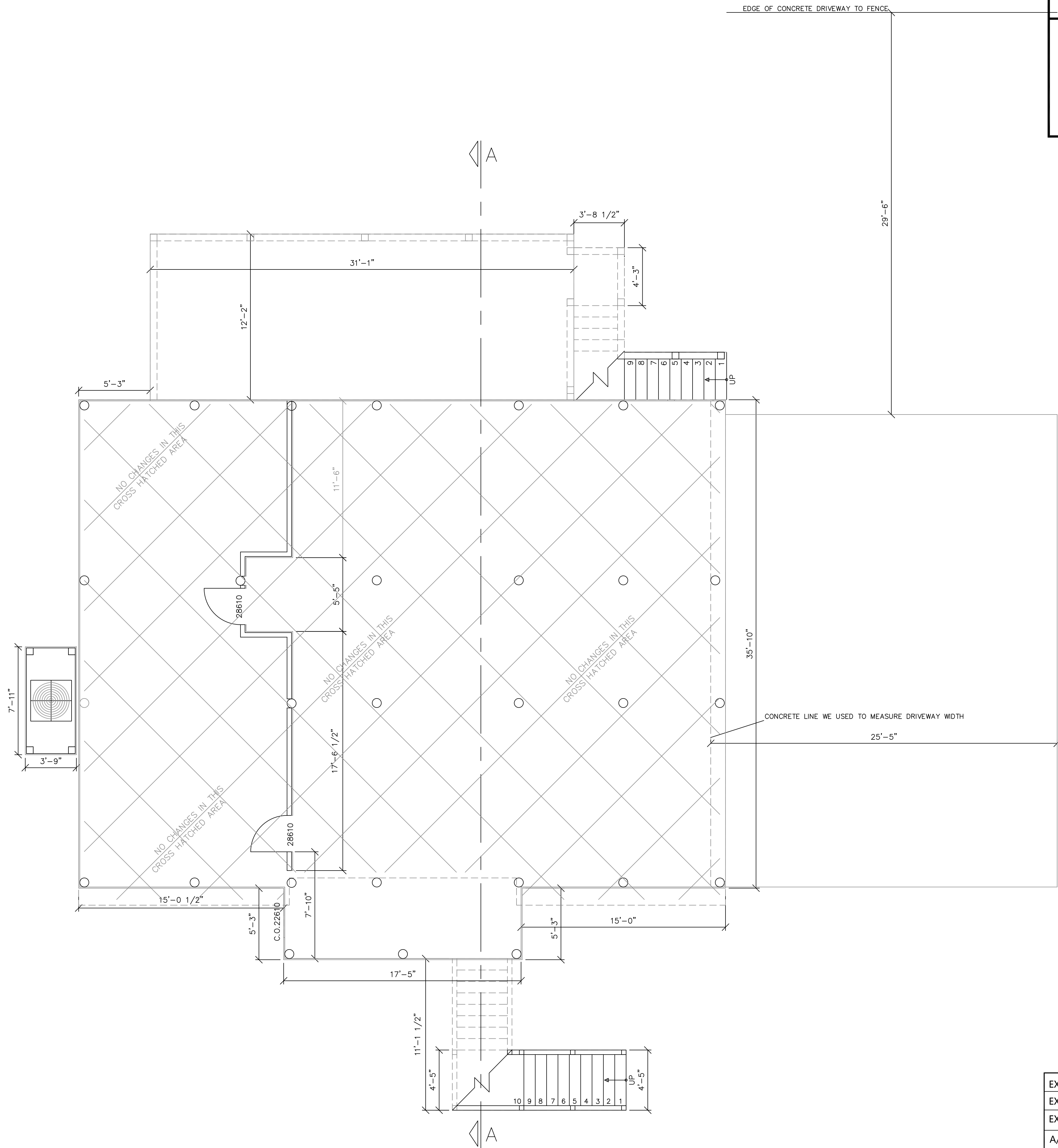
Project ACCF

ACCESSORY STRUCTURE

2102 ION AVE., SULLIVANS ISLAND, SC.

PRELIMINARY SUBMITTAL - PROPOSED SITE PLAN

EXISTING EXTERIOR GROUND PLAN
SCALE 1/4" = 1'



EXISTING 1ST FLOOR AREA	1,716 SQFT
EXISTING PORCHES & STAIRS	187 SQFT
EXISTING DRIVEWAY & PATHWAYS	1,285 SQFT
A/C	28 SQFT
REAR DECK & STAIRS	450 SQFT

LEGEND

- NEW STUD WALL
- EXISTING WALL TO REMAIN
- NEW ROOF
- EXISTING ROOF TO REMAIN

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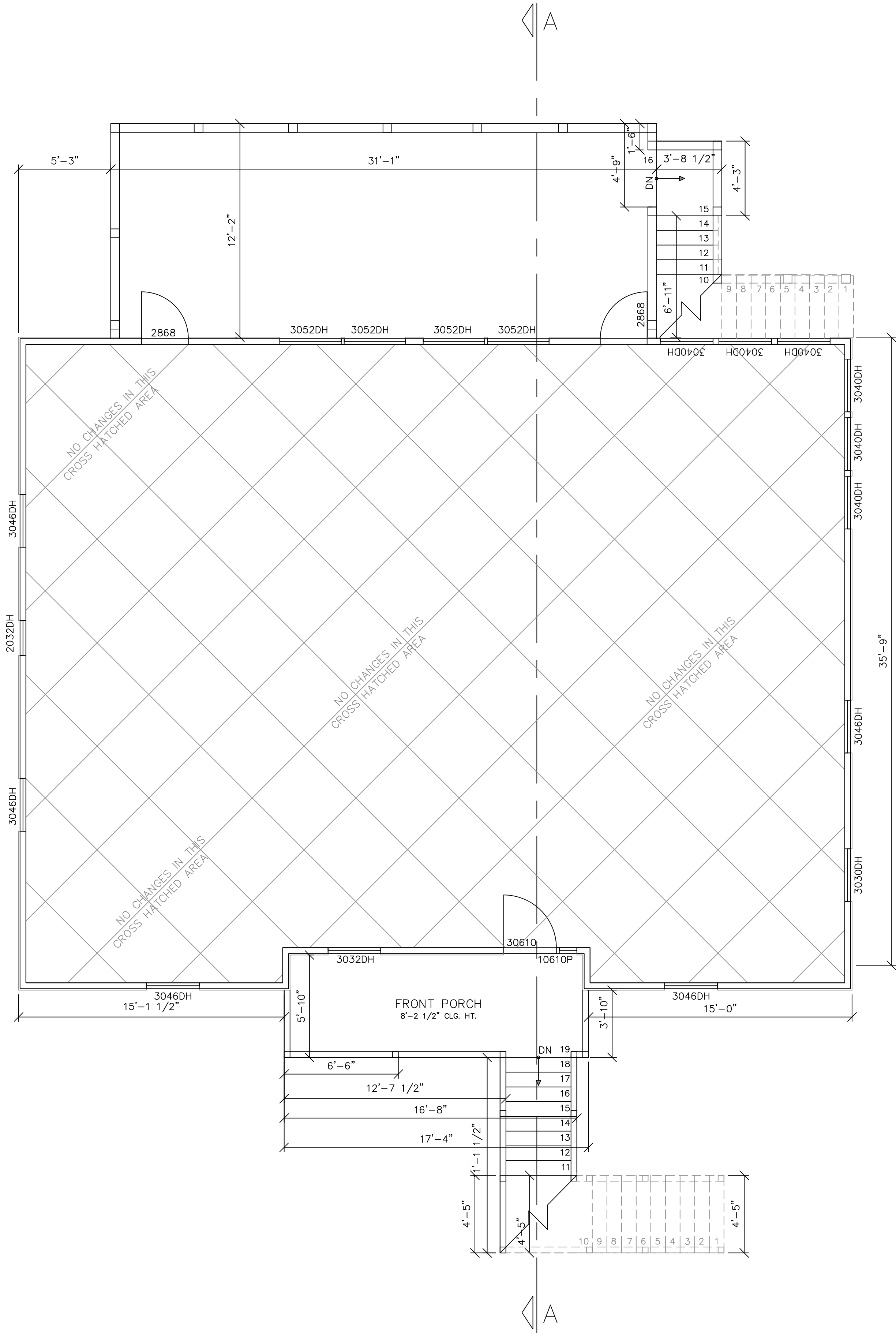
Project
ACCESSORY STRUCTURE
2102 ION AVE., SULLIVANS ISLAND, SC.

Sheet Title
PRELIMINARY SUBMITTAL - EXISTING EXTERIOR GROUND FLOOR PLAN



EXISTING EXTERIOR 1ST FLOOR PLAN

SCALE 1/4" = 1'



LEGEND

NEW STUD WALL

EXISTING WALL TO REMAIN

NEW ROOF

EXISTING ROOF TO REMAIN

EXISTING 1ST FLOOR AREA	1,716 SQFT
EXISTING PORCHES & STAIRS	187 SQFT
EXISTING DRIVEWAY & PATHWAYS	1,285 SQFT
A/C	28 SQFT
REAR DECK & STAIRS	450 SQFT

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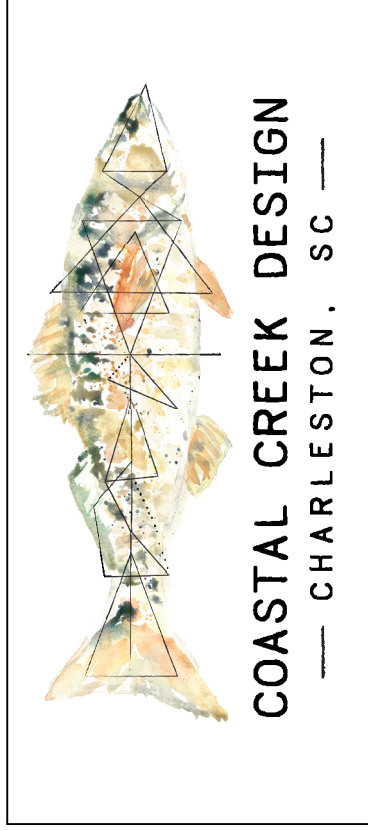
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Project

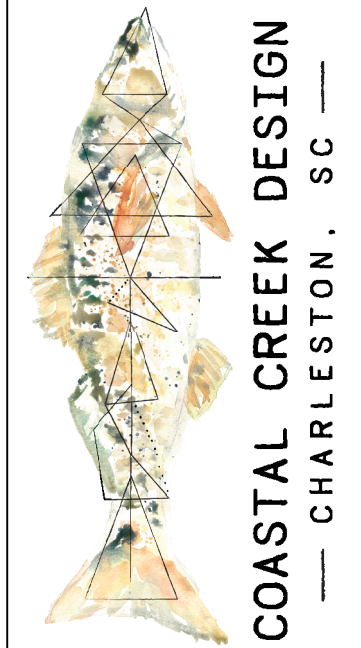
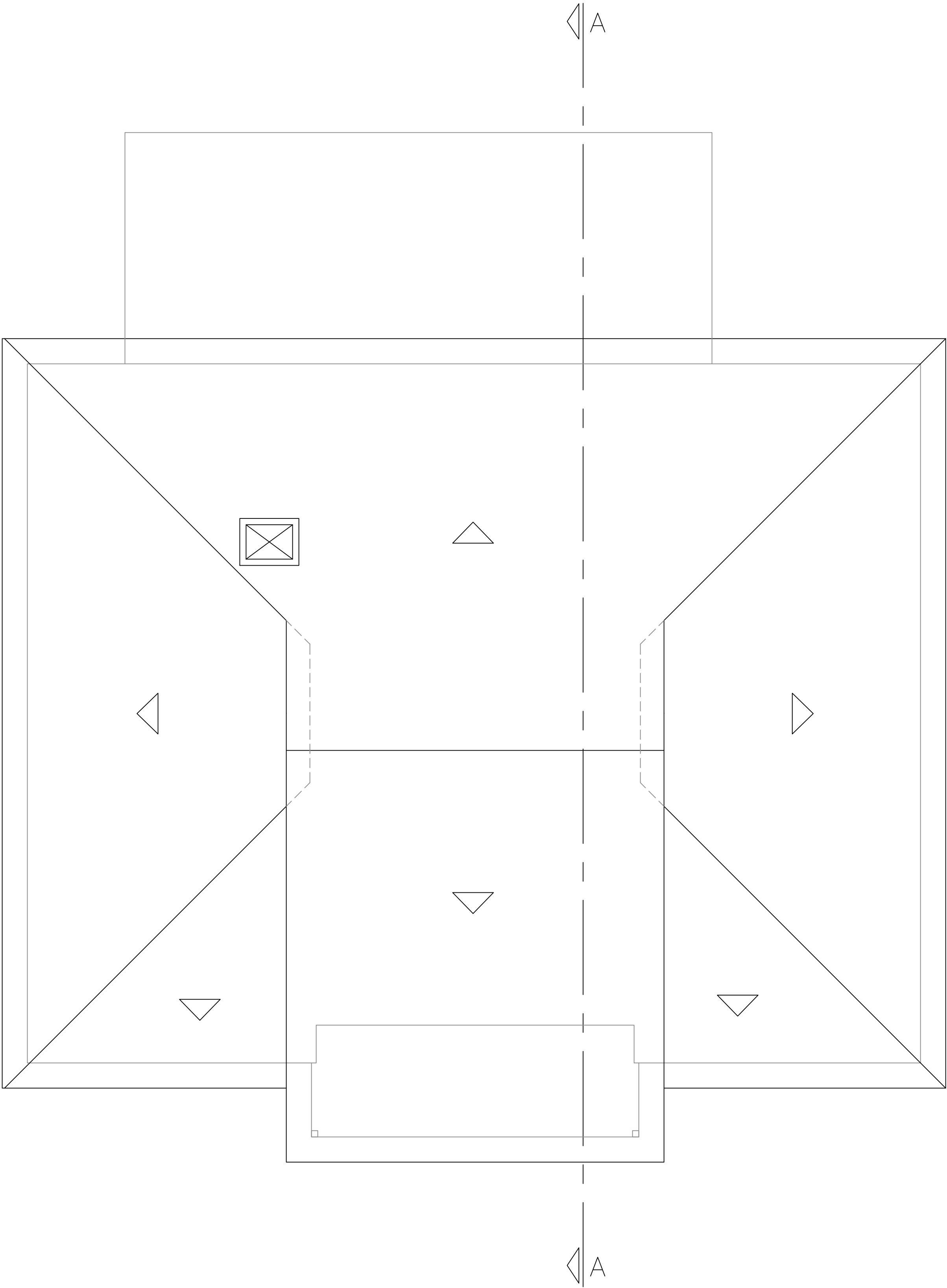
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Sheet Title

PRELIMINARY SUBMITTAL - EXISTING EXTERIOR 1ST FLOOR PLAN



EXISTING HOUSE ROOF PLAN
SCALE 1/4" = 1'

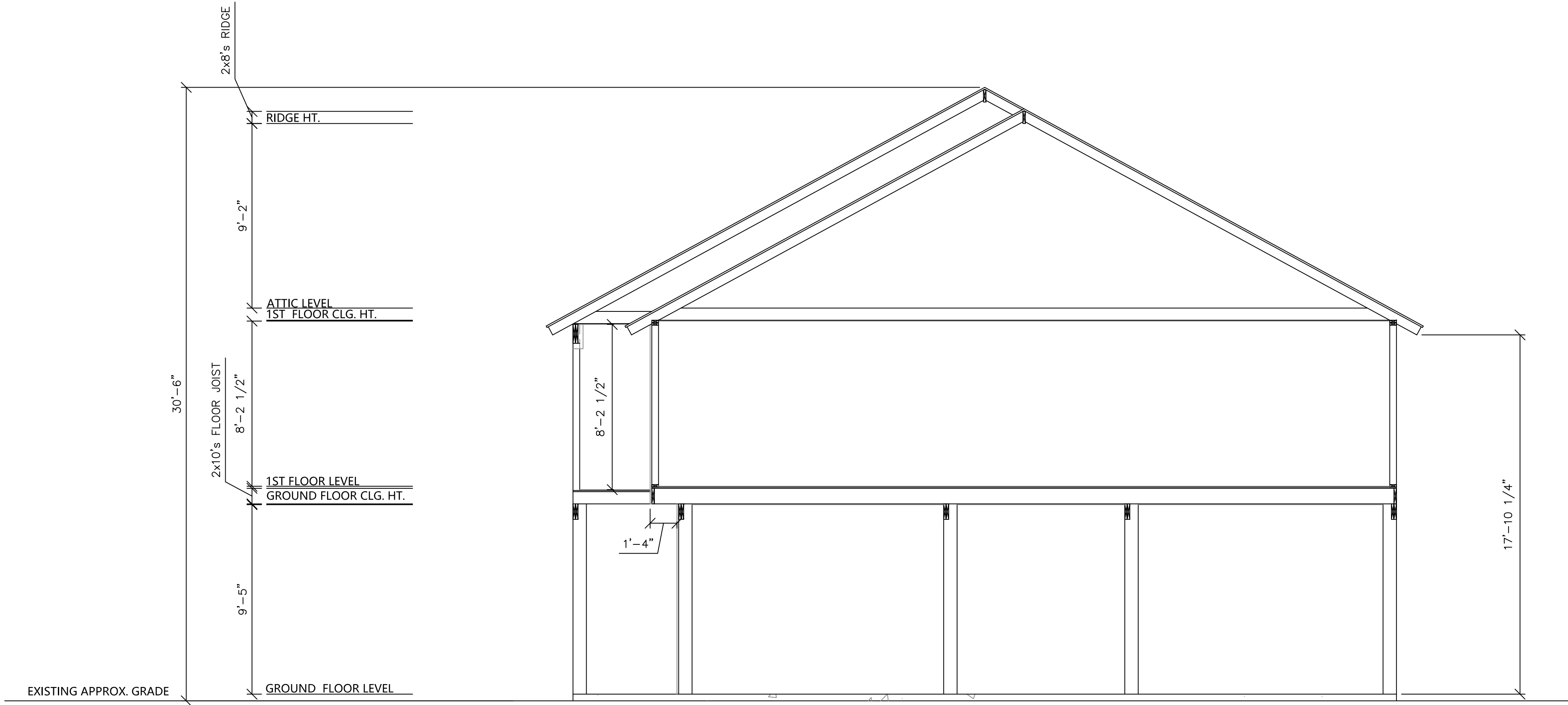


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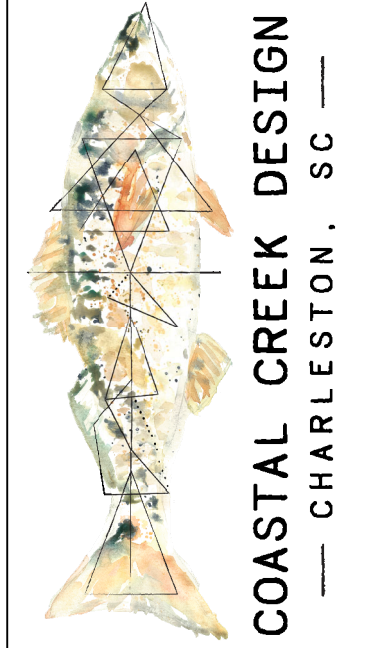
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Sheet Title	PRELIMINARY SUBMITTAL - EXISTING HOUSE ROOF PLAN



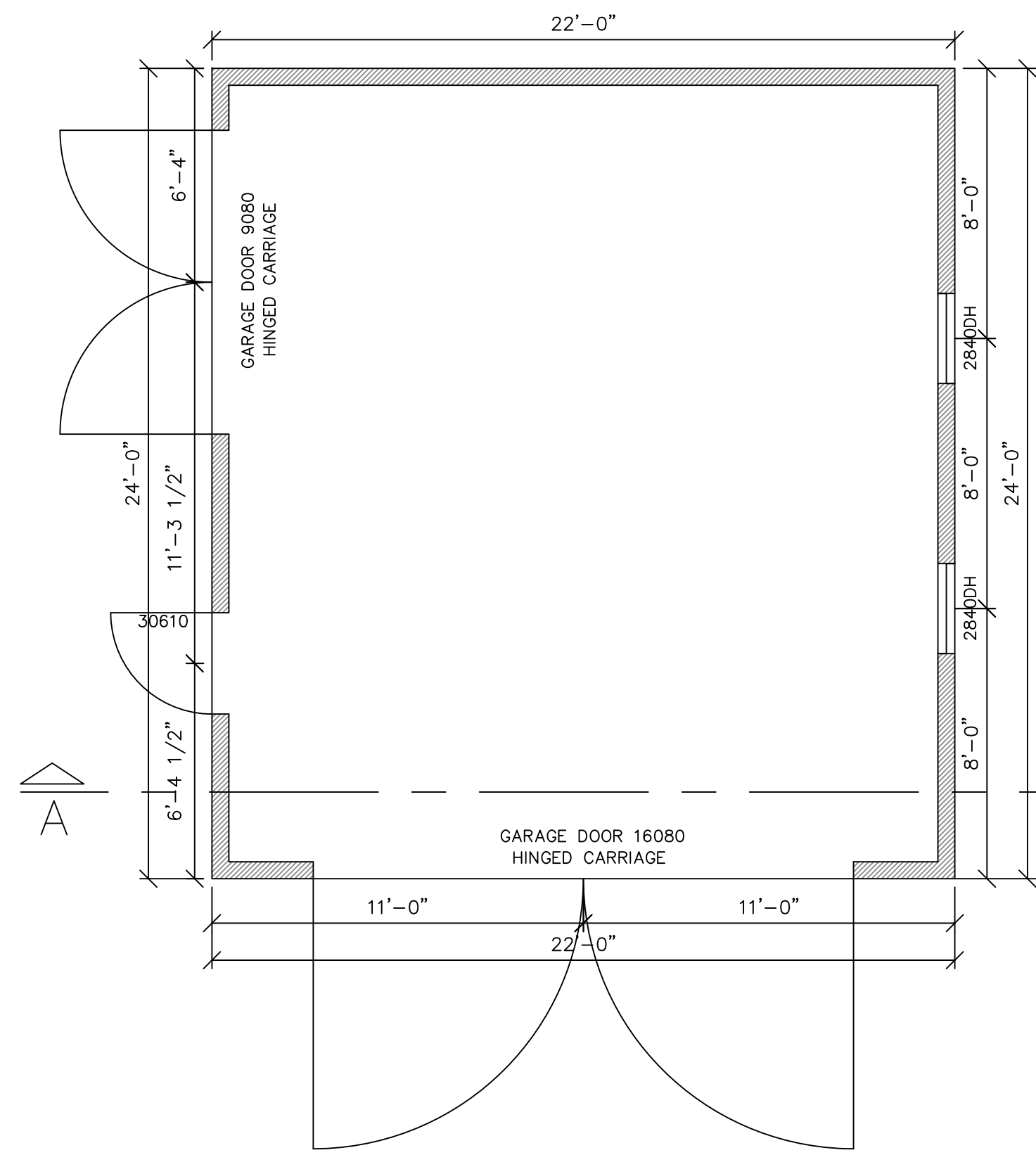
EXISTING HOUSE SECTION @A-A
SCALE 1/4" =1'



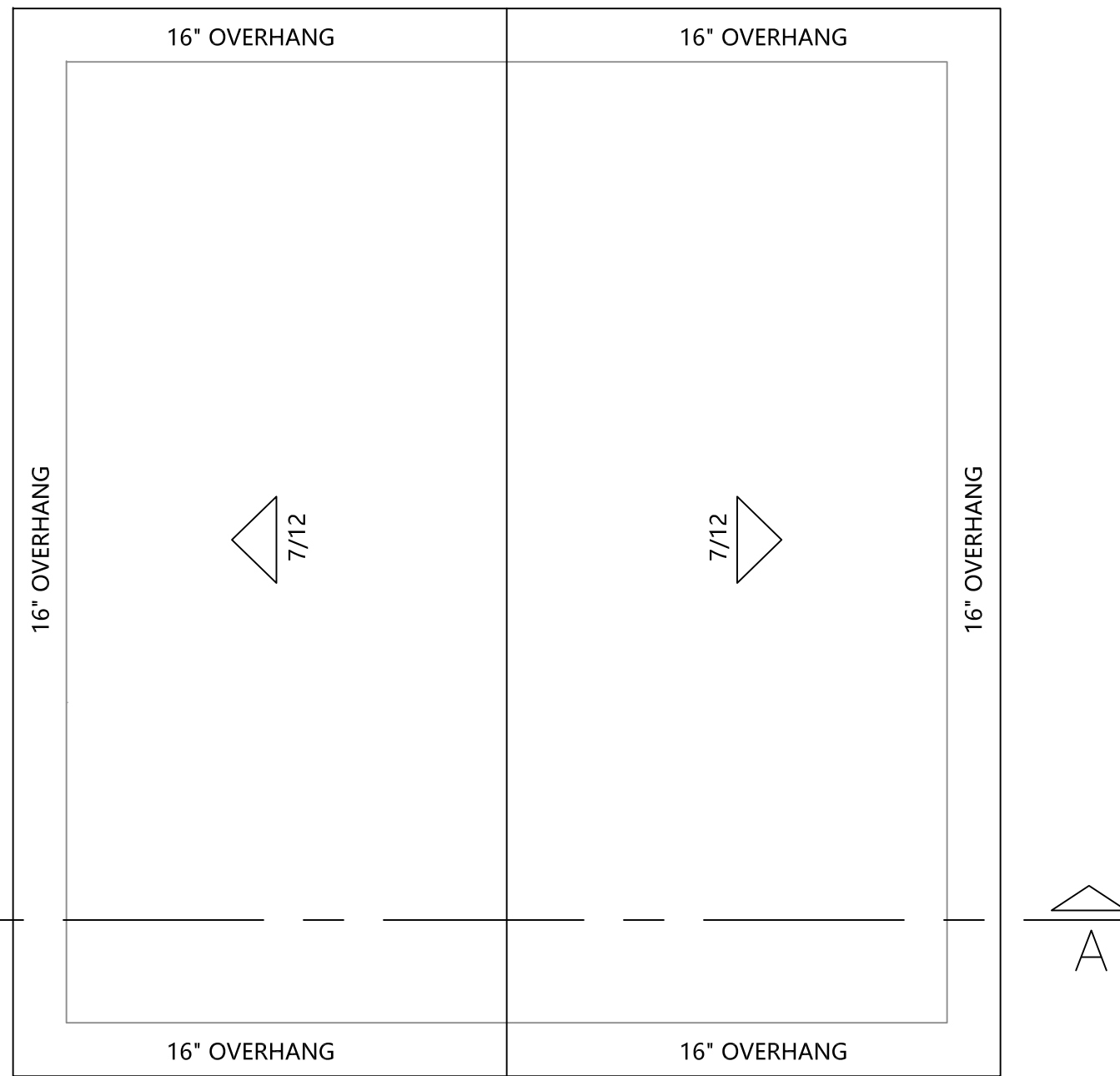
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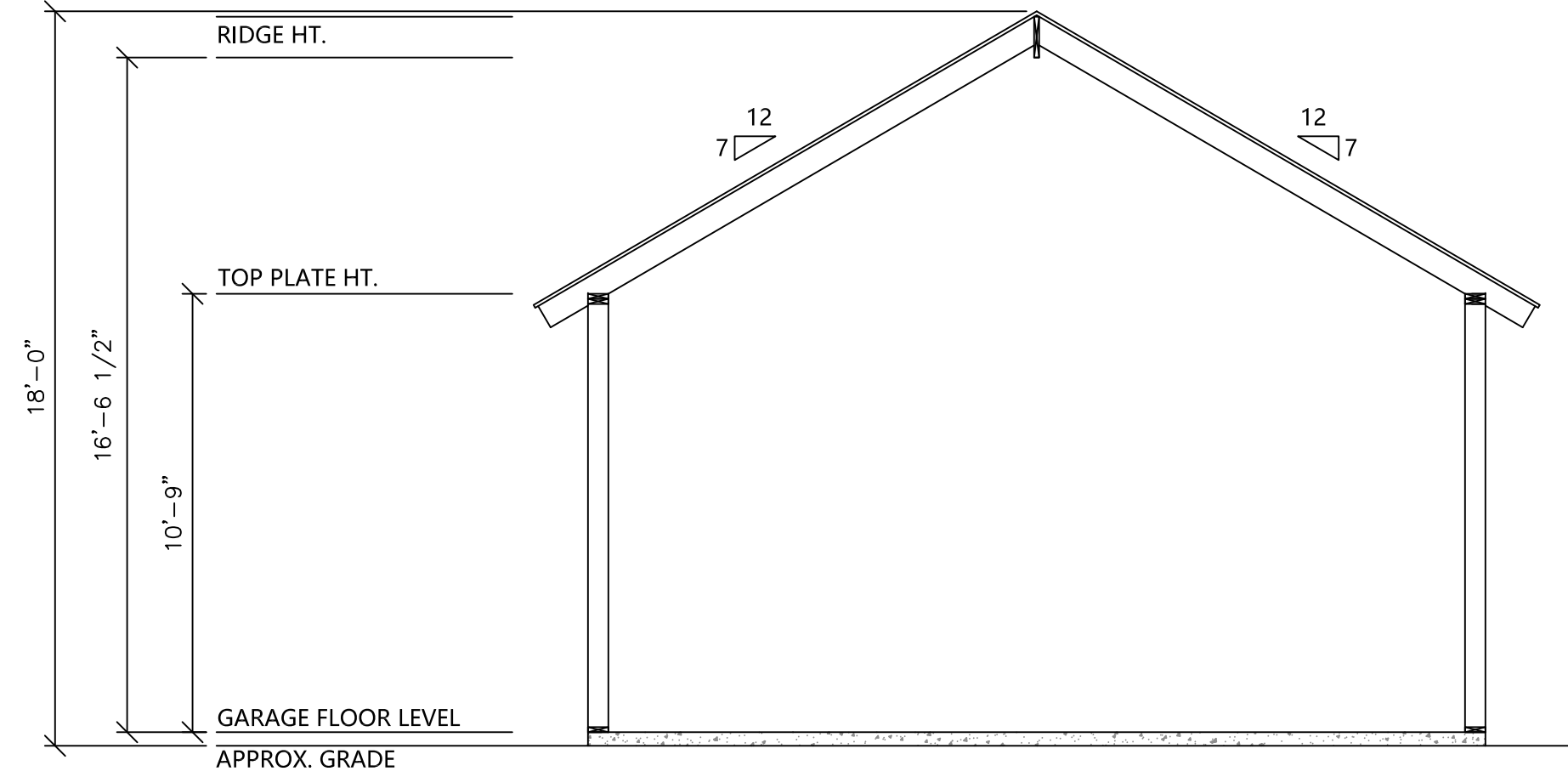
Project	ACCESSORY STRUCTURE 2102 ION AVE., SULLIVANS ISLAND, SC.
Sheet Title	PRELIMINARY SUBMITTAL - EXISTING HOUSE SECTION @A-A



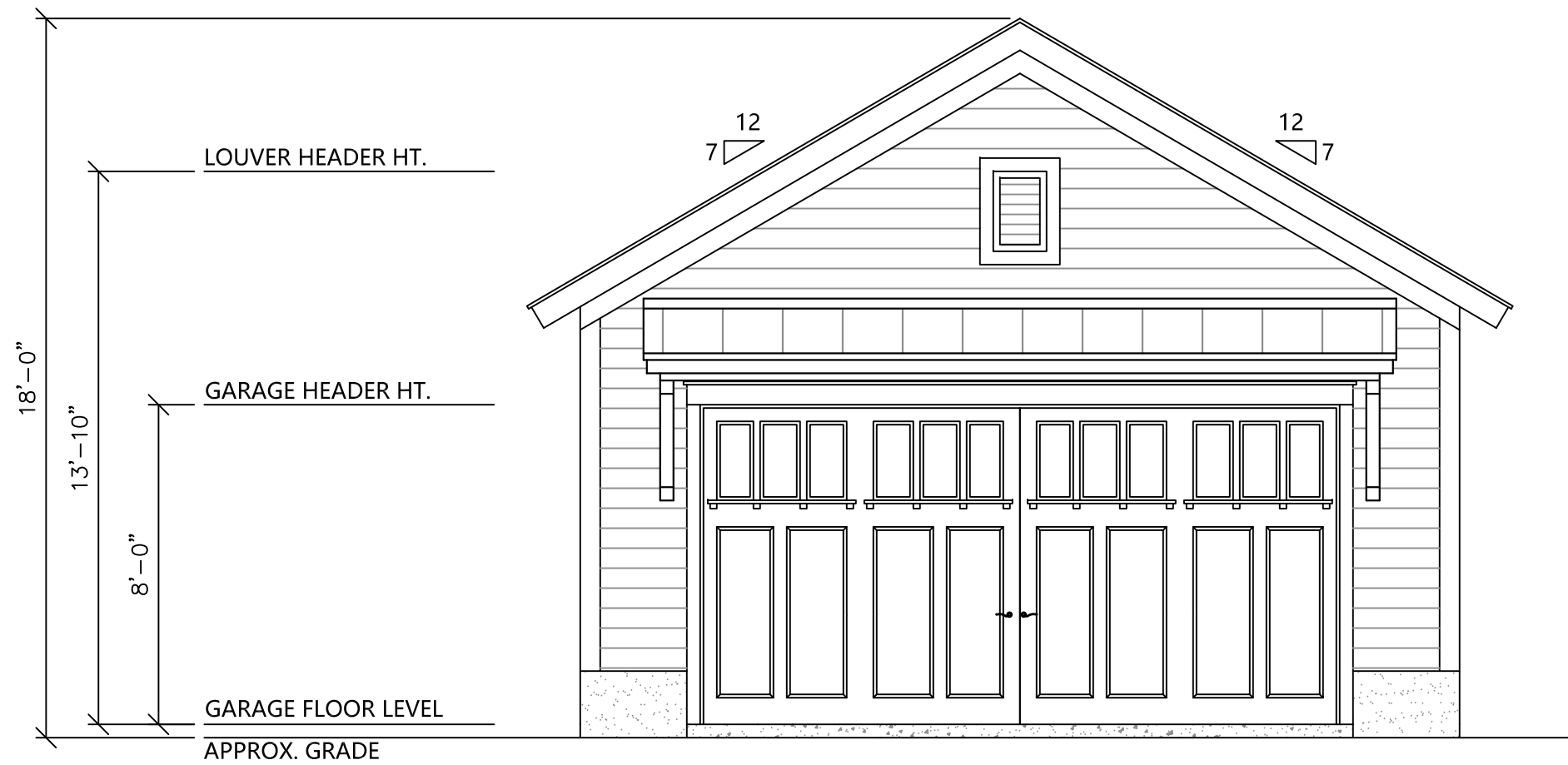
GARAGE FLOOR PLAN
SCALE 1/4" = 1'



GARAGE ROOF PLAN
SCALE 1/4" = 1'



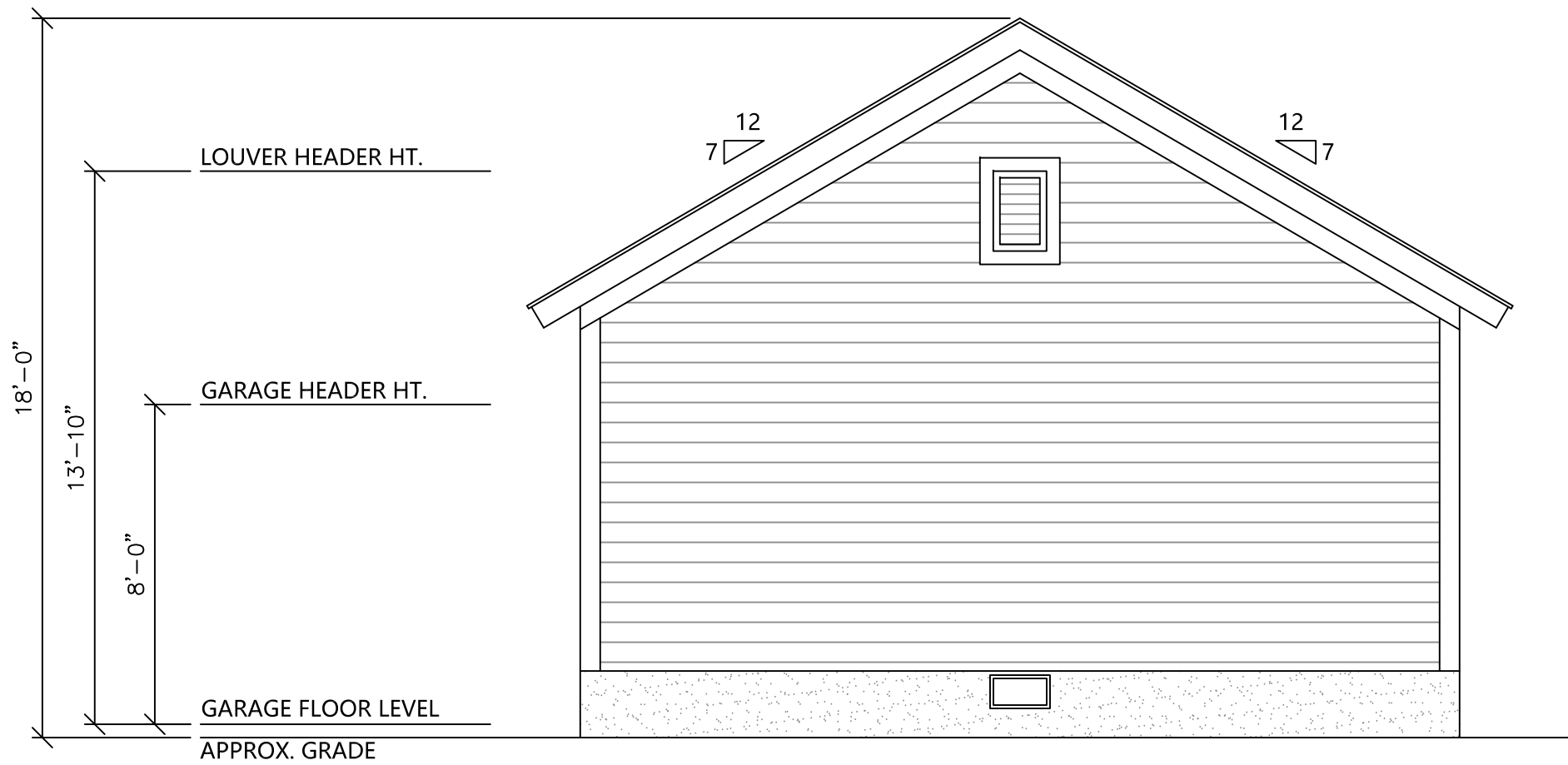
SECTION @A-A
SCALE 1/4" = 1'



FRONT ELEVATION
SCALE 1/4" = 1'



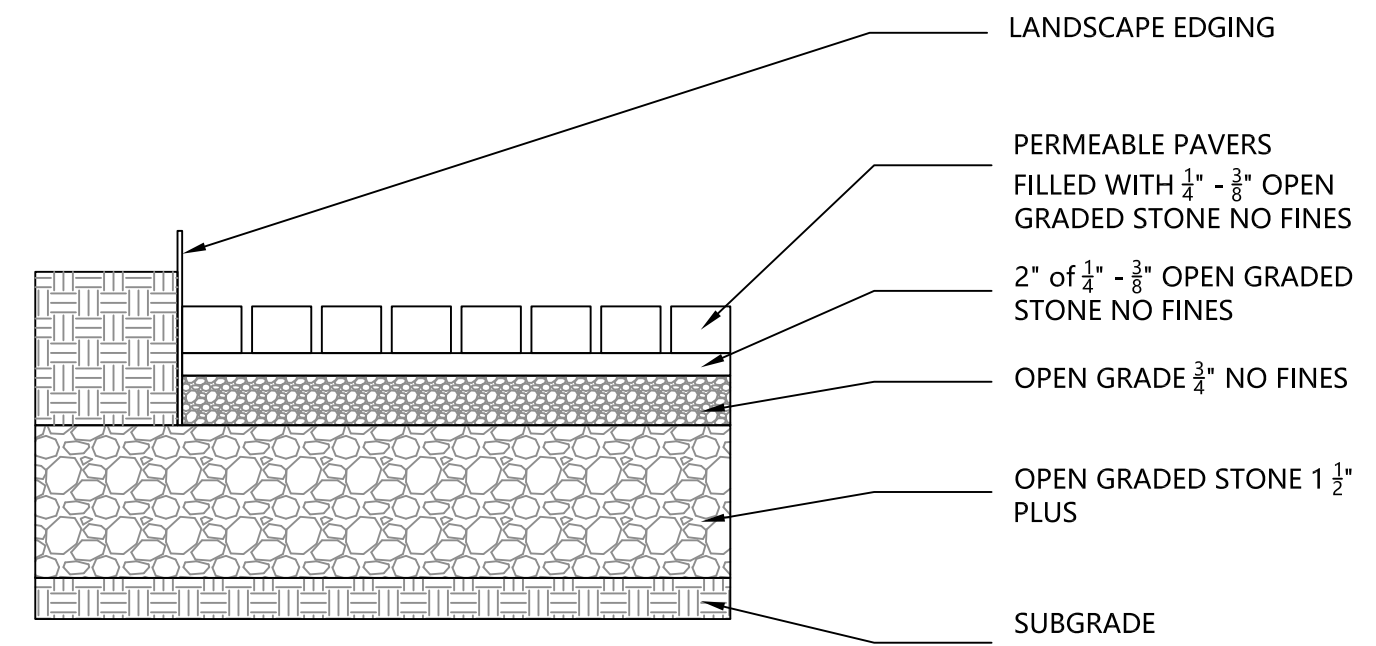
LEFT ELEVATION
SCALE 1/4" = 1'



REAR ELEVATION
SCALE 1/4" = 1'



RIGHT ELEVATION
SCALE 1/4" = 1'

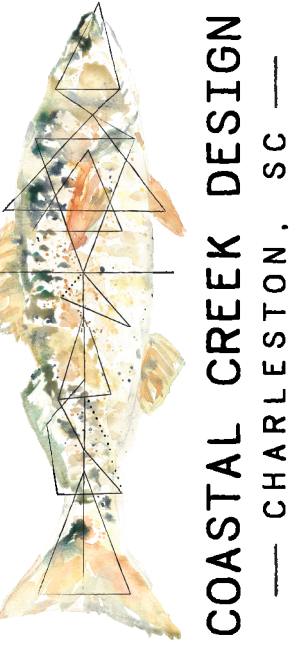


PERMEABLE PAVERS INSTALLATION DETAIL

LEGEND

- NEW STUD WALL
- EXISTING WALL TO REMAIN
- NEW ROOF
- EXISTING ROOF TO REMAIN

GARAGE AREA 528 SQFT



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Sheet Title
PRELIMINARY SUBMITTAL - GARAGE FLOOR PLANS, ELEVATIONS & SECTION @A-A



EXISTING FRONT ELEVATION
SCALE 1/4" = 1'



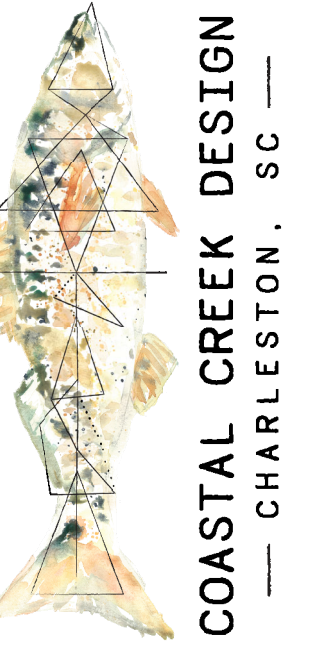
PROPOSED FRONT ELEVATION
SCALE 1/4" = 1'



EXISTING RIGHT ELEVATION
SCALE 1/4" = 1'



EXISTING RIGHT ELEVATION
SCALE 1/4" = 1'



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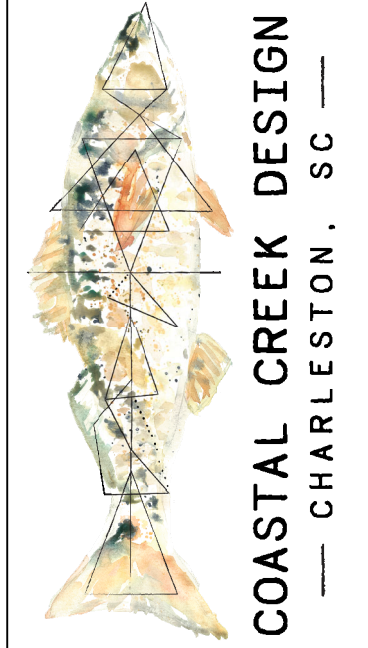
Sheet Title
PRELIMINARY SUBMITTAL - RIGHT ELEVATIONS



EXISTING LEFT ELEVATION
SCALE 1/4" = 1'



PROPOSED LEFT ELEVATION
SCALE 1/4" = 1'



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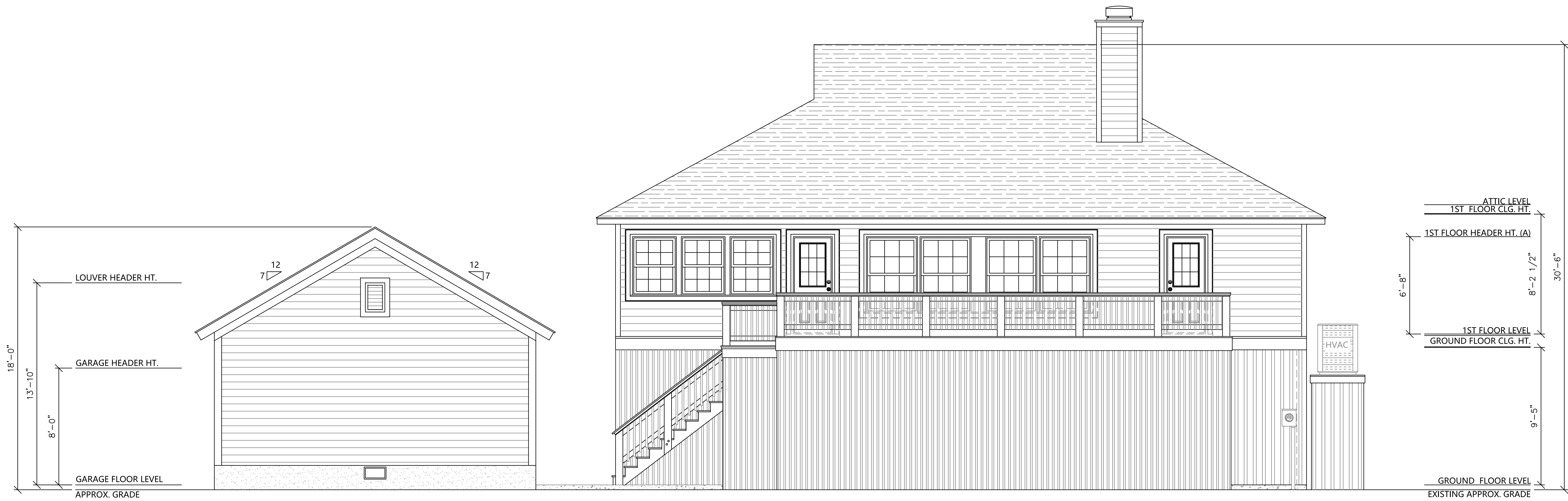
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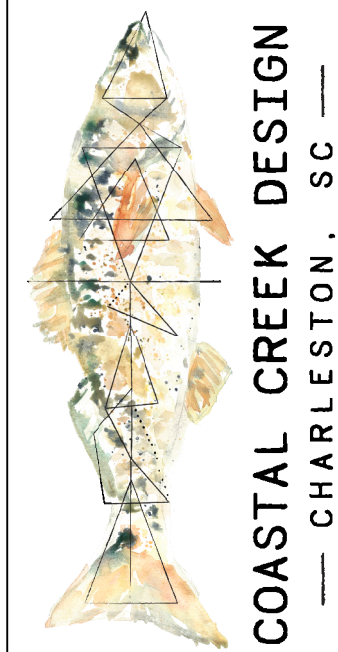
PRELIMINARY SUBMITTAL - LEFT ELEVATIONS



EXISTING REAR ELEVATION
SCALE 1/4" = 1'



PROPOSED REAR ELEVATION
SCALE 1/4" = 1'



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Sheet Title
PRELIMINARY SUBMITTAL - REAR ELEVATIONS