

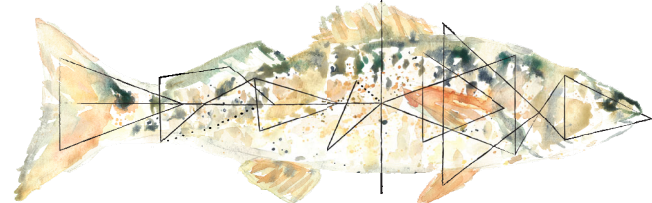
INDEX

- T1 - TITLE SHEET
- H1 - SITE DATA
- H2 - HISTORY & BACKGROUND
- H3 - HISTORY & BACKGROUND
- H4 - HISTORY & BACKGROUND
- H5 - HISTORY & BACKGROUND
- C - SURVEY
- C1 - EXISTING SITE PLAN
- C2 - PROPOSED SITE PLAN
- A1 - EXISTING FLOOR PLAN
- A2 - PROPOSED FLOOR PLAN
- A3 - EXISTING ROOF PLAN
- A4 -PROPOSED ROOF PLAN
- A5 - SECTIONS
- A6 - FRONT ELEVATIONS
- A7 -RIGHT ELEVATIONS
- A8 - REAR ELEVATIONS
- A9 - LEFT ELEVATIONS
- A10 - HOUSE PHOTOS
- A11 - HOUSE PHOTOS

# 1808 ION AVE

## SULLIVAN'S ISLAND, SOUTH CAROLINA

### TMS NO. 529-09-00-002



THE DRAWING AND ITS CONTENTS ARE THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DRAWING OR ITS CONTENTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF COASTAL CREEK DESIGN. COASTAL CREEK DESIGN SHALL BE SOLELY RESPONSIBLE FOR ANY ACTION TAKEN OR NOT TAKEN BASED ON THIS DRAWING.

©2024 COASTAL CREEK DESIGN

COASTAL CREEK DESIGN  
501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION/RENOVATION  
1808 ION AVE, SULLIVAN'S ISLAND, SC

Sheet Title  
TITLE SHEET AND INDEX

Date Drawn  
07/17/2025

Issued for Permit  
B#

Revisions

No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_

ISSUED FOR CONSTRUCTION

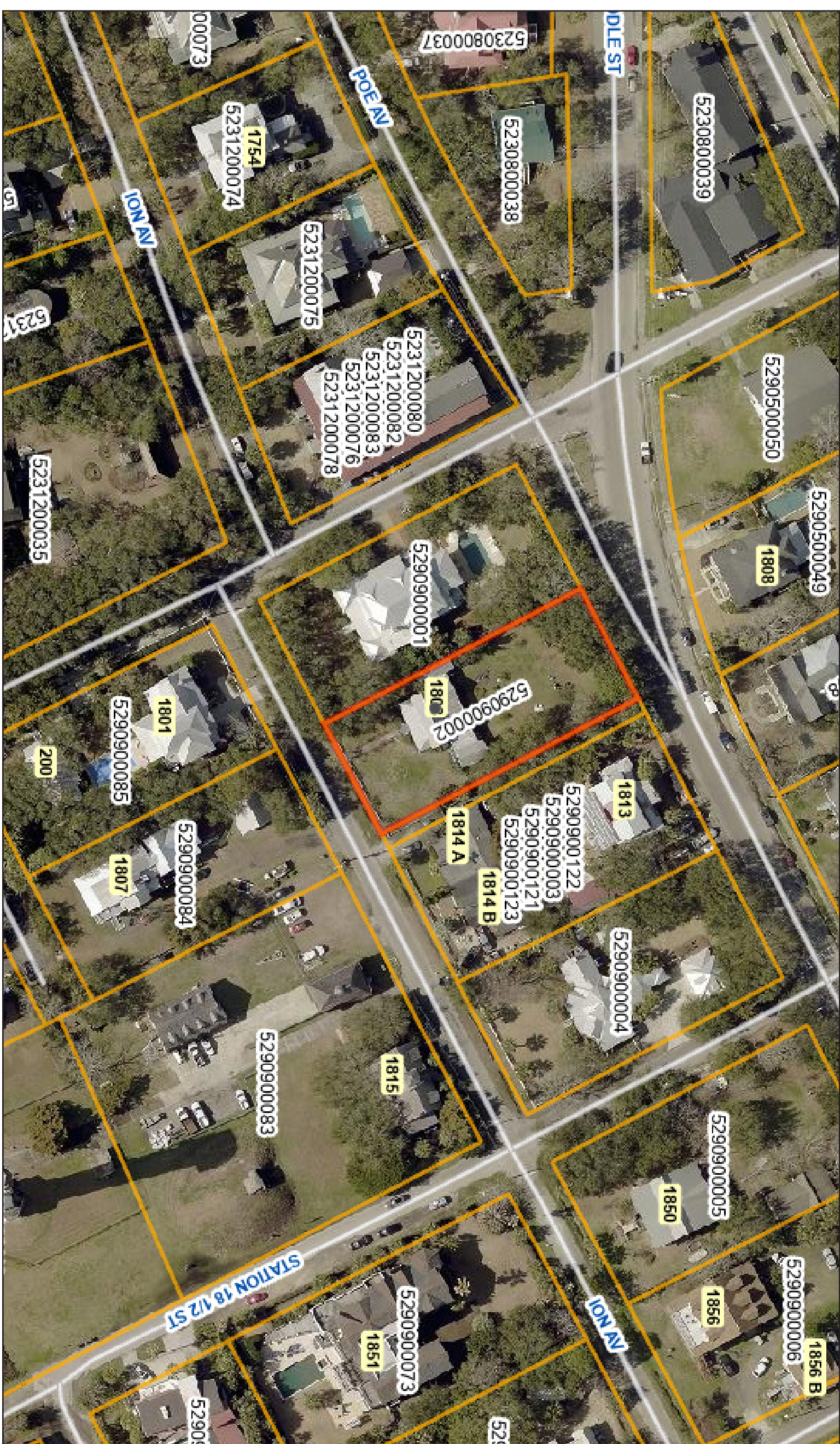
OWNERS SIGNATURE: \_\_\_\_\_

CONTACTORS SIGNATURE: \_\_\_\_\_

DATE: \_\_\_\_\_

T1

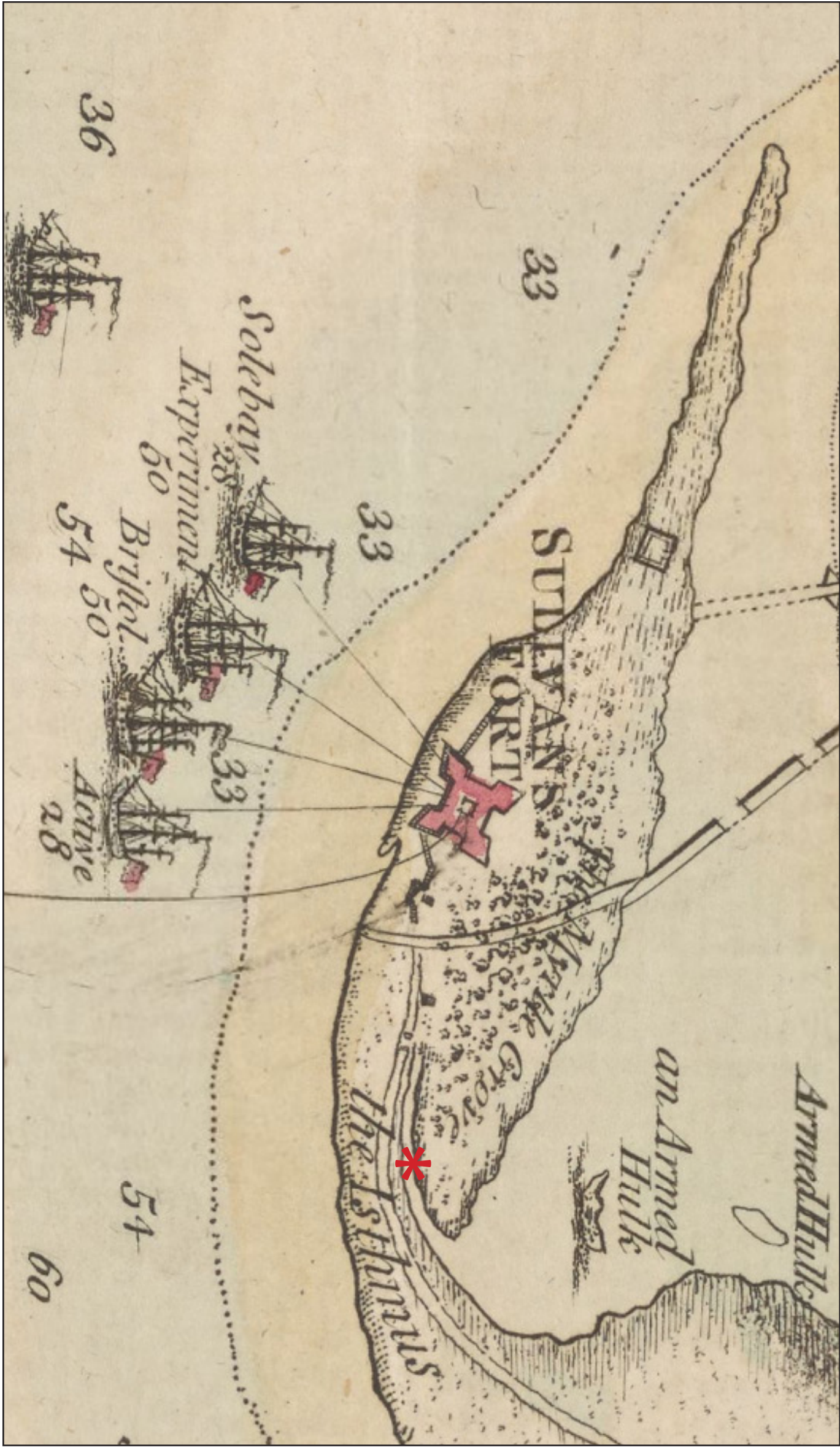




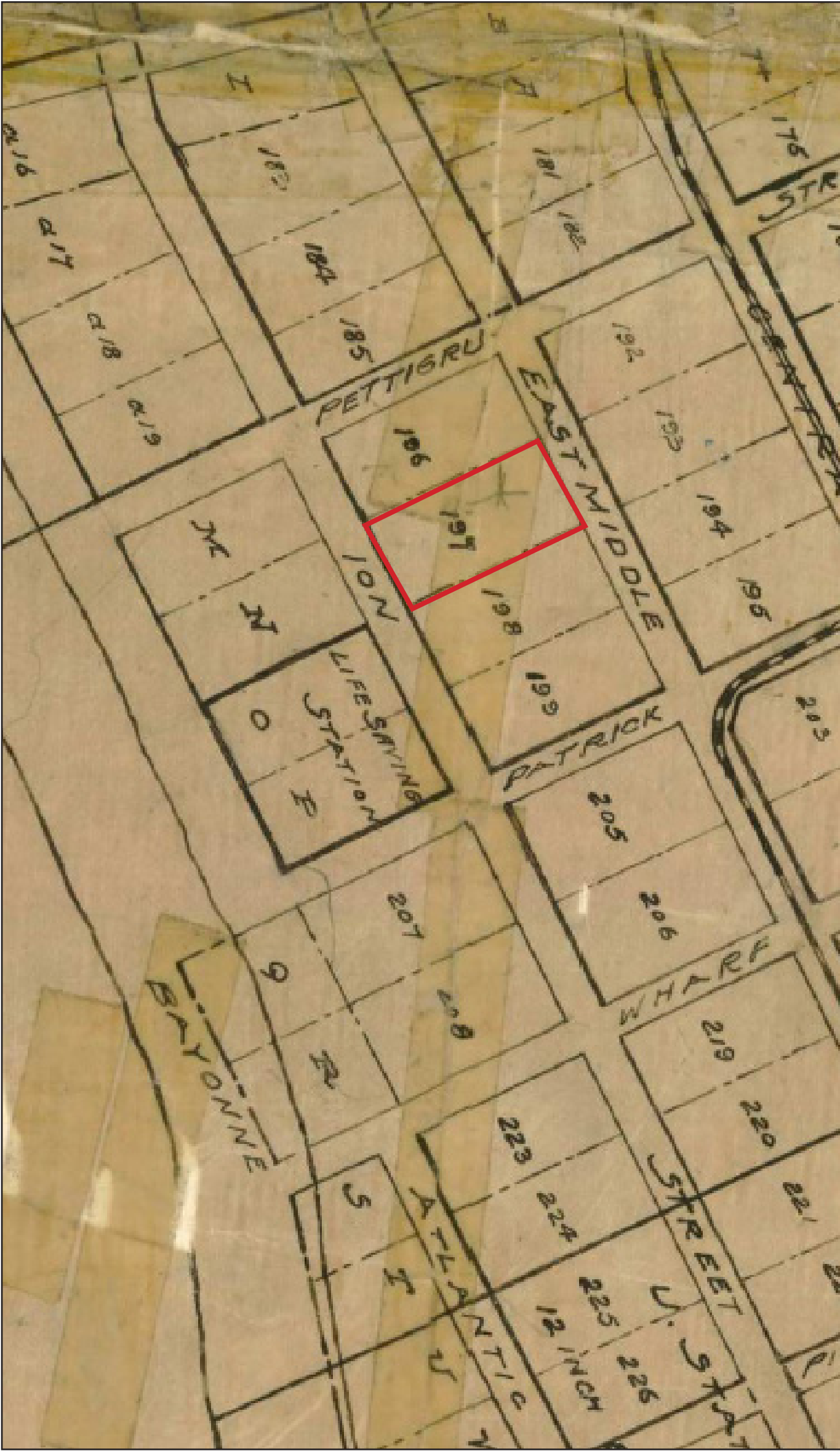


PROPERTY TIMELINE

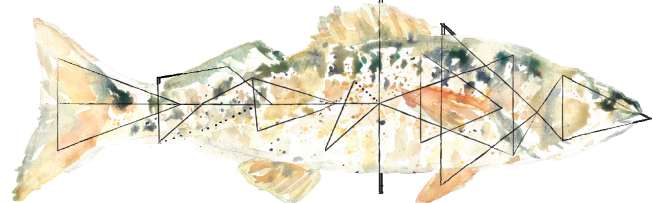
[1707]	A quarantine station is built on Sullivan's Island.
[1776]	The Battle of Sullivan's Island occurred nearby on the island.
[1817]	The town of Moultrieville is established on the south end of Sullivan's Island.
[1861]	Fort Moultrie participated in the bombardment of Fort Sumter and the start of the Civil War.
[1895]	The Life-Saving Station is constructed across the street.
[1902]	The lot is noted as Lot 197 on the Plan of the Town of Moultrieville as it expanded north.
[1906]	The property is conveyed to John Henry F. Koenig. The house is constructed around this date.
[1906]	The town of Moultrieville is replaced with the town of Sullivan's Island.
[1908]	Central Avenue is extended north to Station 18.
[1912]	Koenig is forced to sell the property in a judgment for "R. M. Marshall & Brother," operated by Alex and Trapier Marshall. Prudential Realty and Investment Company acquires the buildings and lot at auction.
1924]	The house is illustrated on the Sanborn Map. The lot is noted as 203 Ion Avenue.
1933]	Elise H. Marshall buys the property from the Prudential Realty and Investment Company.
1938]	The structure appears unchanged in the Sanborn map.
[1945]	Magdalen H. Siegling buys the property.
[1967]	The property is listed for sale and purchased by Carole A. Austin for \$8,550.
[1972]	John Robert Knopf purchases the property for \$14,200 as a beach house.
[1990]	The property is conveyed to Ruth C. Knopf by the Estate of John Robert Knopf.
[2015]	1808 Ion Avenue is transferred to the Knopf Living Trust.
[2025]	The property is acquired by the current owners.



1776 MAP OF BRITISH ATTACK ON SULLIVAN'S ISLAND  
\* IDENTIFIES THE FUTURE LOCATION OF HOUSE



1902 PLAT  
OF MOULTRIEVILLE SHOWING LOT 197



THE PLANNING AND DESIGN SERVICES PROVIDED BY COASTAL CREEK DESIGN ARE THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DOCUMENT OR ANY INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF COASTAL CREEK DESIGN. ANY VIOLATION OF THIS NOTICE WILL BE SUBJECT TO LEGAL ACTION.

©2024 COASTAL CREEK DESIGN

COASTAL CREEK DESIGN  
501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION / RENOVATION  
1808 ION AVENUE, CHARLESTON, SC

Sheet Title  
HISTORY & BACKGROUND

Date Drawn  
A#  
Issued for Permit  
B#

Revisions  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_



State of South Carolina, County of  
Charleston.—Court of Common Pleas.—  
R. M. Marshall & Bro vs J. H. F.  
Koenig, et al.

By virtue of Decree herein dated the 1st day of May, 1912, I will offer for sale by Public Auction, at the Charleston Real Estate Exchange, No. 64 Broad street, Charleston, S. C., on THURSDAY, the 23d day of May, 1912, at 11 o'clock A. M.

"All the right, title, estate, interest, possession and terms of years yet to come, claims and demands whatsoever which the said J. H. F. Koenig is possessed of, or entitled to, in and to: All that LOT OF LAND situate on the south side of East Middle street, between Peligru and Patrick streets, in the town of Moultrieville, Sullivan's Island, being the lot designated by the number one hundred and ninety-seven in a plan of Moultrieville

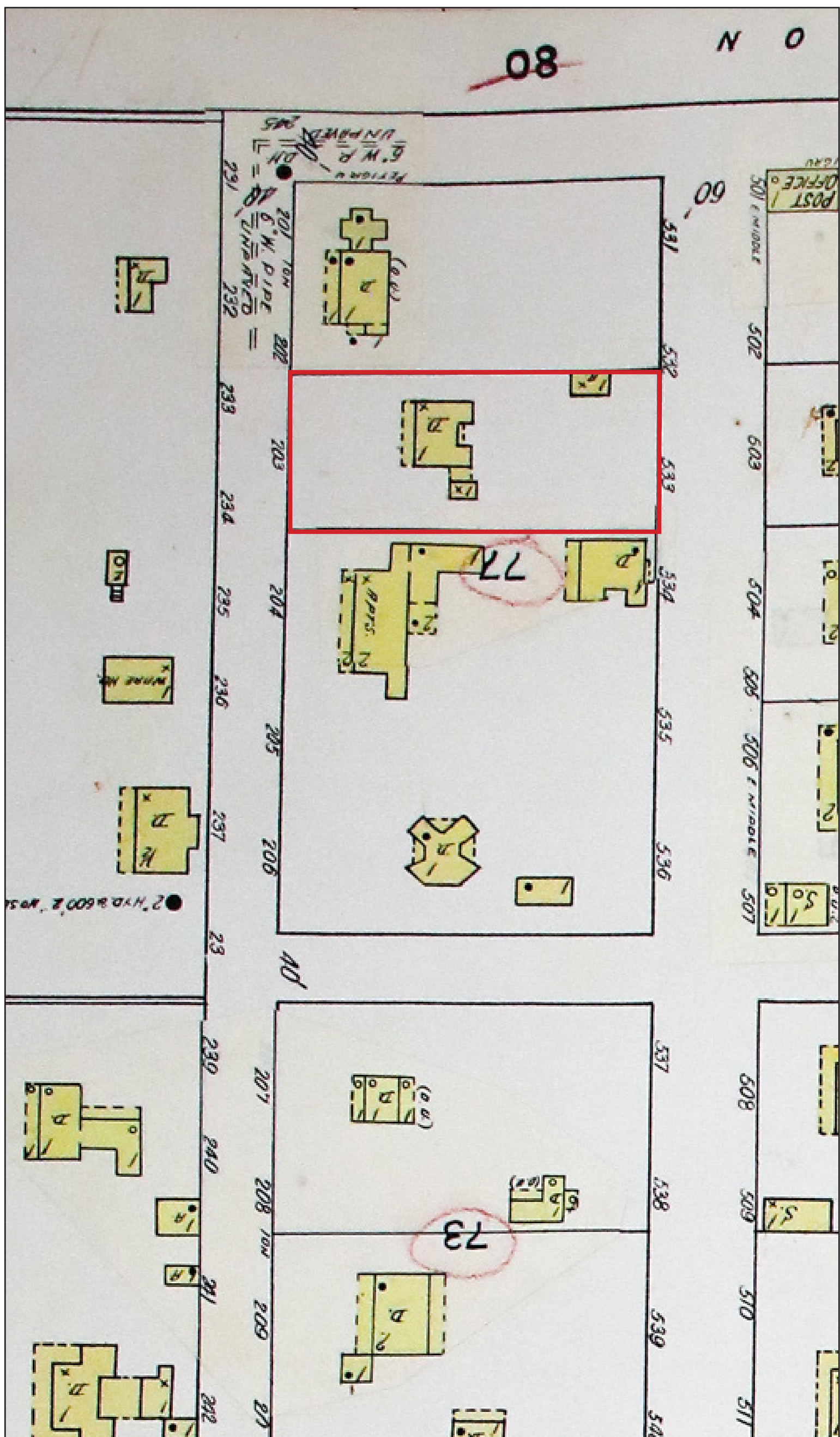
FOR HOUSE & LOT



1924 SANBORN



# 1917 CENSUS MAP



1938 SANBORN

THIS DRAWING AND THE DESIGN SHOWN IS THE PROPERTY OF COASTAL CREEK DESIGN. THE REPRODUCTION, COPYING OR OTHER USE OF THIS DRAWING WITHOUT HER WRITTEN CONSENT IS PROHIBITED AND ANY INFRINGEMENT WILL BE SUBJECT TO LEGAL ACTION.

COASTAL CREEK DESIGN  
501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project

ADDITION / RENOVATION

1808 ION AVENUE, CHARLESTON, SC

---

Sheet Title

HISTORY & BACKGROUND

Date Drawn  
A#  
Issued for Permit  
B#

Revisions

No	Date
No	Date
No	Date

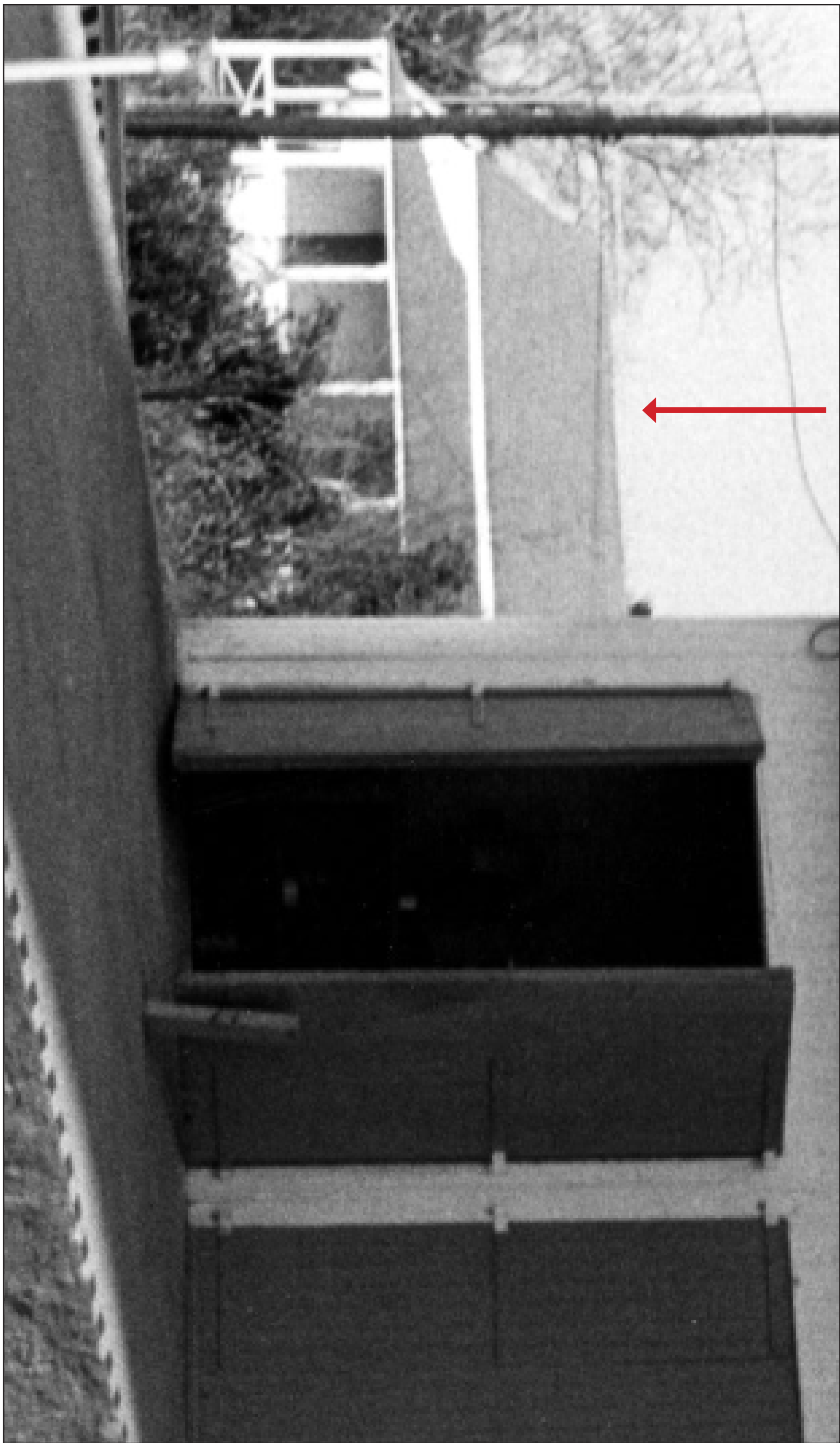




1940



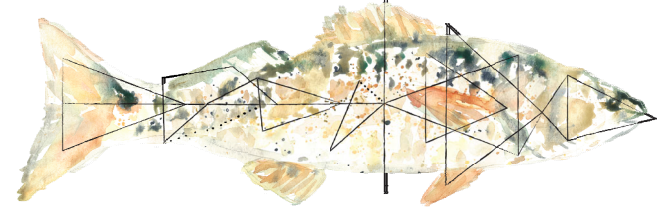
1957 AERIAL



1972



1972



THE DRAWING AND THE DESIGN THEREIN IS THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DRAWING OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF COASTAL CREEK DESIGN.

COASTAL CREEK DESIGN  
501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION / RENOVATION  
1808 ION AVENUE, CHARLESTON, SC

Sheet Title  
HISTORY & BACKGROUND

Date Drawn  
A#  
Issued for Permit  
B#

Revisions  
No. Date  
No. Date  
No. Date

H4





2001



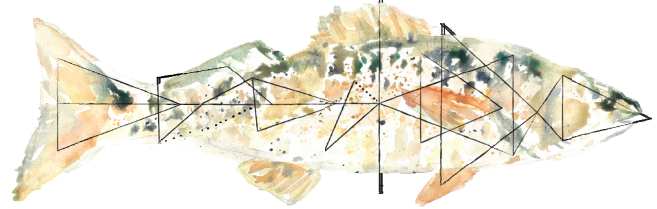
2004



2007



2020



THE DRAWING AND THE DESIGN INFORMATION CONTAINED HEREIN ARE THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DRAWING OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM COASTAL CREEK DESIGN.

COASTAL CREEK DESIGN  
501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION / RENOVATION  
1808 ION AVENUE, CHARLESTON, SC

Sheet Title  
HISTORY & BACKGROUND

Date Drawn  
A#  
Issued For Permit  
B#

Revisions  
No. Date  
No. Date  
No. Date

H5



I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO, THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

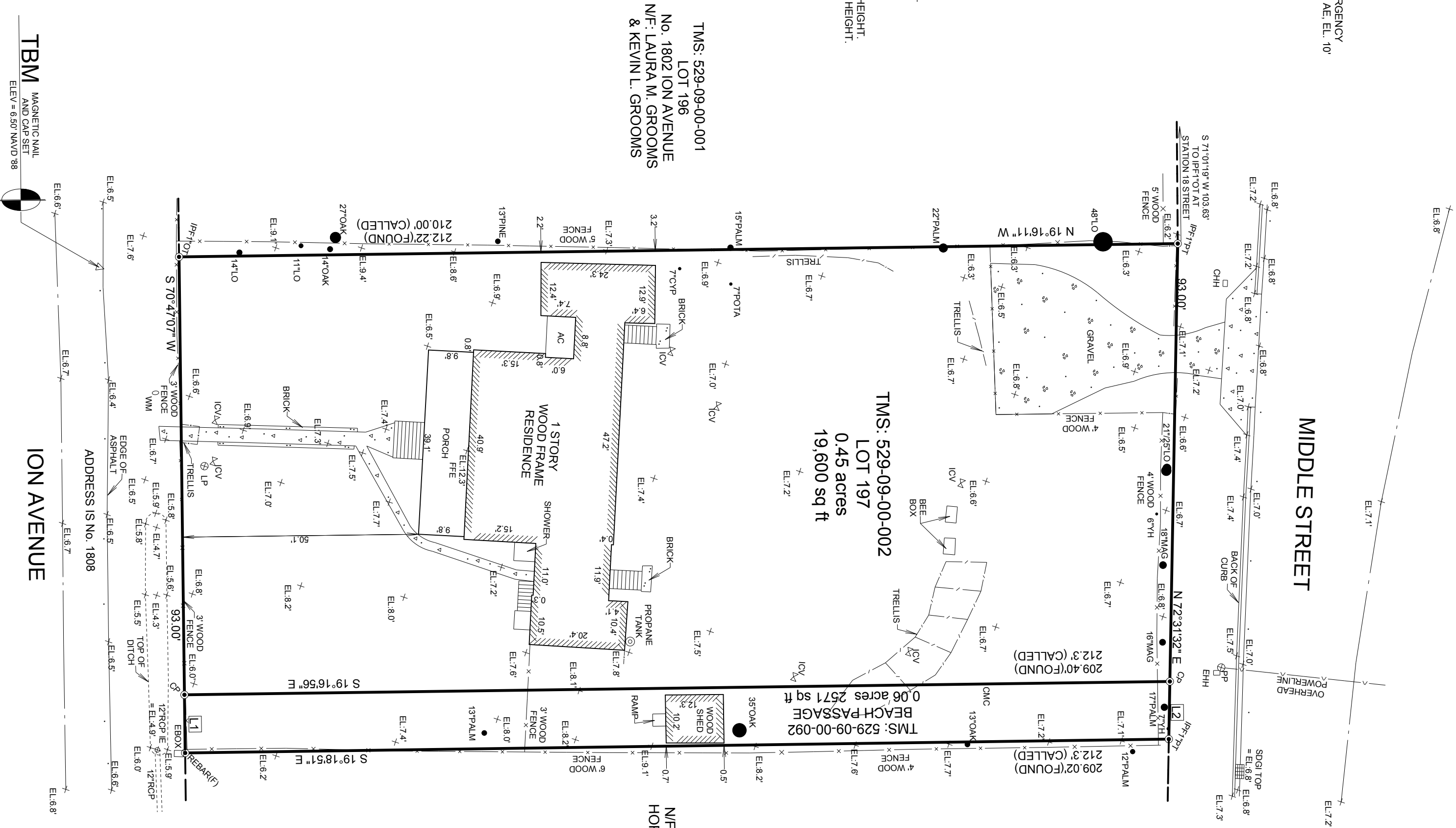
I CERTIFY THAT THE PROPERTY SHOWN HEREON IS IN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO FEMA AND HUD FLOOD HAZARD BOUNDARY MAPS.

LINE TABLE		
Id	Bearing	Distance
L1	S 70°47'07" W	12.35'
L2	N 72°31'32" E	12.24'

NOTES:

1. THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN FLOOD ZONE AE, EL. '10' ON FLOOD INSURANCE RATE MAP NUMBER 49019C0538K, MAP REVISED JANUARY 29, 2021.
2. THE BEARINGS SHOWN ARE MAGNETIC AND SUBJECT TO LOCAL ATTRACTION.
3. ANYTHING SHOWN OUTSIDE OF THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
4. THIS SURVEY IS BASED ON THE REFERENCE SHOWN AND DOES NOT CONSTITUTE A TITLE SEARCH.

- LEGEND:
- IPF1"PT - 1" PINCHED TOP PIPE FOUND, OLD.
  - IPF1"OT - 1" OPEN TOP PIPE FOUND, OLD.
  - REBAR(F) - 5/8" REBAR FOUND, OLD.
  - CP - CALC. POINT
  - PP - POWER POLE
  - LP - LIGHT POLE
  - EHH - ELECTRICAL HAND HOLE
  - EBOX - ELECTRICAL BOX
  - WM - WATER METER
  - WM - WATER VALVE
  - ICV - IRRIGATION CONTROL VALVE
  - CHH - COMMUNICATION HAND HOLE
  - SDGI - STORM DRAIN GRATE INLET
  - 12"RCP - 12" REINFORCED CONCRETE PIPE
  - IE - INVERT ELEVATION
  - 22"PALM - 22" PALM DIAMETER AT BREAST HEIGHT
  - 8"LO - 8" LIVE OAK DIAMETER AT BREAST HEIGHT
  - 18"MAG - 18" MAGNOLIA DIAMETER AT BREAST HEIGHT
  - 7"TH - 7" TUDON HOLLY DIAMETER AT BREAST HEIGHT
  - 13"FINE - 13" PINE DIAMETER AT BREAST HEIGHT
  - 35"OAK - 35" OAK DIAMETER AT BREAST HEIGHT
  - 7"POA - 7" POTACARPUS DIAMETER AT BREAST HEIGHT
  - 7"OYP - 7" CYPRESS DIAMETER AT BREAST HEIGHT
  - 21"25"LO - DOUBLE 21"25" LIVE OAK DIAMETER AT BREAST HEIGHT
  - CMC - CREPE MYRTLE CLUSTER DIAMETER AT BREAST HEIGHT
  - EL.7.5 - SPOT ELEVATION 7.5' M.S.L., NAVD88



# TOPOGRAPHIC

## PLAT

OF LOT 197 (0.45 ACRES) AND BEACH PASSAGE WAY (0.06 ACRES), MOULTRIEVILLE, TOWN OF SULLIVAN'S ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA. PRESENTLY OWNED BY THE KNOPF LIVING TRUST DATED APRIL 16, 2015.

SCALE: 1" = 20'

DATE: APRIL 10, 2023

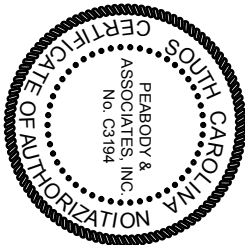
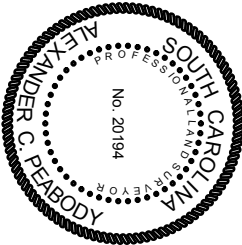
REF: PLAT BK. "R", PG. 063

REF: DEED BK. "0470", PG. 446

TMS: 529-09-00-002 (LOT 197)

TMS: 529-09-00-092 (BEACH ACCESS)

ALEXANDER C. PEABODY, PLS  
PEABODY & ASSOCIATES, INC.  
PROFESSIONAL LAND SURVEYING  
P.O. BOX 22646, CHARLESTON, SC 29413  
OFFICE 843-723-5225 MOBILE 843-270-4847



CHARLESTON COUNTY  
SOUTH CAROLINA



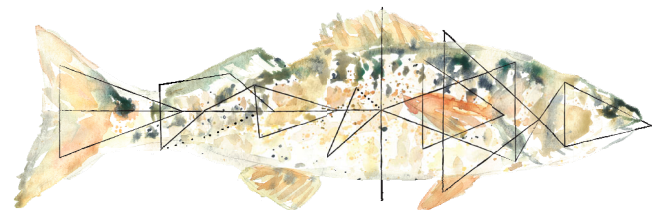
EXISTING COVERAGE

TOTAL LOT AREA 19,600 SQFT  
1ST FLOOR 1,991 SQFT  
PORCH & STAIRS 484 SQFT  
SHED 125 SQFT  
AC 47 SQFT  
SHOWER 19 SQFT

TOTAL COVERAGE 2,666 SQFT  
TOTAL COVERAGE % 13.6 %

PROPERTY INFORMATION FROM ZONING  
CHARLESTON COUNTY

RS  
SETBACKS=  
FRONT=25'  
REAR=25'  
COMBINED SIDE=36' COMBINED (15' AND 21',  
16' AND 20', 17' AND 19', OR 18' AND 18')  
MAXIMUM IMPERVIOUS SURFACE  
COVERAGE=30%  
MAXIMUM BUILDING HEIGHT=40'  
FLOOD ZONE = AE10'



THE DRAWING AND ALL INFORMATION THEREON IS THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN CONSENT OF COASTAL CREEK DESIGN. ANY VIOLATION OF THIS NOTICE IS SUBJECT TO LITIGATION.

©2024 COASTAL CREEK DESIGN

COASTAL CREEK DESIGN  
501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION/RENOVATION  
1808 ION AVE, SULLIVAN'S ISLAND, SC  
Sheet Title  
EXISTING SITE PLAN

Date Drawn  
07/17/2025

Issued for Permit

B#

Revisions

No.

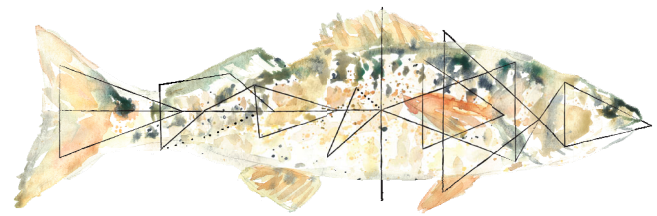
Date

No.

Date

C1





THE DRAWING AND ALL DESIGN INFORMATION IS THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PRIOR WRITTEN CONSENT. PERMISSION IS GRANTED TO THE CLIENT TO REPRODUCE THIS DRAWING FOR THEIR OWN USE ONLY. ANY OTHER REPRODUCTION OR TRANSMISSION IS PROHIBITED. THIS DRAWING IS TO BE USED IN CONJUNCTION WITH THE CONTRACT AND ANY OTHER DOCUMENTS REFERENCED HEREIN.

COASTAL CREEK DESIGN  
501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION/RENOVATION  
1808 ION AVE, SULLIVAN'S ISLAND, SC  
Sheet Title  
PROPOSED SITE PLAN

Date Drawn  
07/17/2025  
Revisions  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_

C2

## PROPOSED COVERAGE

TOTAL LOT AREA 19,600 SQFT  
1ST FLOOR 2,175 SQFT  
PORCH & STAIRS 457 SQFT  
SHED 125 SQFT  
AC 47 SQFT  
DECK & STAIRS 328 SQFT

TOTAL COVERAGE 3,132 SQFT  
TOTAL COVERAGE % 15.97 %

## PERMITTED PRINCIPAL BUILDING AREA

TOTAL LOT AREA 19,600 SQFT  
2,400 \* (LOT AREA - 5,000) / 100) X 10  
2,400 \* ((9,600 - 5,000) / 100) X 10  
2,400 \* ((4,600 - 100) / 100) X 10  
2,400 \* 148 X 10  
2,400 \* 1,480  
3,860 SQFT MAX AREA  
MAX RELIEF: 500 SQFT MAX OR 15 %  
PRINCIPAL BUILDING AREA RELIEF 15% = 500 SQFT  
MAX PRINCIPAL BUILDING AREA 3,860 + 500 = 4,360 SQFT  
TOTAL BUILDING AREA = 2,175 SQFT  
NO DRB RELIEF REQUIRED

## PRINCIPAL BUILDING COVERAGE

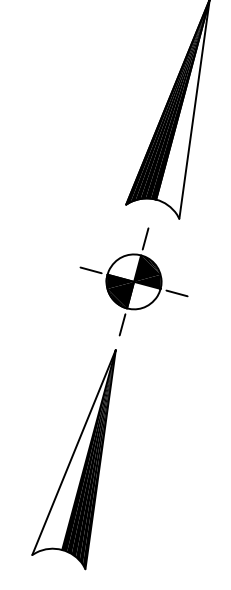
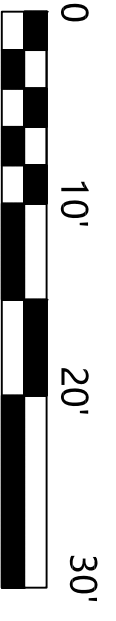
TOTAL LOT AREA 19,600 SQFT  
PRINCIPAL BUILDING COVERAGE = LOT AREA X 15% + ((5,000 - LOT AREA) X 5%)  
PRINCIPAL BUILDING COVERAGE = 19,600 X 15% + ((5,000 - 19,600) X 5%)  
PRINCIPAL BUILDING COVERAGE = 2,940 + (10) X 5%  
PRINCIPAL BUILDING COVERAGE = 2,940 + 0  
PRINCIPAL BUILDING COVERAGE = 2,940 SQFT OR 15.0%  
PRINCIPAL BUILDING COVERAGE MAX RELIEF 20%  
PRINCIPAL BUILDING RELIEF 588 SQFT  
MAX. PRINCIPAL BUILDING COVERAGE 2,940 + 588 = 3,528 SQFT  
PROPOSED PRINCIPAL BUILDING COVERAGE 2,175 SQFT  
NO DRB RELIEF REQUIRED

## PROPERTY INFORMATION FROM ZONING

RS  
SETBACKS=  
FRONT=25'  
REAR=25'  
COMBINED SIDE=36' COMBINED (15' AND 21', 16' AND 20', 17' AND 19' OR 18' AND 18')  
MAXIMUM IMPERVIOUS SURFACE COVERAGE=30%  
MAXIMUM BUILDING HEIGHT=40'  
FLOOD ZONE = AE10'

TBM  
MAGNETIC NAIL AND CAP SET  
ELEV = 6.50' NAVD 88

PROPOSED SITE PLAN  
SCALE 1 = 10'



## LEGEND:

- 1" PINCHED TOP PIPE FOUND, OLD.
- 1" OPEN TOP PIPE FOUND, OLD.
- 5/8" REBAR FOUND, OLD.
- CALC. POINT
- POWER POLE.
- LIGHT POLE.
- ELECTRICAL HAND HOLE.
- ELECTRICAL BOX.
- WATER VALVE.
- WATER METER.
- IRRIGATION CONTROL VALVE.
- COMMUNICATION HAND HOLE.
- STORM DRAIN GRATE INLET.
- 12" REINFORCED CONCRETE PIPE.
- INVERT ELEVATION.
- 22" PALM DIAMETER AT BREAST HEIGHT.
- 8" LIVE OAK DIAMETER AT BREAST HEIGHT.
- 18" MAGNOLIA DIAMETER AT BREAST HEIGHT.
- 7" YALPON HOLLY DIAMETER AT BREAST HEIGHT.
- 13" PINE DIAMETER AT BREAST HEIGHT.
- 35" OAK DIAMETER AT BREAST HEIGHT.
- 7" POTACARPUS DIAMETER AT BREAST HEIGHT.
- 7" CYPRESS DIAMETER AT BREAST HEIGHT.
- DOUBLE 21" / 25" LIVE OAK DIAMETER AT BREAST HEIGHT.
- CREPE MYRTLE CLUSTER DIAMETER AT BREAST HEIGHT.
- SPOT ELEVATION 7.5' M.S.L., NAVD88.

## NOTES:

1. THE PROPERTY DESCRIBED ON THIS SURVEY DOES LIE WITHIN A SPECIAL FLOOD HAZARD AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY. THE PROPERTY LIES WITHIN FLOOD ZONE AE, EL. 10' ON FLOOD INSURANCE RATE MAP NUMBER 45019C0538K. MAP REVISED JANUARY 29, 2021.
2. THE BEARINGS SHOWN ARE MAGNETIC AND SUBJECT TO LOCAL ATTRACTION.
3. ANYTHING SHOWN OUTSIDE OF THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
4. THIS SURVEY IS BASED ON THE REFERENCE SHOWN AND DOES NOT CONSTITUTE A TITLE SEARCH.

LINE TABLE	
Id	Bearing
L1	S 70°47'07" W
L2	N 72°31'32" E

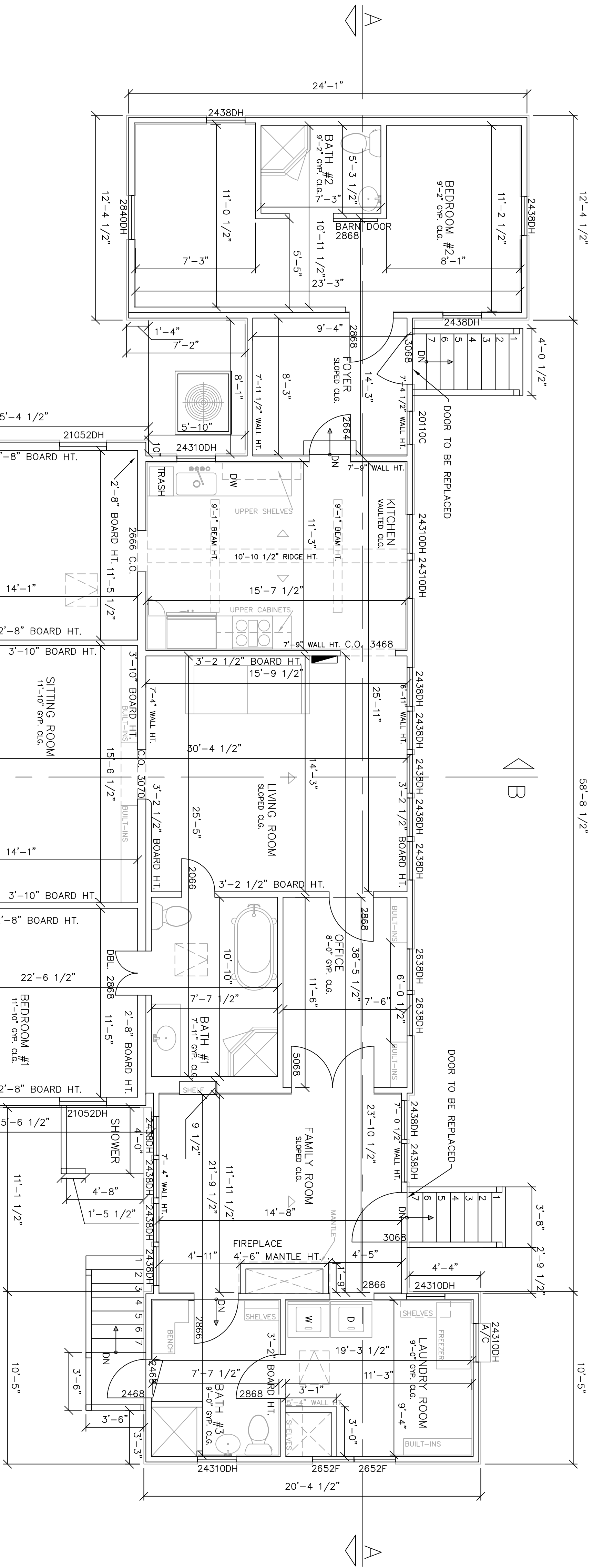
TMS. 529-09-00-001  
LOT 196  
No. 1802 ION AVENUE  
N/F: LAURA M. GROOMS  
& KEVIN L. GROOMS

TMS. 529-09-00-002  
LOT 197  
0.45 acres  
19,600 sq ft

TMS. 529-09-00-092  
BEACH PASSAGE  
0.08 acres 2571 sq ft

TMS. 529-09-00-003  
N/F: THE 1813 MIDDLE / 1814 ION  
HORIZONTAL PROPERTY REGIME

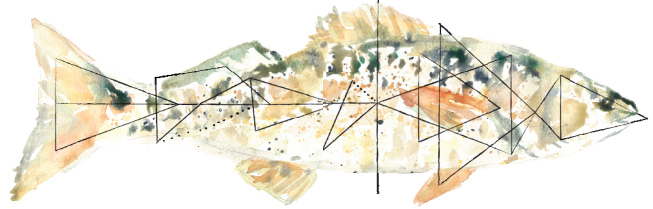




EXISTING FLOOR PLAN

SCALE 1/4" = 1'

AREA	EXISTING	ADDITION/DEMO	PROPOSED
HOUSE FLOOR AREA	1,991 SQFT	+184 SQFT	2,175 SQFT
TOTAL HEATED AREA	1,991 SQFT	184 SQFT	2,175 SQFT
AREA	EXISTING	ADDITION/DEMO	PROPOSED
PORCH & STAIRS	484 SQFT	-27 SQFT	457 SQFT
DECK & STAIRS	—	+328 SQFT	328 SQFT
AC	47 SQFT	—	47 SQFT
OUTDOOR SHOWER	19 SQFT	—	19 SQFT



THE EXISTING AND PROPOSED PLANS ARE THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THESE PLANS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF COASTAL CREEK DESIGN. ANY VIOLATION OF THIS AGREEMENT WILL BE SUBJECT TO LEGAL ACTION.

COASTAL CREEK DESIGN

COASTAL CREEK DESIGN

501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project

ADDITION/RENOVATION  
1808 ION AVE, SC.

Sheet Title

EXISTING FLOOR PLAN

Date Drawn

07/17/2025

Issued for Permit

B#

Revisions

No. \_\_\_\_\_ Date \_\_\_\_\_

No. \_\_\_\_\_ Date \_\_\_\_\_

A1



LEGEND

NEW STUD WALL

EXISTING WALL TO REMAIN



THE SHOWN AND NOT SHOWN ARE THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DOCUMENT OR ANY INFORMATION CONTAINED HEREIN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING. CONSENT IS REQUIRED FOR ANY ACTION.

©2024  
COASTAL CREEK DESIGN

COASTAL CREEK DESIGN

501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION/RENOVATION  
1808 ION AVE, SC.

Sheet Title  
PROPOSED FLOOR PLAN

Date Drawn  
07/17/2025

Issued for Permit  
B#

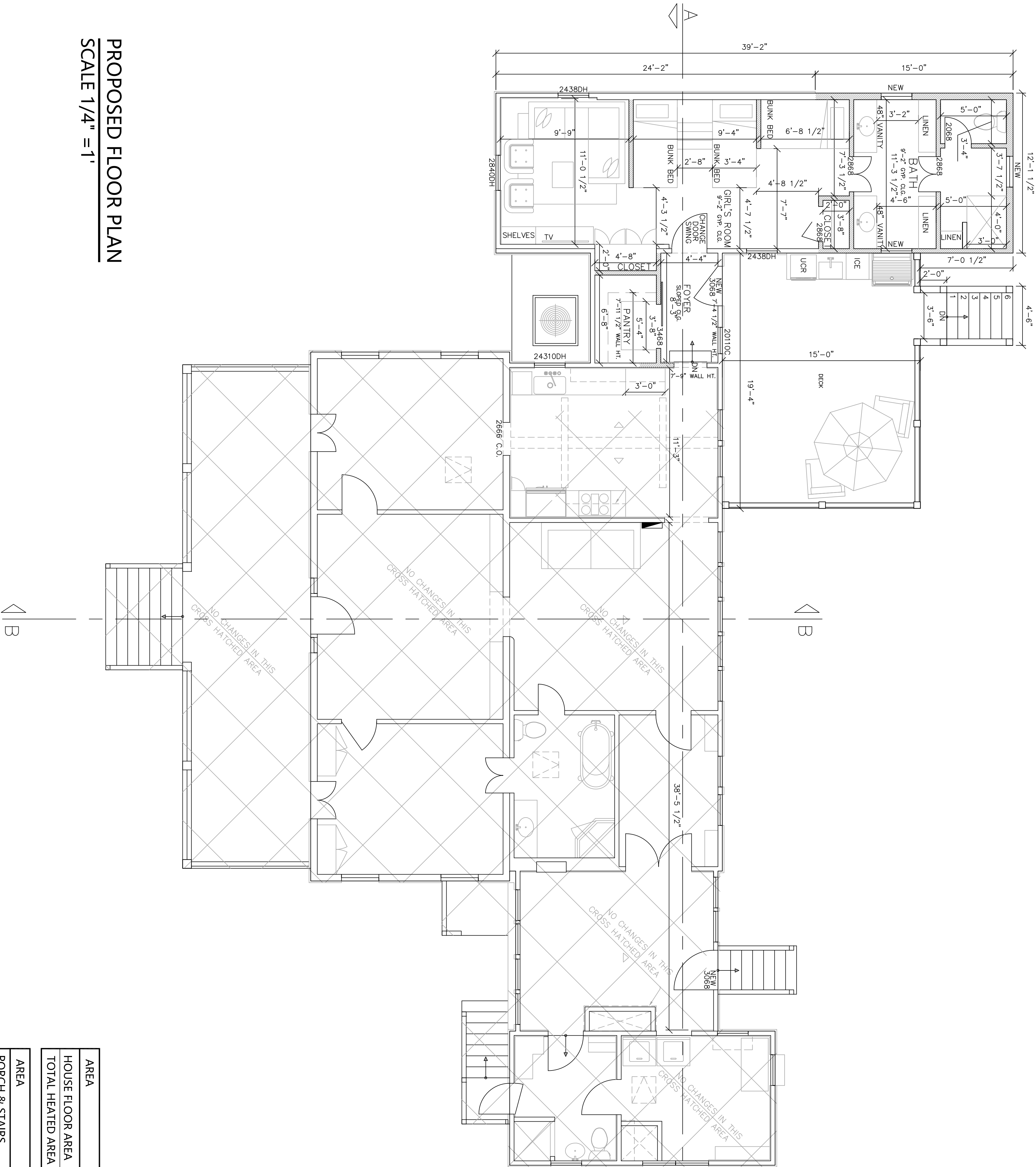
Revisions

No	Date	
No	Date	

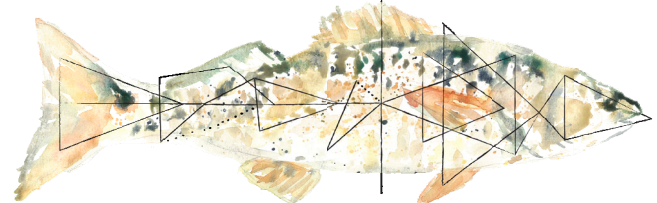
AREA	EXISTING	ADDITION/DEMO	PROPOSED
HOUSE FLOOR AREA	1,991 SQFT	+184 SQFT	2,175 SQFT
TOTAL HEATED AREA	1,991 SQFT	184 SQFT	2,175 SQFT
AREA	EXISTING	ADDITION/DEMO	PROPOSED
PORCH & STAIRS	484 SQFT	-27 SQFT	457 SQFT
DECK & STAIRS	—	+328 SQFT	328 SQFT
AC	47 SQFT	—	47 SQFT
OUTDOOR SHOWER	19 SQFT	—	19 SQFT

PROPOSED FLOOR PLAN

SCALE 1/4" = 1'







COASTAL CREEK DESIGN  
— CHARLESTON, SC —

THE DRAWING AND ITS CONTENTS ARE THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT PERMISSION IN WRITING. PERMISSION IS GRANTED TO THE CLIENT FOR THE USE OF THIS DRAWING FOR THE PROJECT SPECIFICALLY IDENTIFIED HEREIN. IT SHALL BE SUBJECT TO LOCAL ACTION.

©2024  
COASTAL CREEK DESIGN

COASTAL CREEK DESIGN

501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION/RENOVATION  
1808 ION AVE, SC.

Sheet Title  
EXISTING ROOF PLAN

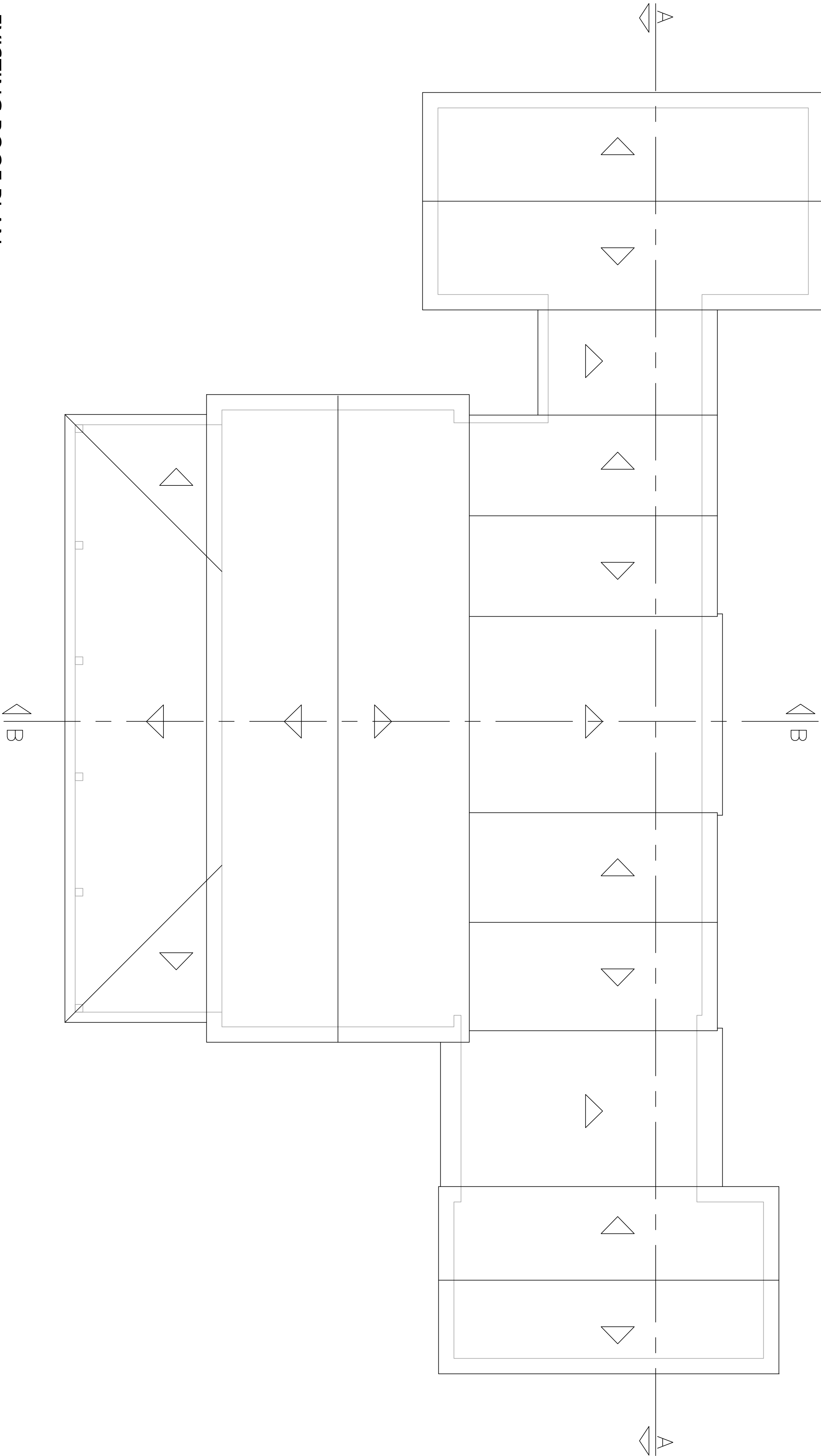
Date Drawn  
07/17/2025

Issued for Permit  
B#

Revisions

No.	Date	
No.	Date	
No.	Date	

A3



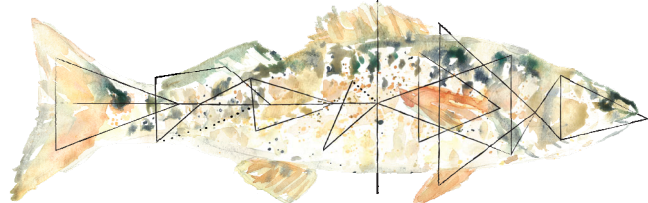
EXISTING ROOF PLAN  
SCALE 1/4" = 1'



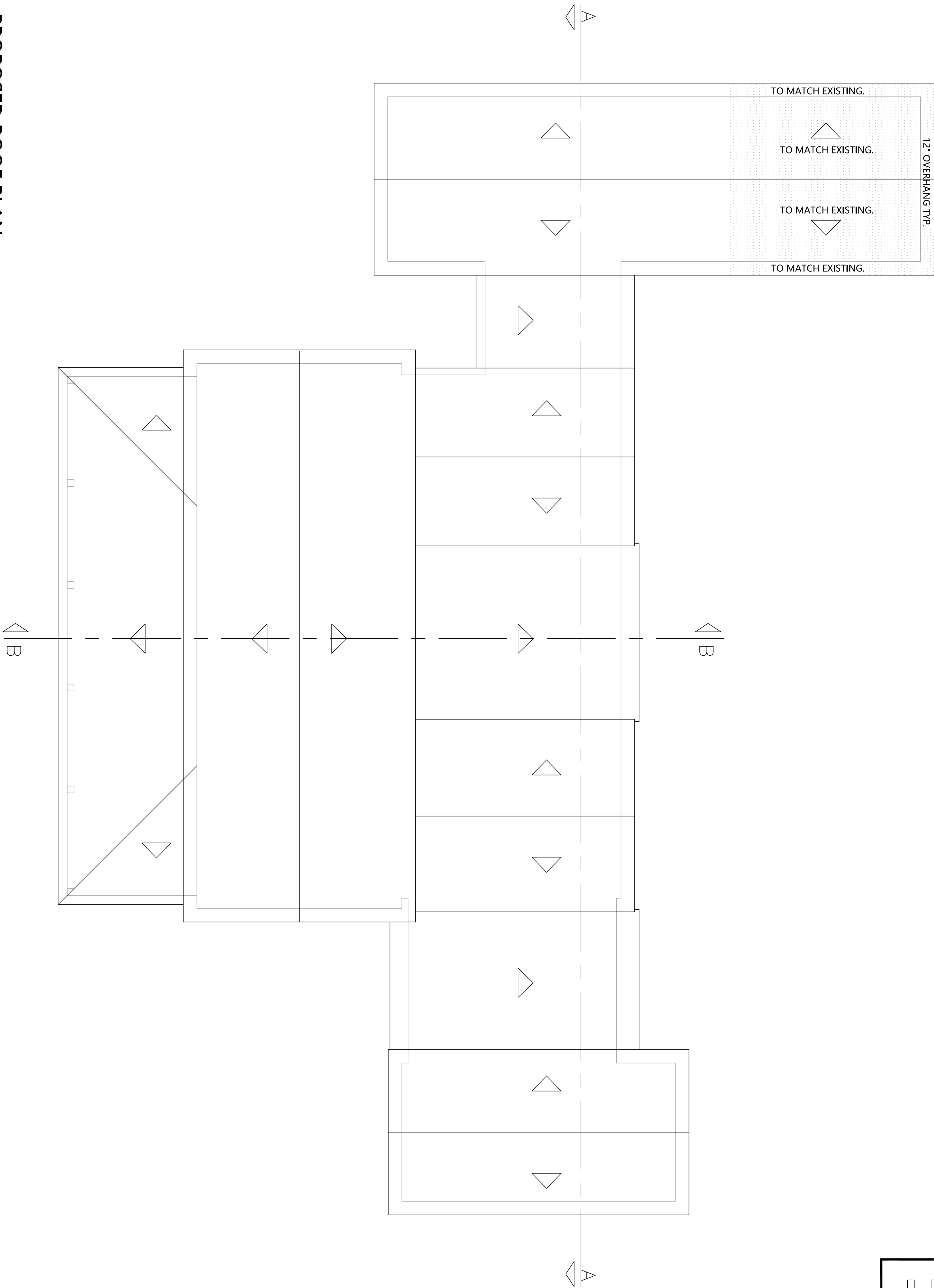
LEGEND

NEW ROOF

EXISTING ROOF TO REMAIN



COASTAL CREEK DESIGN  
— CHARLESTON, SC —



PROPOSED ROOF PLAN  
SCALE 1/4" = 1'

Project

ADDITION/RENOVATION  
1808 ION AVE, SC.

Sheet Title

PROPOSED ROOF PLAN

COASTAL CREEK DESIGN

501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

©2024

COASTAL CREEK DESIGN

THE FORMING AND MATERIALS MANUFACTURING OF THIS DOCUMENT IS THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DOCUMENT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM COASTAL CREEK DESIGN. ALL RIGHTS RESERVED. ANY UNAUTHORIZED REPRODUCTION OR USE OF THIS DOCUMENT IS PROHIBITED AND MAY BE SUBJECT TO LEGAL ACTION.

Date Drawn

07/17/2025

Issued for Permit

B#

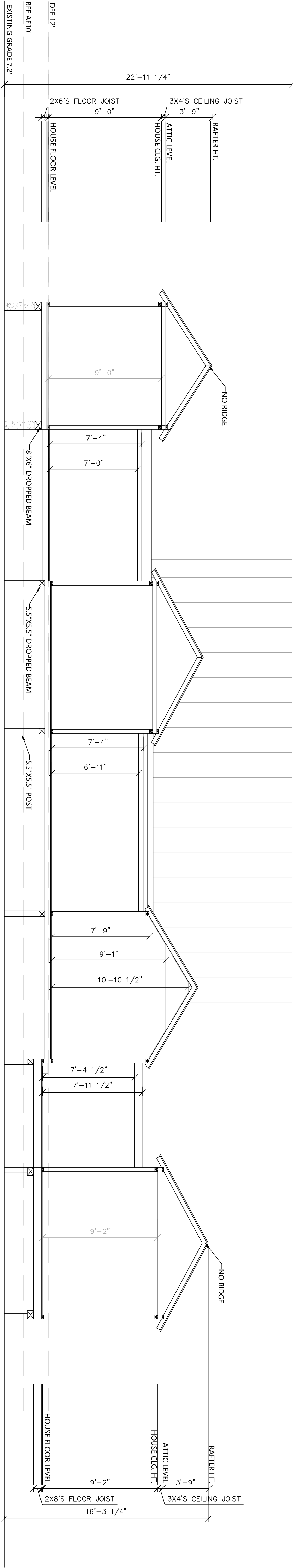
Revisions

No. \_\_\_\_\_ Date \_\_\_\_\_

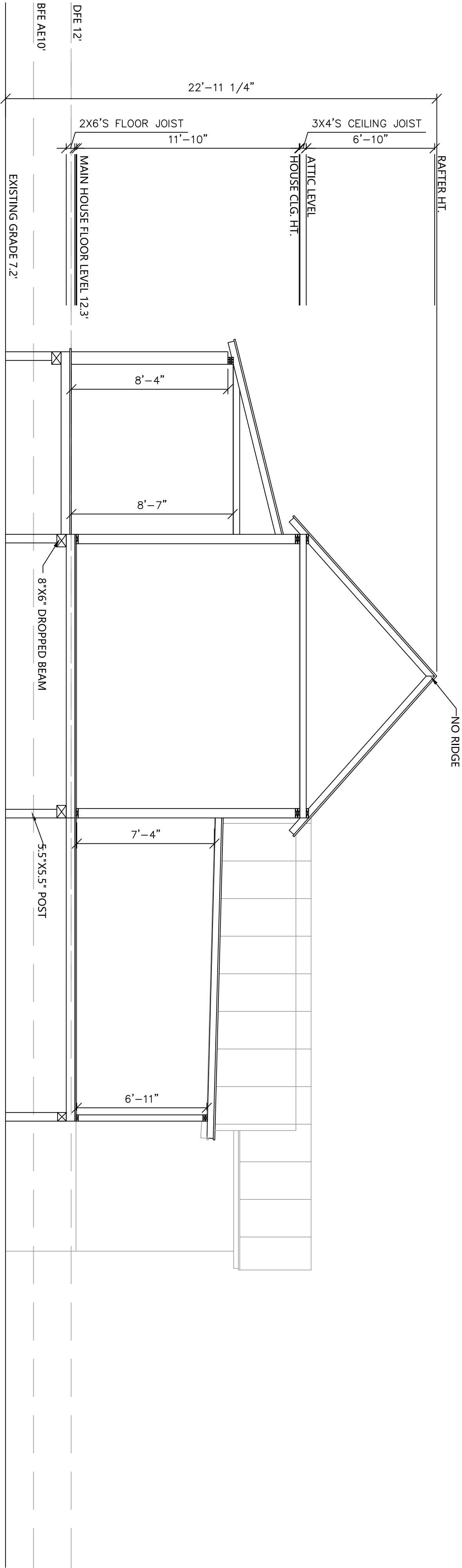
No. \_\_\_\_\_ Date \_\_\_\_\_

No. \_\_\_\_\_ Date \_\_\_\_\_

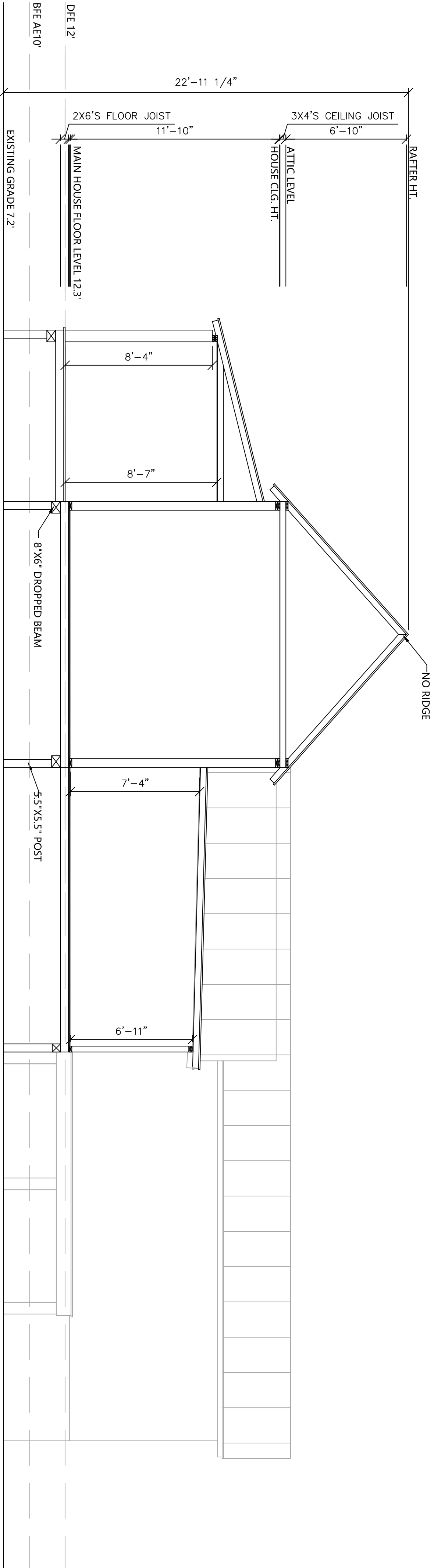




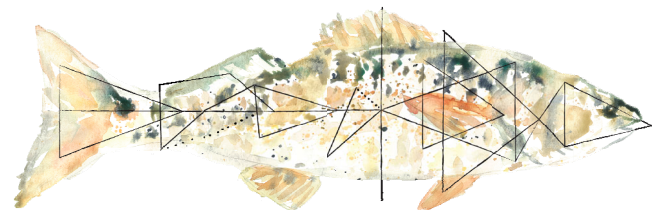
EXISTING SECTION A-A  
SCALE 1/4" = 1'



EXISTING SECTION B-B  
SCALE 1/4" = 1'



PROPOSED SECTION B-B  
SCALE 1/4" = 1'



THE DRAWING AND ITS CONTENTS ARE THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DRAWING OR ITS CONTENTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM COASTAL CREEK DESIGN. ANY UNAUTHORIZED REPRODUCTION OR USE OF THIS DRAWING IS PROHIBITED AND ANY ACTION WILL BE TAKEN TO ENFORCE THIS POLICY.

COASTAL CREEK DESIGN  
501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

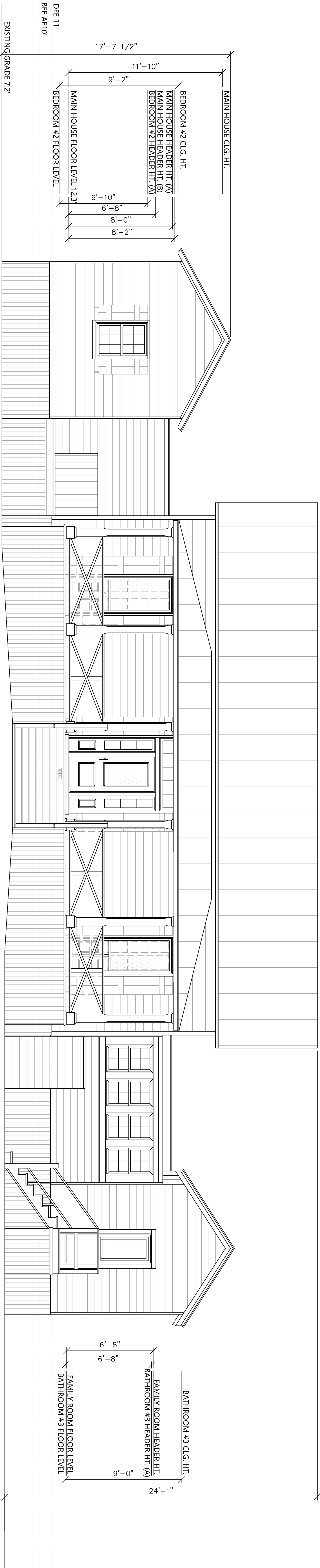
Project  
ADDITION/RENOVATION  
1808 ION AVE, SULLIVAN'S ISLAND, SC  
Sheet Title  
SECTIONS

Date Drawn  
07/17/2025  
Issued for Permit  
B#

Revisions  
No. Date  
No. Date  
No. Date

A5

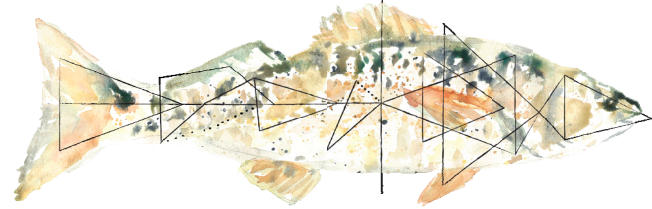




**EXISTING FRONT ELEVATION**  
**SCALE 1/4" = 1'**



**PROPOSED FRONT ELEVATION**  
**SCALE 1/4" = 1'**



THE DRAWING AND ITS DESIGN IS THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF COASTAL CREEK DESIGN. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION IS SUBJECT TO LEGAL ACTION.

COASTAL CREEK DESIGN  
501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION/RENOVATION  
1808 ION AVE, SULLIVAN'S ISLAND, SC  
Sheet Title  
FRONT ELEVATIONS

Date Drawn  
07/17/2025  
Issued for Permit  
B#

Revisions  
No. Date  
No. Date  
No. Date

A6

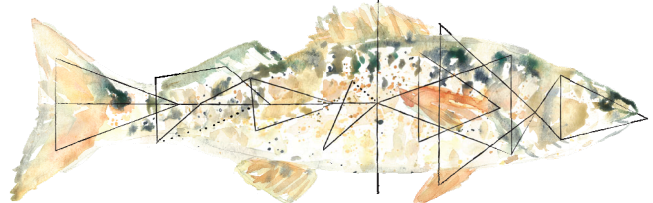




EXISTING RIGHT ELEVATION  
SCALE 1/4" = 1'



PROPOSED RIGHT ELEVATION  
SCALE 1/4" = 1'



COASTAL CREEK DESIGN  
— CHARLESTON, SC —

THE DRAWING AND ITS DESIGN ORIGIN ARE THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DRAWING OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING. PERMISSION IS GRANTED TO THE CLIENT FOR THE USE OF THIS DRAWING FOR THE PROJECT SPECIFICALLY IDENTIFIED IN THE PROJECT TITLE. ANY OTHER USE OF THIS DRAWING IS PROHIBITED AND ANY ACTION TAKEN TO ENFORCE THIS NOTICE SHALL BE SOLELY AT THE CLIENT'S RISK.

©2024 COASTAL CREEK DESIGN

COASTAL CREEK DESIGN

501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION/RENOVATION  
1808 ION AVE, SULLIVAN'S ISLAND, SC

Sheet Title  
RIGHT ELEVATIONS

Date Drawn  
07/17/2025

Issued for Permit

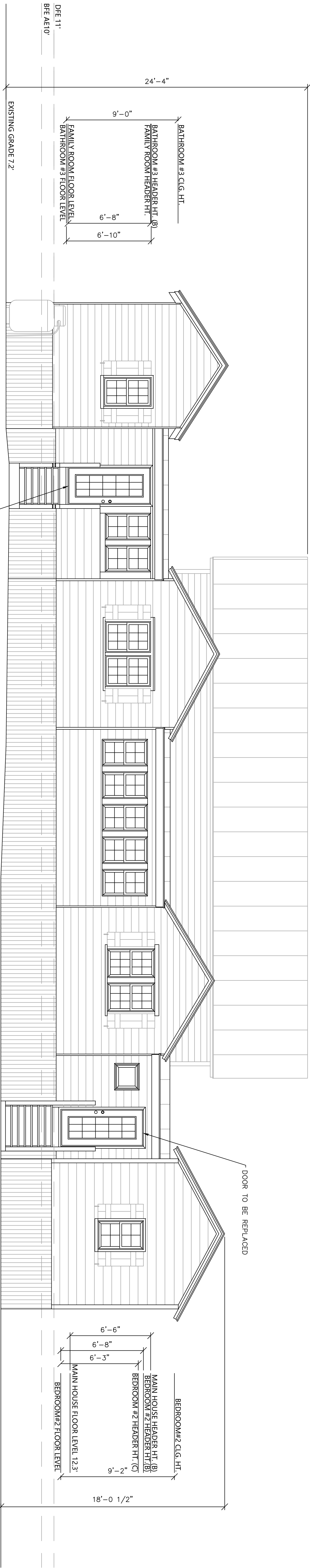
B#

Revisions

No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_

A7





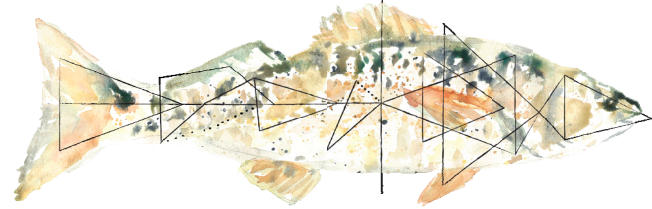
EXISTING REAR ELEVATION

SCALE 1/4" = 1'



PROPOSED REAR ELEVATION

SCALE 1/4" = 1'



THE DRAWING AND ITS CONTENTS ARE THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DRAWING OR ITS CONTENTS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN CONSENT OF COASTAL CREEK DESIGN. ANY UNAUTHORIZED REPRODUCTION OR TRANSMISSION WILL BE SUBJECT TO LEGAL ACTION.

©2024 COASTAL CREEK DESIGN

COASTAL CREEK DESIGN

501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION/RENOVATION  
1808 ION AVE, SULLIVAN'S ISLAND, SC

Sheet Title  
REAR ELEVATIONS

Date Drawn  
07/17/2025

Issued for Permit  
B#

Revisions

No. Date

No. Date

A8

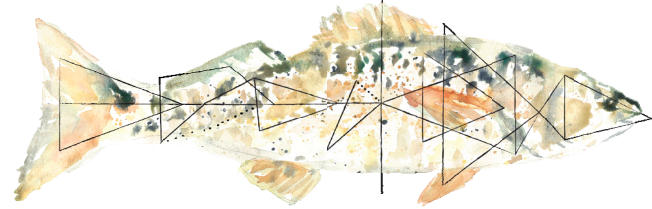




EXISTING LEFT ELEVATION  
SCALE 1/4" = 1'



PROPOSED LEFT ELEVATION  
SCALE 1/4" = 1'



©2024  
COASTAL CREEK DESIGN

THE DRAWING AND ALL DESIGN INFORMATION IS THE PROPERTY OF COASTAL CREEK DESIGN. NO PART OF THIS DRAWING OR DESIGN MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING. PERMISSION IS GRANTED TO THE CLIENT FOR THE USE OF THIS DRAWING FOR THE PROJECT ONLY. ANY OTHER USE IS PROHIBITED. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE DESIGNER SHALL BE SOLELY RESPONSIBLE TO THE CLIENT.

COASTAL CREEK DESIGN

501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION/RENOVATION  
1808 ION AVE, SULLIVAN'S ISLAND, SC

Sheet Title  
LEFT ELEVATIONS

Date Drawn  
07/17/2025

Issued for Permit  
B#

Revisions

No. Date

No. Date

No. Date

A9





©2024  
COASTAL CREEK DESIGN  
THE SCHEMATIC AND EXISTING DRAWINGS  
ARE THE PROPERTY OF COASTAL CREEK DESIGN.  
NO PART OF THIS DOCUMENT MAY BE  
REPRODUCED OR TRANSMITTED IN ANY  
FORM OR BY ANY MEANS, ELECTRONIC  
OR MECHANICAL, INCLUDING PHOTOCOPYING,  
RECORDING, OR BY ANY INFORMATION  
SYSTEM, WITHOUT PERMISSION IN WRITING.  
PERMIT CONSENT IS REQUIRED FOR ANY  
ACTION.

COASTAL CREEK DESIGN  
501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION/RENOVATION  
1808 ION AVE, SULLIVAN'S ISLAND, SC  
Sheet Title  
HOUSE PHOTOS

Date Drawn  
07/17/2025  
Issued for Permit  
B#

Revisions  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_

A10





THIS DOCUMENT IS THE PROPERTY OF COASTAL CREEK DESIGN. IT IS TO BE USED ONLY FOR THE PROJECT AND LOCATION SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN CONSENT OF COASTAL CREEK DESIGN. ANY UNAUTHORIZED USE OF THIS DOCUMENT IS SUBJECT TO LEGAL ACTION.

©2024  
COASTAL CREEK DESIGN

COASTAL CREEK DESIGN  
501 BRAMSON CT, SUITE 100  
MOUNT PLEASANT, SC 29464  
843-514-1790

Project  
ADDITION/RENOVATION  
1808 ION AVE, SULLIVAN'S ISLAND, SC

Sheet Title  
HOUSE PHOTOS

Date Drawn  
07/17/2025

Issued for Permit  
B# \_\_\_\_\_

Revisions  
No. \_\_\_\_\_ Date \_\_\_\_\_  
No. \_\_\_\_\_ Date \_\_\_\_\_

A11