

SULLIVAN'S ISLAND DESIGN REVIEW BOARD

SUBMITTAL APPLICATION (PAGE 1)

PROPERTY ADDRESS: 1808 Len Ave PARCEL ID (TMS #): 529-09-00-002

SUBMITTAL DATE: 07/18/25 MEETING DATE: 08/12/25
 REQUEST: CONCEPTUAL REVIEW: X PRELIMINARY APPROVAL: FINAL APPROVAL:
 DESCRIPTION OF SCOPE OF WORK: Small addition to the rear of the house, continuing existing ridge and adding a new deck at rear.

Submittal outside of the Historic District, not classified historic, and requests DRB relief.

Submittal is outside of the Historic District and designated as a historic resource.

DRB relief requests No DRB requests

X Submittal is within the Historic District and is:

 designated as Historic Resource DRB relief requests No DRB requests

X Not designated as a Historic Resource: X DRB relief requests No DRB requests

DRB SUBMITTAL CHECKLIST: The following items must be included in the submittal for placement on the DRB agenda.

X Application fee (Historic properties: \$116.00; New constructions: \$1,280; Addition/renovations: \$426.60)

X Completes and signed submittal application (Page 1). (All submittals)

X Zoning Standards Compliance Worksheet (Page 2). (All submittals with relief requests)

X Neighborhood Compatibility Worksheet (Page 3). (All submittals with relief requests)

X Historic Design Review Worksheet (Page 4). (All submittals involving a designated Historic Resource)

X Online submittal through BSA; Town of Sullivan's Island online submittal portal.

X Two (2) sets of drawings, no bigger than 11X17"; Drawings to include:

X A current as-built survey, Certified by a S.C. Registered Land Surveyor [1/16" = 1'-0" OR 1" = 20'-0"

Required for all new construction and for work which expands or is outside of an existing building footprint; illustrating the following:

• All applicable Flood Zone information

• Setbacks, property lines and easements

• Spot elevations required to comply with § 21-24

X Site Plan [1/16" = 1'-0" OR 1" = 20'-0" scale], illustrating the following:

• Existing structures, if applicable

• Proposed new structures

X Floor Plans [1/8" = 1'-0" scale], with the following requirements:

• Exterior dimensions

• Graphically depict the outlines of heated space, covered

• In the case of renovations and/or additions, the outlines of existing and new construction must also be shown.

• All applicable survey information

• Narrative for Scope of Work (all Historic projects)

• Detailed descriptions of treatment of all historic materials. (all

Historic projects

Conditional/Optional:

• 3-D perspective sketches and / or models, as well as streetscape renderings that include adjacent properties are always encouraged and

are required for submittals with requests for relief, additional coverage, or additional square footage.

• Any relevant photographs or documentation that might be descriptive (of adjacent properties).

OWNER NAME: Franklin Adams PHONE NUMBER: 843-532-5128

ADDRESS: 1808 Len Ave, Sullivan's Island EMAIL: F.Adams@adamspropertygroup.com

ARCHITECT/DESIGNER: Coastal Creek Design PHONE NUMBER: 843-819-8943

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

CONTRACTOR: Nantux Homes PHONE NUMBER: 843-442-4407

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ADDRESS: 501 Bismarck St, Suite 100, Mount Pleasant EMAIL: joelle@coastalcreekdesign.com

ZONING STANDARDS COMPLIANCE WORKSHEET (PAGE 2)

	Zoning ordinance reference section	Zoning Standard	✓ if meets standard	DRB's Max. authority for relief	applicant request for relief	Percent (%) relief requested	Total allowed + requested relief (SF)	SETBACKS				LOT COVERAGE				DESIGN STANDARDS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																				
								A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																													
	21-22 FRONT SETBACK	25 Feet	✓	15%																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																

* Extending non conforming left side of structure 15 feet. Setbacks varies from 3'8" to 4'8"

NEIGHBORHOOD COMPATIBILITY WORKSHEET (PAGE 3)

Have you reached out to the neighbors to get their feedback on the proposed plans? Yes: ☐ No: ☐

In accordance with the Sullivan's Island Zoning Ordinance, Section 21-111, the DRB shall only grant modifications of the Zoning Ordinance standards if the design is compatible with the surrounding neighborhood. See the DRB application [submital guidance document](#) for additional information for filling in this form. Lot area: 19,600 sf Highland lot area: sf (if applicable)

Principal Building Square Footage (21-27): Existing SF: 1,991 Standard SF: 3,860 Proposed SF: 2,175 Complies with the standard.

Principal Building Coverage (21-25): Existing SF: 1,991 Standard SF: 2,940 Proposed SF: 2,175 Complies with the standard.

Front/Side/2nd-Story Building Setbacks (21-22): Standard, combined Proposed, combined , min N/A

Second Story Side Facade Setback (21-22): Requested relief: N/A

Principal Building Side Facade Setback (21-22): Requested Relief: Requesting 1'-2" of relief (3.06%) for a total wall length of 39'-12". Setback varies from 3'8" to 4'8".

Other (circle any that apply):
Third Story, Principal Building Front Facade, Building Orientation, Building Foundation Height, Foundation Enclosure, or Accessory Structure: N/A

REQUEST FOR HISTORIC DESIGN REVIEW (PAGE 4)

Do you propose any exterior changes to the historic structure? Yes: _____ No: X
If you answered "yes", please provide a detailed explanation and sequence of the work below:

Section 21-97. C Historic Preservation Standards:

Submit in writing and be prepared to describe how your project is consistent with the following ten preservation standards, and the most recent version of the Secretary of Interior's Guidelines for the Treatment of Historic Properties. ****On your elevation drawings show all existing conditions and proposed changes. Detail existing materials and highlight all new and preserved architectural and structural elements.**
<https://www.nps.gov/standards/treatment-guidelines-2017.pdf>

- (a) Using a property as it was used historically or giving a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;
- (b) Retaining and preserving the historic character of a property; avoidance of the removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property; Avoiding changes that create a false sense of historical development, such as adding conjectural features or elements from other buildings;
- (c) Retaining and preserving changes to a property that have acquired historic significance in their own right;
- (e) Preserving distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property;
- (f) Repairing rather than replacing deteriorated historic features; or where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials;
- (g) Utilizing the gentlest means of chemical or physical treatments;
- (h) Protecting and preserving the archaeological resources in place, and if disturbing, mitigation measures will be undertaken;
- (i) Not destroying historic materials, features, and spatial relationships that characterize the property; differentiating the new work from the old and making it compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment; and,
- (j) Undertaking new construction in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

See attached.

(Please use extra sheet as needed)

July 18, 2025

Sullivan's Island DRB

Cdrayton@sullivan's-island-sc.gov

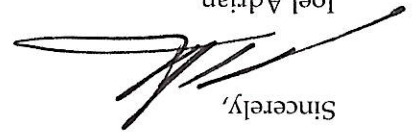
Re. 1808 Iron Ave – Historic Preservation Standards

We are proposing a small addition and deck to the house at 1808 Iron. The addition will extend a non-historic portion of the house. Additionally, we are replacing 2 rear doors with new units to match.

Our design is consistent with the preservation standards as follows:

- a.) The addition consists of a bathroom and closet area for an existing bedroom.
- b.) The design preserves the gable roof, relocates an existing rear window and all materials will match.
- c.) The form remains the same, we are not proposing any change in height or materials.
- d.) The area we are modifying is an addition to the historic house, the front elevation will remain unchanged.
- e.) The construction will be consistent with the previous addition that we are extending.
- i.) We are not altering the shape or materials of the historic house.
- j.) If this small addition and deck were removed the historic house will look exactly as it did prior to the proposed work.

Please contact me if you have any questions.

Sincerely,

Joel Adrian
Coastal Creek Design
843-819-8947