

SUBMISSION IS FOR
HISTORIC HOUSE ONLY



SHEET LIST

A0000	Cover
A000.1	Survey
A100.	Proposed Siteplan
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A113	Existing and Proposed Historic House Elevations

D.R.B Final Historic House
Stella Maris Parish Center . 1204 Osceola

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN. ALSO, THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

I CERTIFY THAT THE PROPERTY SHOWN HEREON IS IN A SPECIAL FLOOD HAZARD ZONE ACCORDING TO FEMA AND HUD FLOOD HAZARD BOUNDARY MAPS.

LINE	TABLE
1	Bearing Distance
1	N 84°49'25" W 19.20'

NOTES:

- PROPERTY APPEARS IN FLOOD ZONE AE, LOT 17 ON FIRM COMMUNITY PANEL NUMBER 45010C038X, MAP REVISED JANUARY 29, 2021.
- THE BEARINGS SHOWN ARE GRID NORTH NAD83 (2011).
- ANYTHING SHOWN OUTSIDE OF THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
- THIS SURVEY IS BASED ON THE REFERENCES SHOWN AND DOES NOT CONSTITUTE A TITLE SEARCH.
- ALL TREES 6" DIAMETER AT BREAST HEIGHT AND LARGER SHOWN HEREON.

LEGEND:

NPM	- NATIONAL PARK BOUNDARY MARKER, FOUND, OLD.
COPCRN	- COPING CORNER, OLD.
MAGFI	- MAGNETIC NAIL FOUND, OLD.
IPFIOT	- 1" OPEN TOP PIPE FOUND, OLD.
IPFIOT	- 2" OPEN TOP PIPE FOUND, OLD.
IPFIOT	- 1" FINCH TOP PIPE FOUND, OLD.
TSOUD	- 1" SOLID FOUND, OLD.
XMARK(S)	- X-MARK SET, NEW.
REMARK(S)	- REMARK SET, NEW.
PP	- POWER POLE.
LP	- LIGHT POLE.
ET	- ELECTRICAL TRANSFORMER.
EIH	- ELECTRIC HAND HOLE.
WV	- WATER VALVE.
WM	- WATER METER.
WMH	- WATER METER HAND HOLE.
TPED	- TELEPHONE FEDESTAL.
SS	- SANITARY SEWER SERVICE.
SSMH	- SANITARY SEWER MANHOLE.
SDGI	- STORM DRAIN GRATE INLET.
SDCB	- STORM DRAIN CATCH BASIN.
RCF	- REINFORCED CONCRETE PIPE.
PHYD	- FIRE HYDRANT.
10" PALM	- 10" PALM DIAMETER AT BREAST HEIGHT.
10" CEDAR	- 10" CEDAR DIAMETER AT BREAST HEIGHT.
10" OAK	- 10" OAK DIAMETER AT BREAST HEIGHT.
2" FLO	- 2" LIVE OAK DIAMETER AT BREAST HEIGHT.
9" 11" HOLLY	- 9" 11" DOUBLE HOLLY DIAMETER AT BREAST HEIGHT.
9" 12" CEDAR	- 9" 12" DOUBLE CEDAR DIAMETER AT BREAST HEIGHT.
9" 7" PEAR	- 9" 7" PEAR CLUSTER DIAMETER AT BREAST HEIGHT.
9" 7" 13" CEDAR	- 9" 7" 13" CEDAR CLUSTER DIAMETER AT BREAST HEIGHT.
CMC	- CREPE MYRTLE CLUSTER.
EL 7.0	- SPOT ELEVATION 7.0' M.S.L. NAVD83.
FEE	- FINISHED FLOOR ELEVATION.
NF	- NOW OR FORMERLY OWNED BY.
R/W	- RIGHT OF WAY.

---	PROPERTY LINE
---	ADJACENT PROPERTY LINE
---	FENCE LINE
---	OVERHEAD POWER LINE
---	BUILDING LINE
---	CENTERLINE OF ROAD
---	UNDERGROUND WATER LINE
---	UNDERGROUND SANITARY SEWER LINE
---	BRICK
---	CONCRETE
---	GRAVEL

TOPOGRAPHIC PLAT

OF LOTS 3, 4, AND 80 (0.90 ACRES), AREA Q, FORT MOULTRIE, LOT 73 (0.75 ACRES), EASTERN SIDE OF LOT 72 (0.56 ACRES) MOULTRIEVILLE, & WESTERN SIDE OF LOT 72 No. 1112 OCEOLA STREET (0.34 ACRES), TOWN OF SULLIVAN'S ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA. PRESENTLY OWNED BY THE BISHOP OF CHARLESTON.

SCALE: 1" = 20'

DATE: MAY 2, 2024
REV: SEPTEMBER 13, 2024

REF: PLAT BK "Y", PG. 045
REF: PLAT BK "W", PG. 112
REF: PLAT BK "D", PG. 189

TMS: 523-07-00-058 (LOTS 3, 4, & 80)
TMS: 523-07-00-063 (LOT 73)
TMS: 523-07-00-064 (EASTERN PART OF LOT 72)
TMS: 523-07-00-065 (WESTERN PART OF LOT 72)

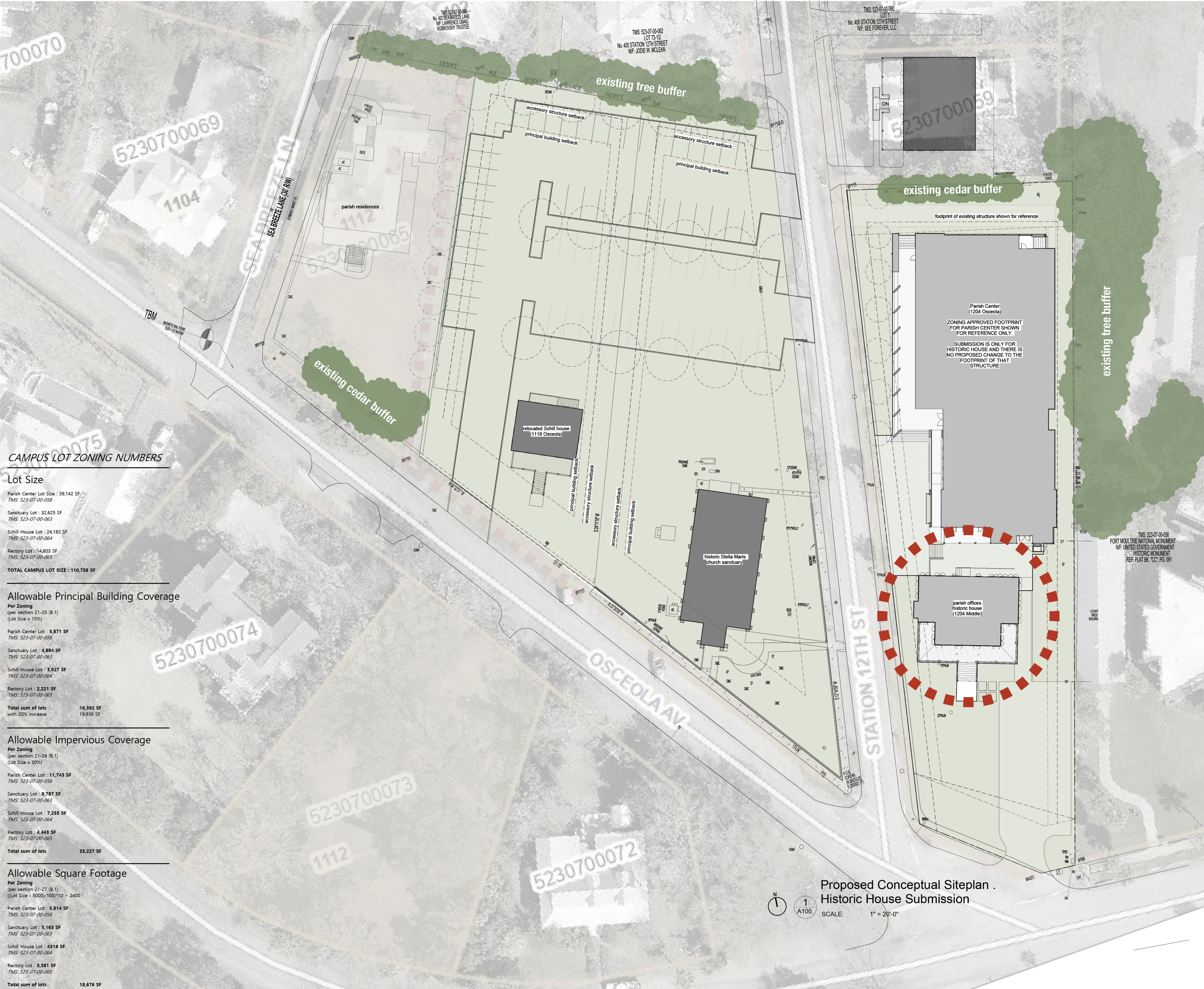
ALEXANDER C. PEABODY, PLS/
PEABODY & ASSOCIATES, INC.
PROFESSIONAL LAND SURVEYING
P.O. BOX 22646, CHARLESTON, SC 29413
OFFICE 843-723-5225 MOBILE 843-270-4847



CHARLESTON COUNTY
SOUTH CAROLINA



NOT TO SCALE



ZONING ANALYSIS

Lot Size

Parish Center Lot Size : 39,142 SF
TMS: 523-07-00-058

Sanctuary Lot : 32,625 SF
TMS: 523-07-00-063

Schill House Lot : 24,182 SF
TMS: 523-07-00-064

Rectory Lot : 14,803 SF
TMS: 523-07-00-065

TOTAL CAMPUS LOT SIZE : 110,758 SF

Parish Campus Designation

Special Exception
Sec. 21-20. Permitted, conditional, special exceptions & prohibited uses

(C3) Special exceptions in the RS-District - Religious Institutions
(a) Limited to one building per lot - existing non-conforming
(b) Housed in a permanent building.
(c) Located on a lot not less than one-half (1/2) acre in area;
(d) Provides off-street location for picking-up and dropping-off adults and children.
(e) Provides adequate off-street parking, in accordance with Article XVI; &
(f) Meets the Setback and lot coverage standards of the RS District - existing non-conforming

Principal Building Coverage

for residential structures

Per Zoning : 5871 SF
(per section 21-25 (B.1)
(Lot Size x 15%)

Parish Center Lot : TMS: 523-07-00-058

EXISTING	12,089 SF (31% of lot 10.9% of Campus)
Parish Center :	10,170 SF
1204 Historic Structure :	1,919 SF

PROPOSED	12,089 SF (31% of lot 10.9% of Campus)
Parish Center :	10,170 SF
1204 Historic Structure :	1,919 SF

Impervious Coverage

for residential structures - no zoning request in submission

Per Zoning : 11,743 SF
(per section 21-26 (B.1)
(Lot Size x 30%)

Parish Center Lot : TMS: 523-07-00-058

EXISTING	20,159 SF (52% of lot)
Parish Center :	10,265 SF
1204 Historic Structure :	2,884 SF
Drives & Walks :	7,010 SF

PROPOSED	20,159 SF (52% of lot)
Parish Center :	10,265 SF
1204 Historic Structure :	2,884 SF
Drives & Walks :	7,010 SF

Allowable Square Footage

for residential structures

Per Zoning : 5,814 SF (max 5,600)
(per section 21-27 (B.1)
(Lot Size - 5000/100)*10 + 2400

Parish Center Lot : TMS: 523-07-00-058

EXISTING	15,146 SF (13.7% of Campus)
Parish Center 1st Floor :	10,170 SF
Parish Center 2nd Floor :	2,545 SF
1204 H.H 1st Floor :	1,919 SF
1204 H.H 2nd Floor :	512 SF

PROPOSED	15,146 SF (13.7% of Campus)
Parish Center 1st Floor :	10,170 SF
Parish Center 2nd Floor :	2,545 SF
1204 H.H 1st Floor :	1,919 SF
1204 H.H 2nd Floor :	512 SF

Required Height

for residential structures - no zoning request in submission

proposed building will comply with the 38' height from natural ground elevation at the center point of the building (SEC 21-24B)

Required Setbacks

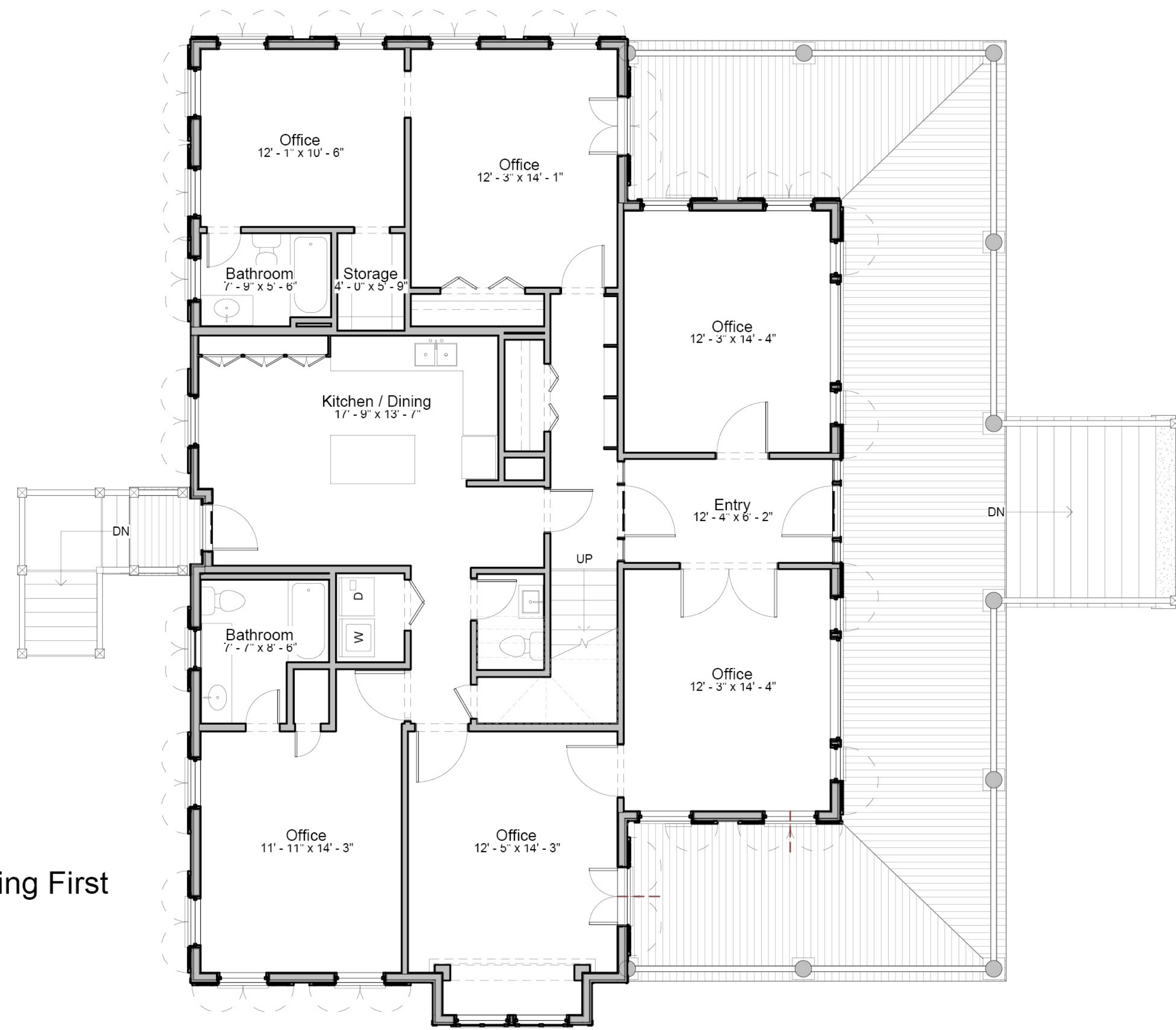
for residential structures

FRONT (south) - no zoning request required	25'
(per section 21-22 (B.1)	
REAR (north) - no zoning request required	25'
(per section 21-22 (D.1)	

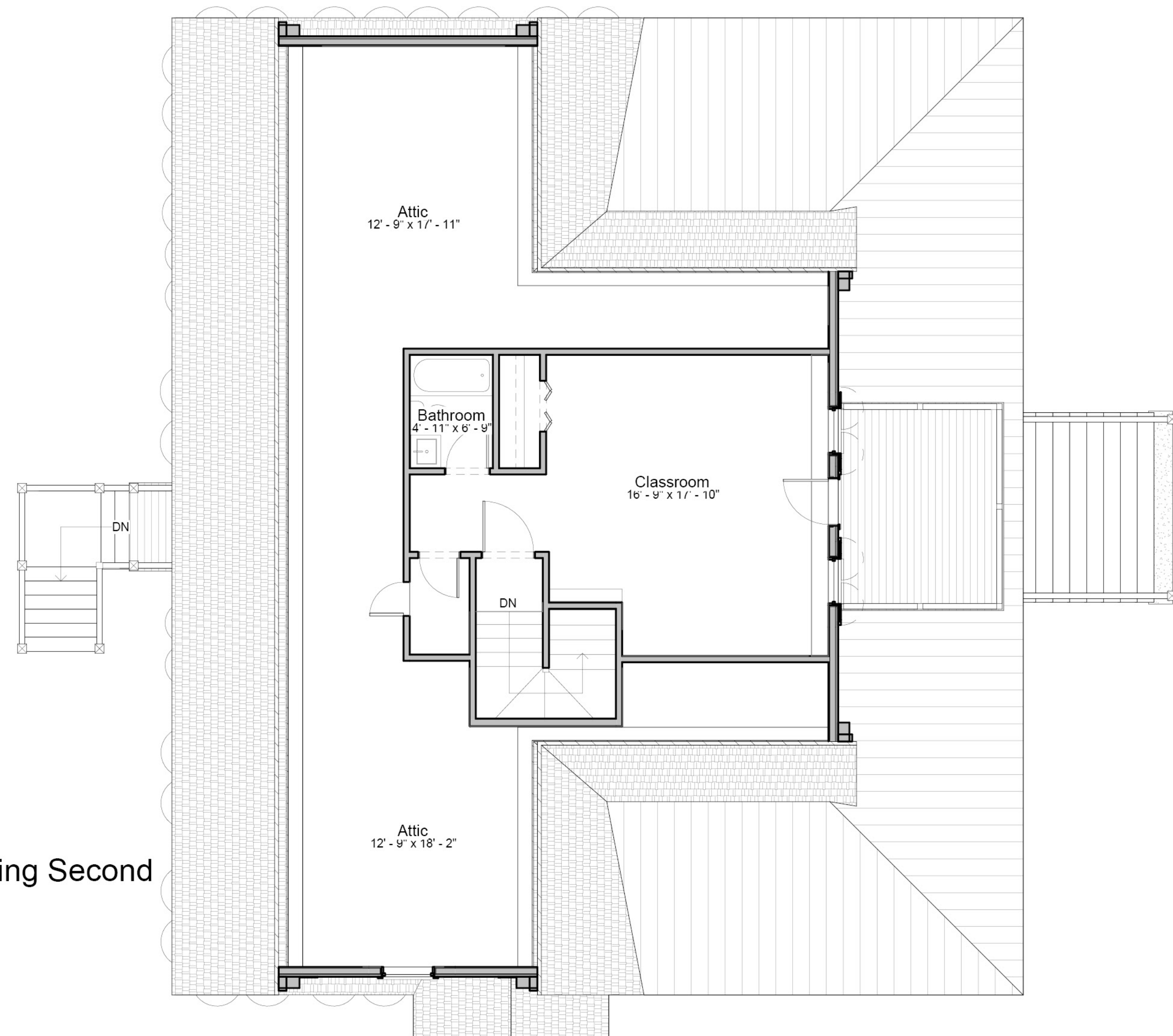
SIDE SETBACKS - 1204 Osceola is a lot of Insufficient width.
proposed structure will comply with existing nonconforming side setbacks as illustrated in submission. Variance requests exemption from Section 21-22 (C) (18.3) | side yard and facade articulation setbacks for residential structures.



1204 Osceola H.H. Existing First Floor Plan.



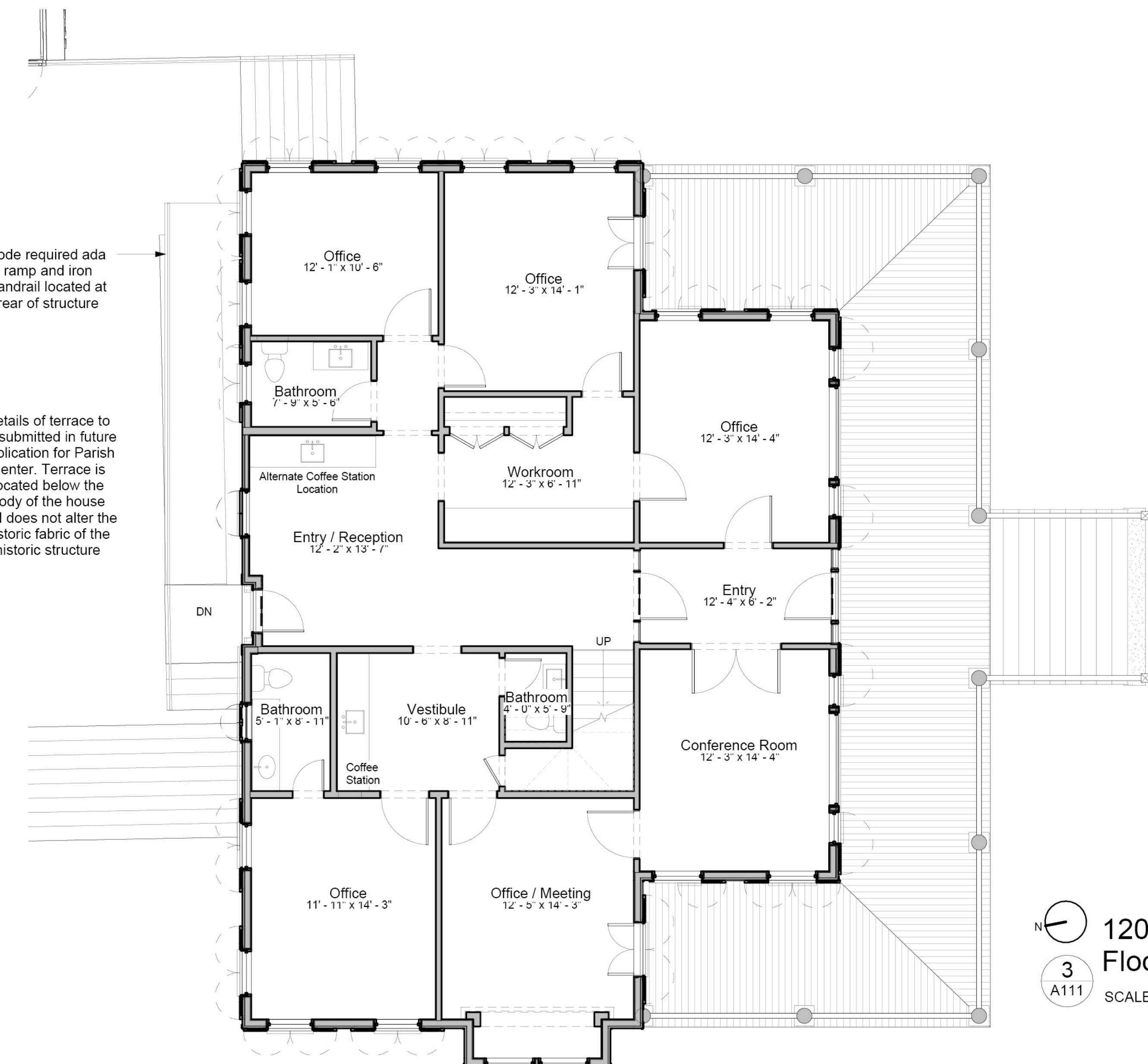
1204 Osceola H.H. Existing Second Floor Plan.



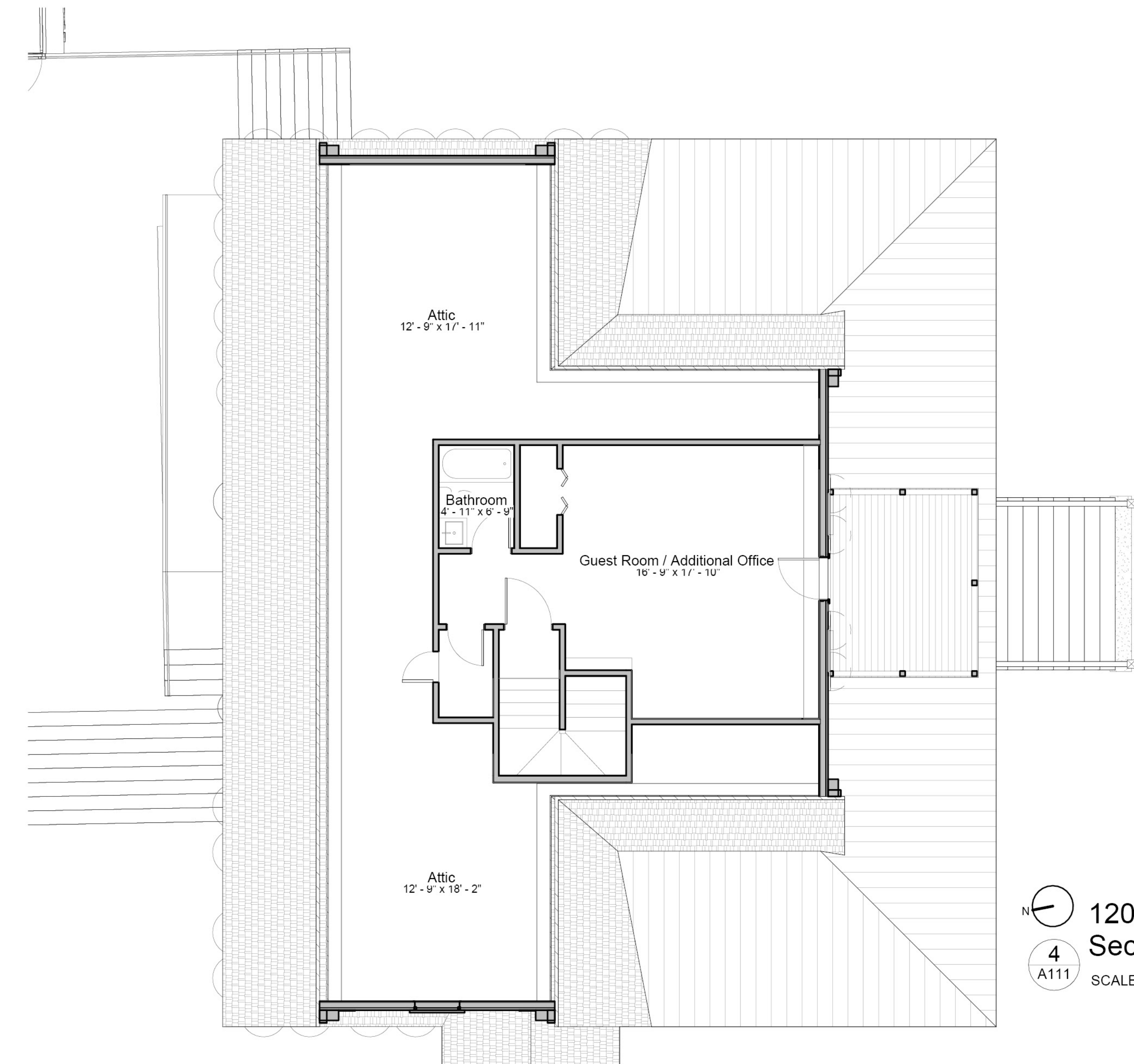
code required ada ramp and iron handrail located at rear of structure

Details of terrace to be submitted in future application for Parish Center. Terrace is located below the body of the house and does not alter the historic fabric of the historic structure

1204 Osceola H.H. Proposed First Floor Plan.



1204 Osceola H.H. Proposed Second Floor Plan.



EXISTING PROPOSED

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Note: These drawings are strictly representations of the existing conditions of the structure and are the result of on site investigations of accessible areas. All dimensions and scaled elements noted herein are for reference only and should be verified by all individuals utilizing these documents for any other purpose.



Existing 1204 Osceola Historic House Side Elev . WEST.

2
A112

SCALE: 1/4" = 1'-0"



Existing 1204 Osceola Historic House Elevation . SOUTH.

1
A112

SCALE: 1/4" = 1'-0"

SEE HISTORIC PRESERVATION GENERAL NOTES FOR REPAIR PROCEDURE AT 1204 MIDDLE STREET HISTORIC HOUSE



Proposed 1204 Osceola Historic House Side Elev . WEST.

3
A112

SCALE: 1/4" = 1'-0"



Proposed 1204 Osceola Historic House Elevation . SOUTH.

4
A112

SCALE: 1/4" = 1'-0"

Historic Preservation General Notes

Per the Secretary of the Interior's Standards for The Treatment of Historic Properties, this project would be defined as a (Preservation, **Rehabilitation**, Restoration, or Reconstruction).

Contractor and all subcontractors shall follow the hierarchy of intervention for rehabilitation as listed below, and shall notify the architect and building official prior to commencement of work if an intervention of 3,4,5, or 6 is necessary and not previously specified

REHABILITATION HIERARCHY OF INTERVENTION

secretary of the Interior's standard for the treatment of historic properties

1. Historic material is preserved in place
2. Historic material is repaired in place using least degree of intervention possible
3. Historic material is replaced in limited sections in kind with the same material
4. Historic material is replaced in limited sections with a compatible architect approved substitute material, which can effectively replicate the appearance of the remaining material features
5. Full replacement of an entire character-defining feature with new material in kind because the level of deterioration or damage of materials precludes repair. If the missing feature is character defining or if it is critical to the survival of the building (e.g., a roof), it should be replaced to match the historic feature based on physical or historic documentation of its form and detailing.
6. Full replacement of an entire character-defining feature with new a compatible substitute material that can reproduce the overall appearance of the historic material

GUIDELINES FOR REHABILITATION

1. The contractor shall provide a written narrative describing the demolition and restoration sequencing. AT NO GIVEN TIME DURING THE RECONSTRUCTION SHALL MORE THAN 50% OF THE EXTERIOR ENVELOPE OF THE HISTORIC STRUCTURE BE REMOVED WITHOUT PRIOR NOTIFICATION AND APPROVAL OF ARCHITECT AND ZONING ADMINISTRATOR.
2. Contractor shall protect all architect identified historic materials.
3. All original external building elements, including but not limited to roofing, siding, trim details, windows, doors, columns, chimneys, brackets, railings, cornices, steps, decorative ornaments, etc. shall remain unless noted and/or approved otherwise.
4. When the physical condition of character defining materials and features warrants additional work contractor shall first try to repair the historic material. Repairs shall begin with the least degree of intervention possible and shall follow the hierarchy of intervention listed above
5. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials.
6. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials should not be used.
7. Refer to page H100 for additional historic rehabilitation general notes

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Existing 1204 Osceola Historic House Side Elev. EAST.

1
A113

SCALE: 1/4" = 1'-0"



Existing 1204 Osceola Historic House Rear Elev. NORTH.

2
A113

SCALE: 1/4" = 1'-0"

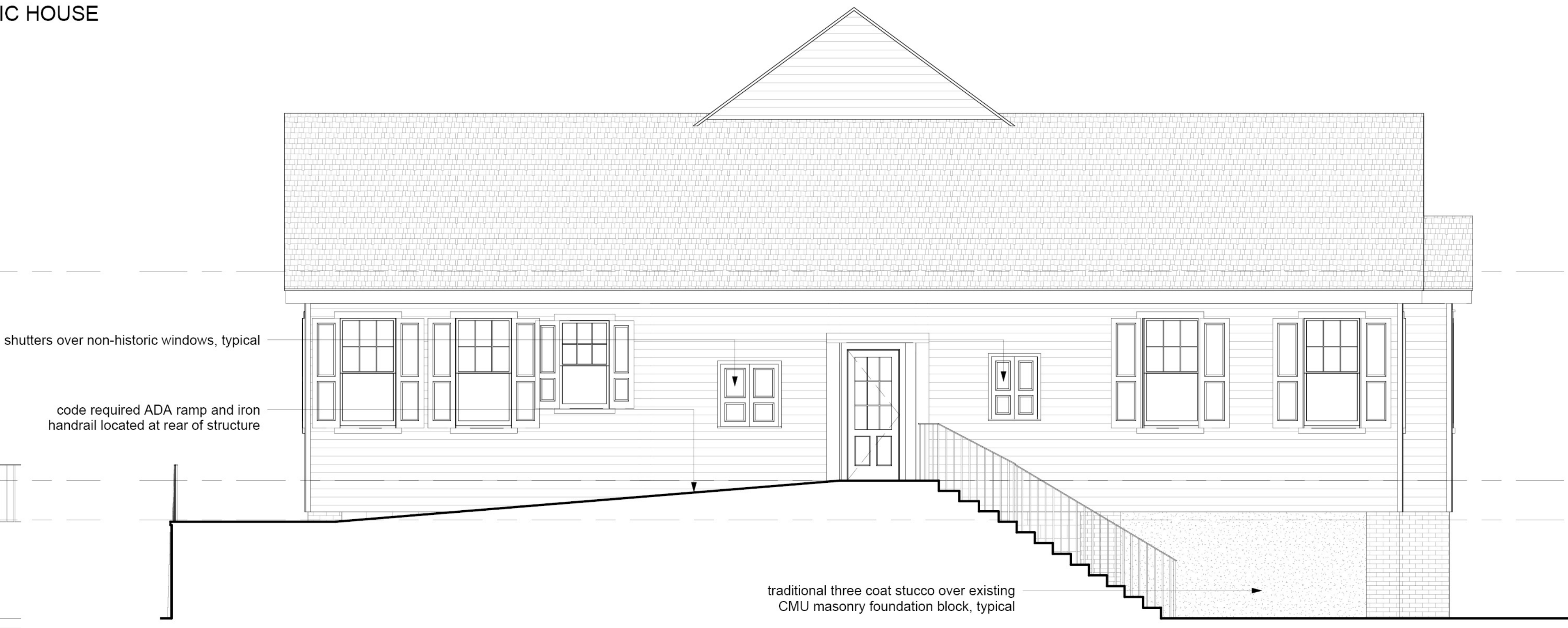
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Proposed - 1204 Osceola Historic House Side Elev. EAST.

4
A113

SCALE: 1/4" = 1'-0"



Proposed - 1204 Osceola Historic House Rear Elev. NORTH.

3
A113

SCALE: 1/4" = 1'-0"

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