

The
CLANCY RESIDENCE

2851 Hon Avenue • Sullivan's Island, SC



Conceptual DRB Submittal
March 21, 2025

DRB REQUESTS	
Conceptual Submittal 03/21/2025	
The following relief is requested:	
• Principal Building Square Footage:..... 15% 3,856 sf	
• Principal Building Coverage:.....20% 2,647 sf	
• Attached Addition:..... 288 sf	
located 20'-0" from Principal Building	

ZONING INFORMATION	
Flood Zone:	AE Elev. 10
FIRM	
Flood Insurance Rate Map	# 45019C-0539-K January 29, 2021
Vertical Datum	NAVD 1988
County Name	Charleston County
Lot Area	14,558 sf
TMS	529-11-00-098
Ref. Plat Book	H-090
Setbacks:	
Front:.....	25 ft.
Rear:.....	25 ft.
Side:.....	Combined 38'-0" (10' min.)

ALLOWABLE COVERAGES	
Principal Bldg Coverage:	
14,558 X .15 =	2,184 sf
+ (15,000-14,558) x .05	22 sf
Allowed:	2,206 sf
Add'l Relief allowed (20%):	441 sf
Actual Total (20 % relief):	2,647 sf
Principal Bldg Sq Footage:	
14,558 -5,000 = 9,558 / 100 =	96 sf
96 x 10 + 2400 =	
Allowed:	3,356 sf
Add'l Relief Allowed (15%):	503 sf
	max. 500 sf
First Floor Plan:	2,647 sf
Second Floor:	1,248 sf
Actual Total (15%):	3,856 sf
Impervious Coverage Area:	
14,558 X .30 =	4,367.4 sf
+ (15,000-14,558) x .05	22 sf
Allowed:	4,389 sf
Footprint (Conditioned):	2,647 sf
Footprint (Unconditioned):	1,742
Actual Total:	4,389 sf
Natural Vegetation:	
Minimum Required	7,279 sf (50%)
Pervious Driveway	1,278 sf
Impervious + Pervious	5,641 sf
Total Natural Vegetation:	8,917 sf (61%)

Architectural Drawings

T100 Title Sheet/ Drawing Index

Existing Survey	
C100	Proposed Site Plan
C101	PBSF Site Plan
C102	Impervious Coverage Site Plan
C103	PBC Site Plan
C104	Contextual Site Plan
A100	Ground Floor Plan
A101	First Floor Plan
A102	Second Floor Plan
A200	North Elevation
A201	West Elevation
A202	South Elevation
A203	East Elevation

Architect

Herlong Architects
Sullivan's Island, SC
(843) 883-9190



Date		3/21/25			
Issued For		Conceptual DRB Submittal			
No.	1				
The Clancy RESIDENCE 2851 Hon Avenue, Sullivan's Island SC					
Plot Date	3/21/25				
Project No.	2021-26				
Drawing Title	Title Sheet				
Drawing No.	T100				

LEGEND:

- CMF CONCRETE MONUMENT FOUND 4"
○ IS 5/8" RBS (REBAR SET)
● IF (IRON FOUND) SIZE/TYPE NOTED
▲ PK NAIL SET
△ PK NAIL FOUND
⊗ WATER VALVE
⊗ WATER METER
⊠ ELECTRICAL TRANSFORMER
⊠ ELECTRICAL BOX
⊕ TELEPHONE BOX
+ SPOT ELEVATION
⊙ POWER POLE
⊙ SEWER CLEANOUT - SEWER TAP
— SS — NON-VERIFIED SANITARY SEWER
— — ADJACENT LOT LINE
— X — FENCE
— T — TELEPHONE
— OP — OVERHEAD POWER
— W — WATER LINE
— — LOT LINE
* PAL PALMETTO
⊙ OAK
⊙ LO LIVE OAK

NOTES:

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR.

THE SURVEY SHOWN HEREON REFLECTS THE ABOVE RECORDED REFERENCES.

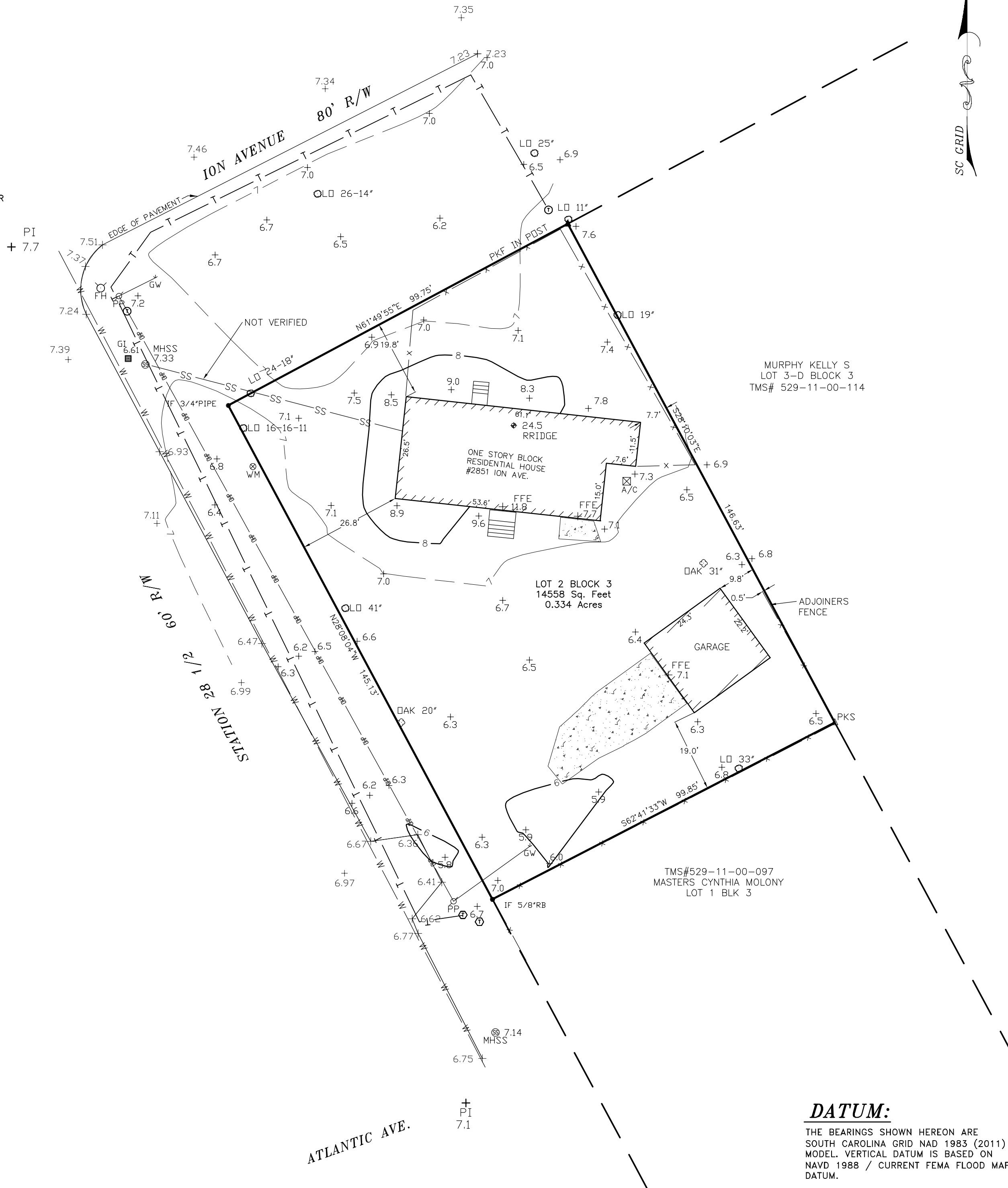
BUILDING SETBACKS SHOULD BE VERIFIED BY THE GOVERNING BODY PRIOR TO ANY DESIGN OR CONSTRUCTION.

REFERENCE:

- 1) PLAT RECORDED IN PLAT BOOK H AT PAGE 90.
- 2) DEED BOOK 1228 AT PAGE 264.

FLOOD NOTE:

THIS LOT IS SITUATED IN A FLOOD ZONE AE 10 AS PER SCALING FROM FEMA F.I.R.M. MAP NUMBER 45019C 0539K DATED REVISED JANUARY 29, 2021.

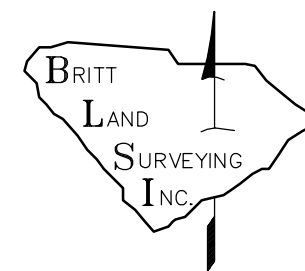


DATUM:

THE BEARINGS SHOWN HEREON ARE SOUTH CAROLINA GRID NAD 1983 (2011) MODEL. VERTICAL DATUM IS BASED ON NAVD 1988 / CURRENT FEMA FLOOD MAP DATUM.



LOCATION MAP N.T.S.



BRITT LAND SURVEYING, INC.
P.O. BOX 80333
CHARLESTON, SC 29416
843-810-6771
WWW.BRITTSURVEYINGINC.COM



I Dean L. Britt A Registered Professional Land Surveyor in the State of South Carolina certify to owner(s) shown hereon that this survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceed the requirements for a class ____ survey as specified therein.

Date: / /

DEAN L. BRITT PLS S.C. REG. NO. 15792

SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.

SCALE: 1" = 20'



PLAT OF:
AS-BUILT SURVEY SHOWING LOT 2 BLOCK 3
MARSHALL RESERVATION
PREPARE FOR:
Donna Clancy
LOCATED IN THE TOWN OF SULLIVANS ISLAND
CHARLESTON COUNTY - SOUTH CAROLINA

THIS SURVEY IS THE PROPERTY OF BRITT LAND SURVEYING, INC., AND IS PROVIDED AS A SERVICE TO Donna Clancy. THIS SURVEY IS NOT FOR THE USE OF MARKETING, NOR IS IT TRANSFERABLE / SELLABLE, AND IS ONLY INTENDED FOR THE NAME SHOWN HEREON.

LOCATION: 2851 ION AVENUE - 29485

TAX MAP # 529-11-00-098

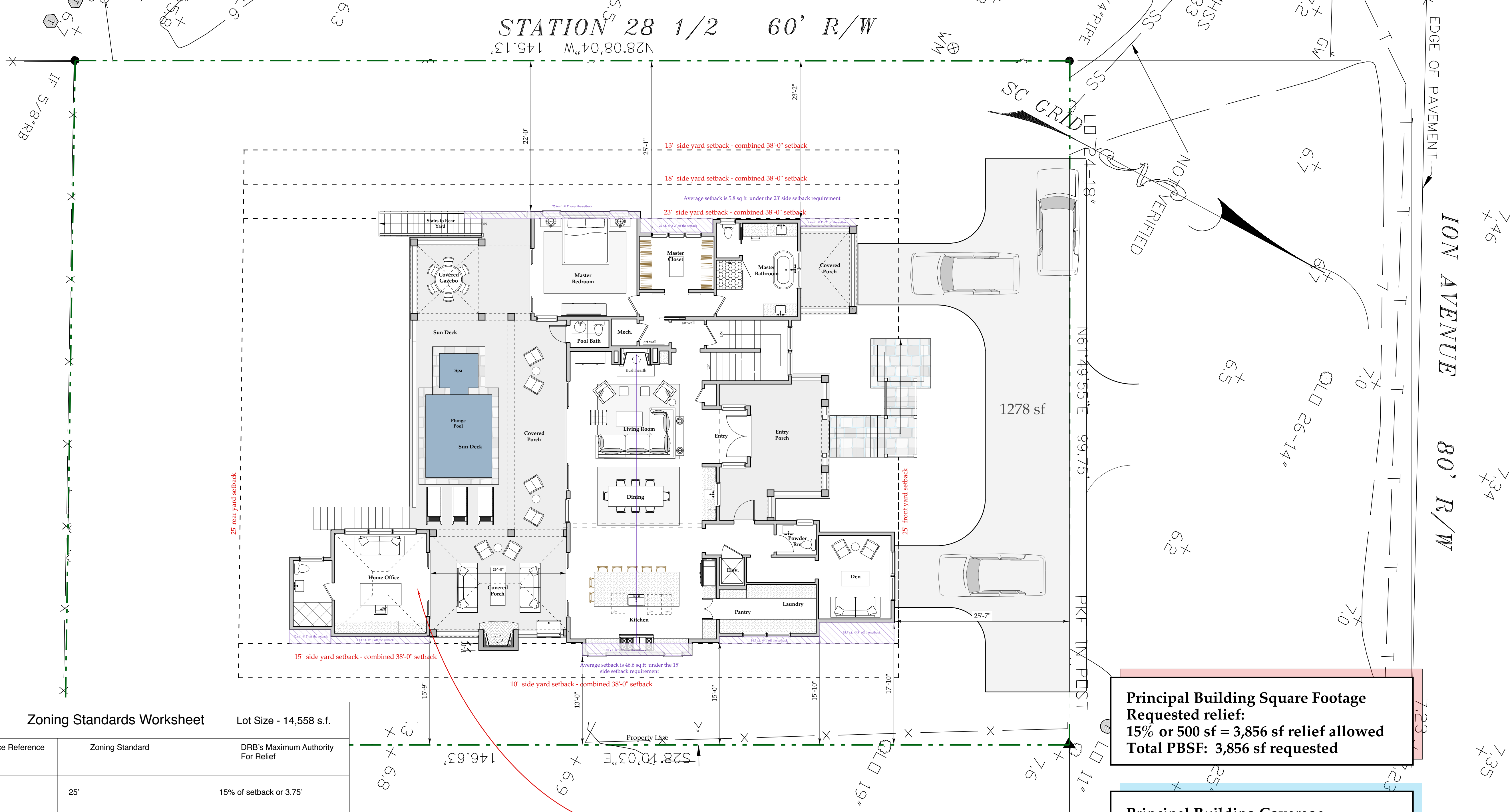
DATE: February 28, 2025

FIELD DATE: MARCH 14, 2024

JOB NO. 254115

COUNTY/STATE CHARLESTON, S.C.

2851 Ion Ave. Zoning Standards Worksheet Lot Size - 14,558 s.f.		
Zoning Ordinance Reference Section	Zoning Standard	DRB's Maximum Authority For Relief
Front Yard Setback	25'	15% of setback or 3.75'
Additional Front Yard Setback	45 deg. Above 20'	
Principal Building Front Facade	50' or 2/3 buildable lot width	
Side Yard Setback	Combined 40' per ordinance The required side yard setback may be reduced by 1/3 of a foot for each foot by which the lot width is less than 105'	38' of side setback total
Secondary Side yard setback requirements	Ground and first fl elements not to exceed 38' in length Second fl elements not to exceed 32'	DRB can grant 25% relief
Rear Setback	25'	No DRB relief
Principal Building Coverage 15% of Lot Area	2,205.8 s.f. Based on lot size	20% or 441 s.f. Total 2,647 s.f.
Impervious Coverage 30% of Lot Area	4,389 s.f. Based on lot size 50% of lot area to remain naturally vegetated. - 7,279 s.f.	Grass pavers are only relief (25%)
Principal Building Square Footage	3,356 s.f. Based on lot size	15% (503) s.f. and not to exceed 500 s.f. Total 3,856 s.f.
Building Orientation	NA	
Building Foundation Height	3' above BFE	1 additional foot
Accessory Structure	Max. Height 18' Pool and decking 20' behind front facade 10' Setback to side lot line or 30' to pavement @ rear lot line	40%
Driveway Access	1 per Lot	



Principal Building Square Footage
Requested relief:
15% or 500 sf = 3,856 sf relief allowed
Total PBSF: 3,856 sf requested

Principal Building Coverage
Requested relief:
20% or 441 sf =
Total PBC: 2647 sf requested

Impervious Coverage
Total: 4,389 sf

Pervious driveway: 1278 sf

Total: 5,641 sf

Natural Vegetation
Total: 8,917 sf (61%)

1 Site Plan
Scale: 1/8" = 1'-0"
Drawings Not to be Scaled

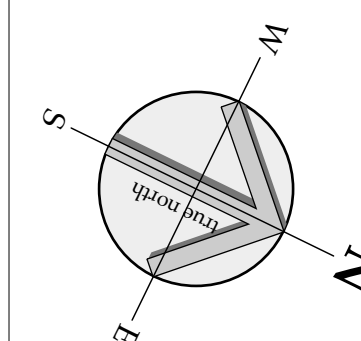


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2851 Ion Avenue, Sullivan's Island SC

C101

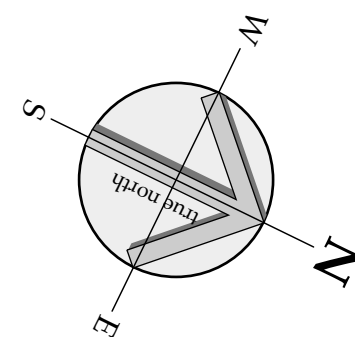
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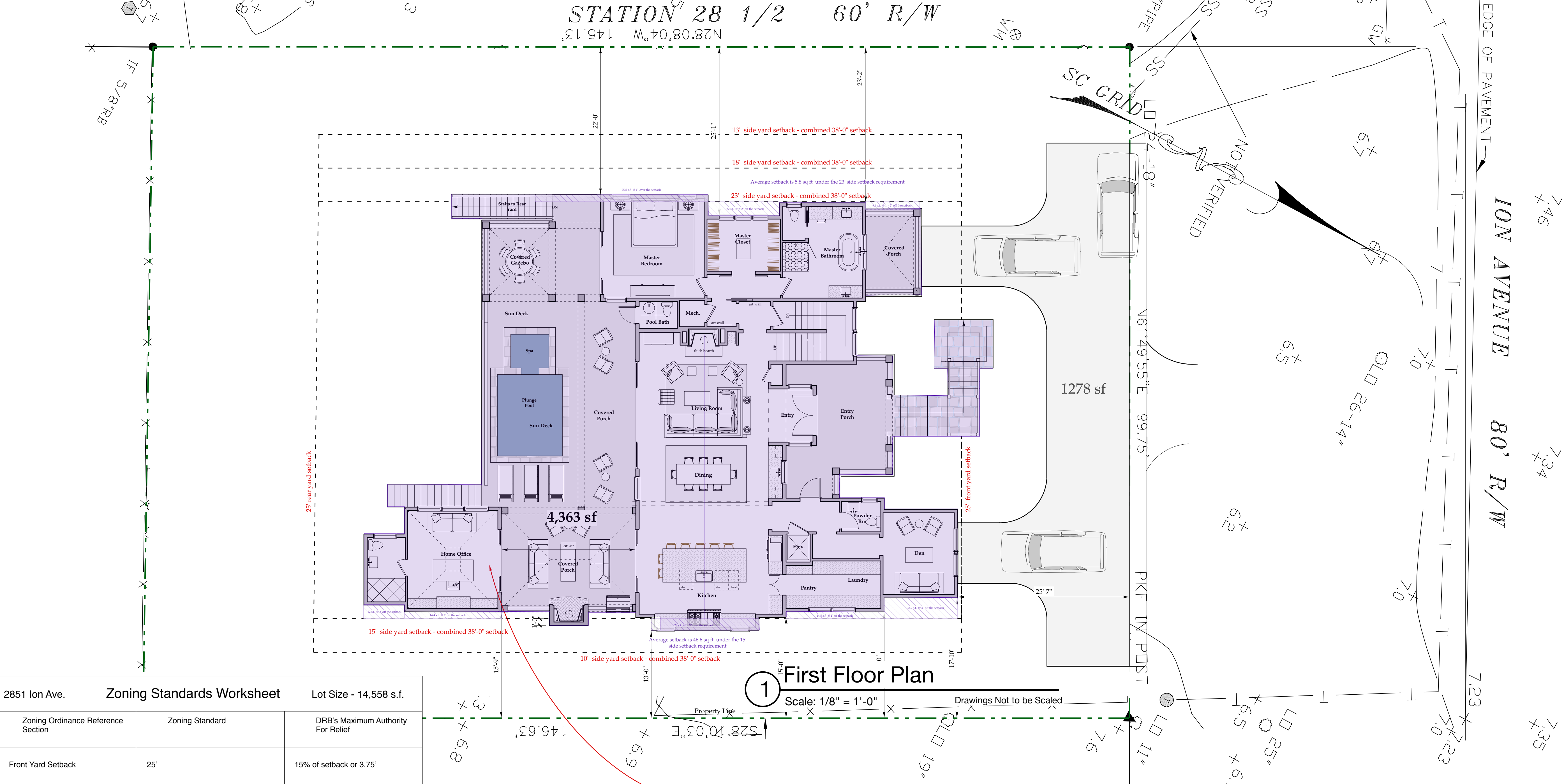
No.	Issued For	Date
1	Conceptual DRB Submittal	3/21/25

The Clancy RESIDENCE
2851 Ion Avenue, Sullivan's Island SC

Plot Date	3/21/25
Project No.	2021-26
Drawing Title	Impervious Coverage Site Plan
Drawing No.	C102



2851 Ion Ave. Zoning Standards Worksheet Lot Size - 14,558 s.f.		
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Accessory Structure	Max. Height 18' Pool and decking 20' behind front facade	40% 10' Setback to side lot line or 30' to pavement @ rear lot line
Driveway Access	1 per Lot	



Impervious Coverage
Total: 4,389 sf
Meets Zoning Standard

Pervious driveway: 1278 sf
Total: 5,641 sf

Natural Vegetation
Total: 8,917 sf (61%)

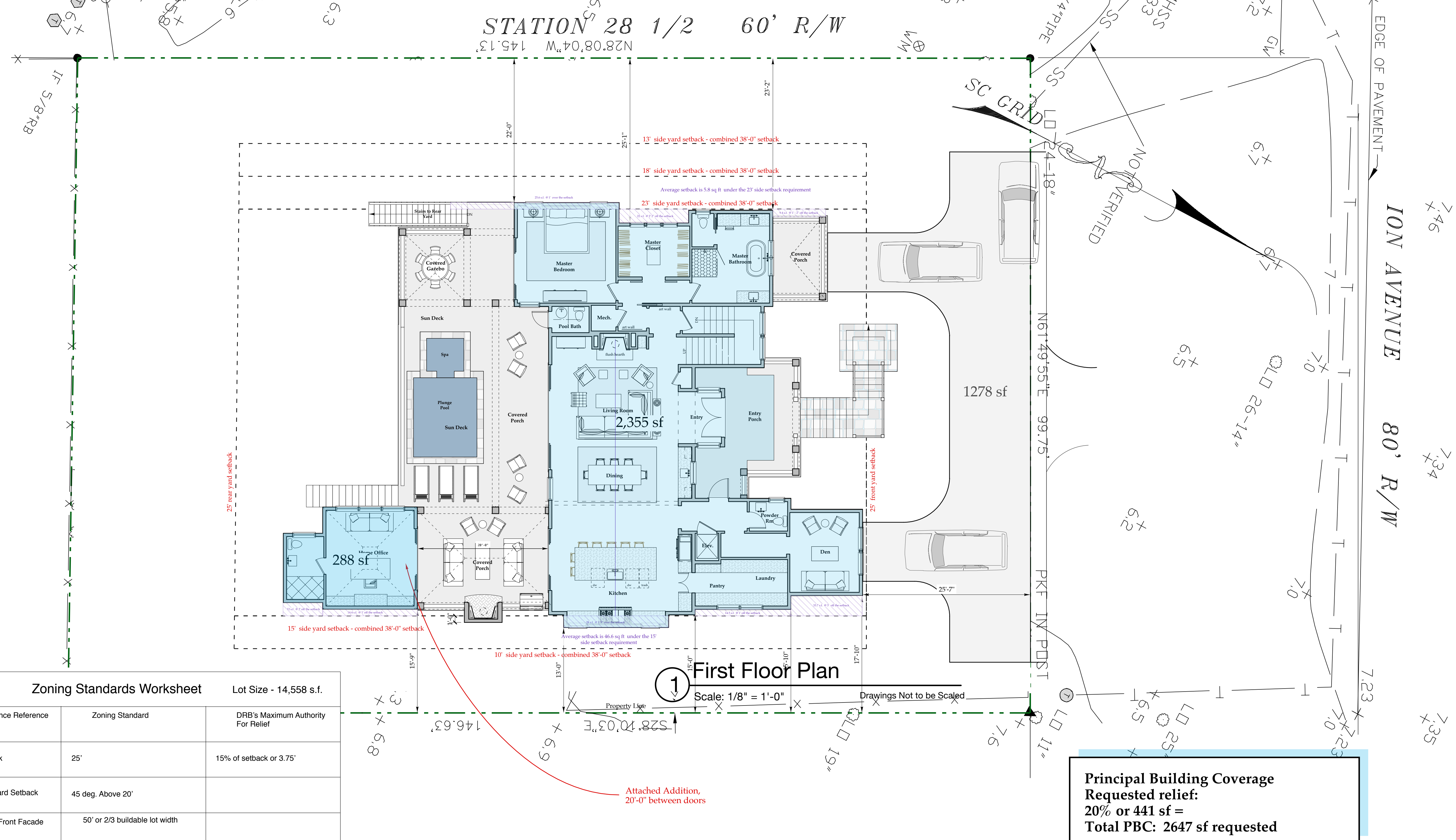
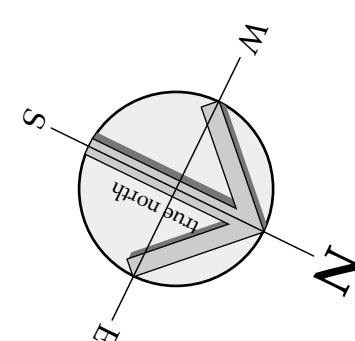


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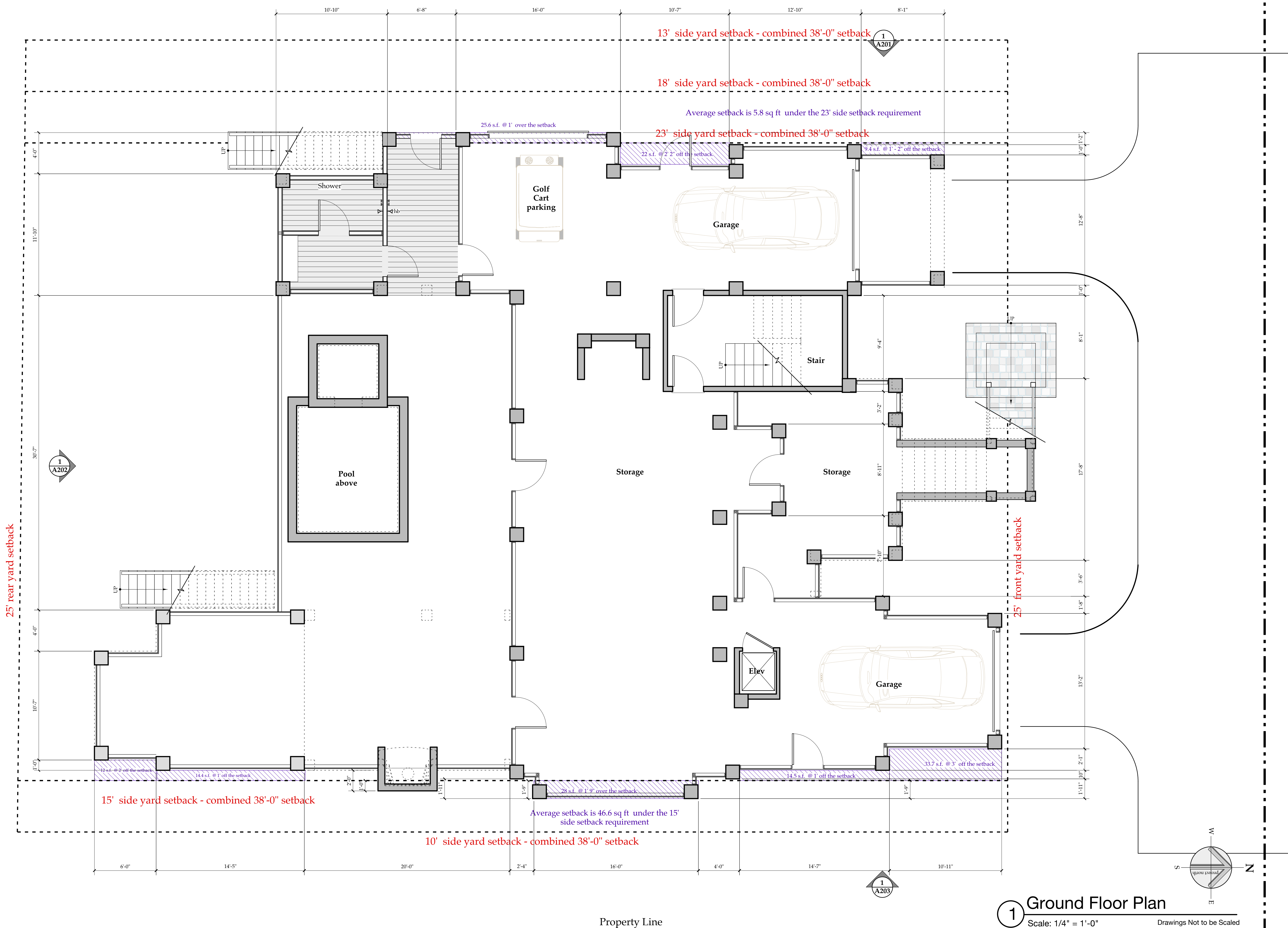
The
Clancy
RESIDENCE

2851 Ion Avenue, Sullivan's Island SC

C103



2851 Ion Ave.		Zoning Standards Worksheet		Lot Size - 14,558 s.f.
Zoning Ordinance Reference Section		Zoning Standard		DRB's Maximum Authority For Relief
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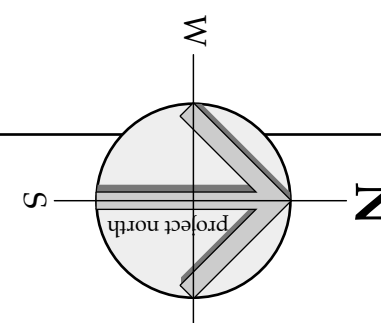


No.	Issued For	Date
1	Conceptual Design Review	

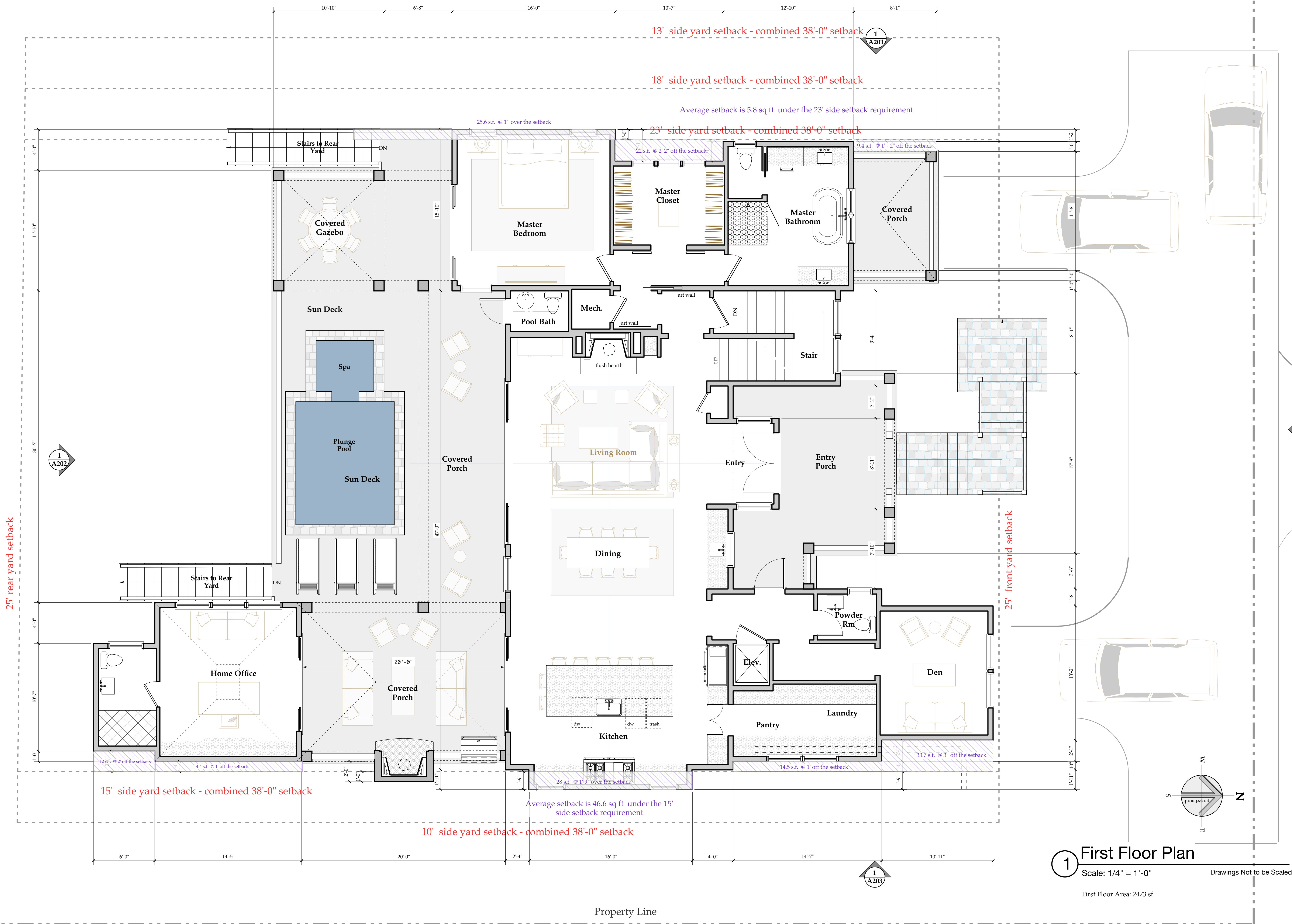
The Clancy RESIDENCE
28511on Avenue, Sullivan's Island SC

Plot Date: 3/21/25
Project No.: 2021-26
Drawing Title: Ground Floor Plan
Drawing No.: A100

1 Ground Floor Plan
Scale: 1/4" = 1'-0"
Drawings Not to be Scaled



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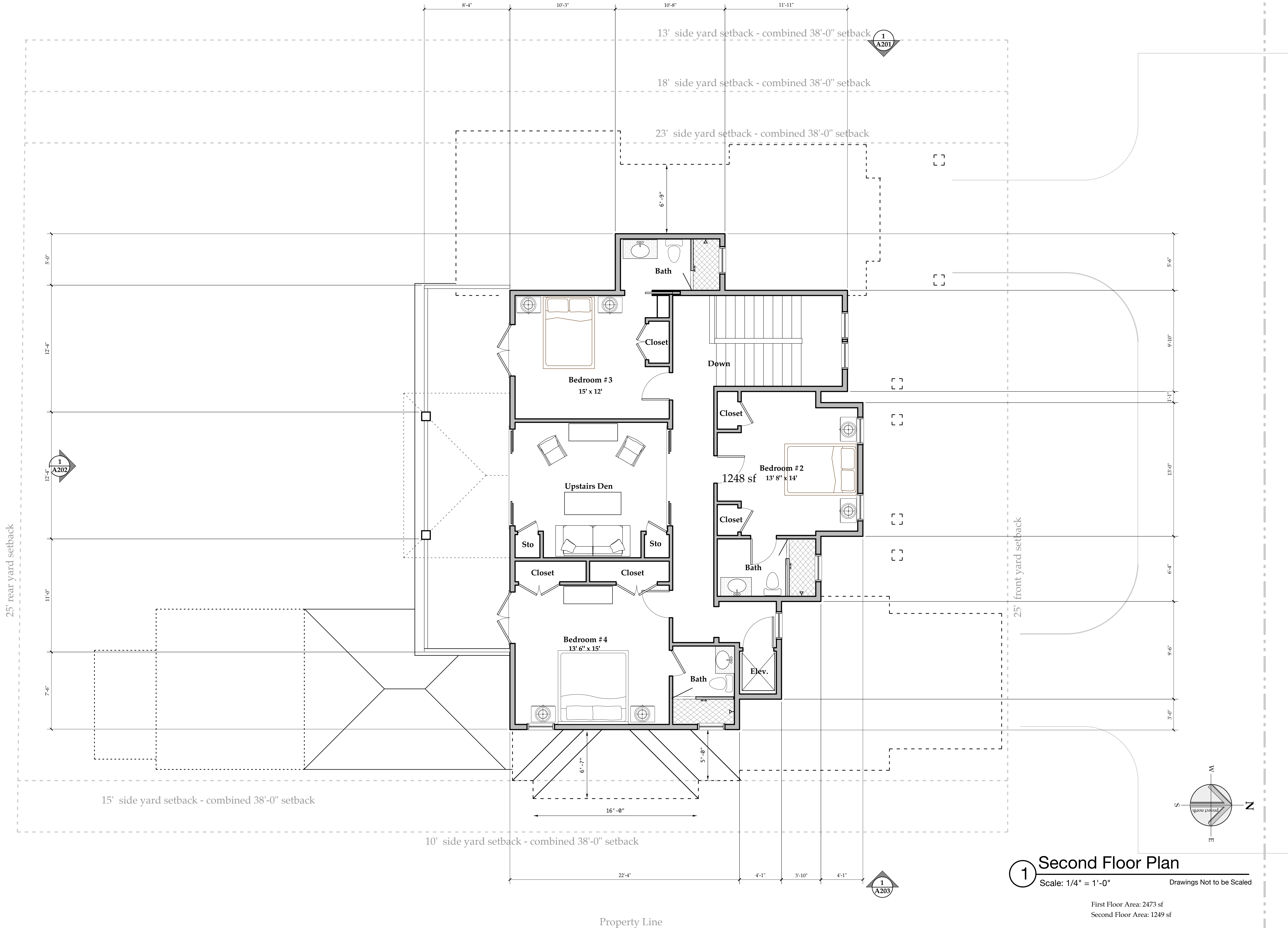


1 First Floor Plan

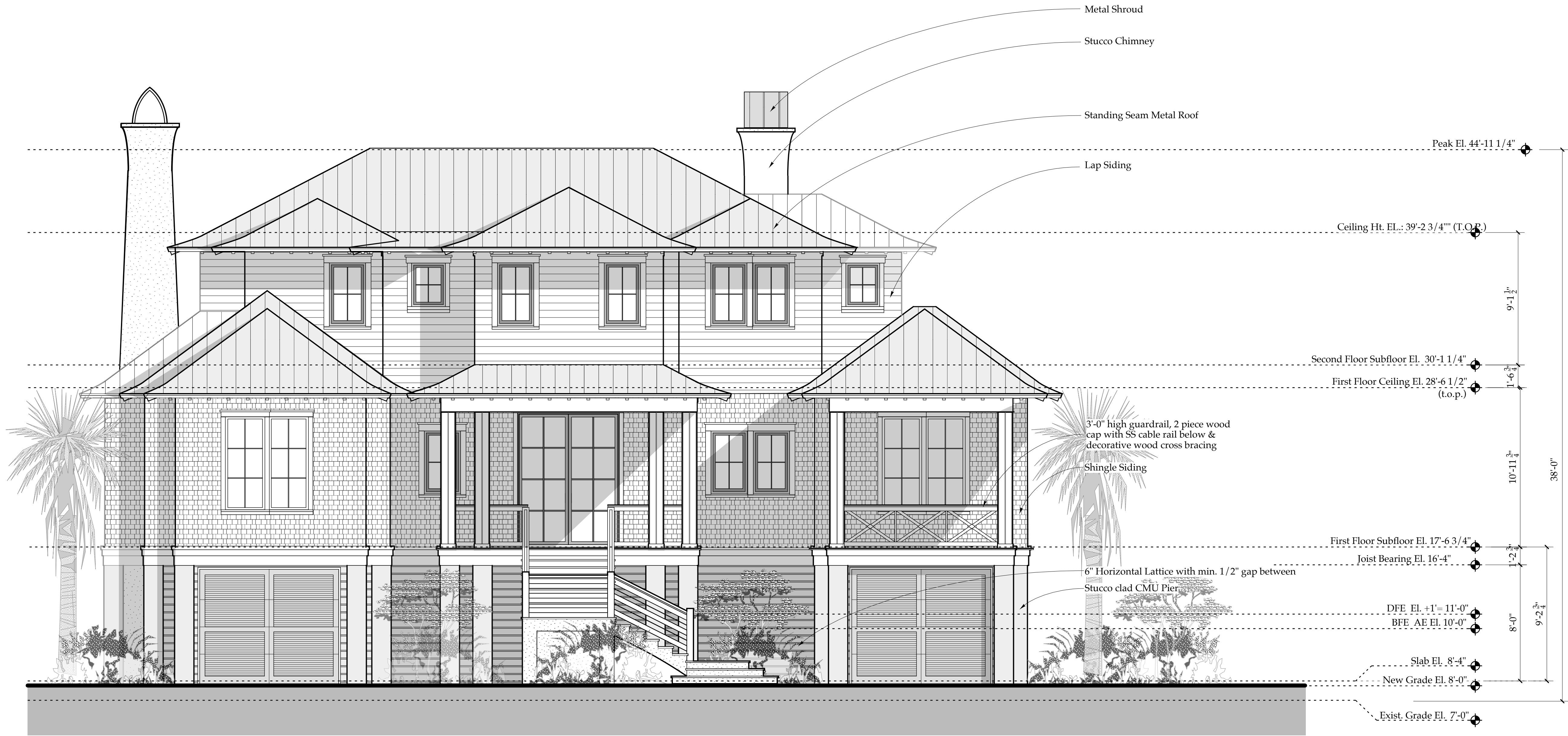
Scale: 1/4" = 1'-0" Drawings Not to be Scaled

First Floor Area: 2473 sf

[illegible]



The Clancy RESIDENCE		28511on Avenue, Sullivan's Island SC	
No.	Issued For	Date	
1	Conceptual Design Review		
Plot Date		3/21/25	
Project No.		2021-26	
Drawing Title		Second Floor Plan	
Drawing No.		A102	



1

North Elevation

Scale: 1/4" = 1'-0"

Drawings Not to be Scaled

No.	Issued For	Date
1	Conceptual DRB Submittal	3/21/25

The Clancy RESIDENCE 28511on Avenue, Sullivan's Island SC	Plot Date	3/21/25
	Project No.	2021-26
	Drawing Title	East Elevation
	Drawing No.	A200

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1 West Elevation

Scale: 1/4" = 1'-0" Drawings Not to be Scaled

No.	Issued For	Date
1	Conceptual/DRB Submittal	3/21/25
The Clancy RESIDENCE		
28511on Avenue, Sullivan's Island SC		
Plot Date 3/21/25		
Project No. 2021-26		
Drawing Title		
North Elevation		
Drawing No.		
A201		



1

South Elevation

Scale: 1/4" = 1'-0"

Drawings Not to be Scaled

No.	Issued For	Date
1	Conceptual DRB Submittal	3/21/25

The Clancy RESIDENCE 28511on Avenue, Sullivan's Island SC	Plot Date	3/21/25
	Project No.	2021-26
	Drawing Title	West Elevation
	Drawing No.	A202

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1 East Elevation

Scale: 1/4" = 1'-0" Drawings Not to be Scaled

<div> <div> The Clancy RESIDENCE </div> <div> 2851 Ion Avenue, Sullivan's Island SC </div> </div>		3/21/25
Plot Date		3/21/25
Project No.	2021-26	
Drawing Title	South Elevation	
Drawing No.	A203	
No.	Issued For	Date
1	Conceptual DRB Submittal	3/21/25