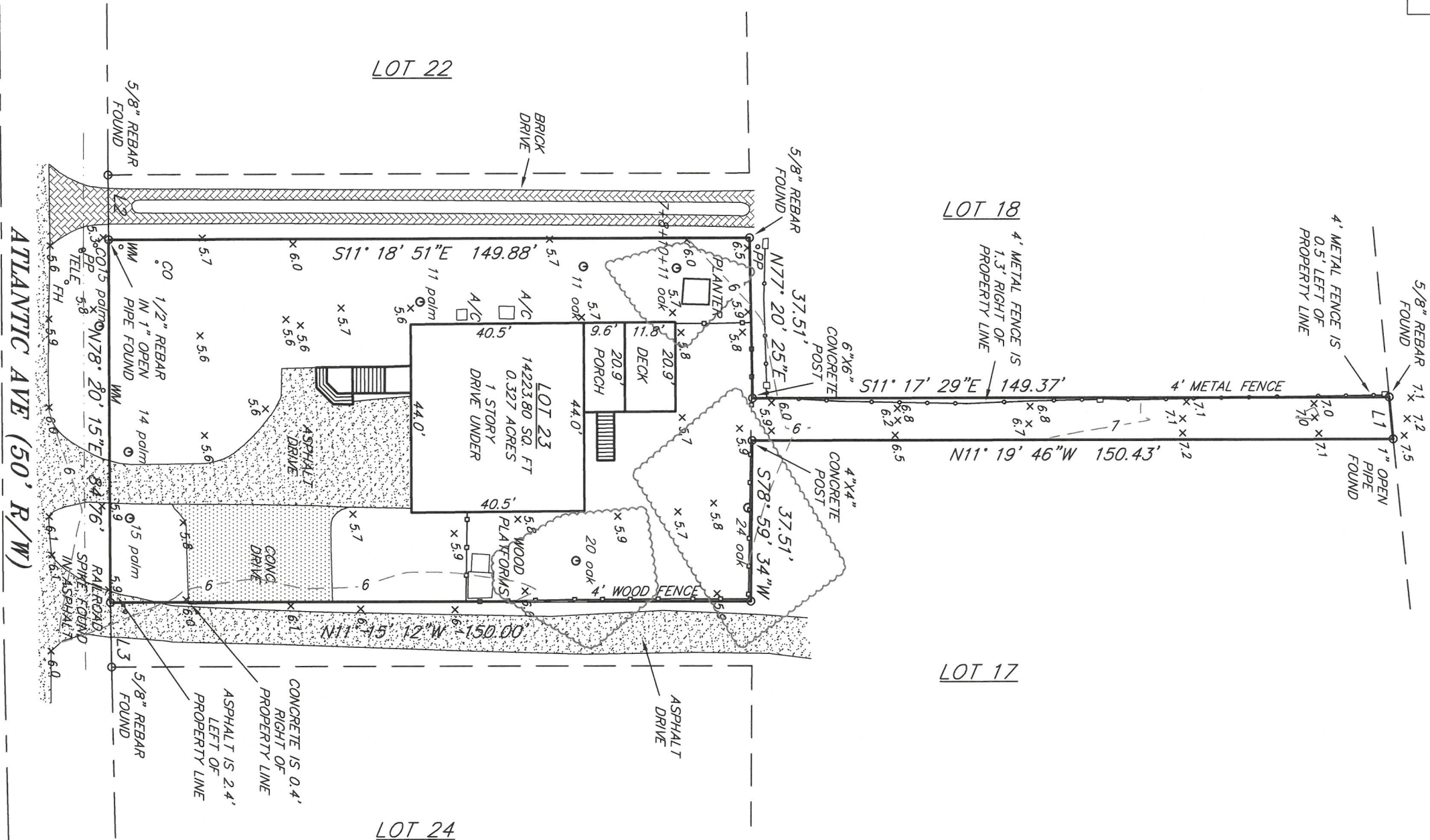
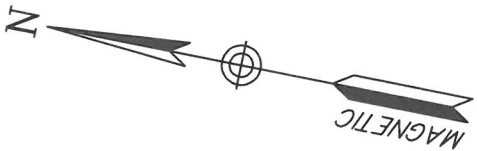
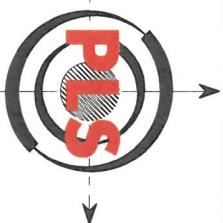


LINE TABLE		
LINE	DIRECTION	LENGTH
L1	N72° 46' 33"E	9.86
L2	S78° 03' 52"W	15.20
L3	S77° 33' 05"W	15.10

BENCHMARK:
ELEV. = 6.59' (NAVD 1988)
DESCRIPTION: MAG NAIL EDGE
OF ASPHALT AT 1753 ATLANTIC
NEAR RIGHT OF PROPERTY AT
DO NOT ENTER SIGN



1763

ATLANTIC AVE (50' R/W)

SURVEYED FOR COTESWORTH SIMONS
SITE SURVEY SHOWING LOT 23, AREA E
FORT MOULTRIE SUBDIVISION, TMS# 523-12-00-029

LOCATED IN THE TOWN OF SULLIVANS ISLAND, CHARLESTON COUNTY, SC

SCALE: 1" = 30'

DATE: OCTOBER 21, 2021

REFERENCE: PLAT RECORDED IN PLAT BOOK H, PAGE 112

LOT MAY BE SUBJECT TO EASEMENTS AND RESTRICTIONS

NOT OBVIOUS OR APPARENT TO THE SURVEYOR.

PROPERTY APPEARS TO LIE IN FLOOD ZONE AE (ELEV. 9')

45019C 0538 K, EFFECTIVE JANUARY 29, 2021

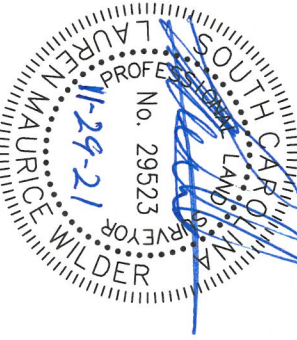
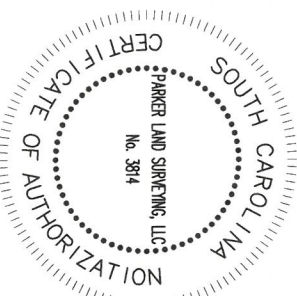
SIFM-023-SS/LLK FEMA REVISION CHECK: 11/10/21

LAUREN MAURICE WILDER S.C.P.L.S. No. 29523

5910 GRIFFIN STREET, HANAHAN, SC 29410

TEL: (843) 554-7777 FAX: (843) 554-7779

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY
SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL
FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS B SURVEY AS
SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

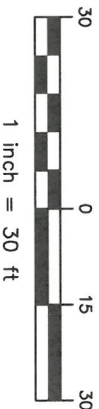


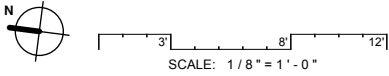
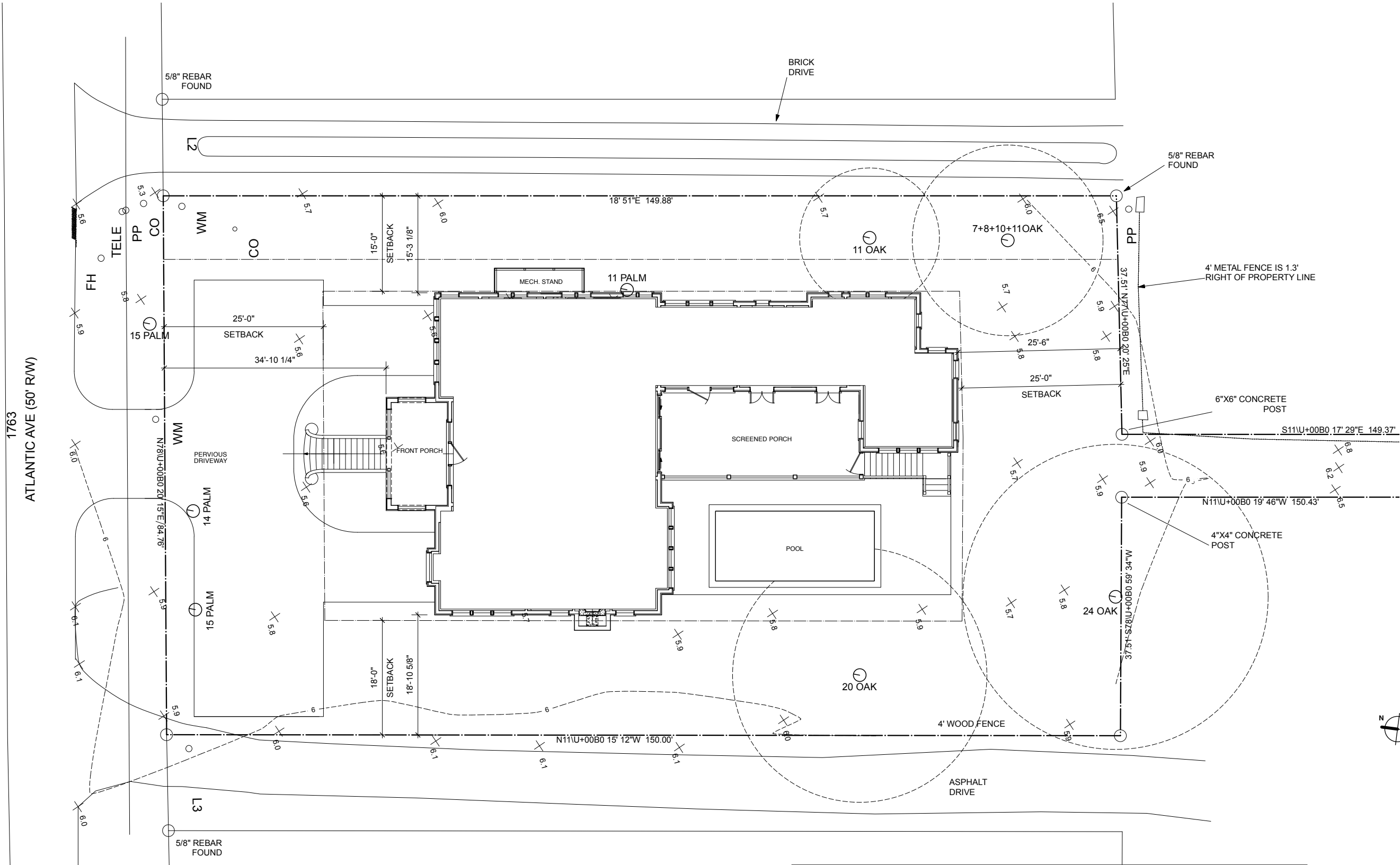
SPOT ELEVATIONS AND CONTOURS
ARE BASED ON NAVD 1988

THIS SURVEY IS BASED
ON REFERENCES, FOUND
MONUMENTATION, AND
LINES OF OCCUPATION

SETBACKS PER ONLINE
ORDINANCES FOR "" AND SHOULD
BE VERIFIED WITH ALL GOVERNING
MUNICIPALITIES AND ASSOCIATIONS
BEFORE DESIGN OR CONSTRUCTION

PROPERTY LINE WITH
PROPERTY CORNER.
MONUMENT FOUND OR
SET AS DESCRIBED





NATURAL VEGETATION RATIO: 57%
NON-NATURAL COVERAGE: 6,100 SF
NATURAL COVERAGE: 8,123 SF = 57%

1763 ATLANTIC AVE
TMS: 523-12-00-029

LOT INFORMATION:

TOTAL LOT SIZE: 14,223 SF
LOT WIDTH: 84.76'
LOT DEPTH: 150'
FLOOD ZONE / BASE FLOOD ELEVATION: AE 9
DESIGN FLOOD ELEVATION: ELEV. 10'-0"

FRONT SETBACK: 25'
SIDE SETBACK: 15' MINIMUM, 33' COMBINED
REAR SETBACK: 25'

LOT COVERAGE INFORMATION:

SEC. 21-25 PRINCIPAL BUILDING COVERAGE AREA: 2,548 SF
PRINCIPAL BUILDING FOOTPRINT: 17.5% DRB RELIEF REQUESTED (377 SF) + 2171 SF

SEC. 21-26 IMPERVIOUS COVERAGE: 2,548 SF
PRINCIPAL BUILDING COVERAGE AREA: 2,548 SF
COVERED PORCHES: 669 SF
OPEN DECKS / STEPS: 158 SF
POOL/DECK: 795 SF
OTHER IMPERVIOUS COVERAGE: 40 SF
MECHANICAL STAND: 56 SF

TOTAL IMPERVIOUS COVERAGE: 4,266 SF
IMPERVIOUS COVERAGE (30% ALLOWED BY ZONING): 4,267 SF

SEC. 21-27 PRINCIPAL BUILDING SQUARE FOOTAGE:
FIRST FLOOR: 2,529 SF
SECOND FLOOR: 1,289 SF
ACCESSORY BUILDING: N/A
TOTAL PRINCIPAL BLDG. SQ. FOOTAGE: 3,818 SF
15% DRB RELIEF REQUESTED (496 SF) + 3,322 SF

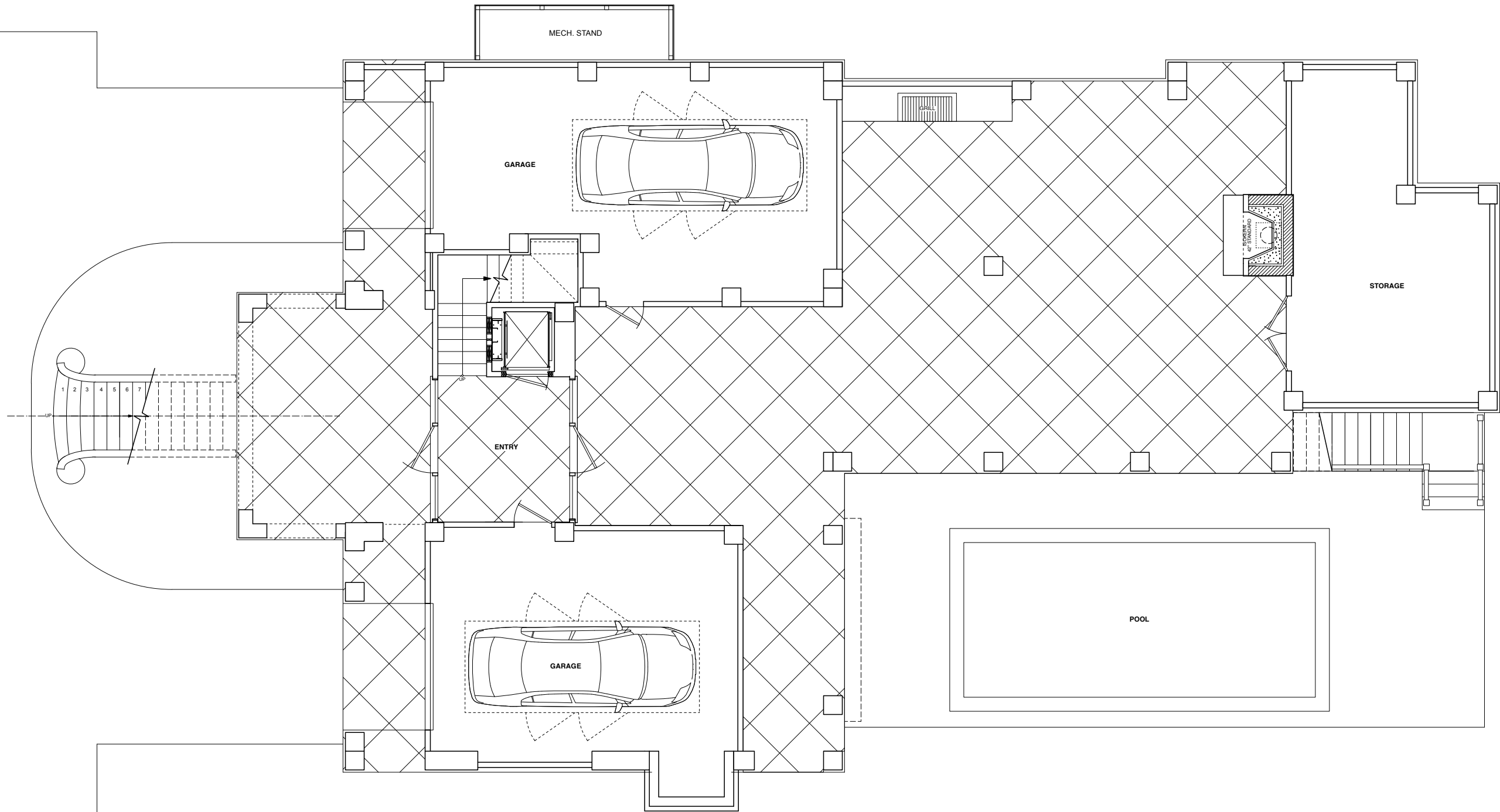
BEAU CLOWNEY
ARCHITECTS

1 KING STREET
SUITE 102
CHARLESTON, SC 29401
843.722.2040

02. 21. 25

TIMPERIO RESIDENCE
1763 ATLANTIC AVE.
SULLIVANS ISLAND, SC
SITE PLAN

A0.1



3' 8' 12'
SCALE: 1/8" = 1'-0"

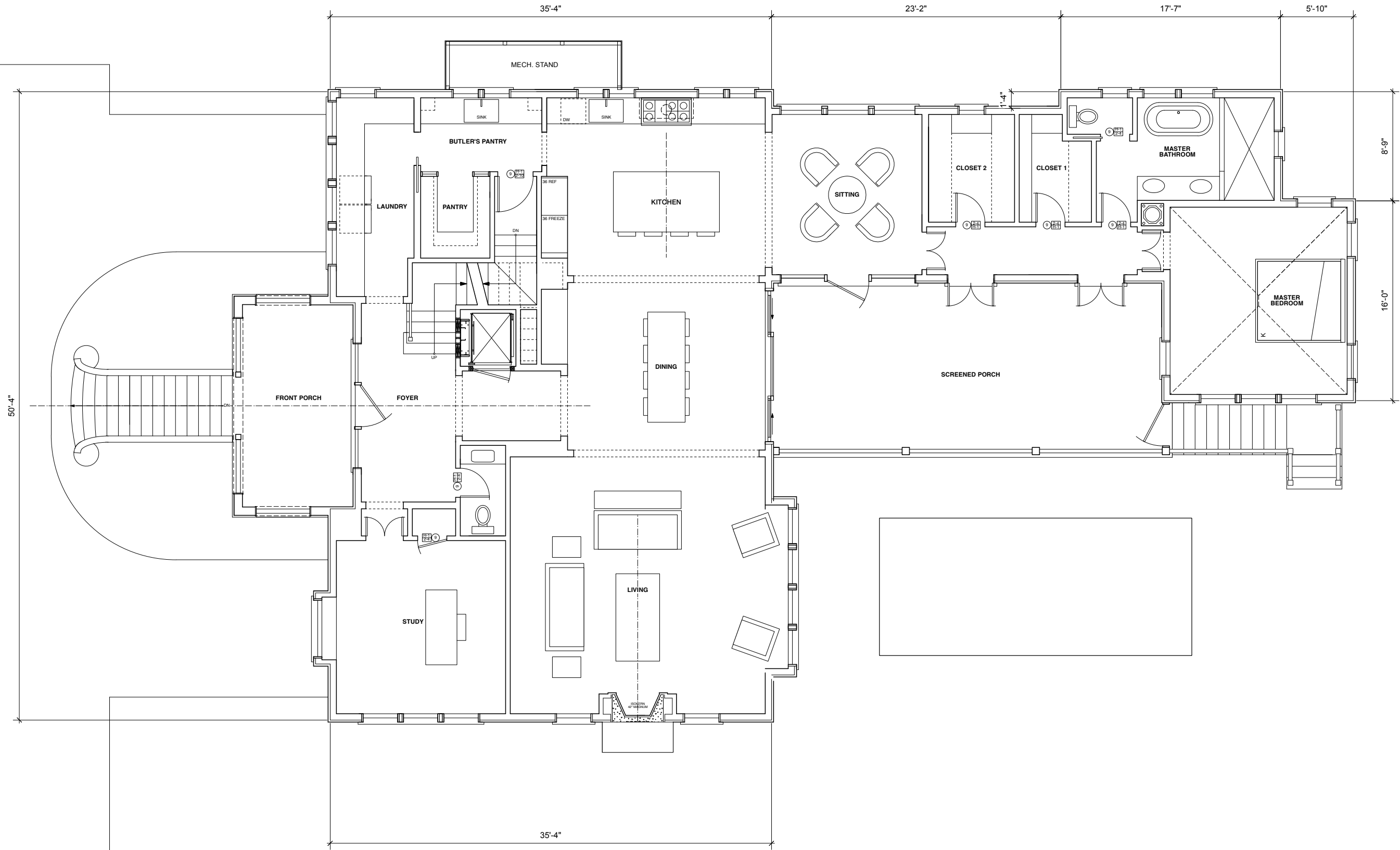
BEAU CLOWNEY
ARCHITECTS

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SUITE 102
CHARLESTON, SC 29401
843.722.2040

04. 18. 25

TIMPERIO RESIDENCE
1763 ATLANTIC AVENUE
SULLIVANS ISLAND, SC
GROUND FLOOR PLAN
FOUNDATION TEMPLATE

A 1.0



3' 8' 12'
SCALE: 1/8" = 1'-0"

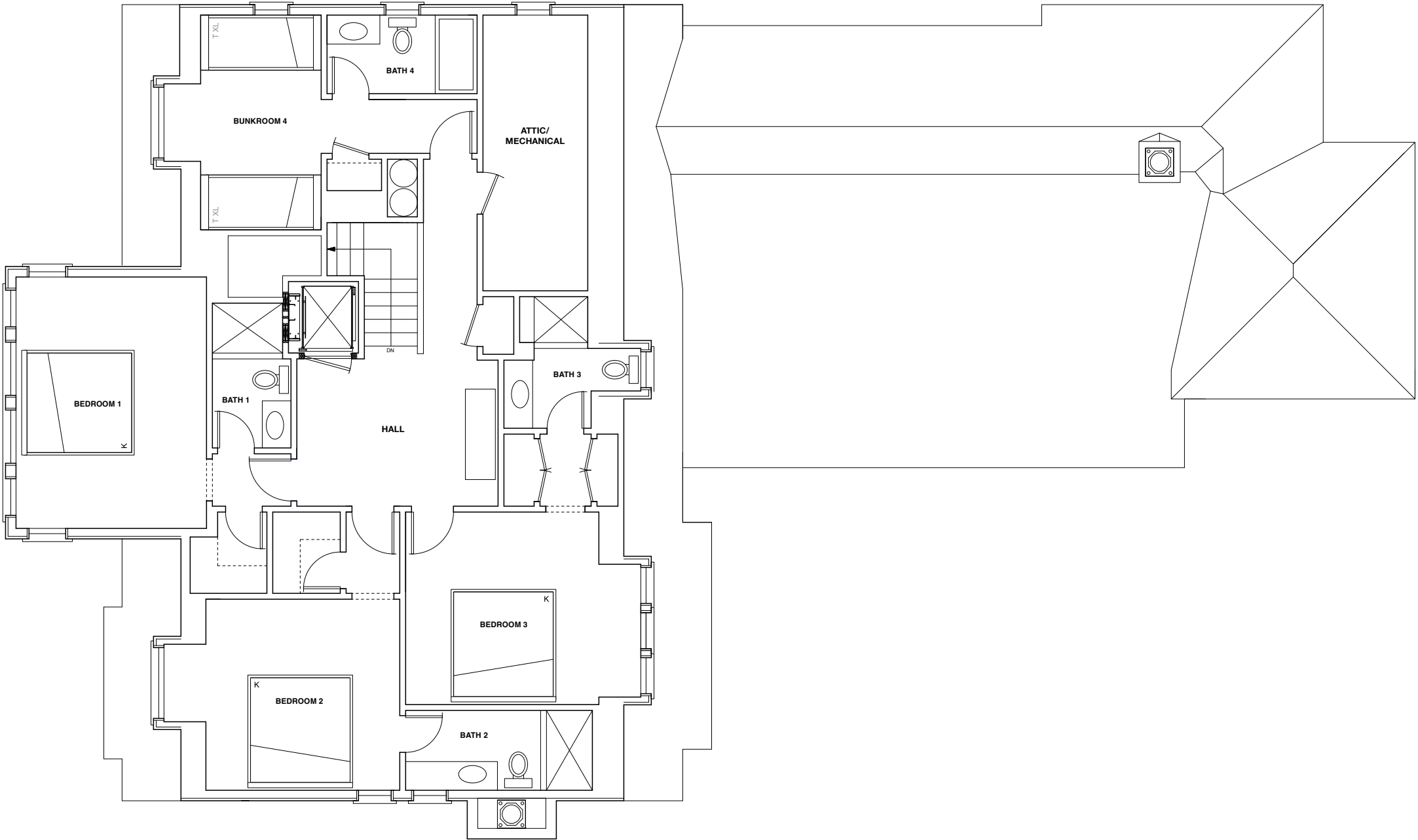
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ARCHITECTS

1 KING STREET
SUITE 102
CHARLESTON, SC 29401
843.722.2040

04. 18. 25

TIMPERIO RESIDENCE
1763 ATLANTIC AVENUE
SULLIVANS ISLAND, SC
FIRST FLOOR PLAN

A 1.1



3' 8' 12'
SCALE: 1/8" = 1'-0"

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843.722.2040

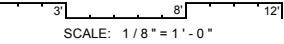
04. 18. 25

TIMPERIO RESIDENCE
1763 ATLANTIC AVENUE
SULLIVANS ISLAND, SC
SECOND FLOOR PLAN

A 1.2



○ FRONT ELEVATION



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843.722.2040

04. 18. 25

TIMPERIO RESIDENCE
1763 ATLANTIC AVE.
SULLIVANS ISLAND, SC
EXTERIOR ELEVATION

A2.1



SIDE ELEVATION

3 8 12
SCALE: 1/8" = 1'-0"

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ARCHITECTS

1 KING STREET
SUITE 102
CHARLESTON, SC 29401
843.722.2040

04. 18. 25

TIMPERIO RESIDENCE
1763 ATLANTIC AVE.
SULLIVANS ISLAND, SC
EXTERIOR ELEVATION

A2.2



3' 8' 12'

SCALE: 1/4" = 1'-0"

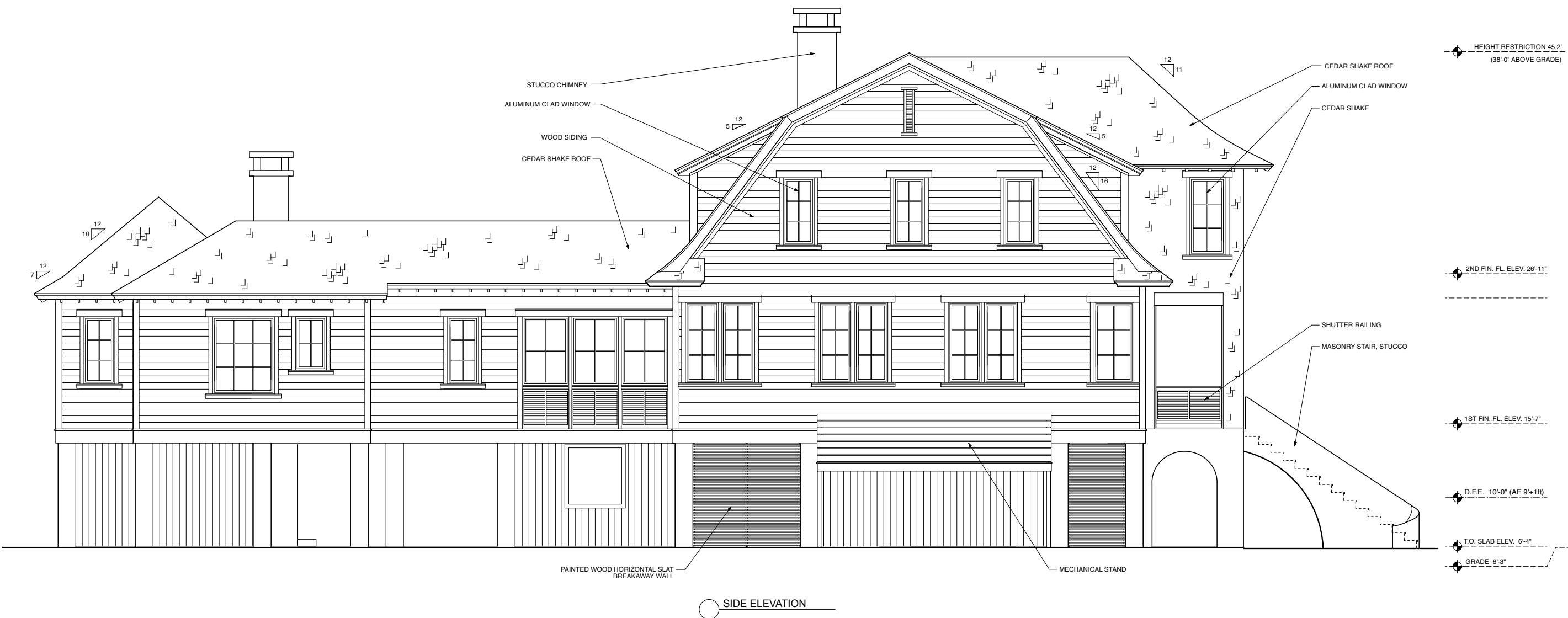
BEAU CLOWNEY
ARCHITECTS

1 KING STREET
SUITE 102
CHARLESTON, SC 29401
843.722.2040

04. 18. 25

TIMPERIO RESIDENCE
1763 ATLANTIC AVE.
SULLIVANS ISLAND, SC
EXTERIOR ELEVATION

A 2.3



BEAU CLOWNEY
ARCHITECTS

1 KING STREET
SUITE 102
CHARLESTON, SC 29401
843.722.2040

04. 18. 25

TIMPERIO RESIDENCE
1763 ATLANTIC AVE.
SULLIVANS ISLAND, SC
EXTERIOR ELEVATION



ATLANTIC AVENUE STREETSCAPE

BEAU CLOWNEY
ARCHITECTS

1 KING STREET
SUITE 102
CHARLESTON, SC 29401
843.722.2040

04. 18. 25

TIMPERIO RESIDENCE
1763 ATLANTIC AVENUE
SULLIVANS ISLAND, SC
STREETSCAPE

A2.0



BEAU CLOWNEY
ARCHITECTS

1 KING STREET
SUITE 102
CHARLESTON, SC 29401
843.722.2040

02. 21. 25

TIMPERIO RESIDENCE
1763 ATLANTIC AVENUE
SULLIVANS ISLAND, SC
MASSING PERSPECTIVES

A2.1