

NEW RESIDENCE

1743 ATLANTIC AVE., SULLIVAN'S ISLAND, SOUTH CAROLINA
TMS # 523-12-00-021

291

Studio

291

LLC

295 Seven Farms Drive

Suite G-174

Charleston, South Carolina 29492

F. (843) 519-8947

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DRAWING INDEX	ABBREVIATIONS	GENERAL NOTES
T1 - TITLE SHEET C1 - SURVEY C2 - SITE PLAN - FIRST FLOOR C2.1 - SITE PLAN - SECOND FLOOR A0 - GROUND FLOOR PLAN A1 - FIRST FLOOR PLAN A2 - SECOND FLOOR PLAN A3 - FRONT ELEVATION A4 - RIGHT SIDE ELEVATION A5 - LEFT SIDE ELEVATION A6 - REAR SIDE ELEVATION A7 - ROOF PLAN A8 - TYPICAL WALL & PORCH SECTIONS A9 - TYPICAL DETAILS A10 - TYPICAL INTERIOR DETAILS	E1 - FIRST FLOOR ELECTRICAL PLAN E2 - SECOND FLOOR ELECTRICAL PLAN SP1 - SPECIFICATIONS & GENERAL NOTES A.C.: ABOVE COUNTER TYP.: TYPICAL A.F.F.: ABOVE FINISH FLOOR ELEV.: ELEVATION F.P.: FROST PROOF H.W.H.: HOT WATER HEATER W.W.F.: WELDED WIRE FABRIC R.: RISERS P.T.: PRESSURE TREATED REF.: REFRIGERATOR D/W: DISHWASHER M/W: MICROWAVE D.S.: DOWNSPOUT PREFIN.: PREFINISHED ALUMN.: ALUMINUM CONC.: CONCRETE ARCH.: ARCHITECTURAL DTL.: DETAIL C.J.: CEILING JOIST R.R.: ROOF RAFTER DBL.: DOUBLE G.W.B.: DRYWALL G.Y.P.: DRYWALL B.F.E.: BASE FLOOD ELEVATION WP : WATERPROOF CONT.: CONTINUOUS T.: TEMPERED CTR.: CENTER	DRAWINGS SHALL BE CONSIDERED DIAGRAMMATIC AND THEREFORE NEVER BE SCALED. WRITTEN OR NOTED DIMENSIONS SHALL BE FOLLOWED TO INDUSTRY STANDARDS. WHERE DIMENSIONS ARE NOT FOUND OR ARE UNCLEAR, CONTRACTOR SHALL CONTACT DESIGNER FOR CLARIFICATION. CONTRACTOR SHALL CHECK DRAWINGS AND SPECIFICATIONS AND NOTIFY DESIGNER OF OMISSIONS OR DISCREPANCIES PRIOR TO THE START OF ANY WORK. CONTRACTOR SHALL INSURE ALL WORK COMPLIES WITH APPLICABLE CODES, REGULATIONS, AND LAWS. CONTRACTOR SHALL TAKE ANY MEASURE NECESSARY TO PROTECT ADJACENT PROPERTIES AND STRUCTURES ON PROJECT PROPERTY NOT SPECIFICALLY STATED TO BE MODIFIED OR REMOVED. CONTRACTOR SHALL REPAIR ANY DAMAGE RESULTING FROM CONSTRUCTION, AT NO CHARGE TO HOME OWNER OR DESIGNER. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED FOR COMPLETED PROJECT, INCLUDING BUT NOT LIMITED TO CONNECTIONS TO PUBLIC UTILITIES, WELLS, SEPTIC SYSTEMS WHERE APPLICABLE. IF CONTRADICTIONS ARE FOUND BETWEEN SPECIFICATIONS AND DRAWINGS AFTER THE START OF WORK, EITHER APPLICATION MAY BE STIPULATED BY THE DESIGNER AT NO ADDITIONAL CHARGE TO THE HOME OWNER OR DESIGNER. CLARIFICATION DETAILS REQUESTED BY CONTRACTOR AFTER START OF WORK SHALL BE COMPLIED WITH AS PART OF BASE BID. REQUESTS FOR SUBSTITUTIONS OF METHODS OR MATERIALS SHALL BE SUBMITTED TO DESIGNER IN WRITING PRIOR TO THE START OF RELATED WORK. WHERE COST DIFFERENCES OCCUR, QUOTES OR ESTIMATES SHALL BE SUBMITTED. ALL CHANGE ORDER REQUESTS SHALL BE APPROVED IN ADVANCE AND BE ACCOMPANIED BY QUOTES OR ESTIMATES. ALL DOORS AND WINDOWS ARE TO BE INSTALLED PER MANUFACTURER SPECS. SEE MANUFACTURER'S SHOP DRAWINGS FOR INSTALLATION AND FLASHING DETAILS. REFER TO MFR.. R.O. PRIOR TO FRAMING. ALL EXTERIOR MATERIALS – SIDING AND TRIM, STUCCO CONVENTIONAL AND ROOFING – SHALL BE INSTALLED PER MANUFACTURER'S SPECS AND RECOMMENDATION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE SHOP DRAWINGS AND MANUFACTURE SPECIFICATION FOR INSTALLATION, AS WELL AS OVERSEEING THE INSTALLATION AND OR APPLICATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS REQUIRED FOR PROJECT COMPLETION. CONTRACTOR TO PROVIDE "ICE & WATER SHIELD" WINDOW FLASHING AT ALL WINDOWS AND DOORS. THE GENERAL CONTRACTOR SHALL HOLD HARMLESS THE DESIGNER AND HIS AGENTS AGAINST LOSS, DAMAGE, LIABILITY, OR ANY EXPENSE ARISING IN ANY MANOR FROM THE WRONGFUL OR NEGLIGENCE OF THE CONTRACTOR AND INDEPENDENT CONTRACTORS AND THEIR RESPECTIVE EMPLOYEES



ISSUED FOR CONSTRUCTION

OWNERS SIGNATURE: _____

CONTRACTORS SIGNATURE: _____

DATE: _____

Project
New Residence
1743 Atlantic Ave., Sullivan's Island SC
Sheet Title
TITLE SHEET

D. P. in Charge	_____
J. ADRIAN	_____
Job Captain	_____
J. ADRIAN	_____
Drawn By	_____
JAA	_____
Date Drawn	3/23/25
Issued for Pricing	XXXX
Issued for Permit	XXX
Revisions	
No. _____ Date _____	
No. _____ Date _____	
No. _____ Date _____	
No. _____ Date _____	
No. _____ Date _____	
No. _____ Date _____	
Issue Date	XXX

Project Number	24-291-914
Sheet 1 of 17	T1

LEGEND:

- CMF CONCRETE MONUMENT FOUND 4"
- IS 5/8" RBS (REBAR SET)
- IF (IRON FOUND) SIZE/TYPE NOTED
- △ PK NAIL SET
- ▲ PK NAIL FOUND
- ⊗ WATER VALVE
- ⊗ WATER METER
- ⊠ ELECTRICAL TRANSFORMER
- ⊠ ELECTRICAL BOX
- ⊠ TELEPHONE BOX
- + SPOT ELEVATION
- ⊙ POWER POLE
- SEWER CLEANOUT - SEWER TAP
- LOT LINE
- ADJACENT LOT LINE
- X - FENCE

AREA SCHEDULE:

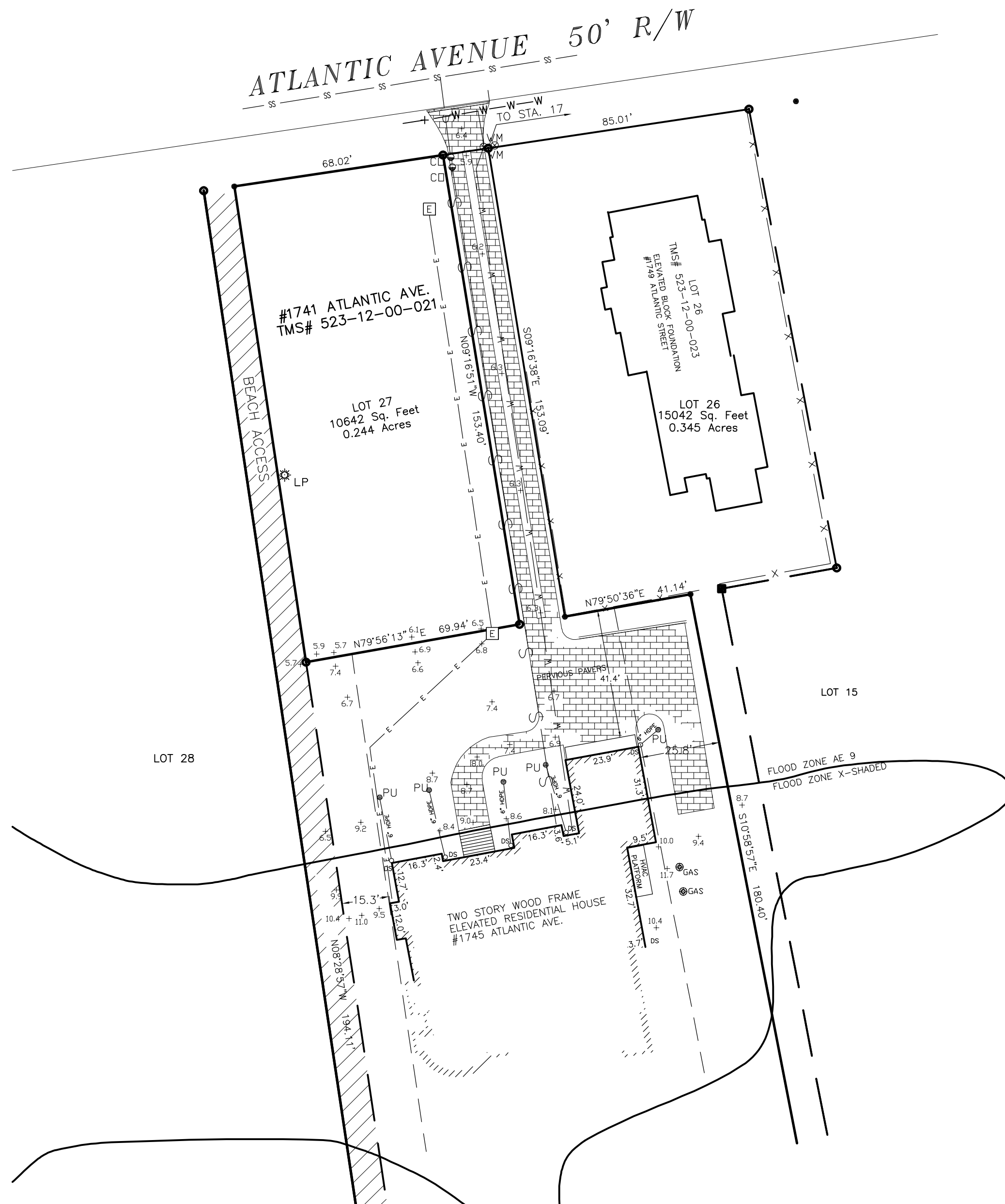
TREE CANOPY 2126 Sq.-ft.
BUILDABLE AREA 3545 Sq.-ft.
LOT AREA 10642 Sq.-ft.

REFERENCE:

- 1) DEED BOOK PAGE: 1183-856.
- 2) PLAT BOOK PAGE: H-112.
- 3) SUPERCEDED PLAT BOOK DC AT PAGE 668.

FLOOD NOTE:

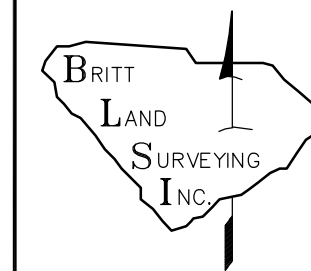
THIS HOUSE IS SITUATED IN A FLOOD ZONE AE 9 AS PER SCALING FROM FEMA F.I.R.M. MAP 45019C 0538K DATED REVISED JANUARY 29, 2021. COMMUNITY NUMBER 455418.



SC GRID



LOCATION MAP N.T.S.



BRITT LAND SURVEYING, INC.
P.O. BOX 80333
CHARLESTON, SC 29416
843-766-2707
WWW.BRITTSURVEYINGINC.COM



SCALE: 1" = 30'

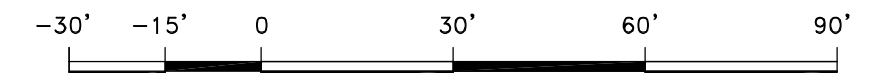


EXHIBIT OF LIVE OAK
SHOWING LOT 27 SAND DUNES
TMS# 523-12-00-021
A/K/A/ 1743 ATLANTIC AVENUE
PREPARED FOR:
RHODES CONSTRUCTION
LOCATED IN THE TOWN OF SULLIVANS ISLAND
CHARLESTON COUNTY - SOUTH CAROLINA

LOCATION: 1743 ATLANTIC AVENUE - 29485

TAX MAP # 523-12-00-021

DATE: FEBRUARY 24, 2024

FIELD DATE: FEBRUARY 23, 2024

JOB NO. 243929

COUNTY/STATE CHARLESTON, S.C.

PERMITTED PRINCIPAL BUILDING AREA

TOTAL LOT AREA 10,642 SQFT
2,400 + (LOT AREA - 5,000) / 100)) X 10
2,400 + (10,642-5000) / 100)) X 10
2,400 + (5,642/100) X 10
2,400 + 56.42 X 10
2,400 + 564.2
2,964 SQFT MAX AREA
MAX RELIEF : 500 SQFT MAX. OR 15 %
PRINCIPAL BUILDING AREA RELIEF 15% = 445 SQFT
MAX PRINCIPAL BUILDING AREA 2,964 + 445 = 3,409 SQFT
REQUESTING 325 SQFT OF RELIEF OR 10.9%
REDUCED THE REQUEST BY 111 SQFT - TOTAL PROPOSED AREA IS 3,289 SQFT

PRINCIPAL BUILDING COVERAGE

TOTAL LOT AREA 10,642 SQFT
PRINCIPAL BUILDING COVERAGE = LOT AREA x 15% + (15,000 - LOT AREA) x5%
PRINCIPAL BUILDING COVERAGE = 10,642 x 15% + (15,000 - 10,642) x5%
PRINCIPAL BUILDING COVERAGE = 1,596 + (4,538) x5%
PRINCIPAL BUILDING COVERAGE = 1,596 + 218
PRINCIPAL BUILDING COVERAGE = 1,814 SQFT OR 17.0%
PRINCIPAL BUILDING COVERAGE MAX RELIEF 20%
PRINCIPAL BUILDING RELIEF 363 SQFT
MAX. PRINCIPAL BUILDING COVERAGE 1,814 + 363 = 2,177 SQFT
PROPOSED PRINCIPAL BUILDING COVERAGE 1,840 SQFT
NO DRB RELIEF REQUIRED

FLOOD NOTE:

THIS LOT IS SITUATED IN A FLOOD
ZONE AE 9 AND X-SHADED AS PER
SCALING FROM FEMA F.I.R.M. MAP
NUMBER 45019C0538K DATED
REVISED JANUARY 29, 2021.

LOT COVERAGE

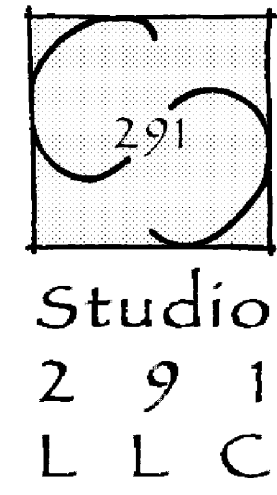
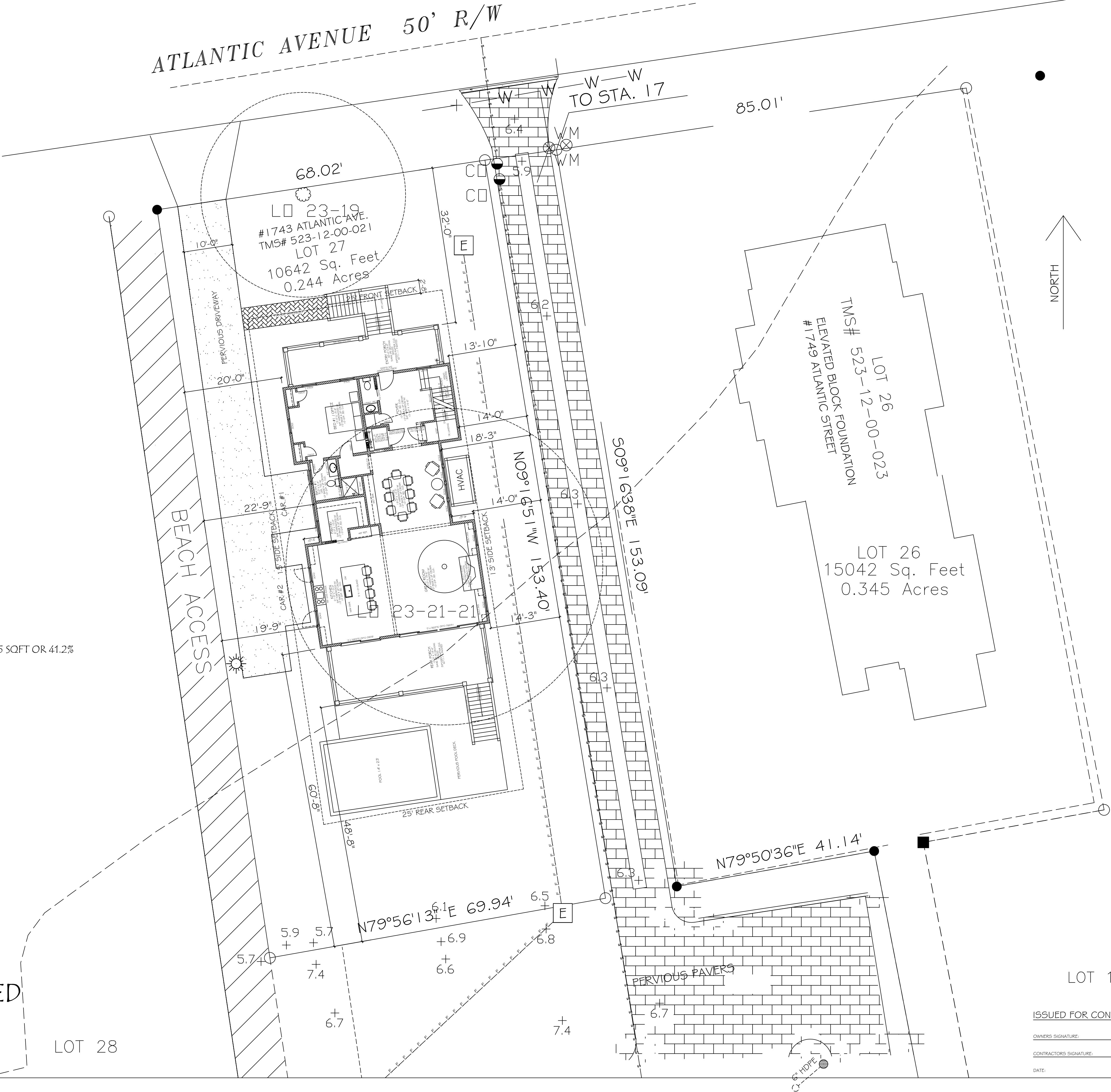
TOTAL LOT AREA	10,642 SQFT
MAX COVERAGE @ 30%	3,193 SQFT
PROPOSED HOUSE	1,767 SQFT
PROPOSED DRIVEWAY (1,145 SQFT)	PERVIOUS
PROPOSED PORCHES	646 SQFT
PROPOSED HVAC	50 SQFT
PROPOSED STAIRS	132 SQFT
PROPOSED POOL	373 SQFT
PROPOSED POOL DECKING (272 SQFT)	PERVIOUS

TOTAL COVERAGE	2,968 SQFT
TOTAL COVERAGE %	27.8%

TOTAL COVERAGE W/ DRIVEWAY & POOL DECK	4,385 SQFT OR 41.2%
VEGETATION RATIO (UNDISTURBED)	58.8%

TREE TO BE REMOVED

1 SITE PLAN - FIRST FLOOR
2 SCALE: 1" = 10'-0"



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Project
New Residence
1743 Atlantic Ave., Sullivan's Island, SC
Sheet Title
SITE PLAN - FIRST FLOOR

D. P. in Charge
J. ADRIAN
Job Captain
J. ADRIAN
Drawn By
JAA
Date Drawn
3/23/25
Issued for Pricing
XXXX
Issued for Permit
XXXX
Revisions
No. Date
No. Date
No. Date
No. Date
No. Date
No. Date
Issue Date XXXX

Project Number
24-291-914
Sheet 2 of 15
C2

PERMITTED PRINCIPAL BUILDING AREA

TOTAL LOT AREA 10,642 SQFT
2,400 + (LOT AREA - 5,000) / 100)) X 10
2,400 + (10,642-5000) / 100)) X 10
2,400 + (5,642/100) X 10
2,400 + 56.42 X 10
2,400 + 564.2
2,964 SQFT MAX AREA
MAX RELIEF : 500 SQFT MAX. OR 15 %
PRINCIPAL BUILDING AREA RELIEF 15% = 445 SQFT
MAX PRINCIPAL BUILDING AREA 2,964 + 445 = 3,409 SQFT
REQUESTING 325 SQFT OF RELIEF OR 10.9%
REDUCED THE REQUEST BY 111 SQFT - TOTAL PROPOSED AREA IS 3,289 SQFT

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PRINCIPAL BUILDING COVERAGE = 1,596 + 218
PRINCIPAL BUILDING COVERAGE = 1,814 SQFT OR 17.0%
PRINCIPAL BUILDING COVERAGE MAX RELIEF 20%
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PROPOSED PRINCIPAL BUILDING COVERAGE 1,840 SQFT
NO DRB RELIEF REQUIRED

FLOOD NOTE:

THIS LOT IS SITUATED IN A FLOOD ZONE AE 9 AND X-SHADED AS PER SCALING FROM FEMA F.I.R.M. MAP NUMBER 45019C0538K DATED REVISED JANUARY 29, 2021.

LOT COVERAGE

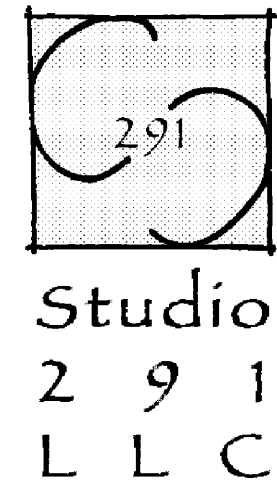
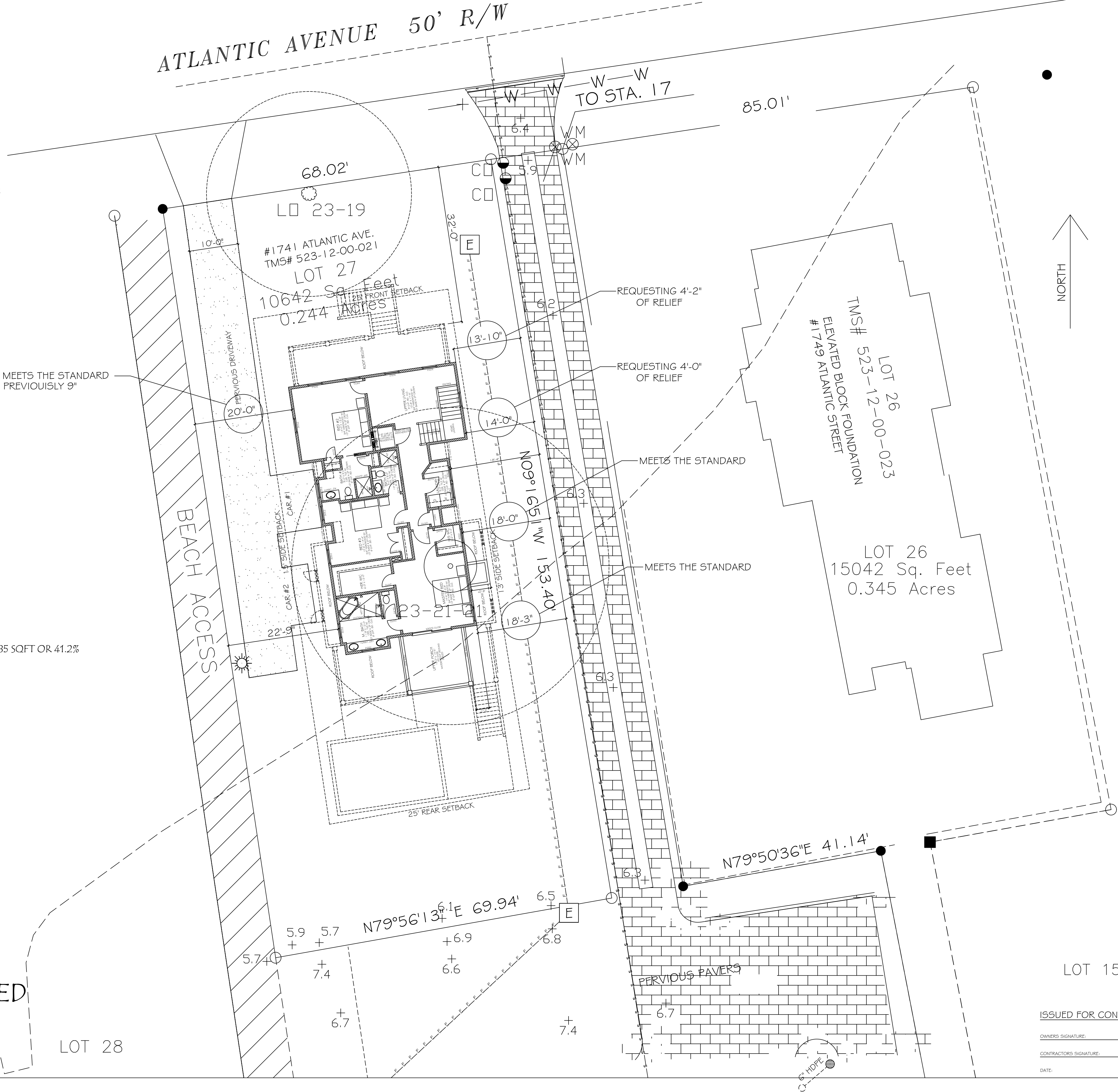
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TOTAL COVERAGE %	27.8%

TOTAL COVERAGE W/ DRIVEWAY & POOL DECK	4,385 SQFT OR 41.2%
VEGETATION RATIO (UNDISTURBED)	58.8%

TREE TO BE REMOVED

1 SITE PLAN - SECOND FLOOR
C2.1 SCALE: 1"=10'-0"



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Project
New Residence
1743 Atlantic Ave., Sullivan's Island, SC
Sheet Title
SITE PLAN - SECOND FLOOR

D. P. in Charge
J. ADRIAN
Job Captain
J. ADRIAN
Drawn By
JAA
Date Drawn
3/23/25
Issued for Pricing
XXXX
Issued for Permit
XXXX
Revisions
No. Date
No. Date
No. Date
No. Date
No. Date
No. Date
Issue Date XXXX

Project Number
24-291-914
Sheet 2 of 15
C2.1



1721 ATLANTIC



1721 ATLANTIC



1717 ATLANTIC



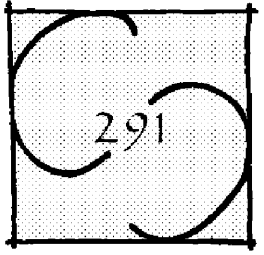
1749 ATLANTIC



SAND DUNES CLUB



1711 ATLANTIC



291
Studio
2 9 1
L L C

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Project
New Residence
1743 Atlantic Ave., Sullivan's Island SC

Sheet Title
CONTEXT PHOTOS

D. P. in Charge
J. ADRIAN
Job Captain
J. ADRIAN
Drawn By
JAA
Date Drawn
1/20/25
Issued for Pricing
XXX
Issued for Permit
XXX

Revisions
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____

Issue Date XXX

Project Number
24-291-911

Sheet 7 of 15
C3



1749 ATLANTIC

1743 ATLANTIC

SAND DUNES

1727 ATLANTIC

291

Studio

291

L L C

295 Seven Farms Drive

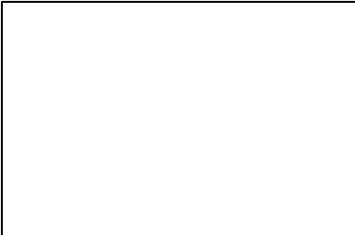
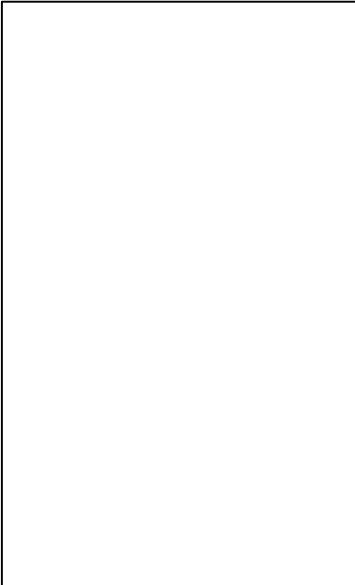
Quate Ct 174

Charleston, South Carolina 29492

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Project

New Residence

1743 Atlantic Ave., Sullivan's Island SC

Sheet Title

CONTEXT ELEVATIONS

D. P. in Charge	_____
J. ADRIAN	_____
Job Captain	_____
J. ADRIAN	_____
Drawn By	_____
JAA	_____
Date Drawn	_____
3/23/25	_____
Issued for Pricing	_____
XXXX	_____
Issued for Permit	_____
XXX	_____
Revisions	
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
Issue Date	_____ XXX

Project Number

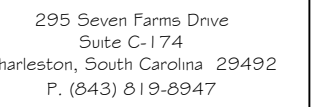
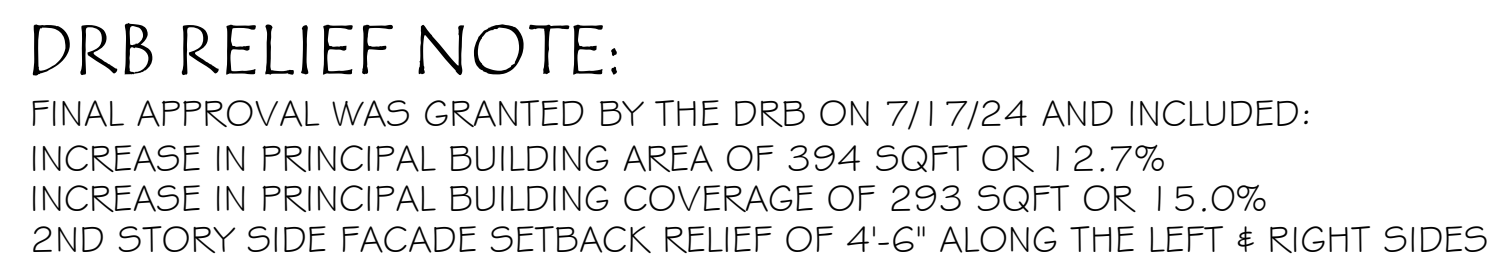
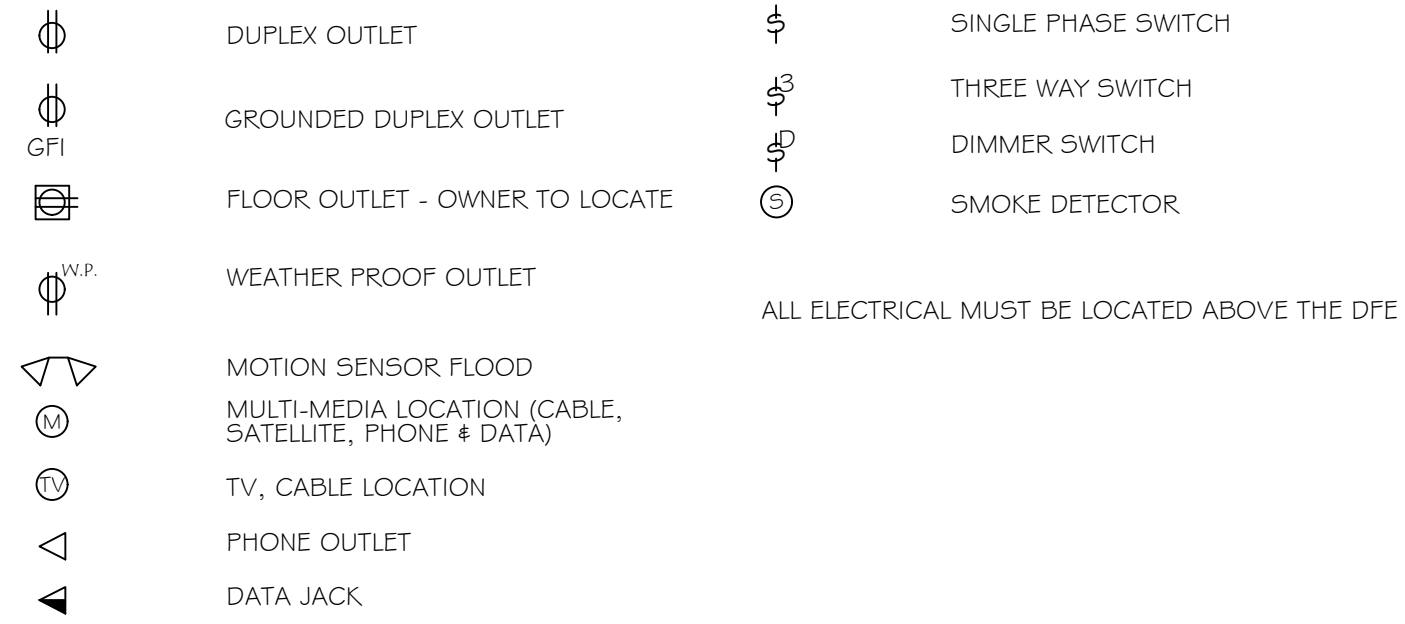
24-291-911

Sheet 7

Of 15

C4

	4' DOUBLE TUBE FLUORESCENT FIXTURE
	8' SINGLE TUBE FLUORESCENT FIXTURE
	5" RECESSED INCANDESCENT DOWNLIGHTING
	WALL MOUNTED FIXTURE
	CEILING MOUNTED FIXTURE
	WALL SCONCE / GAS LIGHT
	CEILING MOUNTED FAN
	PENDANT /CEILING MOUNTED FIXTURE
	EXHAUST VENT, 100 CFM MIN.
	SMALL PENDANT



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do 291, LLC

New Residence
1743 Atlantic Ave., Sullivan's Island SC

GROUND FLOOR PLAN

P. in Charge

ADRIAN
Lt. Captain

ADRIAN

Drawn By

te Drawn

23/25

Used for Pricing
Y

ued for Permit

XX

Divisions

o _____ Date _____

_____ Date _____
_____ Date _____

o _____ Date _____

o _____ Date _____

o _____ Date _____

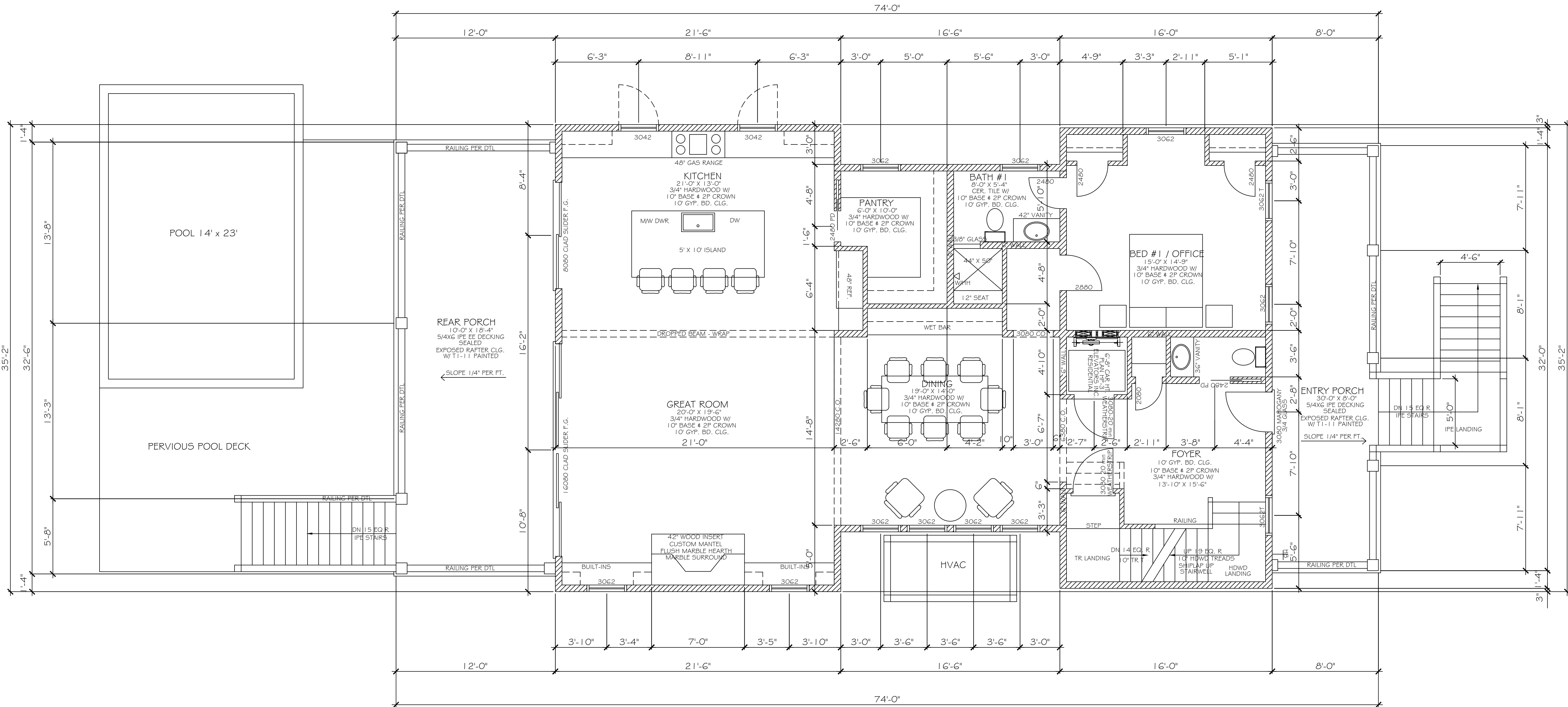
Due Date xxx

Project Number

24-291-9

Sheet 4 Of 1

AO

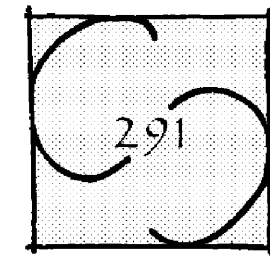


ISSUED FOR CONSTRUCTION

OWNERS SIGNATURE: _____

CONTRACTORS SIGNATURE: _____

DATE: _____



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291
LLC

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FIRST FLOOR
SECOND FLOOR
TOTAL AREA

1,767 SQFT
1,522 SQFT

3,289 SQFT

Project
New Residence
1743 Atlantic Ave., Sullivan's Island SC

Sheet Title

FIRST FLOOR PLAN

D. P. in Charge

J. ADRIAN

Job Captain

J. ADRIAN

Drawn By

JAA

Date Drawn

3/23/25

Issued for Pricing

XXX

Issued for Permit

XXX

Revisions

No. _____ Date _____

No. _____ Date _____

No. _____ Date _____

No. _____ Date _____

No. _____ Date _____

No. _____ Date _____

Issue Date XXX

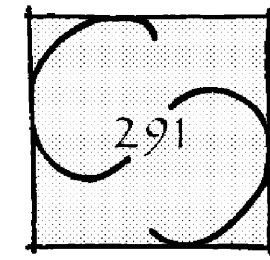
Project Number

24-291-914

Sheet 5

Of 17

A1



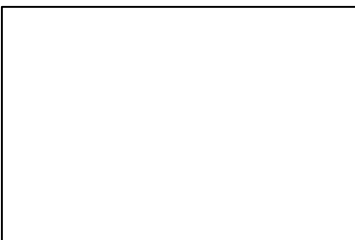
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FIRST FLOOR	1,767 SQFT	TOTAL AREA
SECOND FLOOR	1,522 SQFT	
		3,289 SQFT



Project	New Residence
	1743 Atlantic Ave., Sullivan's Island SC
Sheet Title	SECOND FLOOR PLAN

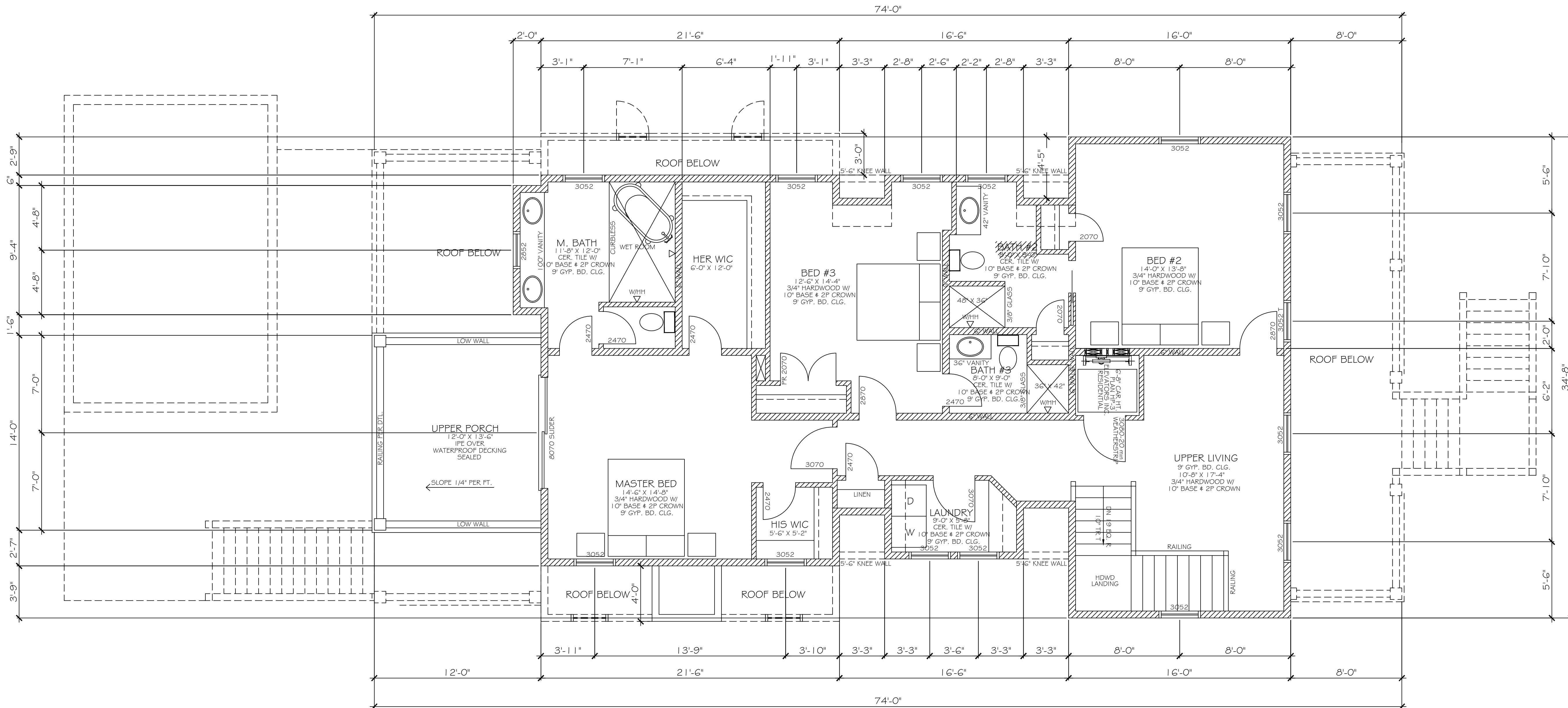
D. P. in Charge	J. ADRIAN
Job Captain	J. ADRIAN
Drawn By	JAA
Date Drawn	3/23/25
Issued for Pricing	XXXX
Issued for Permit	XXX

Revisions	
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____
No. _____	Date _____

Issue Date XXX

Project Number
24-291-914

Sheet 6 of 17
A2



ISSUED FOR CONSTRUCTION

OWNERS SIGNATURE: _____

CONTRACTORS SIGNATURE: _____

DATE: _____

1 PREVIOUS FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 PROPOSED FRONT ELEVATION
SCALE: 1/4" = 1'-0"



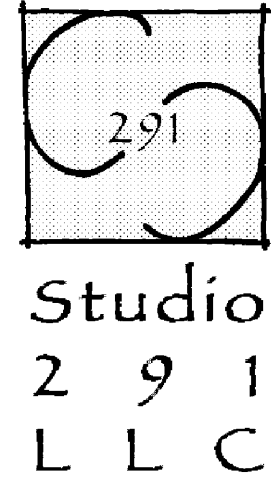
NOTE: FOUNDATION LOUVERS/SLATS WILL
HAVE A MIN. 1/2" GAP BETWEEN BOARDS

ISSUED FOR CONSTRUCTION

OWNERS SIGNATURE: _____

CONTRACTORS SIGNATURE: _____

DATE: _____



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Suite C-174
Charleston, South Carolina 29492
P. (843) 819-8947

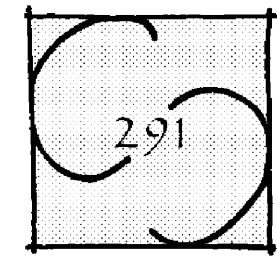
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Project
New Residence
1743 Atlantic Ave., Sullivan's Island SC
Sheet Title
FRONT ELEVATION

D. P. in Charge
J. ADRIAN
Job Captain
J. ADRIAN
Drawn By
JAA
Date Drawn
3/23/25
Issued for Pricing
XXXX
Issued for Permit
XXX
Revisions
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
No. _____ Date _____
Issue Date XXX

Project Number
24-291-914
Sheet 7 of 17
A3



Studio
291
LLC

295 Seven Farms Drive
Suite G-174
Charleston, South Carolina 29492
P. (843) 819-8947

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Project
New Residence
1743 Atlantic Ave., Sullivan's Island SC
Sheet Title
RIGHT SIDE ELEVATION

D. P. in Charge
J. ADRIAN
Job Captain
J. ADRIAN
Drawn By
JAA
Date Drawn
3/23/25
Issued for Pricing
XXXX
Issued for Permit
XXX
Revisions
No. Date
No. Date
No. Date
No. Date
No. Date
No. Date
Issue Date XXX

Project Number
24-291-914
Sheet 8 of 17
A4

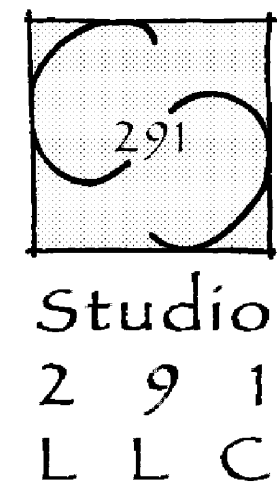




1 PREVIOUS LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



2 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"



295 Seven Farms Drive
Suite G-174
Charleston, South Carolina 29492
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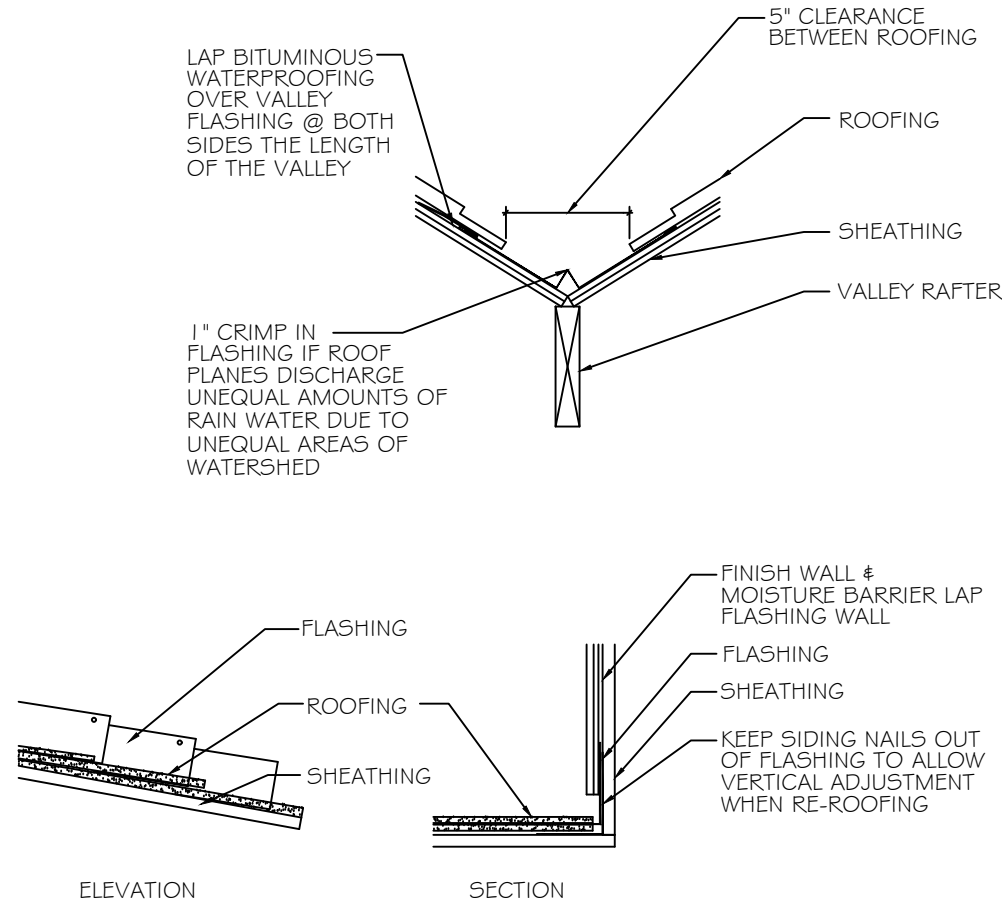
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Project
New Residence
1743 Atlantic Ave., Sullivan's Island SC
Sheet Title
LEFT SIDE ELEVATION

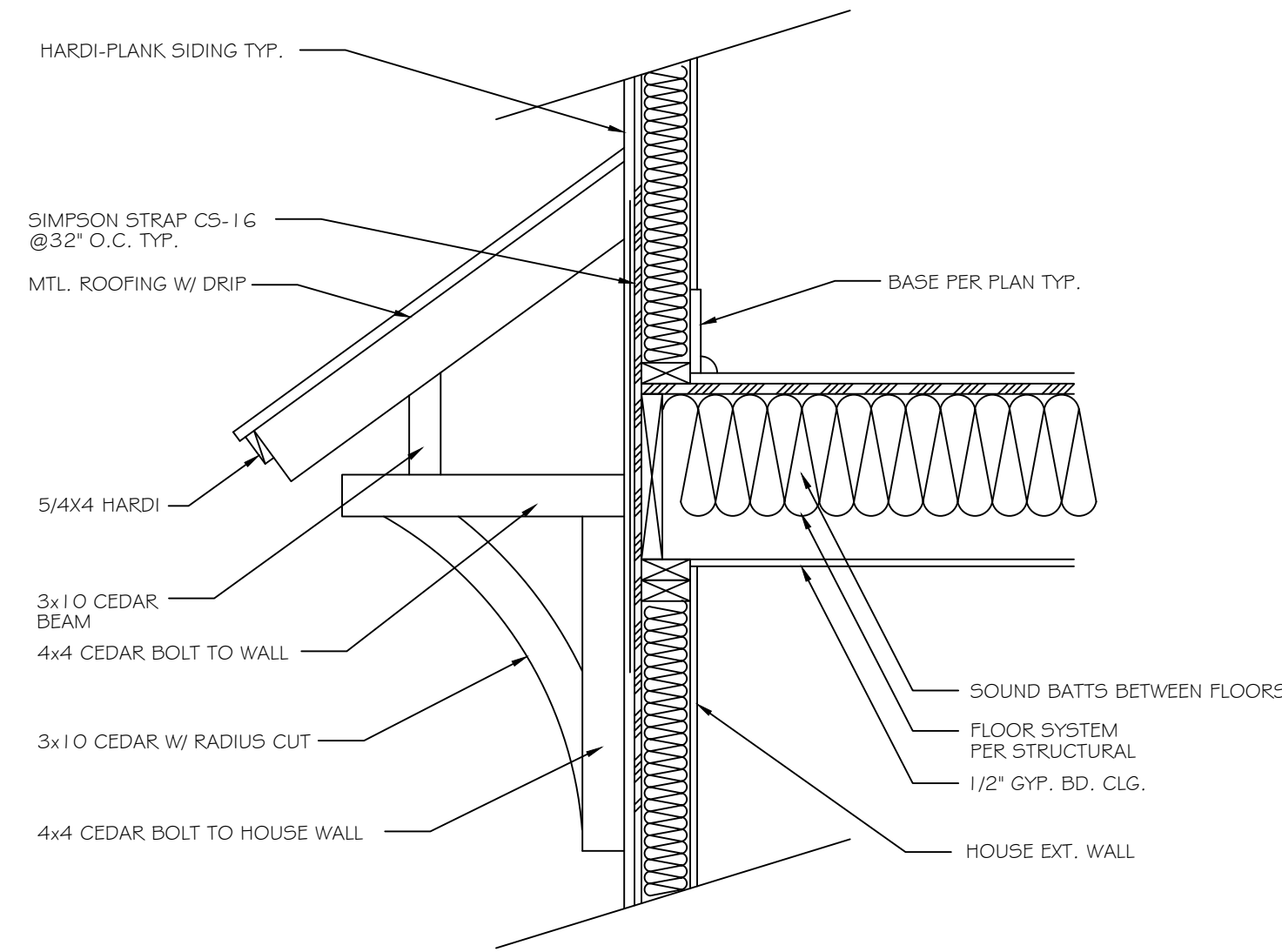
D. P. in Charge
J. ADRIAN
Job Captain
J. ADRIAN
Drawn By
JAA
Date Drawn
3/23/25
Issued for Pricing
XXXX
Issued for Permit
XXX
Revisions
No. Date
No. Date
No. Date
No. Date
No. Date
No. Date
Issue Date XXX

Project Number
24-291-914
Sheet 9 of 17
A5

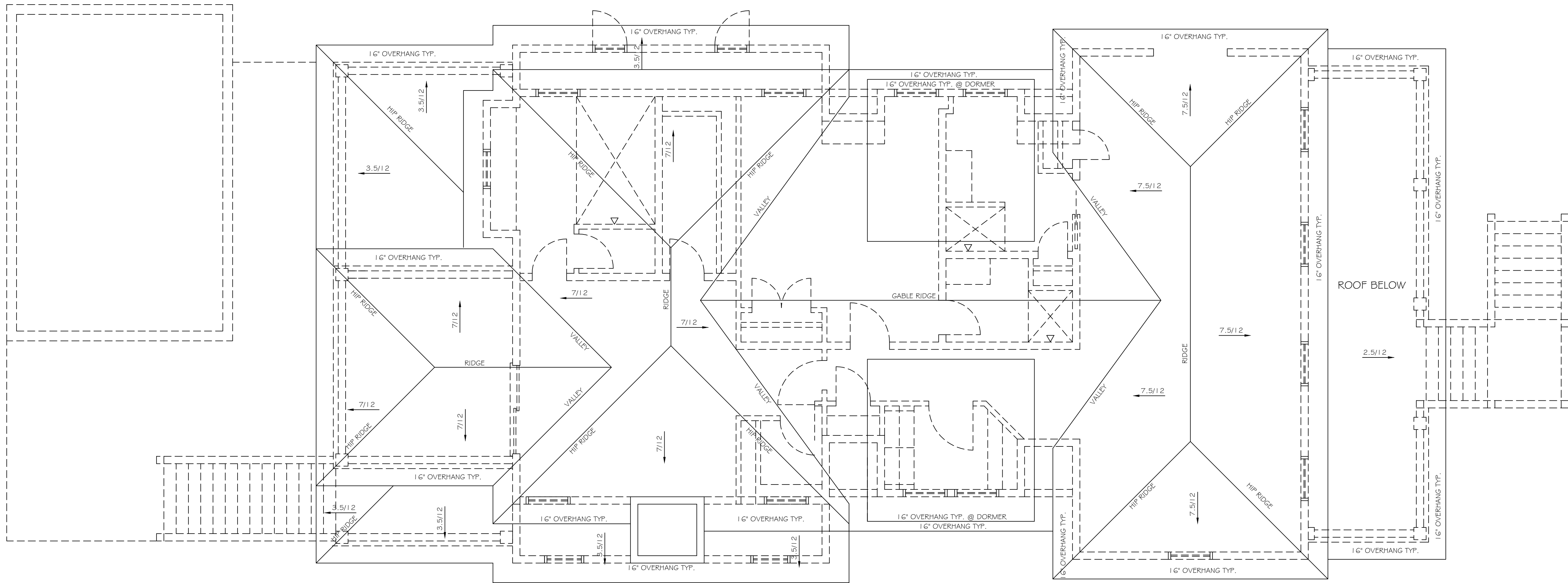




2
A7
TYPICAL ROOF FLASHING DETAILS
SCALE: N.T.S.



3
A7
SECTION @ DECORATIVE SHED ROOF
SCALE: 1\"/>



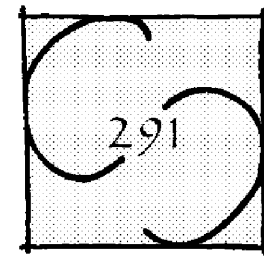
1
A7
ROOF PLAN
SCALE: 1/4\"/>

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CONTRACTORS SIGNATURE: _____

DATE: _____



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Project
New Residence
1743 Atlantic Ave., Sullivan's Island SC

Sheet Title
ROOF PLAN

D. P. in Charge

J. ADRIAN

Job Captain

J. ADRIAN

Drawn By

JAA

Date Drawn

3/23/25

Issued for Pricing

XXXX

Issued for Permit

XXX

Revisions

No. _____ Date _____

No. _____ Date _____

No. _____ Date _____

No. _____ Date _____

No. _____ Date _____

No. _____ Date _____

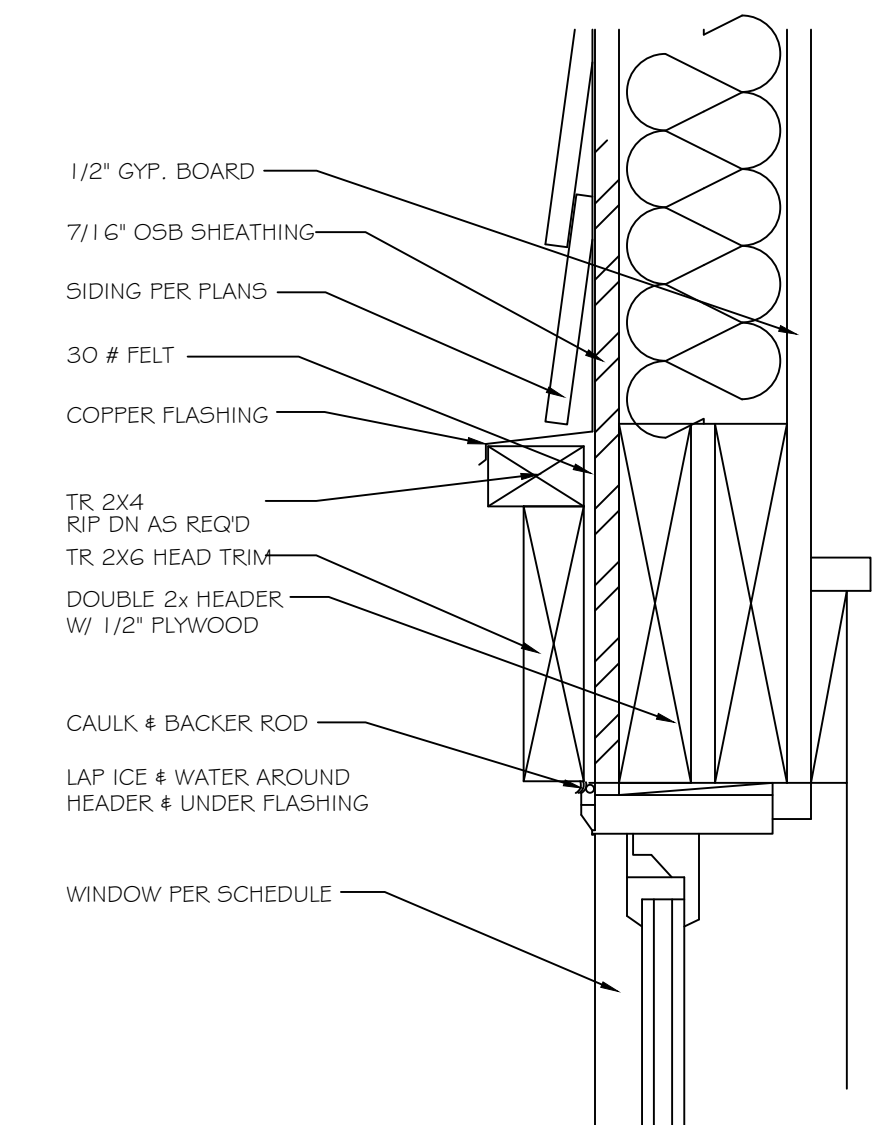
Issue Date XXX

Project Number

24-291-914

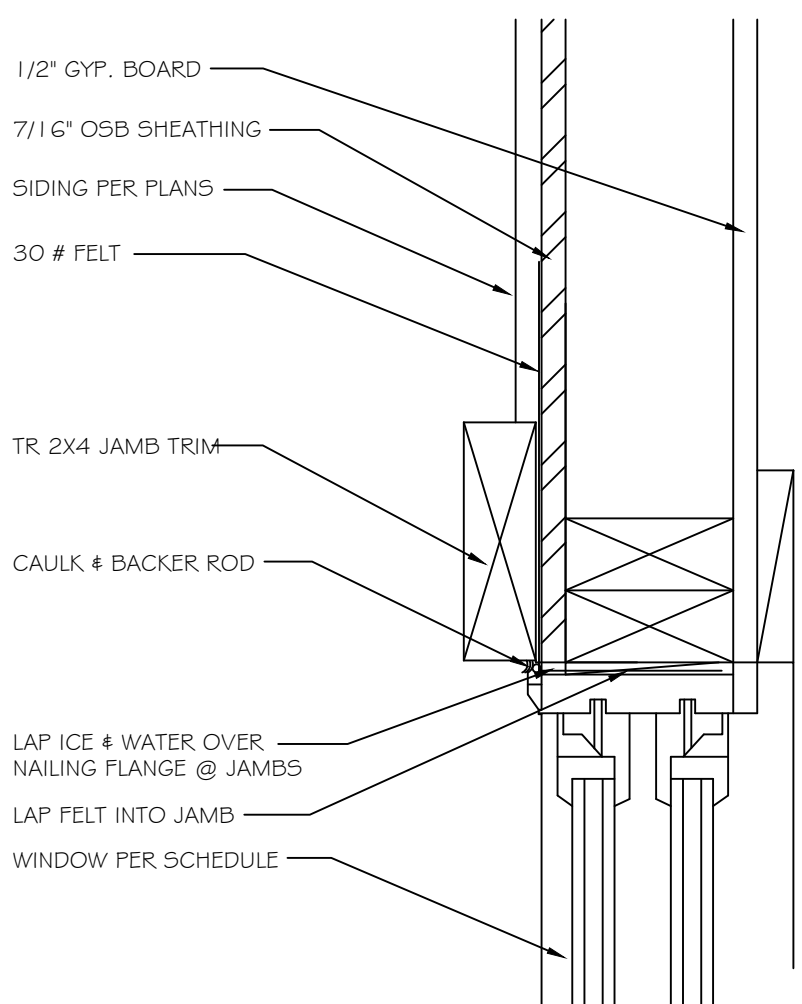
Sheet 11 of 17

A7



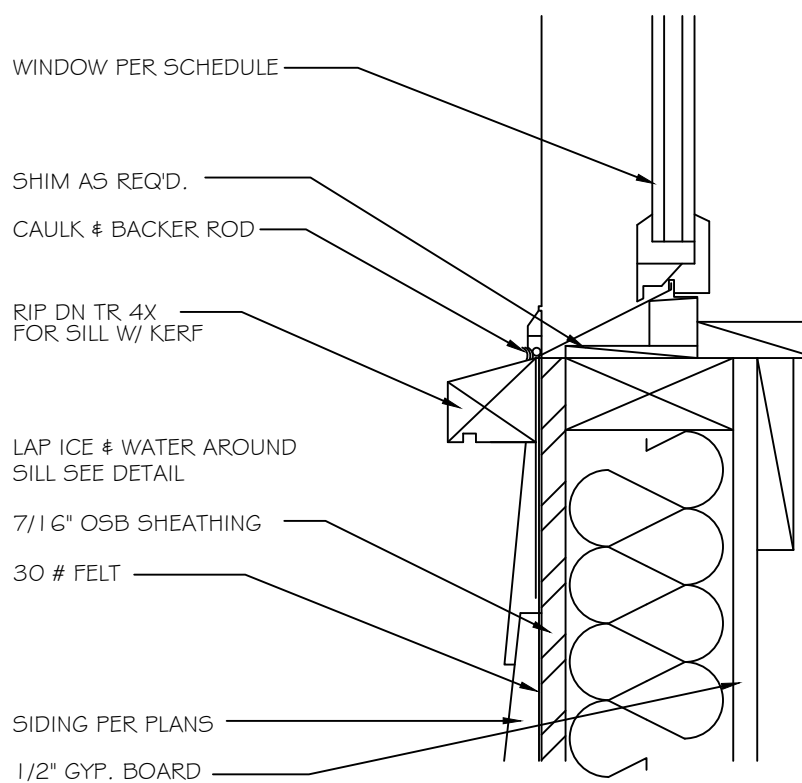
3 TYPICAL HEAD DETAIL
SCALE: 5/8" = 1'-0"

MAY SUBSTITUTE TREATED WOOD WITH CEMENT FIBER BOARDS

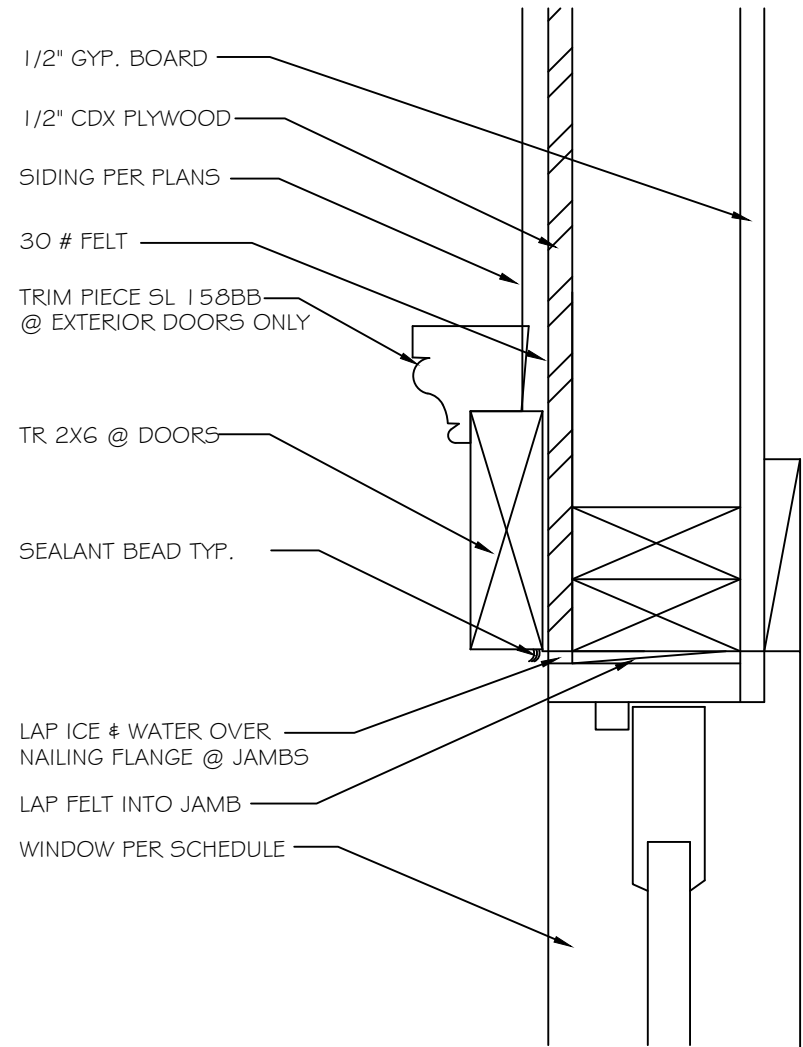


2 TYPICAL JAMB DETAIL
SCALE: 5/8" = 1'-0"

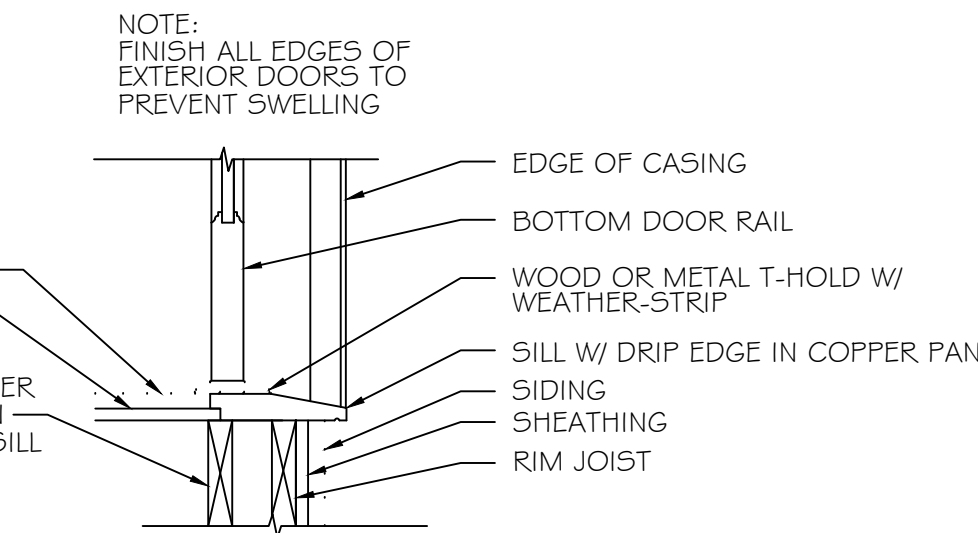
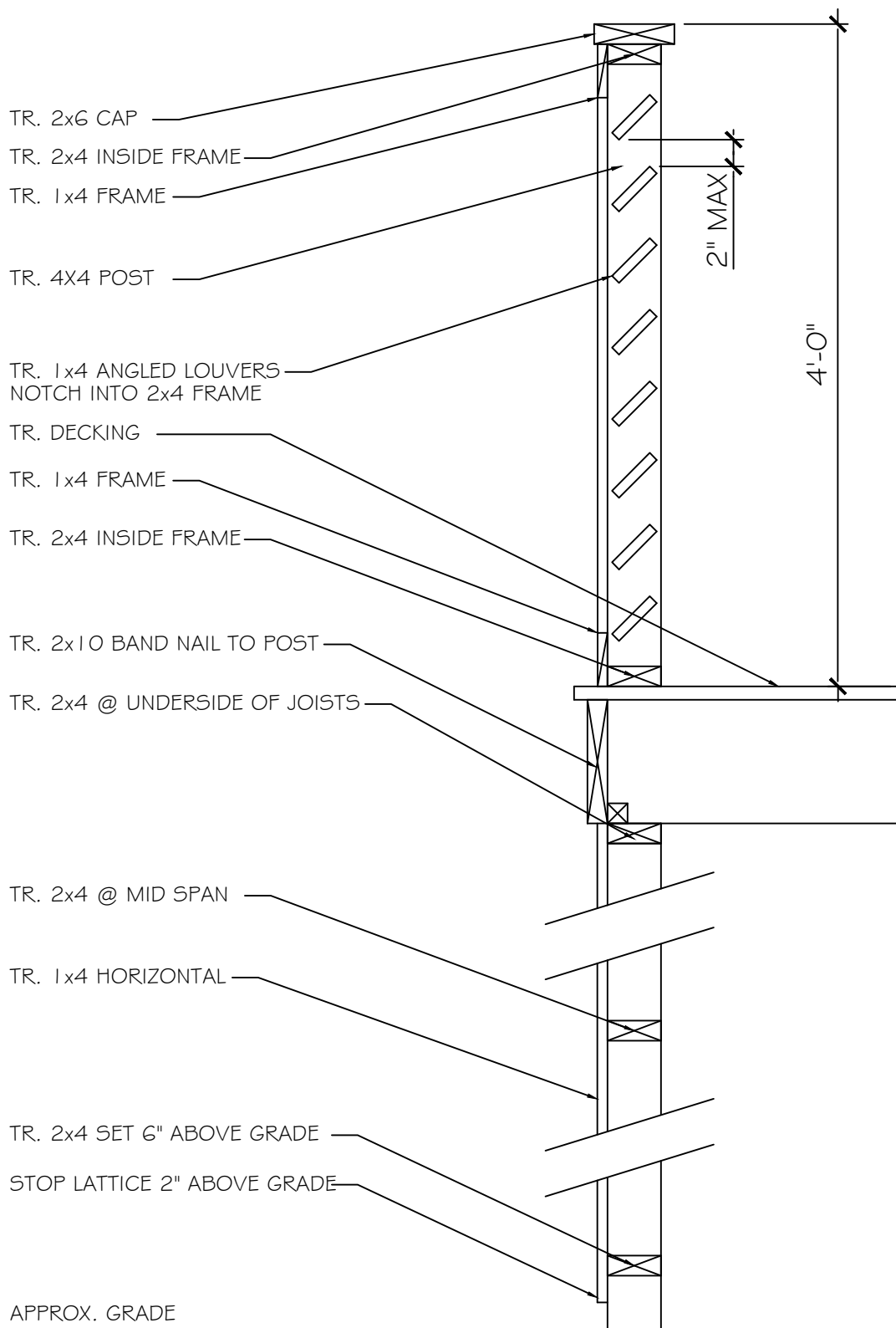
MAY SUBSTITUTE TREATED WOOD WITH CEMENT FIBER BOARDS



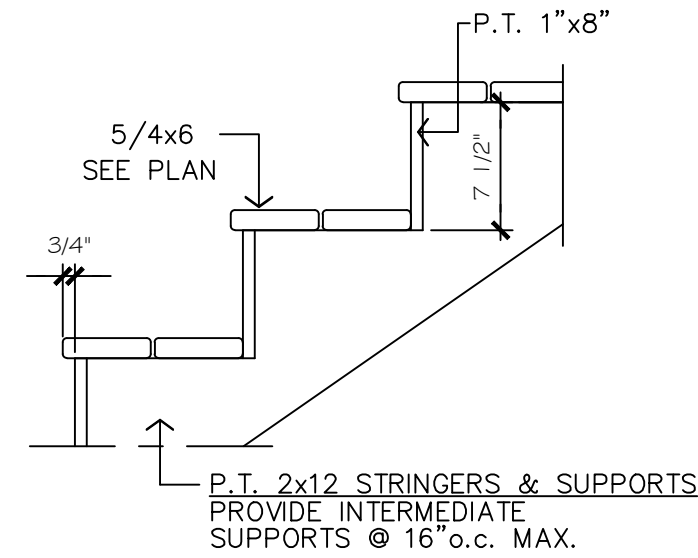
1 TYPICAL SILL DETAIL
SCALE: 5/8" = 1'-0"



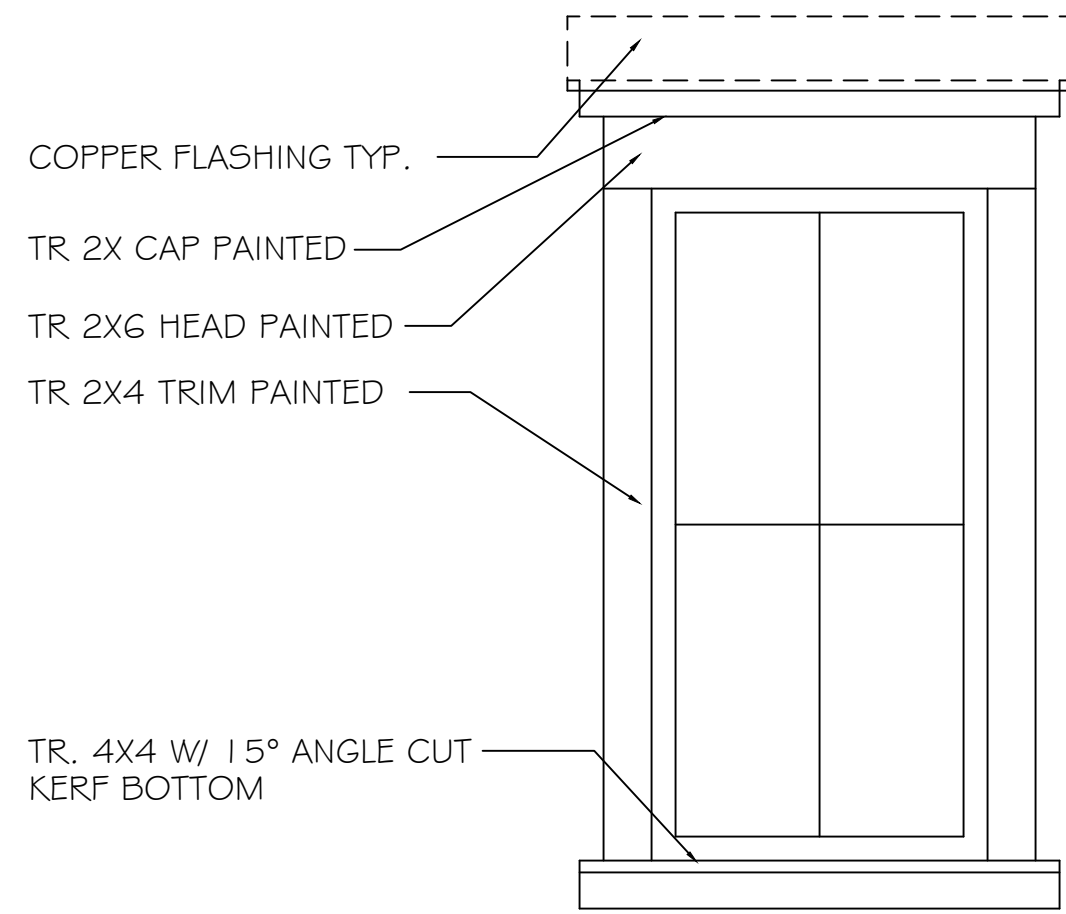
6 TYPICAL JAMB DETAIL @ EXT. DOORS
SCALE: 5/8" = 1'-0"



10 TYPICAL SILL DETAIL
SCALE: N.T.S.

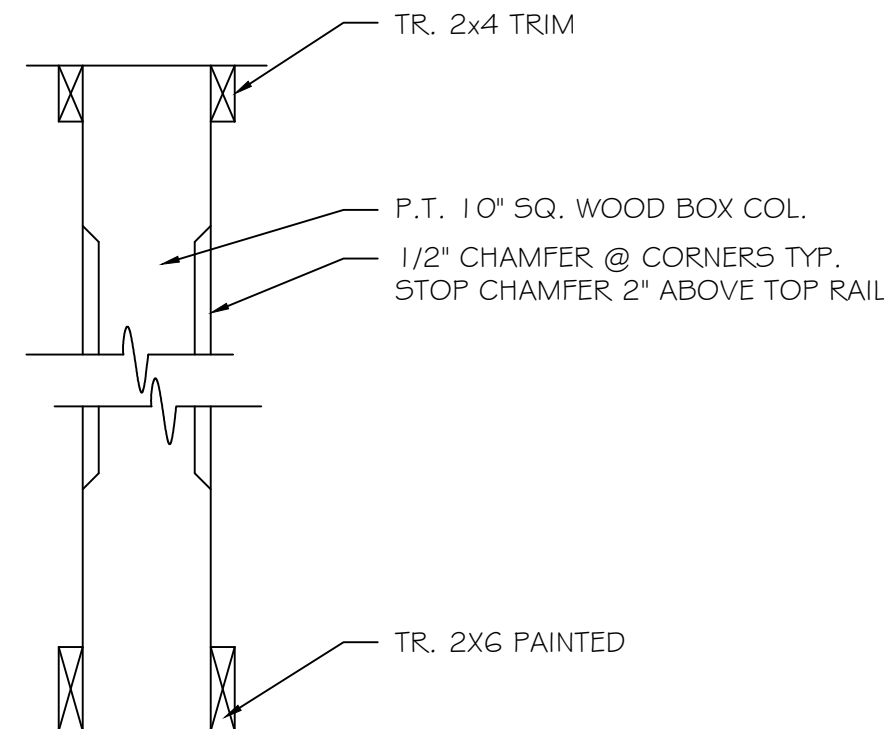


12 EXTERIOR STAIR DETAIL
SCALE: N.T.S.

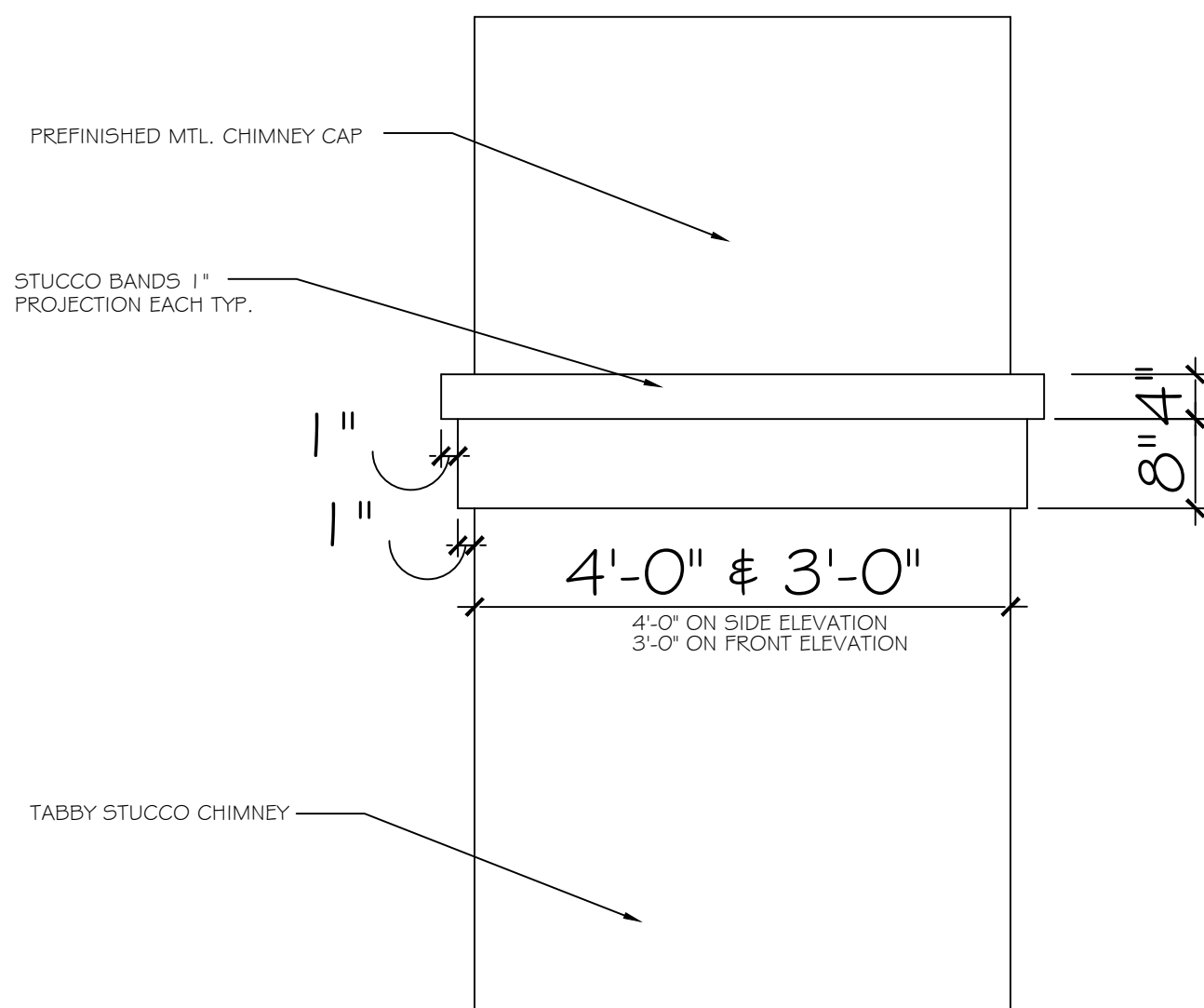


13 DETAIL - TYP. WINDOW TRIM
SCALE: 5/8" = 1'-0"

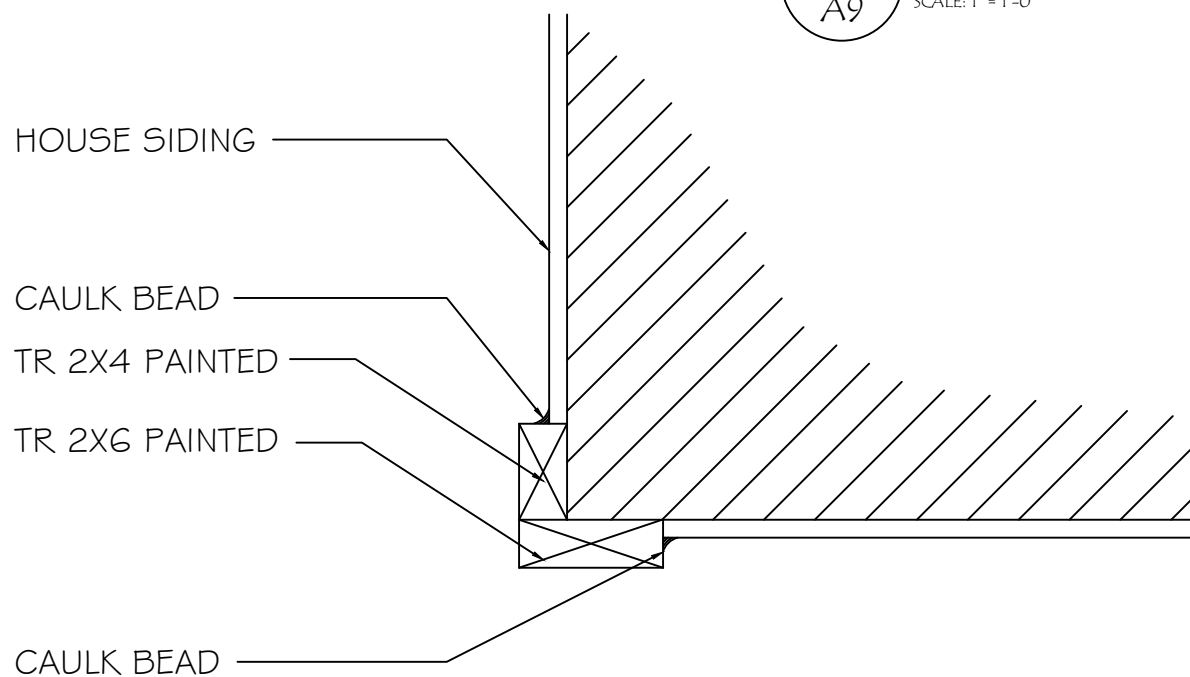
MAY SUBSTITUTE TREATED WOOD WITH CEMENT FIBER BOARDS



14 TYPICAL SQUARE COLUMN DETAIL
SCALE: 1" = 1'-0"

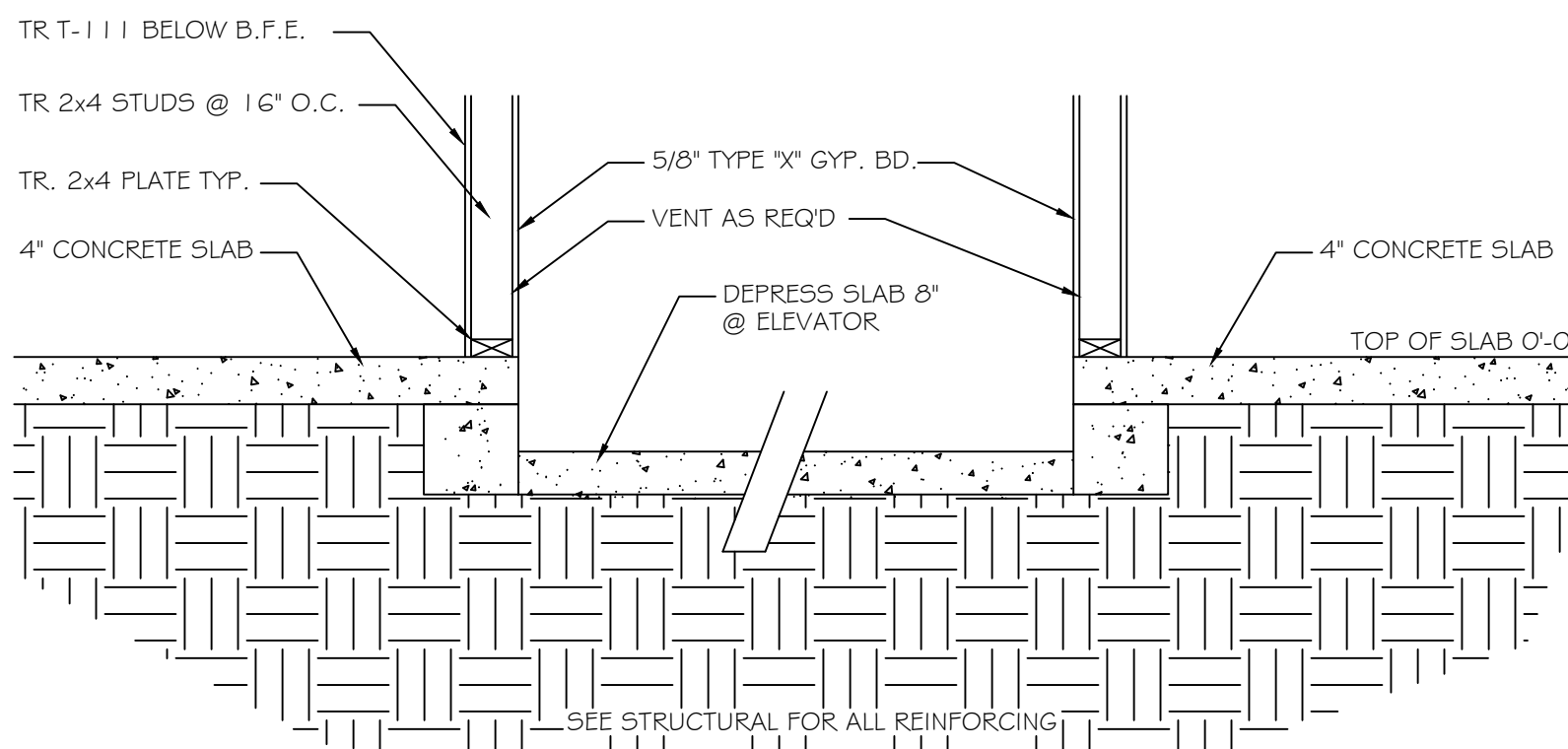


11 DETAIL - CHIMNEY CAP
SCALE: 1" = 1'-0"

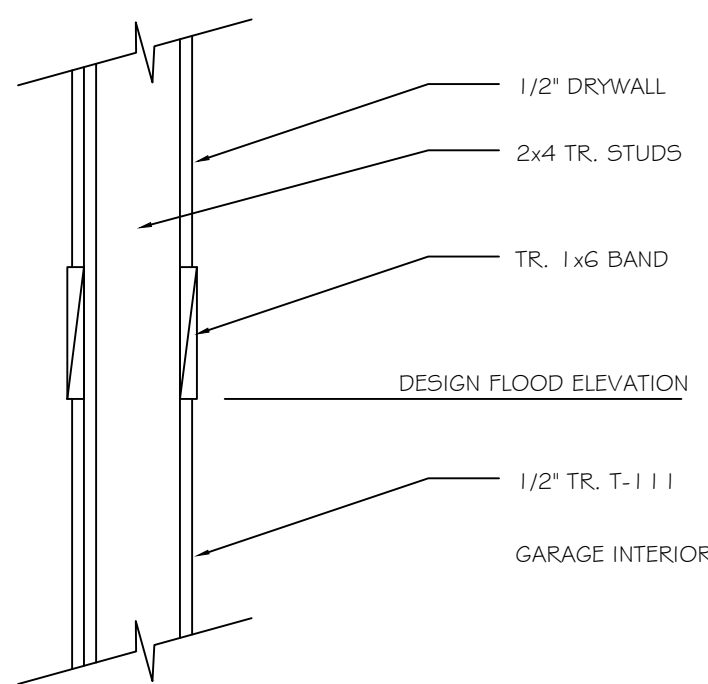


7 DETAIL - TYP. OUTSIDE CORNER
SCALE: 1/2" = 1'-0"

MAY SUBSTITUTE TREATED WOOD WITH CEMENT FIBER BOARDS



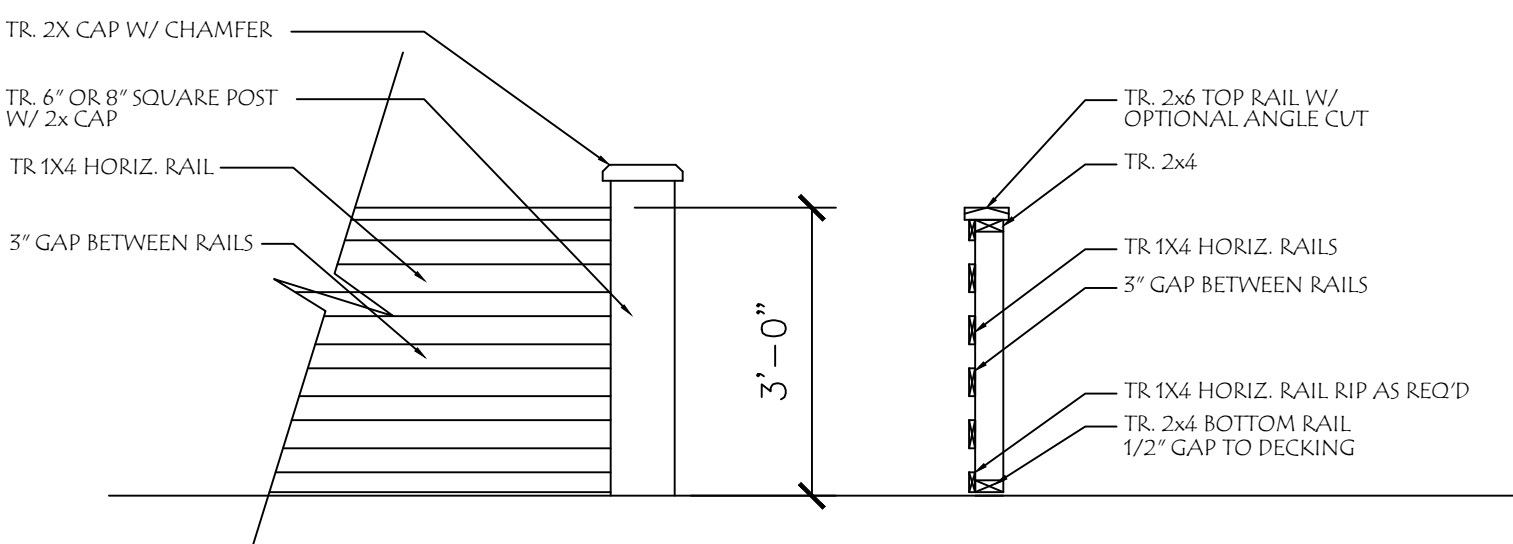
9 SECTION @ ELEVATOR PIT
SCALE: 3/4" = 1'-0"



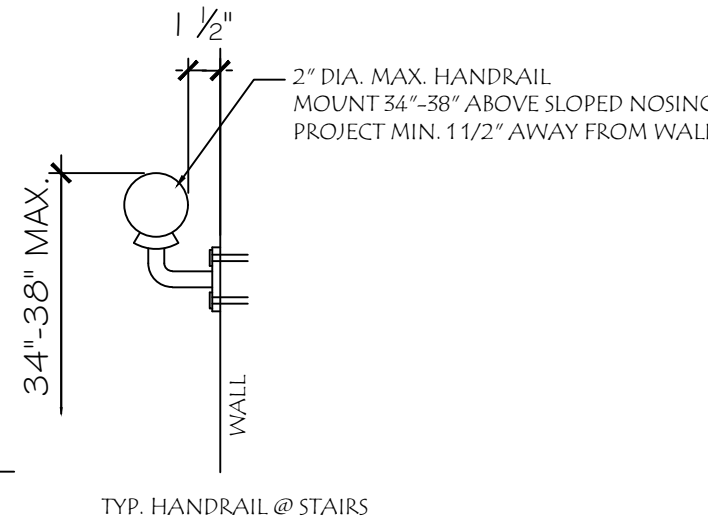
8 SECTION @ GARAGE WALL
SCALE: 3/4" = 1'-0"

5 DETAIL @ HVAC ENCLOSURE
SCALE: 1" = 1'-0"

G.C. SHALL FASTEN ONE SIDE OF ENCLOSURE W/ SCREWS SO UNIT CAN BE SERVICED



4 DETAIL - TYPICAL RAILING
SCALE: 1/2" = 1'-0"



TYP. HANDRAIL @ STAIRS

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