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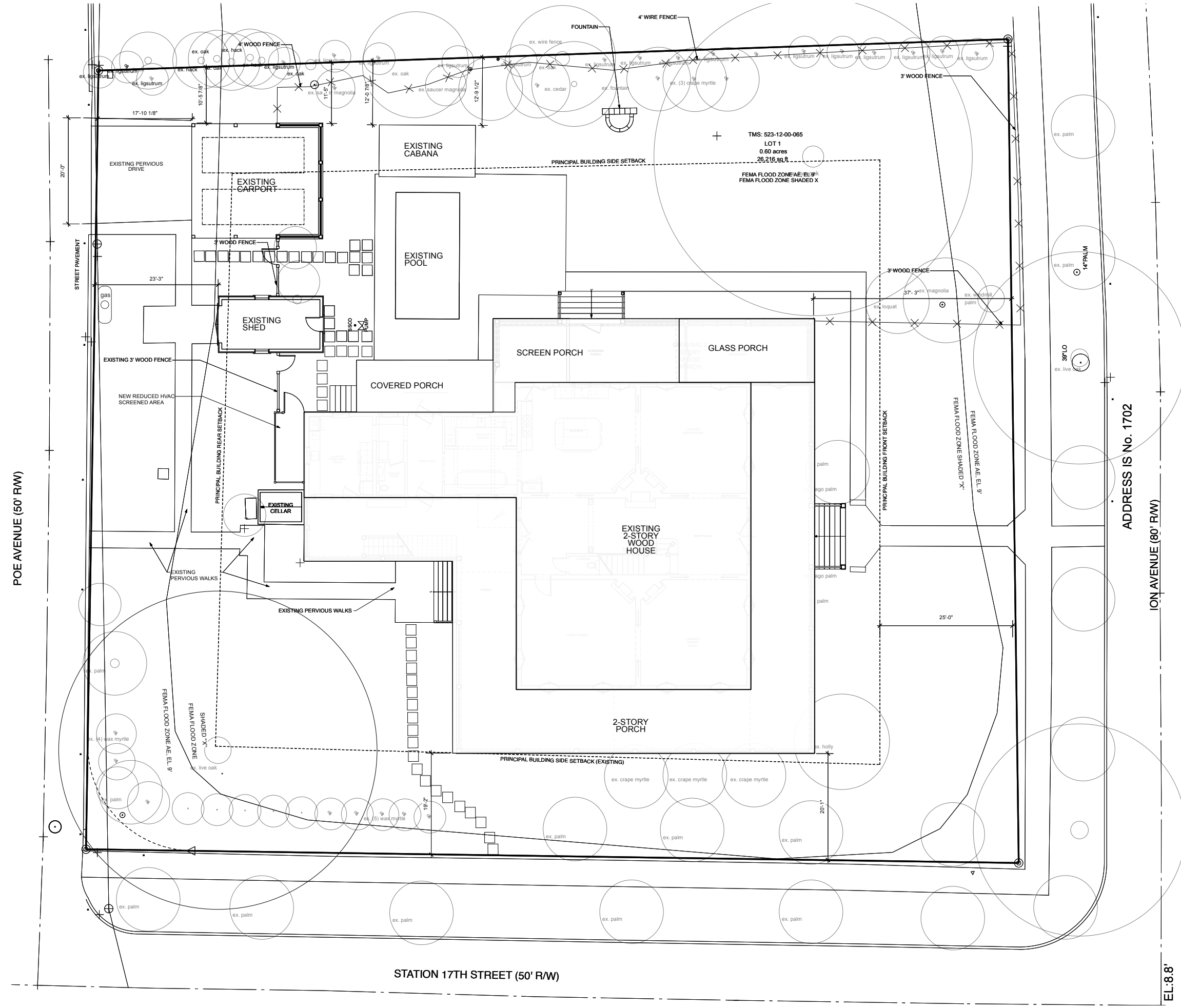
ARCHITECTS



MOORE RESIDENCE

1702 ION AVENUE
SULLIVAN'S ISLAND, SC 29482

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1702 I'ON STREET

TMS # 523-12-00-065
 LOT SIZE 26,216 SF
 LOT WIDTH 155.20'/146.80'
 LOT DEPTH 175.80'/171.50'
 FLOOD ZONE VE 1B'
 ZONING RC-1C

SETBACKS

PRINCIPAL BUILDING
 FRONT 25' ALLOWED, 37.3' EXISTING, NO CHANGE PROPOSED
 REAR 25' ALLOWED, 39.9' EXISTING, NO CHANGES PROPOSED
 SIDE 1 (WEST) MIN 10' ALLOWED, 20.1' EXISTING, NO CHANGES PROPOSED
 SIDE 2 (EAST) MIN 20' ALLOWED, 51.2' EXISTING, NO CHANGES PROPOSED

COMB. SIDE 40' MIN.

ACCESSORY STRUCTURES
 FRONT 20' BACK FROM FACE OF PRINCIPAL BUILDING
 REAR 30' FROM PAVED ROAD
 SIDE 10'

LOT COVERAGE

PRINCIPAL BUILDING COVERAGE AREA SEC. 21-25
 ALLOWED 15% = 3,932 SF
 EXISTING 16.2% = 4,270 SF
 PROPOSED 16.2% = 4,270 SF

PRINCIPAL BUILDING SQUARE FOOTAGE SEC. 21-27
 ALLOWED [(26,216 - 5000) / 100] x (10) + 2400 = 4,521 SF
 EXISTING 7,344 SF
 PROPOSED 7,344 SF

IMPERVIOUS COVERAGE SEC. 21-26
 ALLOWED 30% = 7,865 SF
 EXISTING 34% = 8,998 SF
 PROPOSED 34% = 8,998 SF

PBCA+ COVERED PORCHS+DECKS+STEPS: 6,866 SF
 EXIST. POOL / PATIO: 700 SF
 EXIST. DRIVES / WALKS: 505 SF
 EXISTING ACC. STRUCTURES (UNHEATED): 910 SF
 TOTAL IMPERVIOUS COVERAGE (PROPOSED): 8,800 SF

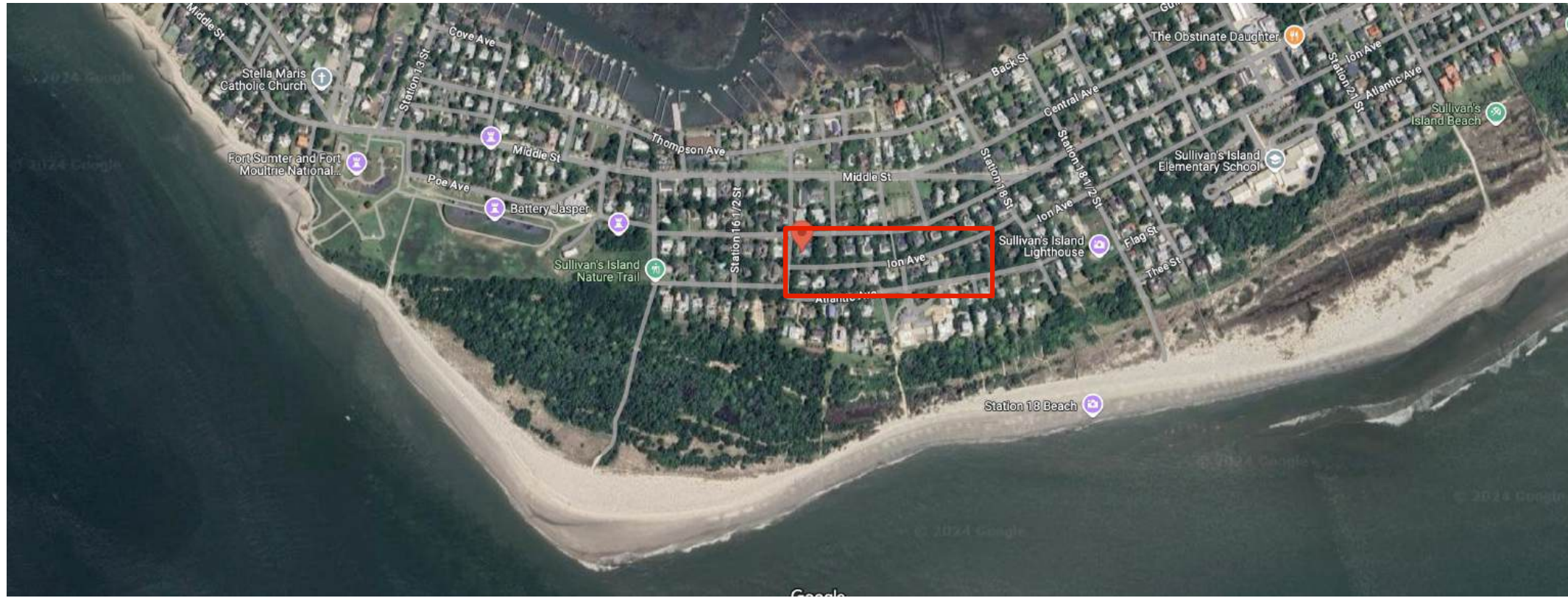


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1 KING STREET
 SUITE 102
 CHARLESTON, SC 29401
 843.722.2040

MOORE RESIDENCE
 1702 ION AVE
 SULLIVAN'S ISLAND, SC
 PROPOSED SITE PLAN
 1/8" = 1' - 0"
 11.22.24

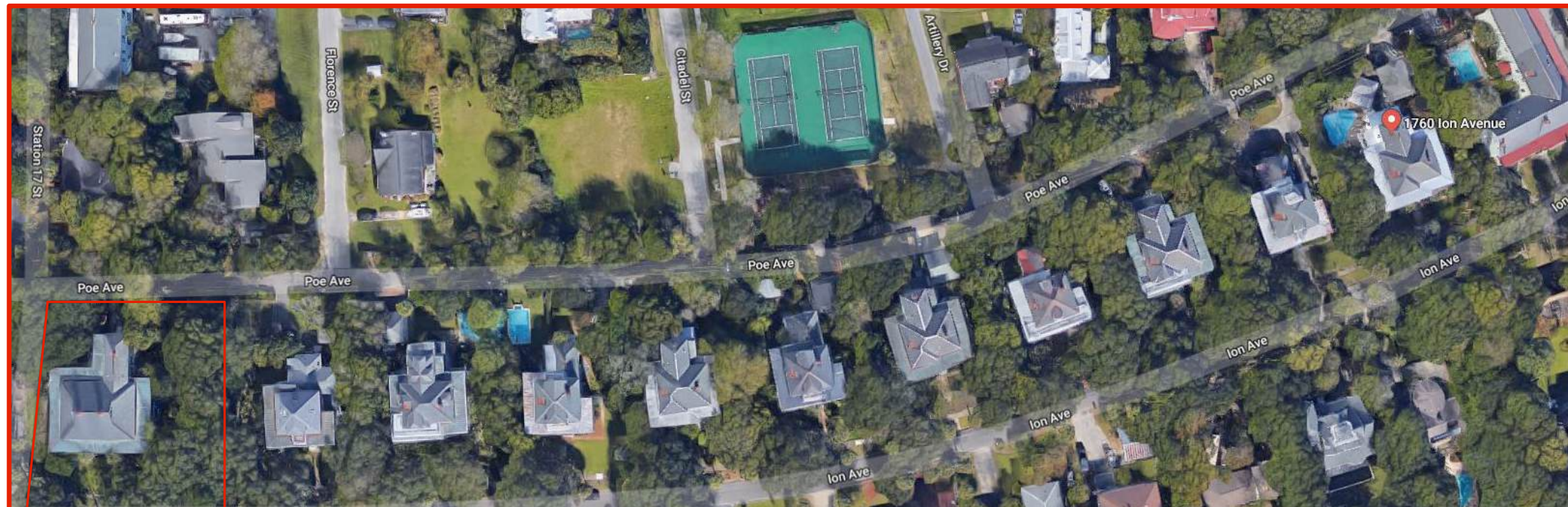
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Google Maps

Sullivan's Island Aerial Map



Google Maps

1702 I'On 1710 I'On 1718 I'On 1724 I'On 1728 I'On 1734 I'On 1738 I'On 1744 I'On 1750 I'On 1754 I'On 1760 I'On

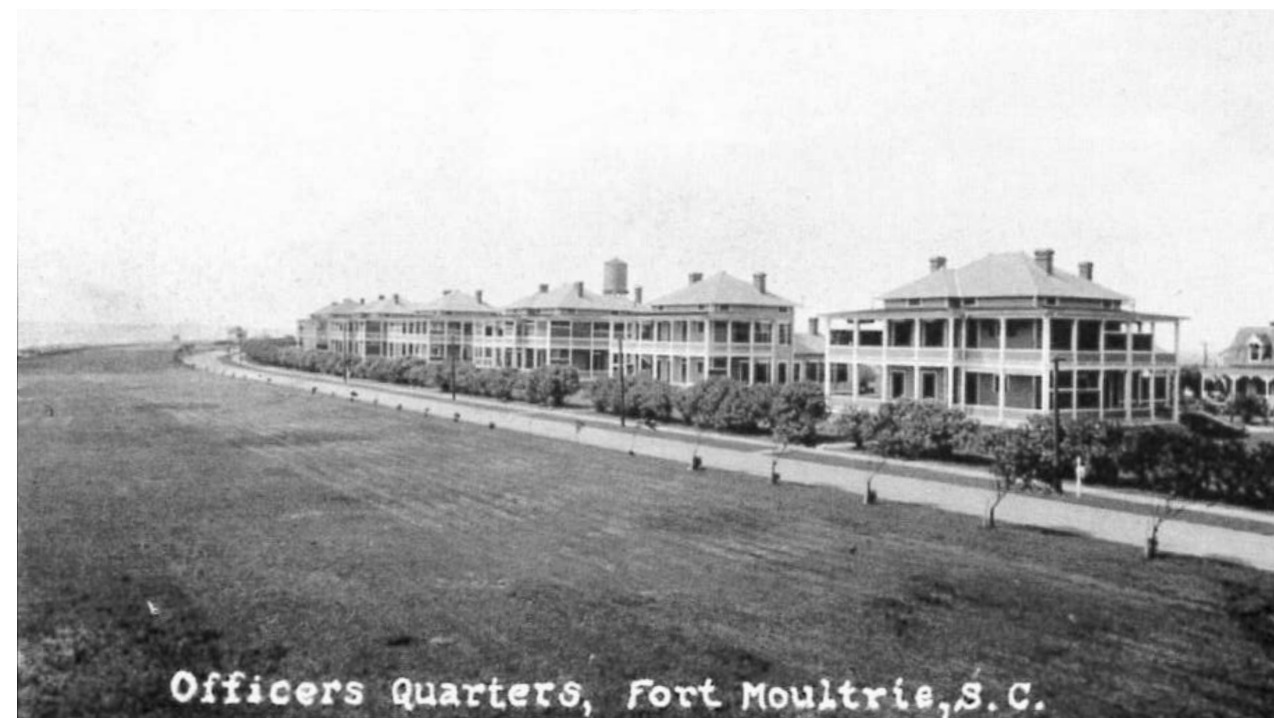
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 AERIAL IMAGES
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 11.22.24

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Images of America, Sullivan's Island, Gadsden Cultural Center, 2004, p.38

View of the Senior Officer's Quarters, looking West along I'On Ave.



AERIAL VIEW OF FORT MOULTRIE BASE COMMANDER'S QUARTERS, SENIOR OFFICERS ROW, AND PARADE GROUND, 1930. This picture shows how close the ocean was before the land in front of I'on Street accreted. Today there are houses in front of the Senior Officers Row, as well

Images of America, Sullivan's Island, Gadsden Cultural Center, 2004, p.44-45

View of the Senior Officer's Quarters and Commandant's Quarters, looking South-West across Poe Ave.

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1710 I'On Avenue



1718 I'On Avenue



1724 I'On Avenue

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1728 I'On Avenue



1738 I'On Avenue



1744 I'On Avenue



1750 I'On Avenue



1754 I'On Avenue



1760 I'On Avenue

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STREET VIEW IMAGES
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Photo showing Comdant's House as seen from beach (circa1906)
Image from Open Parks Network



Photo showing Comdant's House (1989)
<https://www.charlestonmuseum.org/research/collection/sullivan-s-island-fort-moultrie-officers-quarters/86D089AC-4CB4-441C-9DDD-192522015165>

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Photo showing military ceremony on parade grounds with military row in
background (1944)
Image from Open Parks Network



Photo showing the row of homes built for military officers on I'On Street (1989)
https://charlestonmag.com/features/escaping_to_the_now_forgotten_beach_haven_of_moultrieville

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1702 I'On Avenue, North elevation



1702 I'On Avenue, North and West elevation

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1702 I'On Avenue, partial East elevation



1702 I'On Avenue, partial East elevation



1702 I'On Avenue, South elevation



1702 I'On Avenue, West elevation



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Existing Carport, Cabana and Pool



Existing Storage, Carport and Pool



Existing Outdoor Shower, to be Removed



Existing HVAC Units, Deck, and Screen to be Removed and Replaced

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North West Enclosed Porch - 2nd Floor



North Enclosed Porch (Sauna) - 2nd Floor



North Enclosed Porch (Bathroom) - 2nd Floor



SW Screened Porch looking towards Enclosed Porch- 2nd Floor



East Screened Porch looking towards enclosed porch- 1st Floor



East Enclosed Porch- 1st Floor

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HISTORIC PHOTO DEMONSTRATING SIMILAR 2ND FLOOR CONFIGURATION AT ADJACENT OFFICER'S UNITS

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BUILDING STRUCTURE IMAGES
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Original 2nd floor roof framing as remaining in existing attic



1760 I'On Avenue, Seen from the Back Yard - May 29, 1987



Similar configuration at 1760 I'On Avenue, Seen from the Back Yard - January 18, 1990

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AERIAL IMAGES
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EX36- ORIGINAL WOOD FRENCH DOORS
-PROPOSING TO ENCLOSE PORCH AND PRESERVE DOORS IN EXISTING LOCATION

EX12- NON ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
-NON ORIGINAL WINDOW INSTALLED IN NON ORIGINAL PORCH ENCLOSURE
-PROPOSING TO REMOVE PORCH ENCLOSURE AND REUSE WINDOW AT PORTION OF HOUSE TO RECEIVE NEW COVERED PORCH

EX13- NON ORIGINAL 1/1 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
-NON ORIGINAL WINDOW INSTALLED IN NON ORIGINAL PORCH ENCLOSURE
-PROPOSING TO REMOVE PORCH ENCLOSURE AND WINDOW, WINDOW TO BE STORED

EX39 - NON ORIGINAL WOOD DOOR W/ GLASS PANEL + EX44- NON ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
-NO CHANGES PROPOSED



EX50- NON ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
-NON ORIGINAL WINDOW INSTALLED IN EARLY ADDITION AT SECOND FLOOR WING
-NO CHANGES PROPOSED

EX14- ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
-NO CHANGES PROPOSED

EX17- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED

EX18- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED



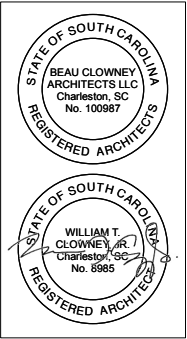
EX26- NON ORIGINAL 1 LITE FIXED WOOD WINDOW
-NON ORIGINAL WINDOW INSTALLED IN NON ORIGINAL PORCH ENCLOSURE
-PORCH ENCLOSURE TO BE REBUILT AND NEW 2/2 DOUBLE HUNG WOOD WINDOW TO BE INSTALLED

EX26- NON ORIGINAL 4 LITE FIXED WOOD WINDOW
-NON ORIGINAL WINDOW INSTALLED IN NON ORIGINAL PORCH ENCLOSURE
-PORCH ENCLOSURE TO BE REBUILT AND NEW 2/2 DOUBLE HUNG WOOD WINDOW TO BE INSTALLED

EX28+EX 29- NON ORIGINAL 6/6 DOUBLE HUNG WOOD WINDOWS
-NON ORIGINAL WINDOWS INSTALLED IN NON ORIGINAL PORCH ENCLOSURE
-PORCH ENCLOSURE TO BE REBUILT AND NEW 2/2 DOUBLE HUNG WOOD WINDOWS TO BE INSTALLED

EX16- ORIGINAL WOOD FRENCH DOORS W/ TRANSOM AND SIDELITES
-NO CHANGES PROPOSED

EX30 + EX31 + EX32- NON ORIGINAL 6/6 DOUBLE HUNG WOOD WINDOWS
-NON ORIGINAL WINDOWS INSTALLED IN NON ORIGINAL PORCH ENCLOSURE
-PORCH ENCLOSURE TO BE REBUILT AND NEW 2/2 DOUBLE HUNG WOOD WINDOWS TO BE INSTALLED



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SURVEY PHOTOS - NORTH FACADES
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EX33- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED

EX32- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED

EX7- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED

EX8- ORIGINAL WOOD FRENCH DOORS IN NON ORIGINAL LOCATION
-NO CHANGES PROPOSED

EX9- ORIGINAL WOOD FRENCH DOORS IN NON ORIGINAL LOCATION
-DOORS TO BE RELOCATED PER PLAN



EX34- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED TO FRENCH DOORS. SHUTTERS TO BE REMOVED AND STORED WHEN PORCH IS ENCLOSED

EX35- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED TO FRENCH DOORS. SHUTTERS TO BE REMOVED AND STORED WHEN PORCH IS ENCLOSED



TYPICAL ORIGINAL WOOD AND GLASS FRENCH DOORS
DOORS AND LOUVERED WOOD SHUTTERS TO BE REPAIRED AS NEEDED

NOTE: NO CHANGE TO ANY EXISTING ATTIC WINDOWS

EX5+EX6+EX7+EX8- NON ORIGINAL 6/6 DOUBLE HUNG WOOD WINDOWS
-NON ORIGINAL WINDOWS INSTALLED IN NON ORIGINAL PORCH ENCLOSURE
-PORCH ENCLOSURE TO BE REBUILT AND NEW WOOD AND GLASS FRENCH DOORS+ WOOD TRANSOMS TO BE INSTALLED

EX1+EX2+EX3+EX4- NON ORIGINAL 6/6 DOUBLE HUNG WOOD WINDOWS
-NON ORIGINAL WINDOWS INSTALLED IN NON ORIGINAL PORCH ENCLOSURE
-PORCH ENCLOSURE TO BE REBUILT AND NEW WOOD AND GLASS FRENCH DOORS+ WOOD TRANSOMS TO BE INSTALLED

EX9- NON ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
-NON ORIGINAL WINDOW INSTALLED IN NON ORIGINAL PORCH ENCLOSURE
-PROPOSING TO REMOVE PORCH ENCLOSURE AND REUSE WINDOW AT PORTION OF HOUSE TO RECEIVE NEW COVERED PORCH



EX45- ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
-ORIGINAL WOOD WINDOW TO REMAIN

EX46- ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
-ORIGINAL WOOD WINDOW TO REMAIN

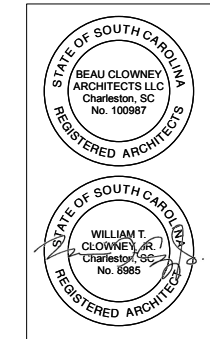
EX47- ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
-ORIGINAL WOOD WINDOW TO REMAIN

EX48- NON ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
-NON ORIGINAL WINDOW INSTALLED IN EARLY ADDITION AT SECOND FLOOR WING
-NON ORIGINAL WOOD WINDOW TO REMAIN

EX14- ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
-ORIGINAL WOOD WINDOW TO REMAIN

EX12- NON ORIGINAL WOOD AND GLASS FRENCH DOORS
-NON ORIGINAL DOORS INSTALLED DURING PREVIOUS RENOVATION TO BE REMOVED AND REPLACE WITH NEW WOOD FRENCH DOORS AND SIDELITES.

EX10- NON ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
-ATYPICAL WINDOW IN VERTICAL DIMENSION INSTALLED DURING KITCHEN RENOVATION TO BE ABOVE COUNTER HEIGHT TO BE REPLACED WITH EX9 WHEN PORCH ENCLOSURE IS REMOVED



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EX27- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED

EX28- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED

EX29 ORIGINAL WOOD FRENCH DOORS WITH TRANSOM AND SIDELITES
-NO CHANGES PROPOSED

EX1- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED

EX2- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED

EX3- ORIGINAL WOOD FRENCH DOORS WITH TRANSOM AND SIDELITES
-NO CHANGES PROPOSED

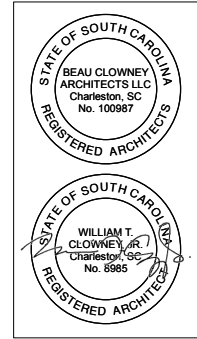
EX31- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED

EX30- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED

EX18+EX 19+EX20- NON ORIGINAL 6/6 DOUBLE HUNG WOOD WINDOWS
-NON ORIGINAL WINDOWS INSTALLED IN NON ORIGINAL PORCH ENCLOSURE
-PORCH ENCLOSURE TO BE REBUILT AND NEW WOOD AND GLASS FRENCH DOORS+ WOOD TRANSOMS TO BE INSTALLED

EX5- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED

EX4- ORIGINAL WOOD FRENCH DOORS
-NO CHANGES PROPOSED



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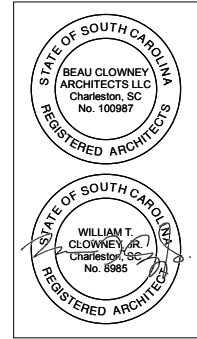
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EX36+EX37+EX38- NON ORIGINAL 6/6 DOUBLE HUNG WOOD WINDOW
 -ATYPICAL WINDOW INSTALLED DURING PORCH ENCLOSURE
 -REMOVE AND REPLACE WITH 2/2 DOUBLE HUNG WOOD UNIT (TO MATCH TYPICAL ORIGINAL WINDOWS)

EX39+EX40+EX41- NON ORIGINAL 6/6 DOUBLE HUNG WOOD WINDOW
 -ATYPICAL WINDOW INSTALLED DURING PORCH ENCLOSURE
 -REMOVE AND REPLACE WITH 2/2 DOUBLE HUNG WOOD UNIT (TO MATCH TYPICAL ORIGINAL WINDOWS)

EX33+EX34+EX35- NON ORIGINAL 6/6 DOUBLE HUNG WOOD WINDOW
 -ATYPICAL WINDOW INSTALLED DURING PORCH ENCLOSURE
 -REMOVE AND REPLACE WITH 2/2 DOUBLE HUNG WOOD UNIT (TO MATCH TYPICAL ORIGINAL WINDOWS)



NOTE: EX21+22- NON ORIGINAL 6/6 DOUBLE HUNG WOOD WINDOWS NOT PICTURED (PORCH ENCLOSURE BEYOND)
 -ATYPICAL WINDOW INSTALLED DURING PORCH ENCLOSURE TO BE REMOVED AND REPLACED WITH WOOD FRENCH DOORS AND TRANSOMS WHEN ENCLOSURE IS REBUILT

EX45- ORIGINAL WOOD FRENCH DOORS (BEYOND)
 -NO CHANGES PROPOSED

EX44- ORIGINAL WOOD FRENCH DOORS (BEYOND)
 -NO CHANGES PROPOSED

EX22- ORIGINAL WOOD FRENCH DOORS
 -NO CHANGES PROPOSED

EX21- ORIGINAL WOOD FRENCH DOORS
 -NO CHANGES PROPOSED

EX17- NONORIGINAL 4/4 WOOD WINDOW WITH PRIVACY GLAZING
 -ATYPICAL WINDOW IN INSTALLED DURING BATHROOM ADDITION TO BE REMOVED, SIDING PATCHED TO MATCH EXISTING

EX20- ORIGINAL WOOD FRENCH DOORS
 -NO CHANGES PROPOSED

EX19- ORIGINAL WOOD FRENCH DOORS
 -NO CHANGES PROPOSED



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EX23- ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
 -ORIGINAL WINDOW LOCATION TO BE ADJUSTED SLIGHTLY PER PLAN. SIDING TO BE PATCHED TO MATCH EXISTING

EX49- NON ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
 -NON ORIGINAL WINDOW INSTALLED IN EARLY ADDITION AT SECOND FLOOR WING
 -NO CHANGES PROPOSED

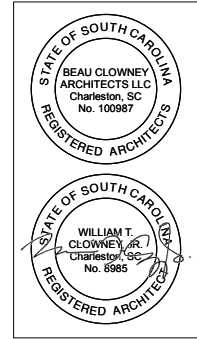
EX37- NON ORIGINAL WOOD DOOR AND TRANSOM
 -NON ORIGINAL DOOR AND TRANSOM INSTALLED IN EARLY ADDITION AT SECOND FLOOR WING
 -NO CHANGES PROPOSED.

EX38- ORIGINAL WOOD DOOR AND TRANSOM
 -NO CHANGES PROPOSED.

EX22- ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
 -NO CHANGES PROPOSED



EX25- NON ORIGINAL SINGLE LITE WOOD WINDOW
 -ATYPICAL WINDOW INSTALLED DURING PORCH ENCLOSURE
 -REMOVE AND REPLACE WITH 2/2 DOUBLE HUNG WOOD UNIT (TO MATCH TYPICAL ORIGINAL WINDOWS)



EX15- ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
 -NO CHANGES PROPOSED

EX12- ORIGINAL WOOD DOOR AND TRANSOM
 -NO CHANGES PROPOSED



EX14- ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
 -DOOR TO BE REMOVED AND REPLACED WITH NEW 2/2 DOUBLE HUNG WOOD UNIT (TO MATCH TYPICAL ORIGINAL)
 -DOOR TO BE STORED FOR POTENTIAL FUTURE REUSE

EX16- ORIGINAL 2/2 DOUBLE HUNG, SINGLE GLAZED WOOD WINDOW
 -ORIGINAL WOOD WINDOW TO REMAIN

EX15- NON ORIGINAL WOOD DOOR AND TRANSOM
 -WOOD DOOR AND TRANSOM TO BE REMOVED AND REPLACED WITH NEW 2/2 DOUBLE HUNG WOOD UNIT WITH SINGLE GLAZING TO MATCH TYPICAL. NEW SIDING TO MATCH EXISTING. DOOR AND TRANSOM TO BE STORED FOR POTENTIAL FUTURE REUSE.



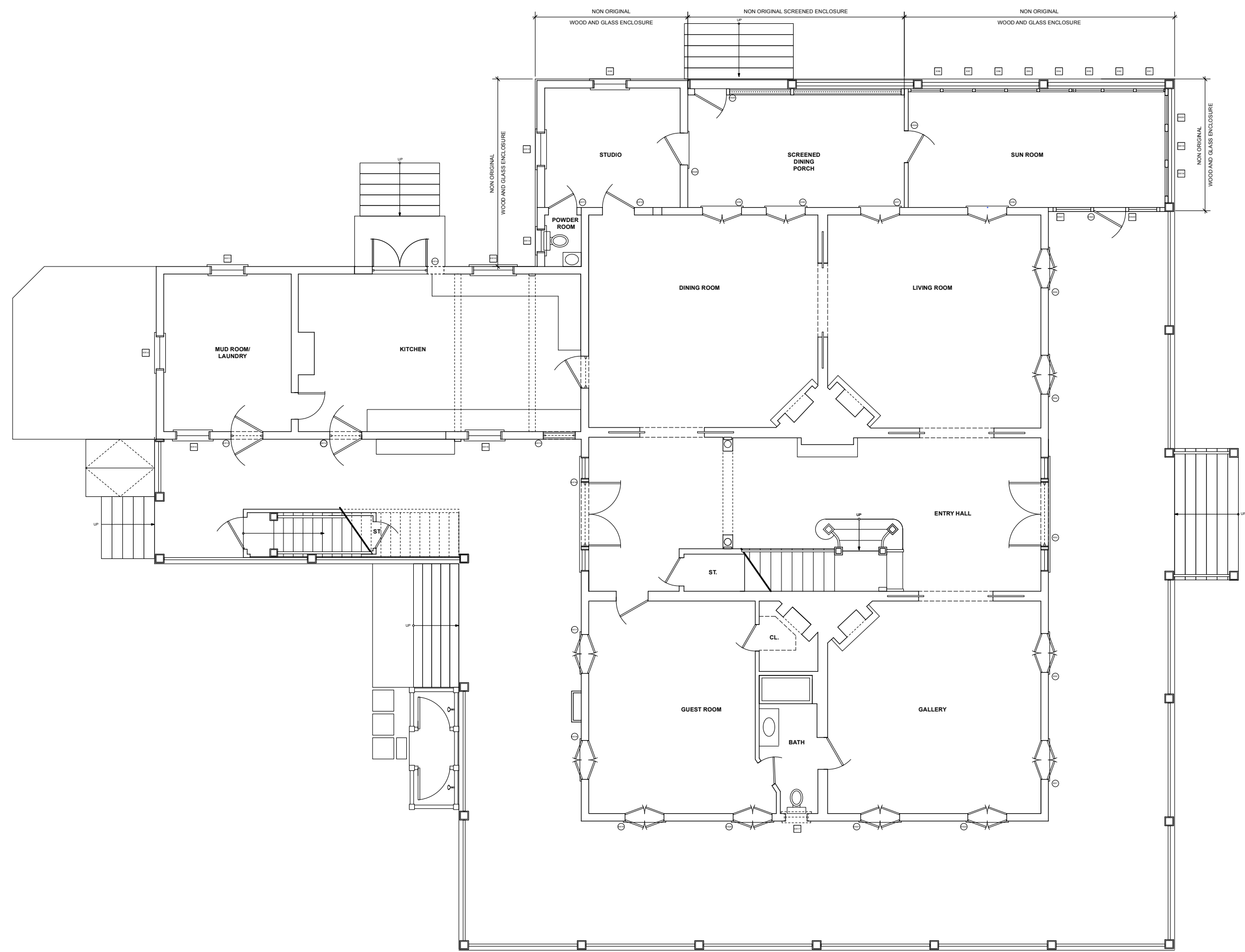
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PLAN LEGEND	
---	WALLS/WINDOWS/DOORS FOR DEMOLITION
—	EXISTING WALLS TO REMAIN
▭	PROPOSED NEW WALLS

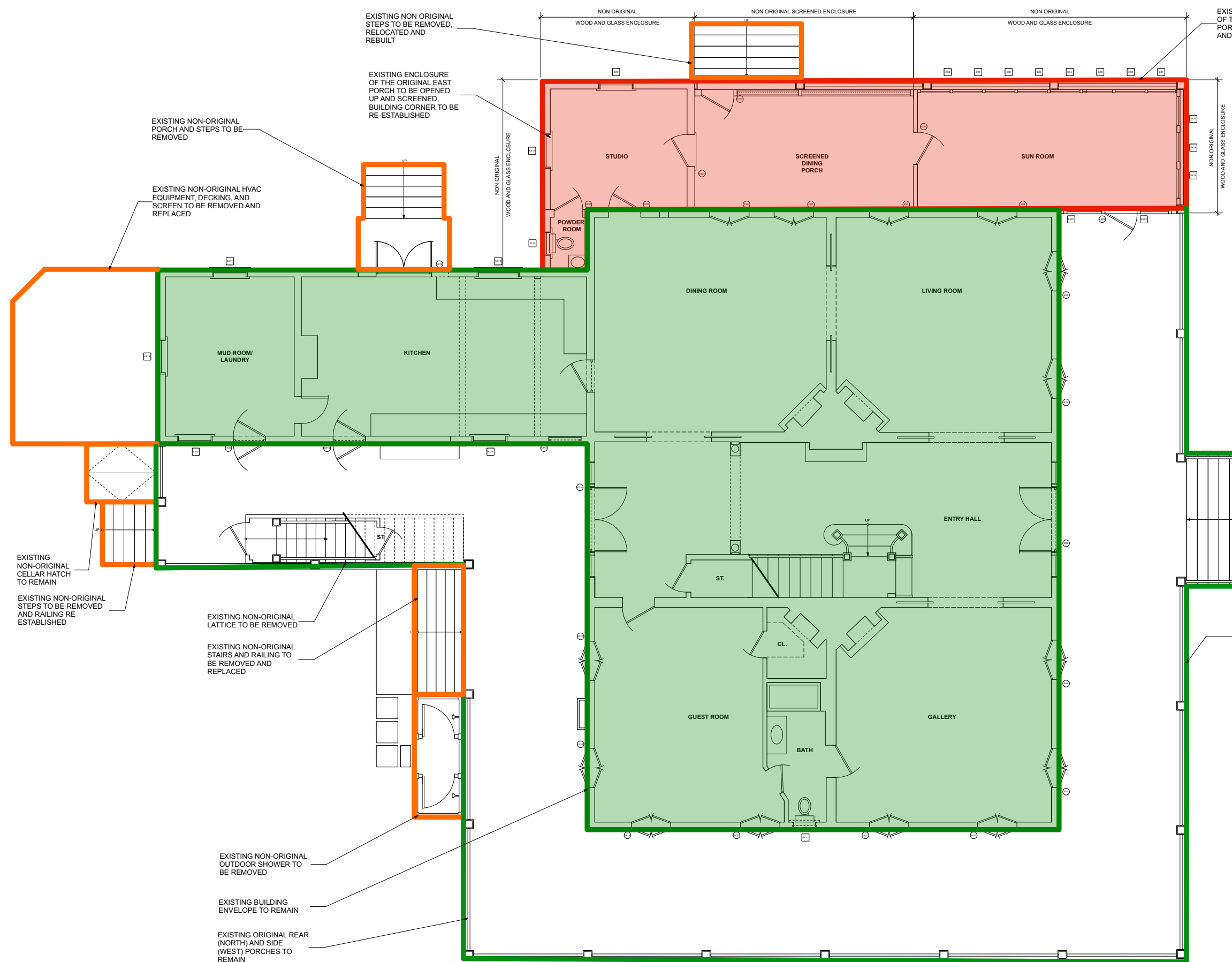


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MOORE RESIDENCE
1702'ON AVE, SULLIVAN'S ISLAND, SC
EXISTING FIRST FLOOR PLAN
1/4" = 1'-0"
11.22.24

EX 1.1

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- ORIGINAL PORCH
- ORIGINAL STRUCTURE
- ADDITION- PORCH
- ADDITION- STRUCTURE
- NON-HISTORIC BUILDING FABRIC
- ENCLOSURE OF A HISTORIC PORCH

EXISTING NON-ORIGINAL STEPS TO BE REMOVED, RELOCATED AND REBUILT

EXISTING ENCLOSURE OF THE ORIGINAL EAST PORCH TO BE OPENED UP AND SCREENED, BUILDING CORNER TO BE RE-ESTABLISHED

EXISTING NON-ORIGINAL PORCH AND STEPS TO BE REMOVED

EXISTING NON-ORIGINAL HVAC EQUIPMENT, DECKING, AND SCREEN TO BE REMOVED AND REPLACED

EXISTING NON-ORIGINAL CELLAR HATCH TO REMAIN

EXISTING NON-ORIGINAL STEPS TO BE REMOVED AND RAILING RE ESTABLISHED

EXISTING NON-ORIGINAL LATTICE TO BE REMOVED

EXISTING NON-ORIGINAL STAIRS AND RAILING TO BE REMOVED AND REPLACED

EXISTING NON-ORIGINAL OUTDOOR SHOWER TO BE REMOVED

EXISTING BUILDING ENVELOPE TO REMAIN

EXISTING ORIGINAL REAR (NORTH) AND SIDE (WEST) PORCHES TO REMAIN

EXISTING ENCLOSURE OF THE ORIGINAL EAST PORCH TO BE REMOVED AND REBUILT

NON ORIGINAL WOOD AND GLASS ENCLOSURE

NON ORIGINAL SCREENED ENCLOSURE

NON ORIGINAL WOOD AND GLASS ENCLOSURE

NON ORIGINAL WOOD AND GLASS ENCLOSURE

EXISTING ORIGINAL FRONT (SOUTH) PORCH TO REMAIN

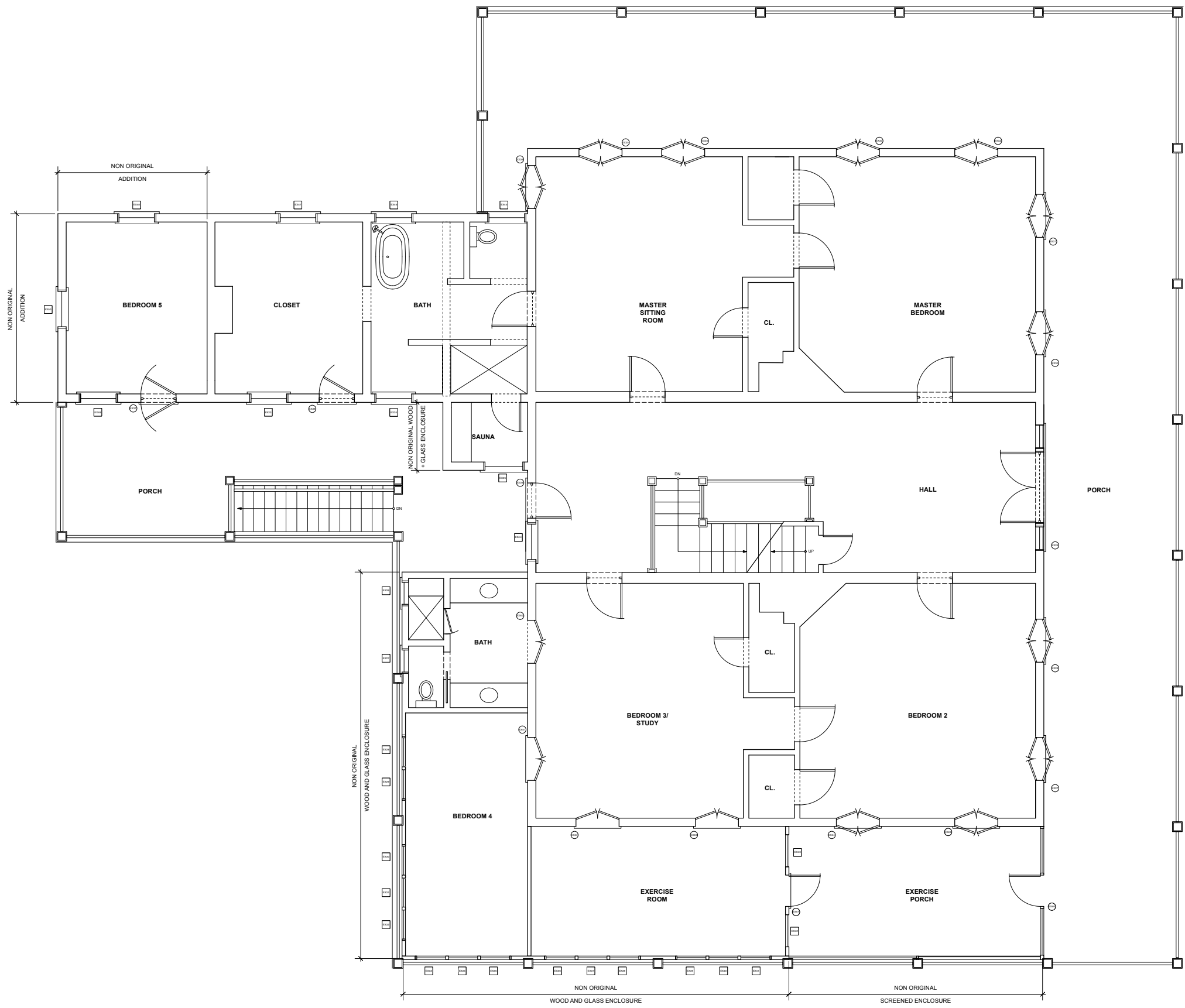


1 KING STREET
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 CHARLESTON, SC 29401
 843.722.2040

MOORE RESIDENCE
 1702'ON AVE, SULLIVAN'S ISLAND, SC
 EXISTING FIRST FLOOR PLAN
 1/4" = 1'-0"
 11. 22. 24

EX 1.1

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PLAN LEGEND	
---	WALLS/WINDOWS/DOORS FOR DEMOLITION
—	EXISTING WALLS TO REMAIN
▬	PROPOSED NEW WALLS

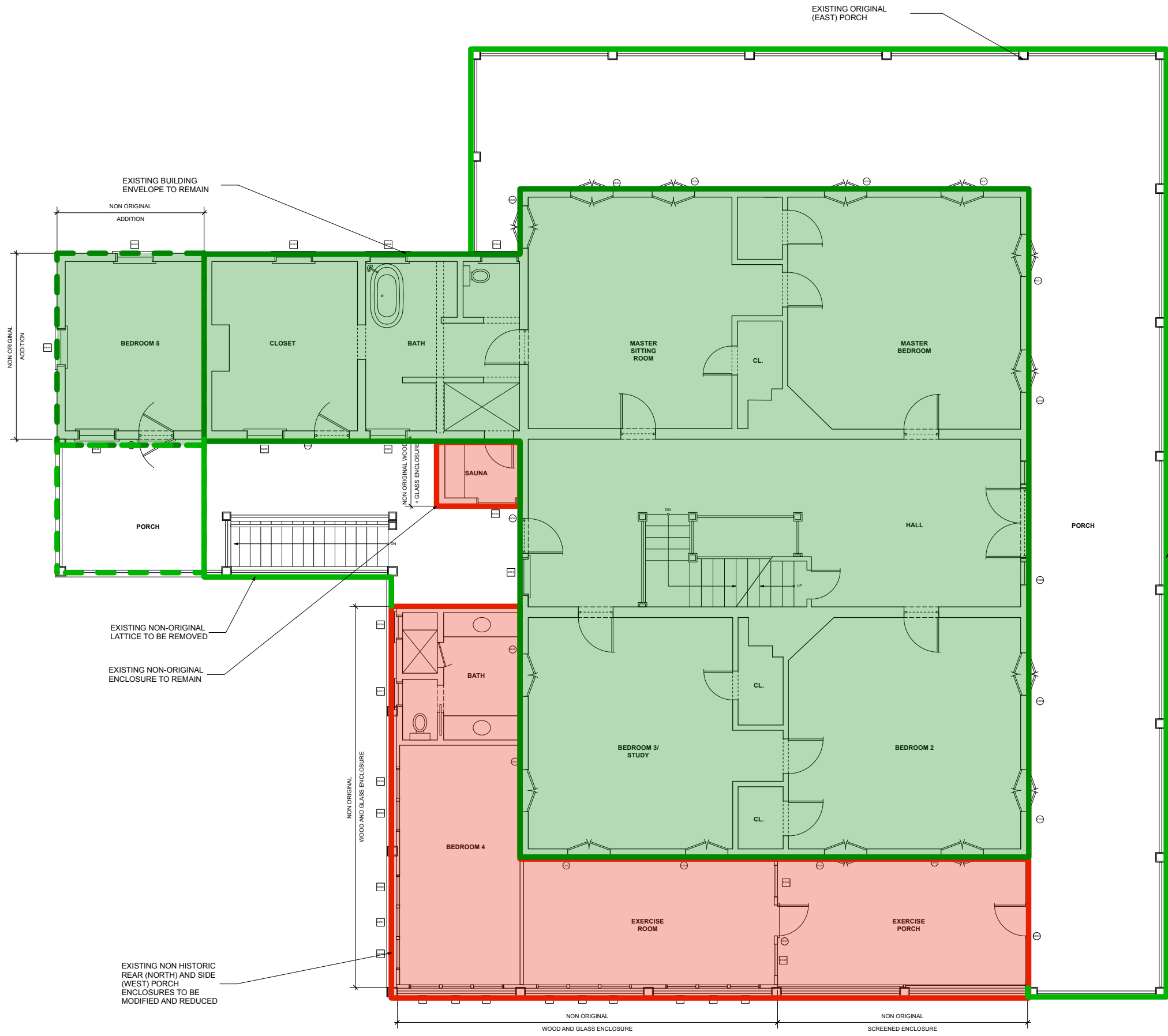


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MOORE RESIDENCE
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 11.22.24

EX 1.2

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- ORIGINAL PORCH
- ORIGINAL STRUCTURE
- ADDITION- PORCH
- ADDITION- STRUCTURE
- NON-HISTORIC BUILDING FABRIC
- ENCLOSURE OF A HISTORIC PORCH

EXISTING BUILDING ENVELOPE TO REMAIN
 NON ORIGINAL ADDITION

EXISTING ORIGINAL (EAST) PORCH

NON ORIGINAL ADDITION

EXISTING NON-ORIGINAL LATTICE TO BE REMOVED
 EXISTING NON-ORIGINAL ENCLOSURE TO REMAIN

NON ORIGINAL WOOD AND GLASS ENCLOSURE

EXISTING NON HISTORIC REAR (NORTH) AND SIDE (WEST) PORCH ENCLOSURES TO BE MODIFIED AND REDUCED

NON ORIGINAL WOOD AND GLASS ENCLOSURE
 NON ORIGINAL SCREENED ENCLOSURE

EXISTING ORIGINAL FRONT (SOUTH) PORCH TO REMAIN

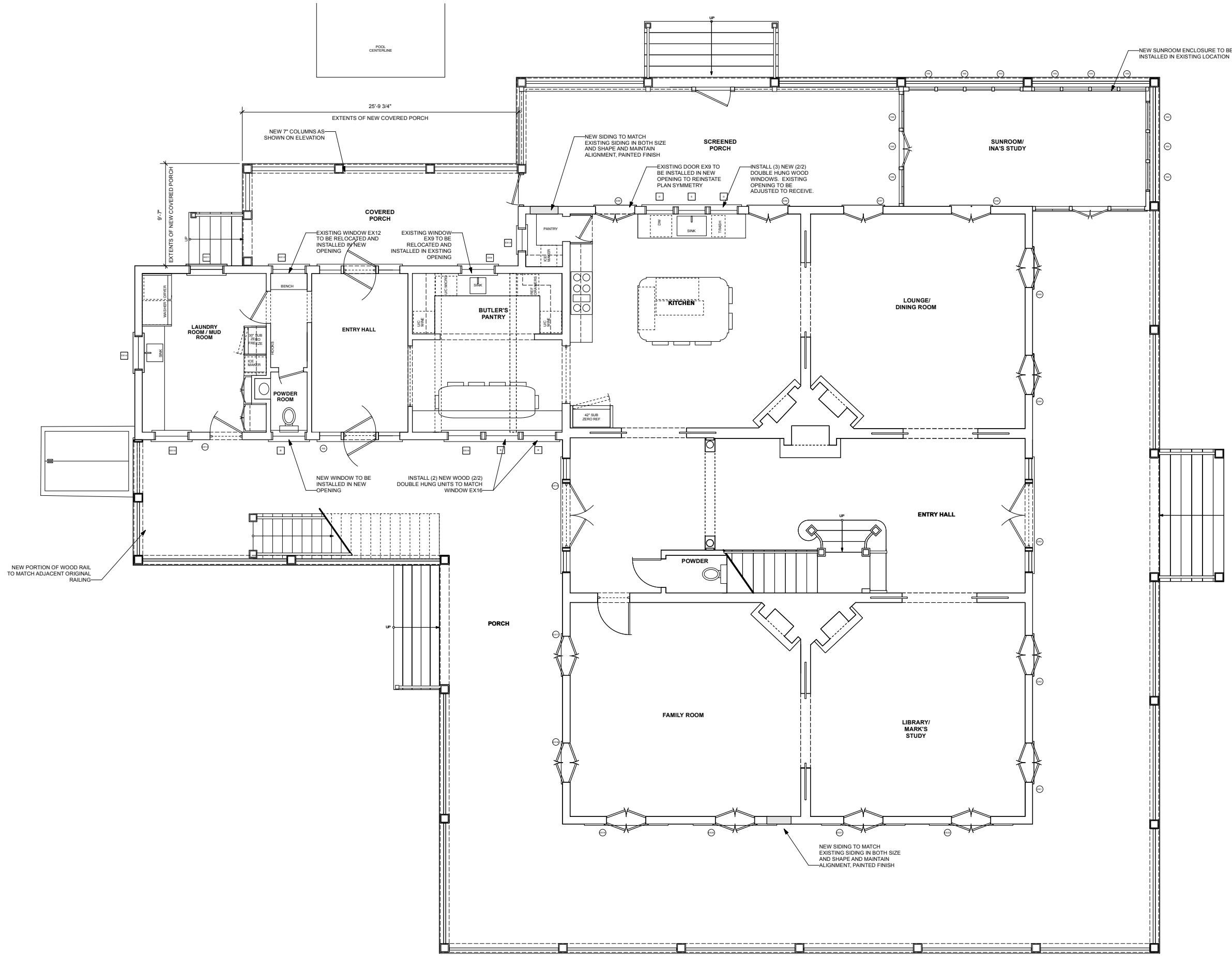


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MOORE RESIDENCE
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 11. 22. 24

EX 1.2

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PLAN LEGEND

---	WALLS/WINDOWS/DOORS FOR DEMOLITION
—	EXISTING WALLS TO REMAIN
▬	PROPOSED NEW WALLS

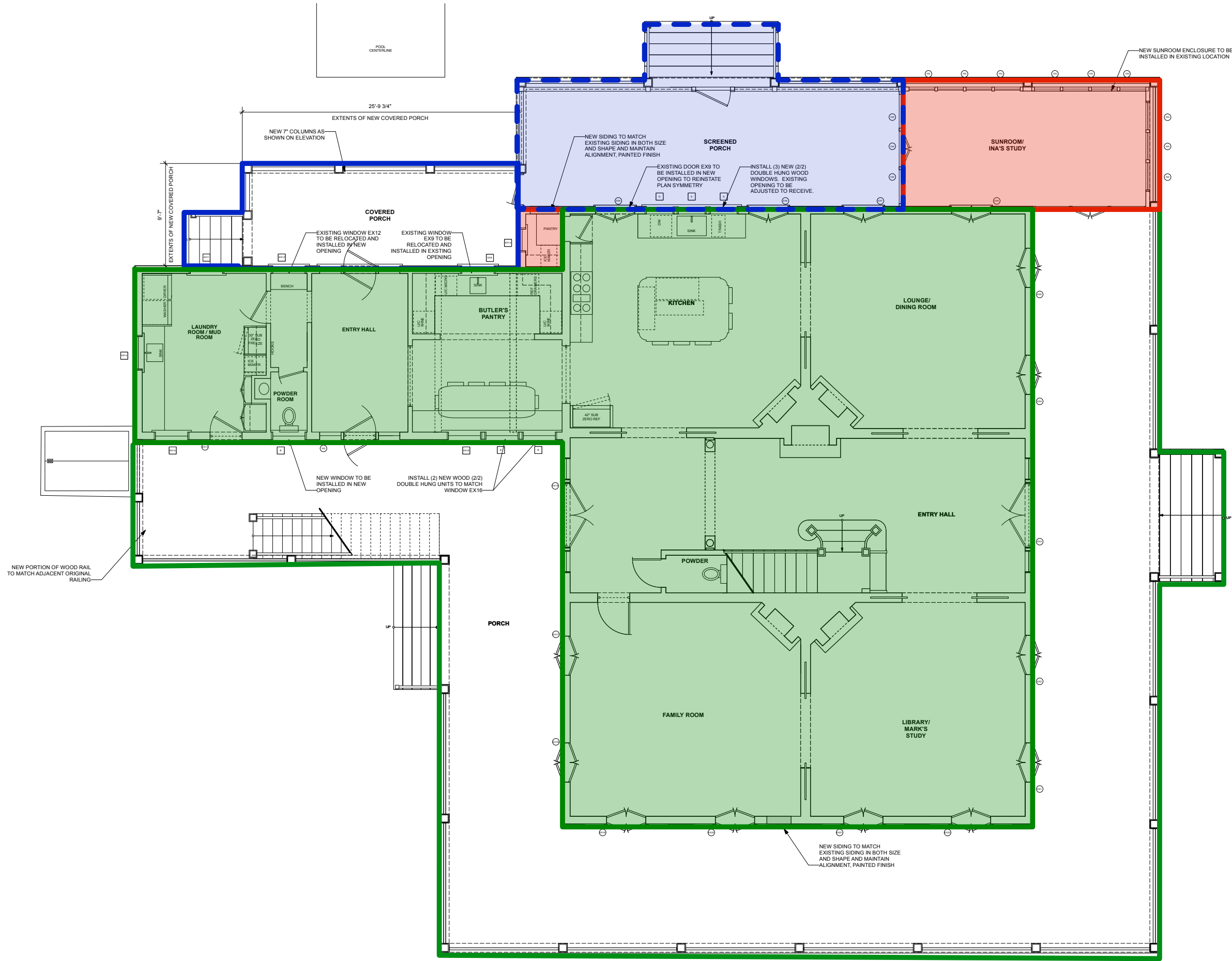
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 11. 22. 24

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- HISTORIC PORCH
- HISTORIC STRUCTURE
- PROPOSED NEW ENCLOSURE OF A HISTORIC PORCH
- ENCLOSURE OF A HISTORIC PORCH (EXIST TO BE MODIFIED)
- PROPOSED NEW COVERED PORCH
- HISTORIC PORCH PREV ENCLOSED TO BE RE-OPENED + SCREENED
- HISTORIC PORCH PREV SCREENED TO BE OPENED

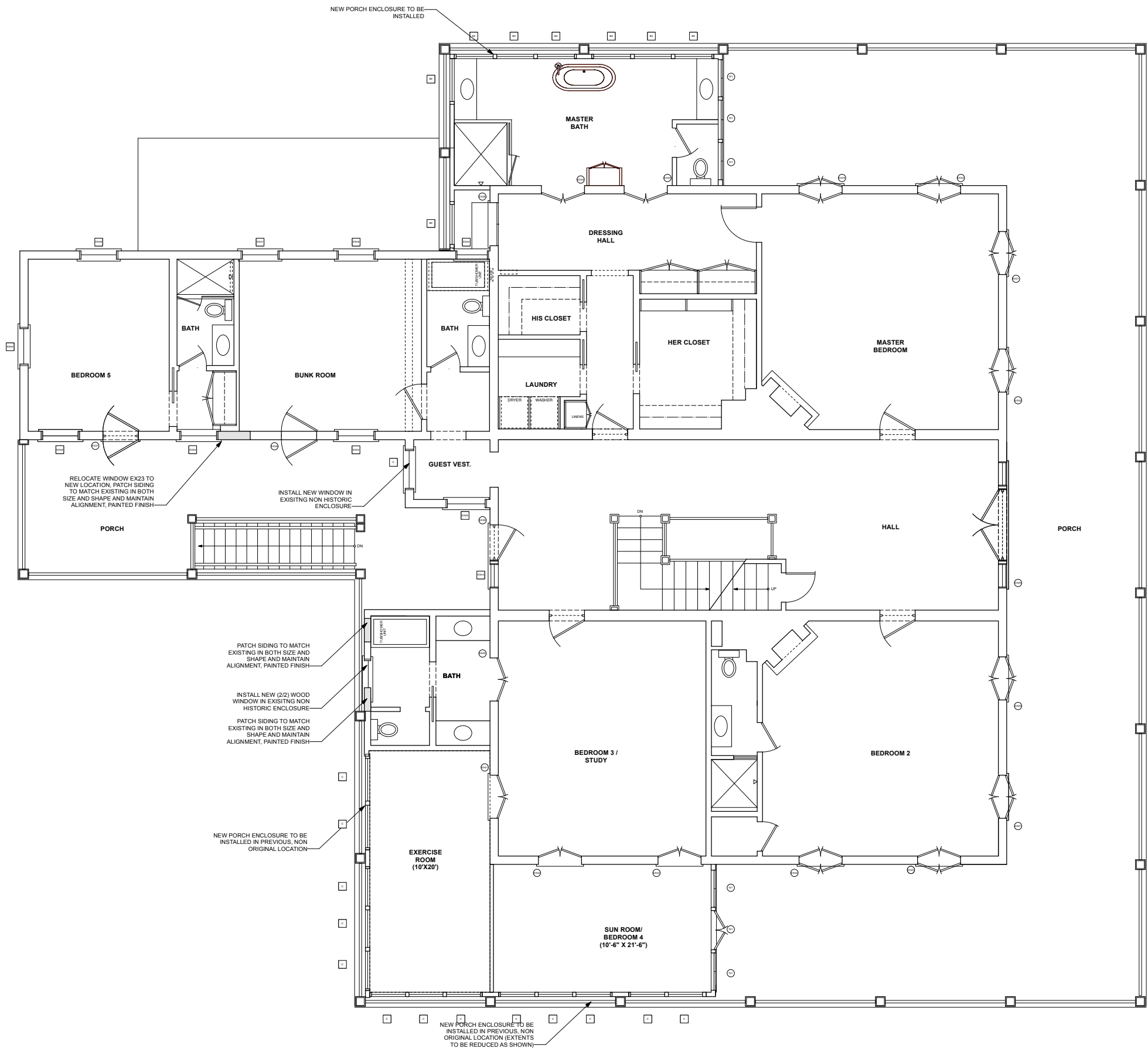
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MOORE RESIDENCE
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PLAN LEGEND

- WALLS/WINDOWS/DOORS FOR DEMOLITION
- EXISTING WALLS TO REMAIN
- ▭ PROPOSED NEW WALLS

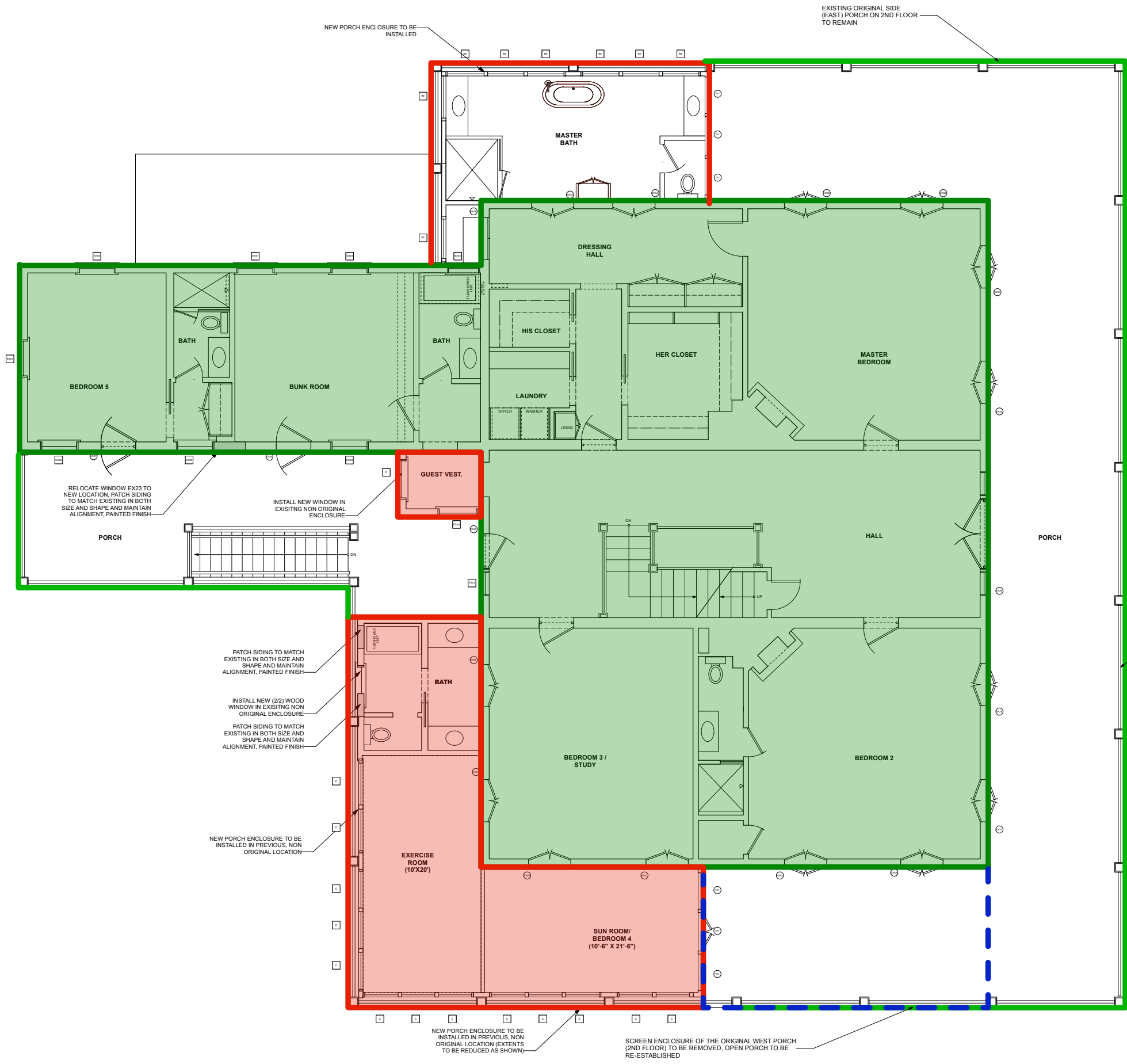


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MOORE RESIDENCE
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 11.22.24

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- HISTORIC PORCH
- HISTORIC STRUCTURE
- PROPOSED NEW ENCLOSURE OF A HISTORIC PORCH
- ENCLOSURE OF A HISTORIC PORCH (EXIST TO BE MODIFIED)
- PROPOSED NEW COVERED PORCH
- HISTORIC PORCH PREV ENCLOSED TO BE RE-OPENED + SCREENED
- HISTORIC PORCH PREV SCREENED TO BE OPENED

RELOCATE WINDOW EX23 TO NEW LOCATION. PATCH SIDING TO MATCH EXISTING IN BOTH SIZE AND SHAPE AND MAINTAIN ALIGNMENT, PAINTED FINISH

INSTALL NEW WINDOW IN EXISTING NON ORIGINAL ENCLOSURE

PATCH SIDING TO MATCH EXISTING IN BOTH SIZE AND SHAPE AND MAINTAIN ALIGNMENT, PAINTED FINISH

INSTALL NEW (2/2) WOOD WINDOW IN EXISTING NON ORIGINAL ENCLOSURE

PATCH SIDING TO MATCH EXISTING IN BOTH SIZE AND SHAPE AND MAINTAIN ALIGNMENT, PAINTED FINISH

NEW PORCH ENCLOSURE TO BE INSTALLED IN PREVIOUS, NON ORIGINAL LOCATION

NEW PORCH ENCLOSURE TO BE INSTALLED IN PREVIOUS, NON ORIGINAL LOCATION (EXTENTS TO BE REDUCED AS SHOWN)

SCREEN ENCLOSURE OF THE ORIGINAL WEST PORCH (2ND FLOOR) TO BE REMOVED, OPEN PORCH TO BE RE-ESTABLISHED

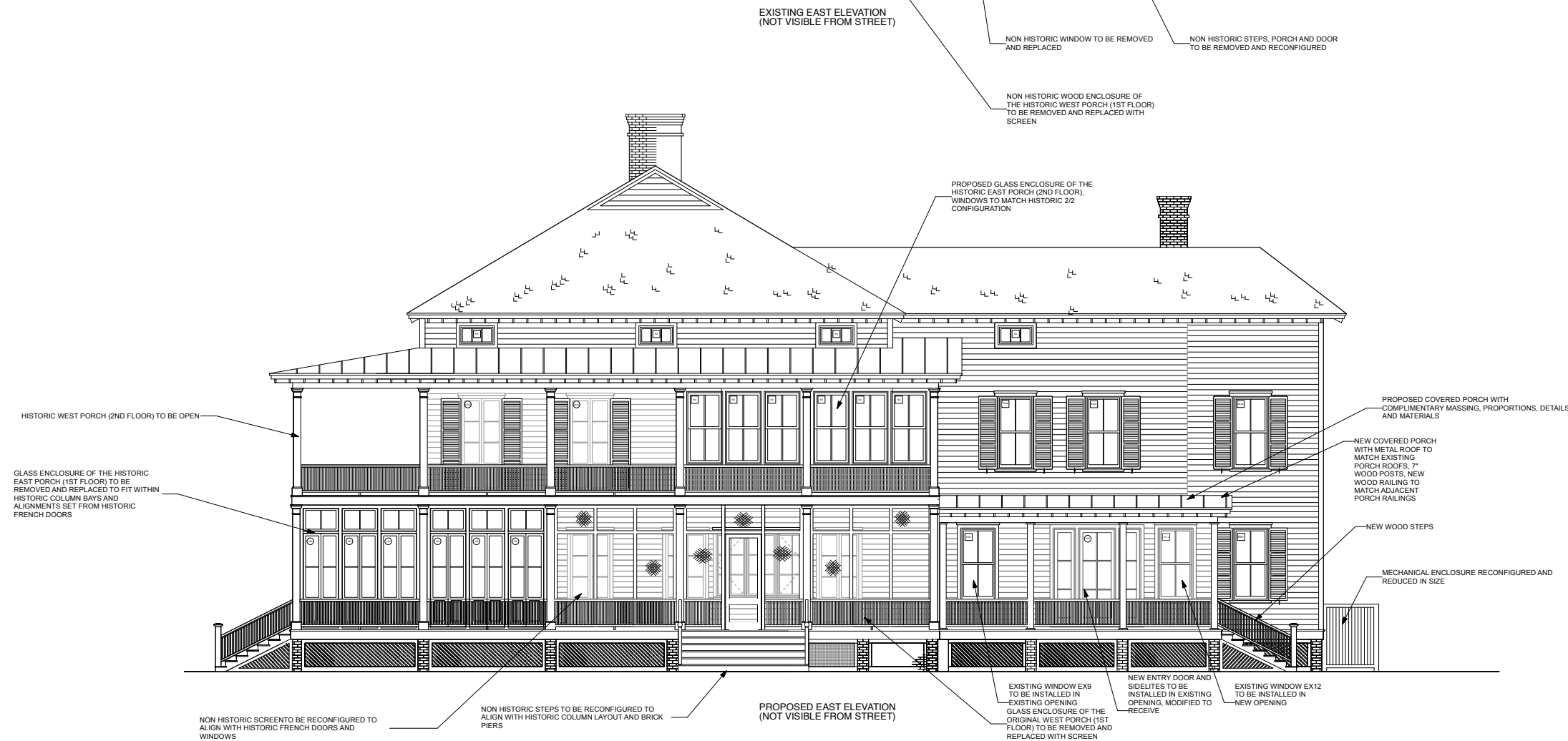
ORIGINAL SOUTH PORCH ON THE 2ND FLOOR TO REMAIN



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MOORE RESIDENCE
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 SECOND FLOOR PLAN
 1/4" = 1'-0"
 11.22.24

A 1.2

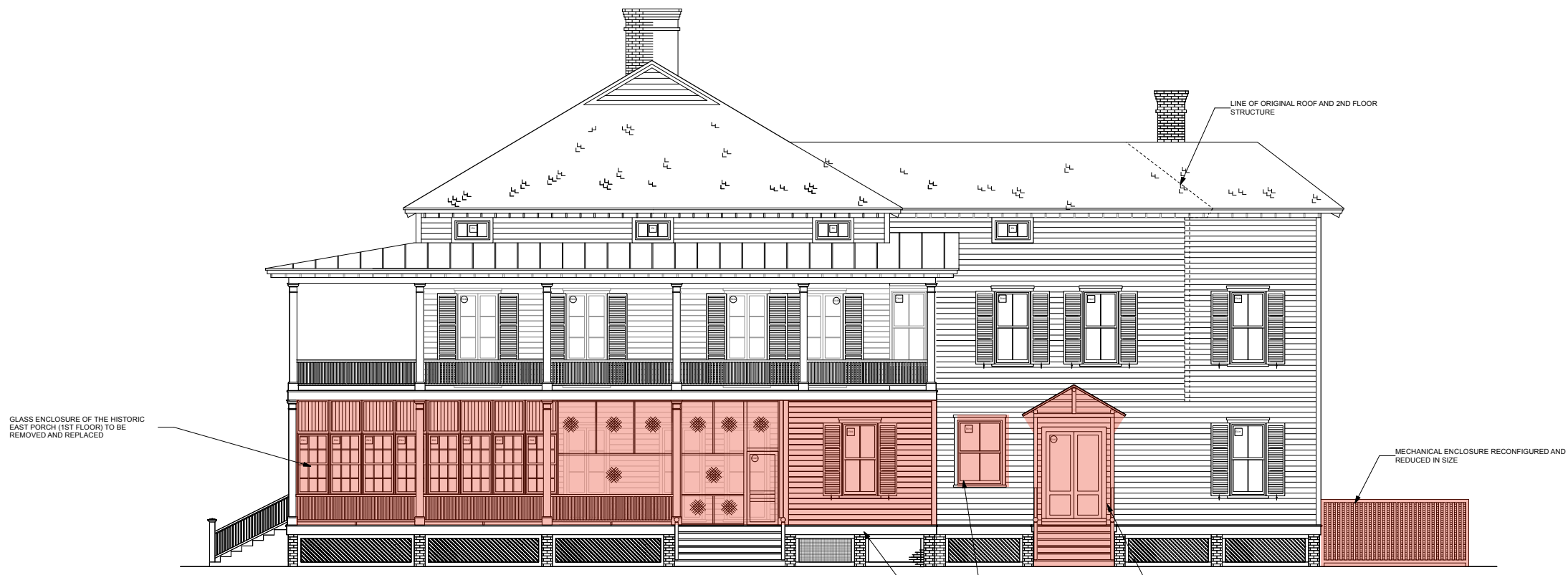


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MOORE RESIDENCE
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SULLIVAN'S ISLAND, SC
EXTERIOR ELEVATION
3/16"=1'-0"
11.22.24

A2.1



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 3/16"=1'-0"
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A2.1



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 EXTERIOR ELEVATION
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A2.2



EXISTING SOUTH ELEVATION



PROPOSED SOUTH ELEVATION

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 EXTERIOR ELEVATION
 3/16"=1'-0"
 11.22.24

A 2.3



EXISTING SOUTH ELEVATION



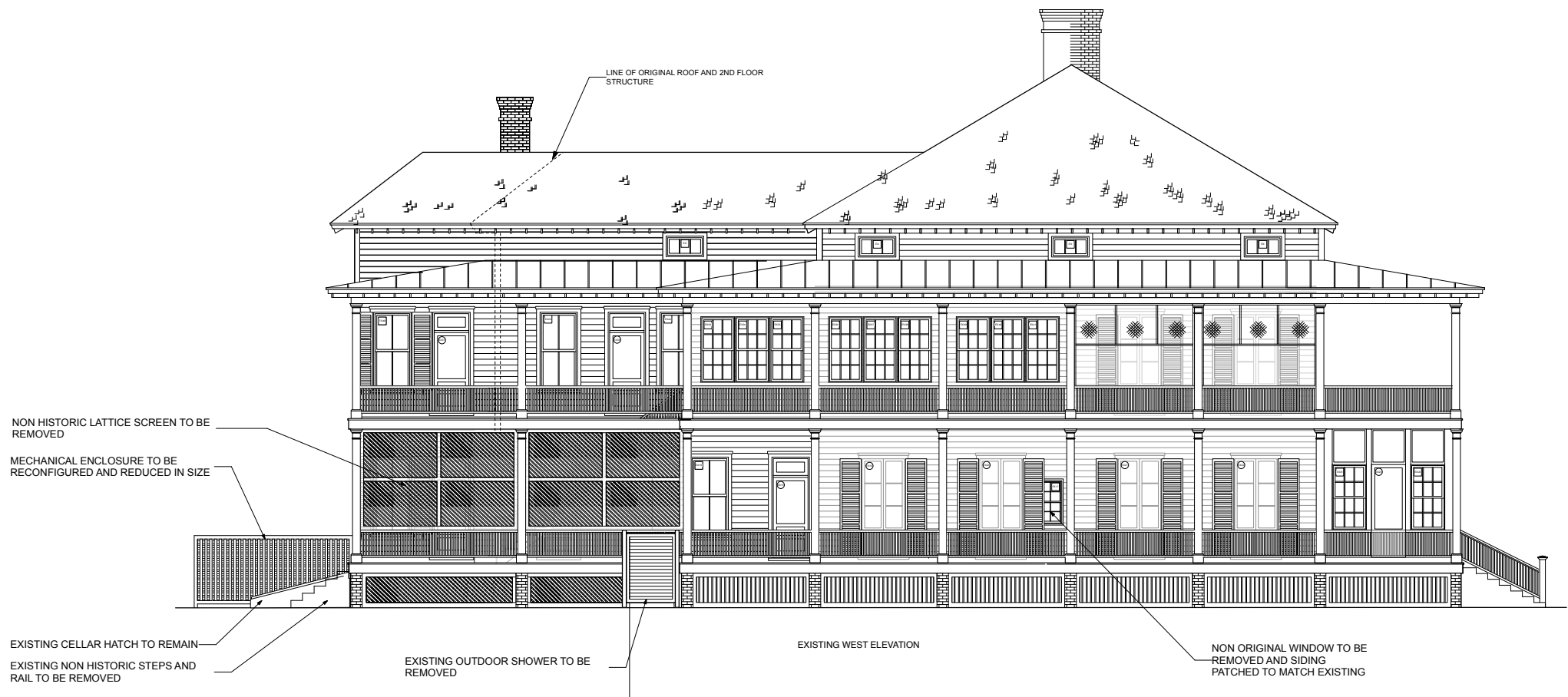
PROPOSED SOUTH ELEVATION

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MOORE RESIDENCE
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SULLIVAN'S ISLAND, SC
EXTERIOR ELEVATION
3/16"=1'-0"
11.22.24

A 2.3



NON HISTORIC LATTICE SCREEN TO BE REMOVED

MECHANICAL ENCLOSURE TO BE RECONFIGURED AND REDUCED IN SIZE

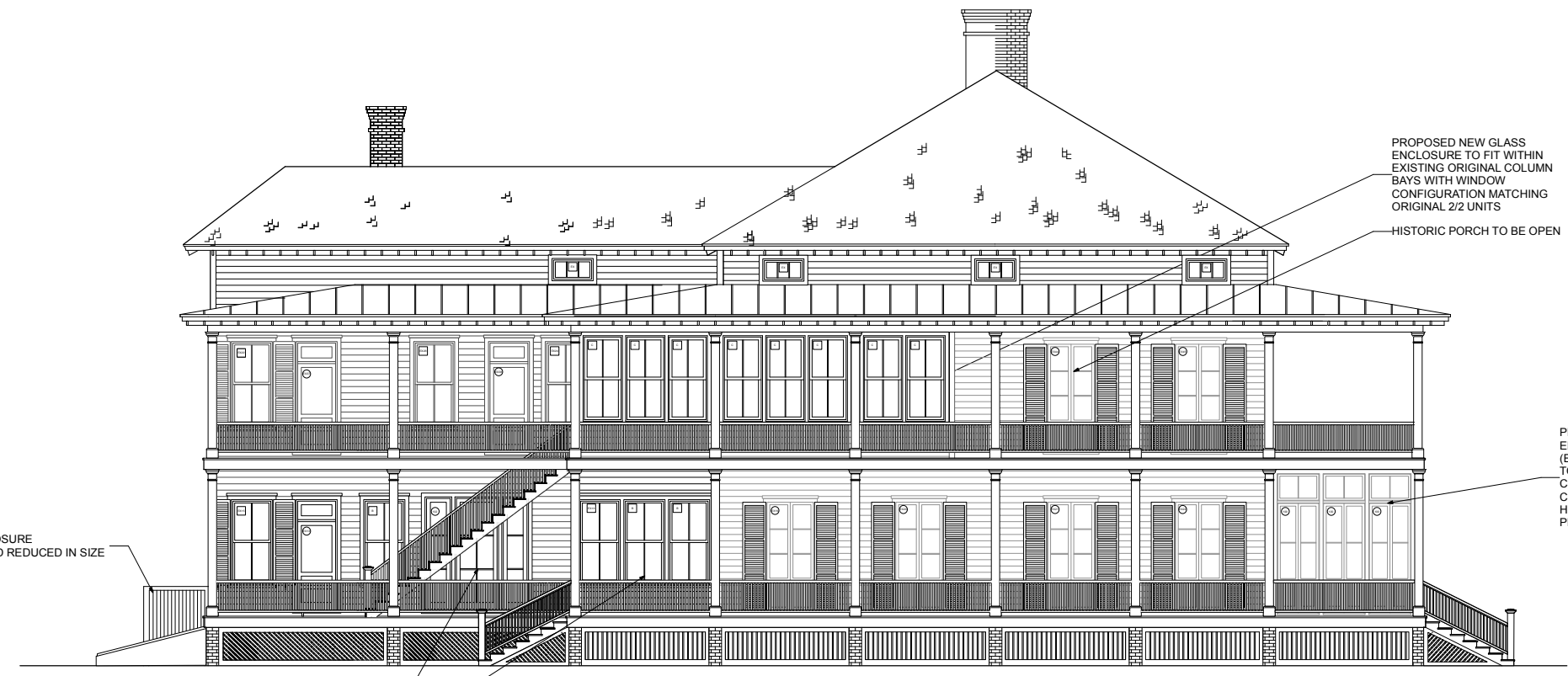
EXISTING CELLAR HATCH TO REMAIN

EXISTING NON HISTORIC STEPS AND RAIL TO BE REMOVED

EXISTING OUTDOOR SHOWER TO BE REMOVED

EXISTING WEST ELEVATION

NON ORIGINAL WINDOW TO BE REMOVED AND SIDING PATCHED TO MATCH EXISTING



MECHANICAL ENCLOSURE RECONFIGURED AND REDUCED IN SIZE

PROPOSED NEW DOOR WITH SIDELITES

PROPOSED (2) NEW WINDOWS TO MATCH HISTORIC 2/2 CONFIGURATION

PROPOSED WEST ELEVATION

PROPOSED NEW GLASS ENCLOSURE TO FIT WITHIN EXISTING ORIGINAL COLUMN BAYS WITH WINDOW CONFIGURATION MATCHING ORIGINAL 2/2 UNITS

HISTORIC PORCH TO BE OPEN

PROPOSED GLASS ENCLOSURE AT HISTORIC SIDE (EAST) PORCH (1ST FLOOR) TO FIT WITHIN HISTORIC COLUMN BAYS WITH CONFIGURATION MATCHING HISTORIC FRENCH DOORS PLUS TRANSOMS



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 EXTERIOR ELEVATION
 3/16"=1'-0"
 11.22.24

A2.4

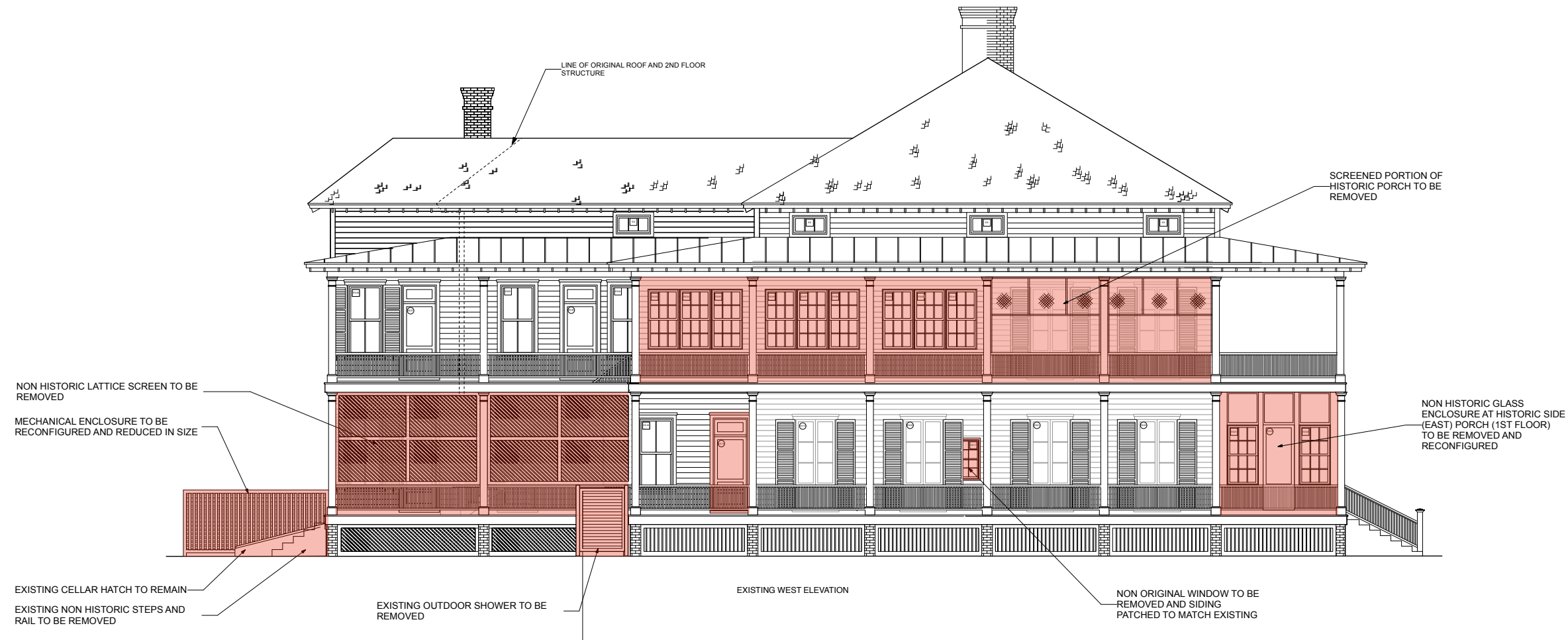


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MOORE RESIDENCE
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 SULLIVAN'S ISLAND, SC
 EXTERIOR ELEVATION
 3/16"=1'-0"
 11.22.24

A2.4



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MOORE RESIDENCE
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 EXTERIOR ELEVATION
 3/16" = 1'-0"
 11.22.24

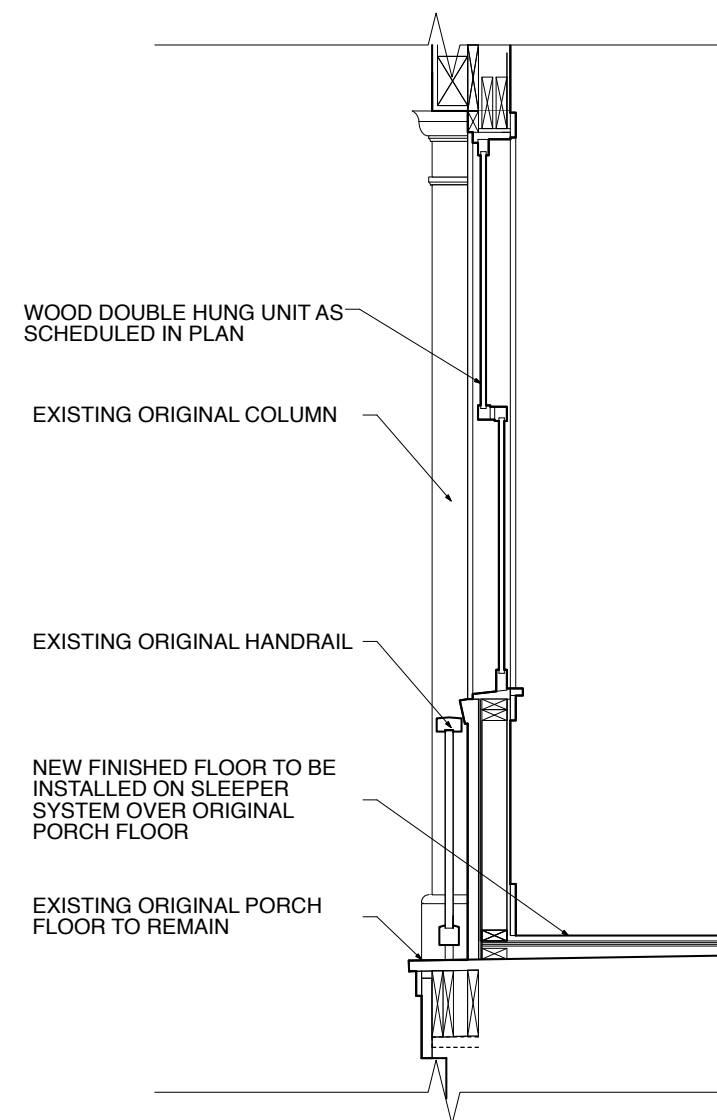
A2.4



EXAMPLE OF PORCH ENCLOSURE WITH WINDOWS



EXAMPLE OF HISTORIC PORCH ENCLOSURE WITH FRENCH DOORS AND TRANSOMS (MEETING STREET)



1
 5.3 TYPICAL WALL SECTION @ PORCH ENCLOSURE
 SCALE: 1" = 1'-0"

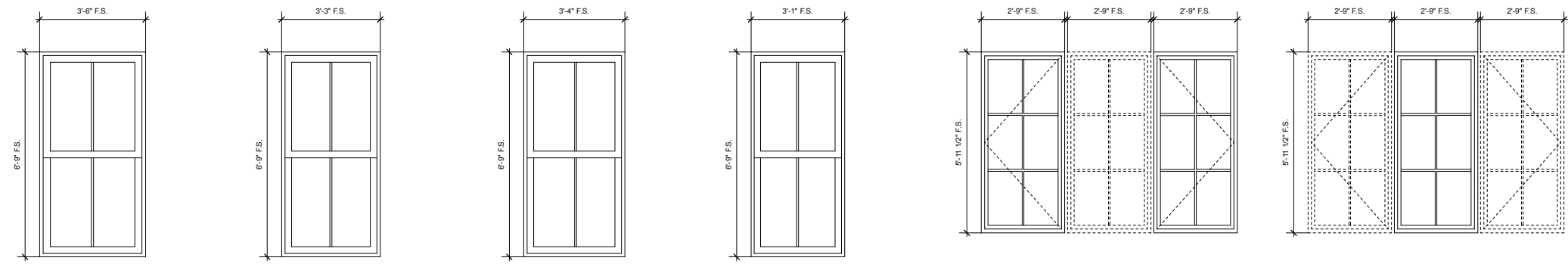
- GENERAL DETAIL NOTES**
- SEE STRUCTURAL DRAWINGS FOR ALL MEMBER SIZES, CONNECTIONS, AND DETAILS USED IN ALL FRAMING AND FOUNDATION CONDITIONS.
 - REFER TO (A3) BUILDING SECTIONS FOR SPECIFIC FLOOR TO FLOOR DIMENSIONS AND RELATIONSHIPS.
 - REFER TO (A3) BUILDING SECTIONS FOR FINISH FLOOR AND GRADE RELATIONSHIPS AS THEY PERTAIN TO ANY FLOOD REQUIREMENTS.
 - U.O.N. TYP. FLOOR FRAMING RELATIVE TO FOUNDATION WALLS/PIERS, OUTSIDE FACE OF STUD = OUTSIDE FACE OF CONC.
 - WINDOW/DOOR UNIT INSTALLATION SHALL FOLLOW THE MANUFACTURER'S RECOMMENDATIONS.
 - WINDOW/DOOR UNITS MUST MEET ALL IBC/IRC REQUIREMENTS INCLUDING IMPACT, DESIGN PRESSURE RATINGS AND WATER INTRUSION STANDARDS PER ZONE.
 - REFER TO (A3) BUILDING SECTIONS AND HEADER SCHEDULE FOR ALL SPECIFIC WINDOW/DOOR UNIT HEADER HEIGHTS.
 - REPORT DISCREPANCIES TO ARCHITECT

SCALE: AS NOTED PER DETAIL



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 SECOND FLOOR PLAN
 1/4" = 1'-0"
 12. 20. 24

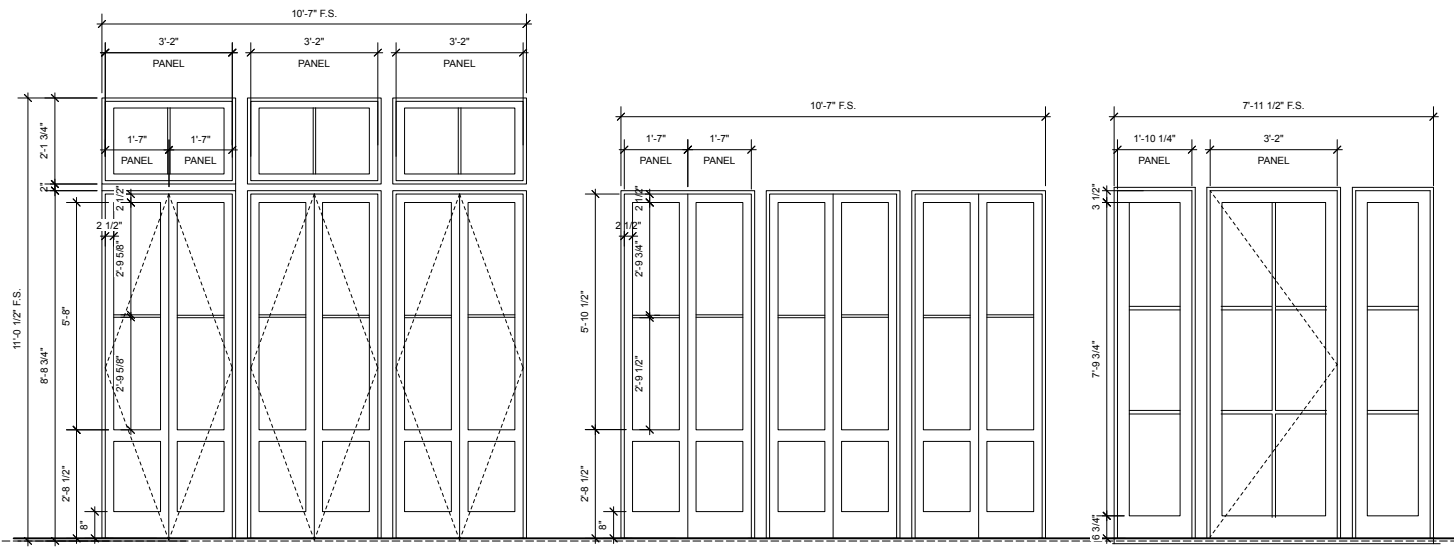
EXTERIOR WINDOWS



- WINDOW A**
 DOUBLE HUNG 2/2 LITE
 TRUE DIVIDED LITES (MATCH EXISTING WINDOWS)
 PREFINISHED, MAHOGANY CONSTRUCTION
 *COORD. EXTERIOR COLOR W/ ARCH
- WINDOW B**
 DOUBLE HUNG 2/2 LITE
 TRUE DIVIDED LITES (MATCH EXISTING WINDOWS)
 PREFINISHED, MAHOGANY CONSTRUCTION
 *COORD. EXTERIOR COLOR W/ ARCH
- WINDOW B2**
 DOUBLE HUNG 2/2 LITE
 TRUE DIVIDED LITES (MATCH EXISTING WINDOWS)
 PREFINISHED, MAHOGANY CONSTRUCTION
 *COORD. EXTERIOR COLOR W/ ARCH
- WINDOW C**
 DOUBLE HUNG 2/2 LITE
 TRUE DIVIDED LITES (MATCH EXISTING WINDOWS)
 PREFINISHED, MAHOGANY CONSTRUCTION
 *COORD. EXTERIOR COLOR W/ ARCH
- WINDOW D**
 CASEMENT 6 LITE
 TRUE DIVIDED LITES (MATCH EXISTING WINDOWS)
 PREFINISHED, MAHOGANY CONSTRUCTION
 *COORD. EXTERIOR COLOR W/ ARCH
- WINDOW E**
 FIXED 6 LITE
 TRUE DIVIDED LITES (MATCH EXISTING WINDOWS)
 PREFINISHED, MAHOGANY CONSTRUCTION
 *COORD. EXTERIOR COLOR W/ ARCH

- DOOR AND WINDOW NOTES**
- DOOR DIMENSIONS ARE GENERALLY SHOWN AS PANEL SIZES. THE WINDOW DIMENSIONS ARE GENERALLY SHOWN AS THE FRAME SIZE. ROUGH OPENINGS SHALL BE PROVIDED BY THE WINDOW / DOOR MANUFACTURER AND SUBMITTED FOR APPROVAL THRU SHOP DRAWINGS.
 - CONTRACTOR TO REVIEW HEADER SCHEDULE AND BUILDING SECTIONS AND COORDINATE THOSE WITH THE ROUGH OPENING DIMENSIONS IN THE FIELD TO ENSURE EXECUTION OF DESIGN INTENT.
 - INTERIOR AND EXTERIOR DOORS SHALL HAVE THE SAME OVERALL TRIM HEADER HEIGHT WHETHER STOCK OR CUSTOM U.O.N. IN A PARTICULAR AREA.
 - CONTRACTOR TO VERIFY ALL WINDOW AND DOOR MUNTIN ALIGNMENT. PROVIDE SHOP DRAWINGS SHOWING ALIGNMENT FOR REVIEW BY ARCHITECT.
 - WINDOWS GANGED IN SERIES SHALL BE FRAMED WITH A SINGLE 1.75" WIDE LSL JACK STUD IN-BETWEEN EACH UNIT.
 - WINDOWS WRAPPING CORNERS ARE TO BE FRAMED EQUI-DISTANT ABOUT CORNER.
 - SLIDING EXTERIOR DOOR UNITS ARE TYPICALLY SET BELOW THE SUBFLOOR. CONTRACTOR TO REVIEW AND COORD. FLOOR FRAMING, WEEPING SYSTEM AND FLASHING TO ACCOMMODATE SETUP.
 - CONTRACTOR TO VERIFY COUNT, STYLE, SWING AND HARDWARE OF ALL DOORS AND WINDOWS PRIOR TO ORDERING.
 - WINDOWS AND DOORS UNITS MUST MEET ALL IRC / IBC REQUIREMENTS INCLUDING DESIGN PRESSURE RATING, WATER INTRUSION STANDARDS AND IMPACT REQUIREMENTS. IF NON-IMPACT UNIT IS ALLOWED AND SELECTED, CONTRACTOR MUST NOTIFY OWNER AND ARCHITECT AND PROVIDE APPROVED STORM PROTECTION SYSTEM PER AHJ.
 - REPORT DISCREPANCIES TO ARCHITECT

EXTERIOR DOORS



- 100 EXTERIOR DOOR**
 TWO-LITE FRENCH DOORS
 TWO-LITE FIXED TRANSOM
 TRUE DIVIDED LITES
 PREFINISHED, MAHOGANY CONSTRUCTION
- 101 EXTERIOR DOOR**
 TWO-LITE FRENCH DOORS
 TRUE DIVIDED LITES
 PREFINISHED, MAHOGANY CONSTRUCTION
- 102 EXTERIOR DOOR**
 TWO-LITE FIXED TRANSOMS
 SIX-LITE SINGLE DOOR W/ COORDINATING SCREEN DOOR
 TRUE DIVIDED LITES
 PREFINISHED, MAHOGANY CONSTRUCTION



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10.15.24
 MOORE RESIDENCE
 1702 ION AVE
 SULLIVAN'S ISLAND, SC
 WINDOW AND DOOR SCHEDULE
 1/2" = 1'-0"
 11.22.24

Moore Residence
 1702 Ion Avenue
 Sullivan's Island, SC

12/20/2024

EXISTING WINDOW DOCUMENTATION AND SCHEDULE

FLOOR	WINDOW NUMBER	ORIGINAL-YES/NO	TYPE	CONFIGURATION	SIZE	MATERIAL	PROPOSED CHANGES	NOTES
FIRST	EX1	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX2	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX3	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX4	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX5	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX6	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX7	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX8	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX9	NO	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	REMOVE ENCLOSURE + WINDOW	NON ORIGINAL PORCH ENCLOSURE, REPAIR WINDOW AS NEEDED FOR REUSE ON WEST FACADE
	EX10	NO	DOUBLE HUNG	2 OVER 2	3'11" x 5'9"	WOOD	REMOVE AND REPLACE	NON ORIGINAL UNIT
	EX11	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX12	NO	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	REMOVE ENCLOSURE + WINDOW	NON ORIGINAL PORCH ENCLOSURE, REPAIR WINDOW AS NEEDED FOR REUSE ON EAST FACADE
	EX13	NO	DOUBLE HUNG	1 OVER 1	1'10" x 6'9"	WOOD	-	NON ORIGINAL PORCH ENCLOSURE
	EX14	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX15	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX16	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX17	NO	DOUBLE HUNG	4 OVER 4	2'0" x 3'8"	WOOD	REMOVE AND MATCH ADJACENT SIDING	NON ORIGINAL UNIT- ADDED FOR BATHROOM
	EX18	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX19	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX20	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX21	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX22	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
SECOND	EX23	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	REMOVE AND RELOCATE	ADJUST LOCATION PER PLAN
	EX24	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX25	NO	FIXED	1 LITE	3'0" x 2'0"	WOOD	-	NON ORIGINAL ENCLOSURE
	EX26	NO	FIXED	1 LITE	1'11" x 1'11"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX27	NO	FIXED	4 LITE	1'11" x 1'11"	WOOD	REMOVE, PATCH SIDING	NON ORIGINAL ENCLOSURE
	EX28	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX29	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX30	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX31	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX32	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX33	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX34	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX35	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX36	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX37	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX38	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX39	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX40	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX41	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX42	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX43	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX44	NO	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	OPENING WAS PREVIOUSLY MODIFIED TO ENABLE CLOSET/ SAUNA ENCLOSURE
	EX45	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX46	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX47	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX48	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX49	NO	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	2ND FLOOR ADDITION
	EX50	NO	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	2ND FLOOR ADDITION
								NOTE: NO CHANGE TO ATTIC WINDOWS

DOOR AND WINDOW NOTES

- DOOR DIMENSIONS ARE GENERALLY SHOWN AS PANEL SIZES. THE WINDOW DIMENSIONS ARE GENERALLY SHOWN AS THE FRAME SIZE. ROUGH OPENINGS SHALL BE PROVIDED BY THE WINDOW / DOOR MANUFACTURER AND SUBMITTED FOR APPROVAL THRU SHOP DRAWINGS.
- CONTRACTOR TO REVIEW HEADER SCHEDULE AND BUILDINGS SECTIONS AND COORDINATE THOSE WITH THE ROUGH OPENING DIMENSIONS IN THE FIELD TO ENSURE EXECUTION OF DESIGN INTENT.
- INTERIOR AND EXTERIOR DOORS SHALL HAVE THE SAME OVERALL TRIM HEADER HEIGHT WHETHER STOCK OR CUSTOM U.O.N. IN A PARTICULAR AREA.
- CONTRACTOR TO VERIFY ALL WINDOW AND DOOR MUNTIN ALIGNMENT. PROVIDE SHOP DRAWINGS SHOWING ALIGNMENT FOR REVIEW BY ARCHITECT.
- WINDOWS GANGED IN SERIES SHALL BE FRAMED WITH A SINGLE 1.75" WIDE LSL JACK STUD IN-BETWEEN EACH UNIT.
- WINDOWS WRAPPING CORNERS ARE TO BE FRAMED EQUI-DISTANT ABOUT CORNER.
- SLIDING EXTERIOR DOOR UNITS ARE TYPICALLY SET BELOW THE SUBFLOOR. CONTRACTOR TO REVIEW AND COORD. FLOOR FRAMING, WEEPING SYSTEM AND FLASHING TO ACCOMMODATE SETUP.
- CONTRACTOR TO VERIFY COUNT, STYLE, SWING AND HARDWARE OF ALL DOORS AND WINDOWS PRIOR TO ORDERING.
- WINDOWS AND DOORS UNITS MUST MEET ALL IRC / IBC REQUIREMENTS INCLUDING DESIGN PRESSURE RATING, WATER INTRUSION STANDARDS AND IMPACT REQUIREMENTS. IF NON-IMPACT UNIT IS ALLOWED AND SELECTED, CONTRACTOR MUST NOTIFY OWNER AND ARCHITECT AND PROVIDE APPROVED STORM PROTECTION SYSTEM PER AHJ.
- REPORT DISCREPANCIES TO ARCHITECT



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 843.722.2040

MOORE RESIDENCE
 1702 ION AVE
 SULLIVAN'S ISLAND, SC
 EXISTING WINDOW SCHEDULE
 1/2" = 1'-0"
 12.20.24