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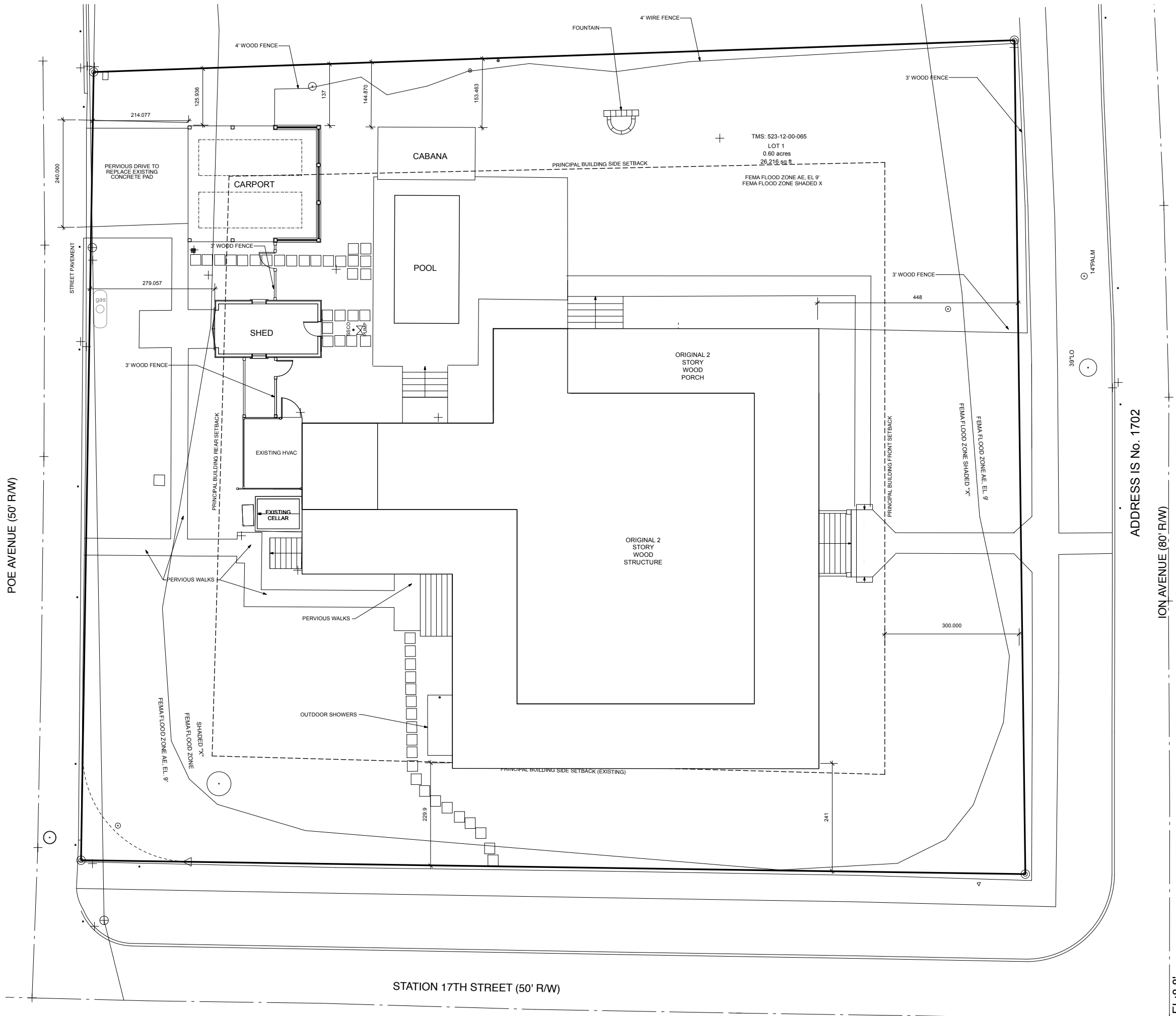
ARCHITECTS



## MOORE RESIDENCE

1702 ION AVENUE  
SULLIVAN'S ISLAND, SC 29482

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ADDRESS IS No. 1702

ION AVENUE (80' R/W)

EL: 8.8



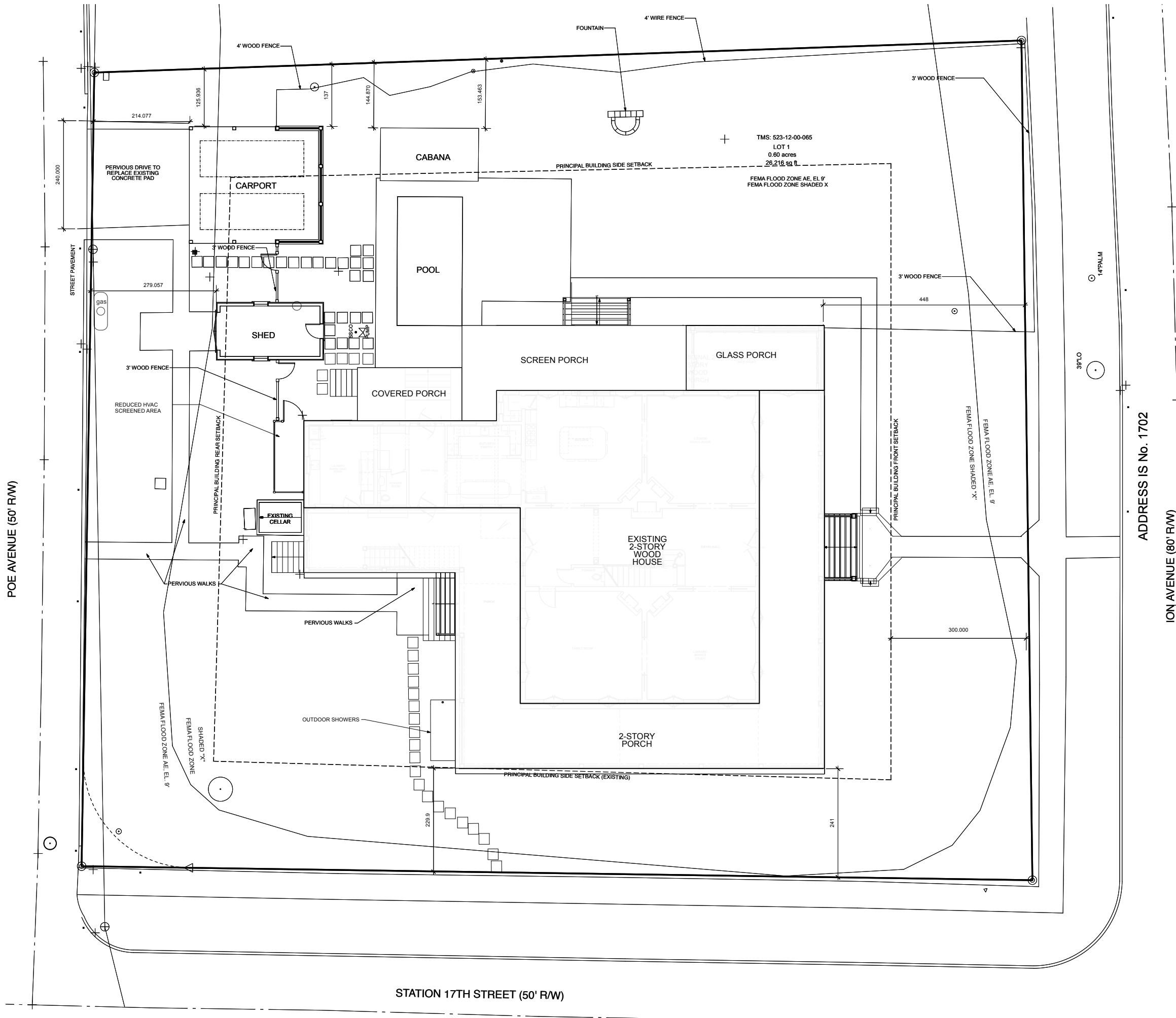
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1 KING STREET  
SUITE 102  
CHARLESTON, SC 29401  
843.722.2040

MOORE RESIDENCE  
1702 ION AVE  
SULLIVAN'S ISLAND, SC  
PROPOSED SITE PLAN  
1/8" = 1'-0"  
11.22.24

A0.1

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**1702 ION STREET**

TMS #	523-12-00-065
LOT SIZE	26,216 SF
LOT WIDTH	155.20'/146.80'
LOT DEPTH	175.80'/171.50'
FLOOD ZONE	VE 16'
ZONING	RC-1C

**SETBACKS**

<b>PRINCIPAL BUILDING</b>	
FRONT	25' ALLOWED, 37.3' EXISTING, NO CHANGE PROPOSED
REAR	25' ALLOWED, 39.9' EXISTING, NO CHANGES PROPOSED
SIDE 1	(WEST) MIN 10' ALLOWED, 20.1' EXISTING, NO CHANGES PROPOSED
SIDE 2	(EAST) MIN 20' ALLOWED, 51.2' EXISTING, NO CHANGES PROPOSED
COMB. SIDE 40' MIN.	

**ACCESSORY STRUCTURES**

FRONT	20' BACK FROM FACE OF PRINCIPAL BUILDING
REAR	30' FROM PAVED ROAD
SIDE	10'

**LOT COVERAGE**

<b>PRINCIPAL BUILDING COVERAGE AREA SEC. 21-25</b>	
ALLOWED	15% = 3,932 SF
EXISTING	16.2% = 4,270 SF
PROPOSED	16.2% = 4,270 SF

**PRINCIPAL BUILDING SQUARE FOOTAGE SEC. 21-27**

ALLOWED	[(26,216 - 5000) / 100] x (10) + 2400 = 4,521 SF
EXISTING	7,344 SF
PROPOSED	7,344 SF

**IMPERVIOUS COVERAGE SEC. 21-26**

ALLOWED	30% = 7,865 SF
EXISTING	34% = 8,998 SF
PROPOSED	34% = 8,998 SF

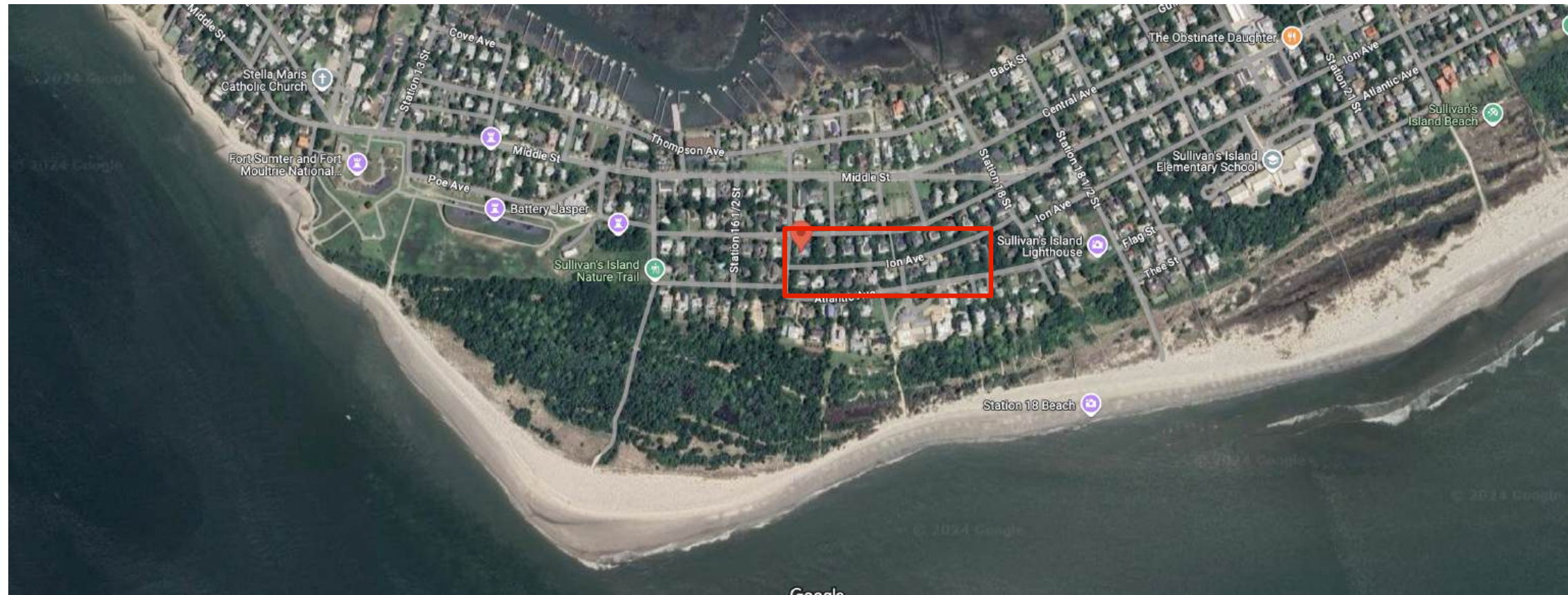
**PBCA+ COVERED PORCHS+DECKS+STEPS:** 6,868 SF  
**EXIST. POOL / PATIO:** 700 SF  
**EXIST. DRIVES / WALKS:** 505 SF  
**EXISTING ACC. STRUCTURES (UNHEATED):** 910 SF  
**TOTAL IMPERVIOUS COVERAGE (PROPOSED):** 8,600 SF



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Google Maps

Sullivan's Island Aerial Map



Google Maps

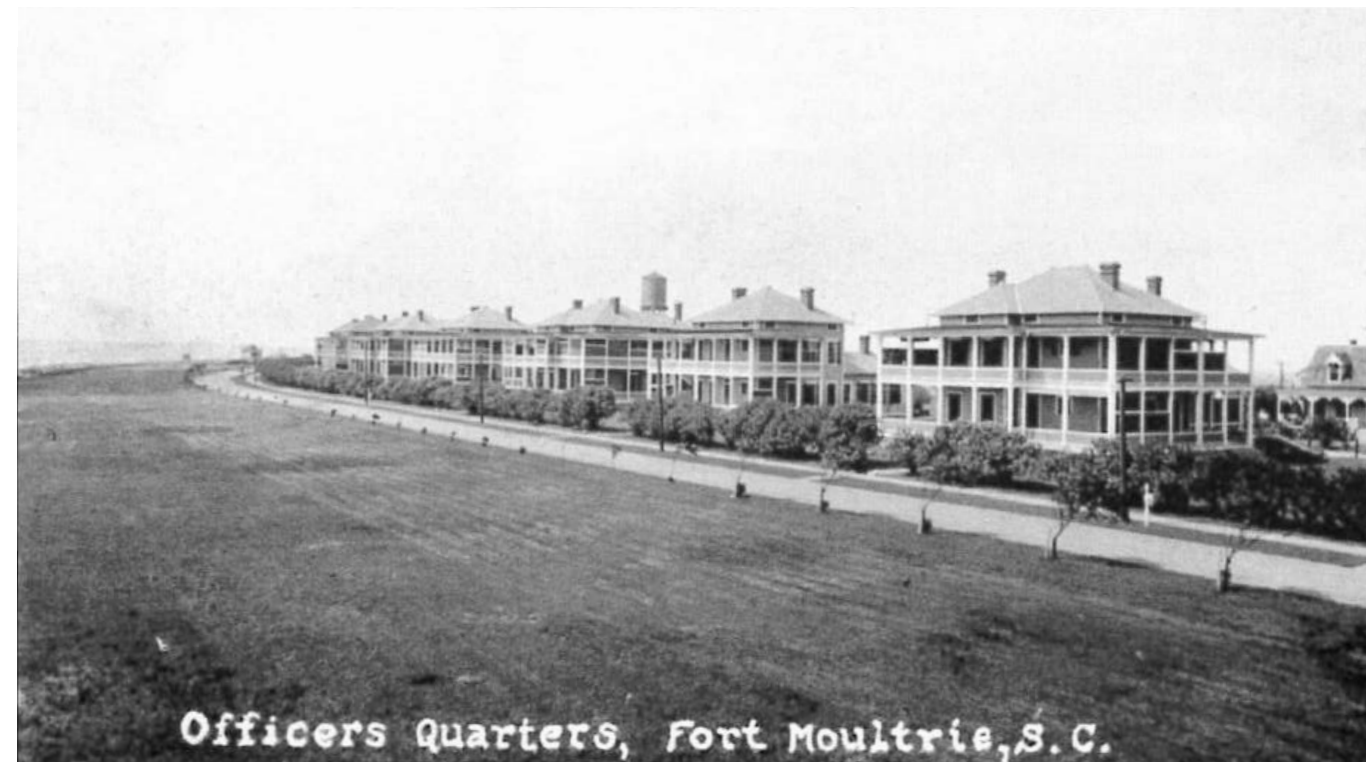
1702 I'On    1710 I'On    1718 I'On    1724 I'On    1728 I'On    1734 I'On    1738 I'On    1744 I'On    1750 I'On    1754 I'On    1760 I'On

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Images of America, Sullivan's Island, Gadsden Cultural Center, 2004, p.38

View of the Senior Officer's Quarters, looking West along I'On Ave.



AERIAL VIEW OF FORT MOULTRIE BASE COMMANDER'S QUARTERS, SENIOR OFFICERS ROW, AND PARADE GROUND, 1930. This picture shows how close the ocean was before the land in front of I'On Street accreted. Today there are houses in front of the Senior Officers Row, as well

as behind and to the east, where the parade ground use to be. Notice the tip of the roof of the Fort Moultrie Band Stand adjacent to the Fort Moultrie Base Commander's Quarters. Fort Sumter is barely visible at the right side of the picture. (Courtesy Dr. R. Michael Williams.)

Images of America, Sullivan's Island, Gadsden Cultural Center, 2004, p.44-45

View of the Senior Officer's Quarters and Commandant's Quarters, looking South-West across Poe Ave.

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HISTORIC IMAGES  
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1710 I'On Avenue



1718 I'On Avenue



1724 I'On Avenue

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1728 I'On Avenue



1738 I'On Avenue



1744 I'On Avenue



1750 I'On Avenue



1754 I'On Avenue



1760 I'On Avenue

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STREET VIEW IMAGES  
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Photo showing Commandant's House as seen from beach ( circa1906)  
Image from Open Parks Network



Photo showing Commandant's House (1989)  
<https://www.charlestonmuseum.org/research/collection/sullivan-s-island-fort-moultrie-officers-quarters/86D089AC-4CB4-441C-9DDD-192522015165>

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Photo showing military ceremony on parade grounds with military row in  
background (1944)  
Image from Open Parks Network



Photo showing the row of homes built for military officers on l'On Street (1989)  
[https://charlestonmag.com/features/escaping\\_to\\_the\\_now\\_forgotten\\_beach\\_haven\\_of\\_moultrieville](https://charlestonmag.com/features/escaping_to_the_now_forgotten_beach_haven_of_moultrieville)

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AERIAL IMAGES  
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11. 22. 24

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1702 I'On Avenue, North elevation



1702 I'On Avenue, North and West elevation



1702 I'On Avenue, partial East elevation



1702 I'On Avenue, partial East elevation



1702 I'On Avenue, South elevation



1702 I'On Avenue, West elevation

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MOORE RESIDENCE  
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CURRENT PHOTOS  
N.T.S.  
11.22.24

A0.5

All Images taken September 9, 2024





Existing Carport, Cabana and Pool



Existing Storage, Carport and Pool



Existing Outdoor Shower, to be Removed



Existing HVAC Units, Deck, and Screen to be Removed and Replaced

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MOORE RESIDENCE  
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CURRENT PHOTOS  
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North West Enclosed Porch - 2nd Floor



North Enclosed Porch (Sauna) - 2nd Floor



North Enclosed Porch (Bathroom) - 2nd Floor



SW Screened Porch looking towards Enclosed Porch- 2nd Floor



East Screened Porch looking towards enclosed porch- 1st Floor



East Enclosed Porch- 1st Floor



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MOORE RESIDENCE  
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INTERIOR IMAGES  
N.T.S.  
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A0.7

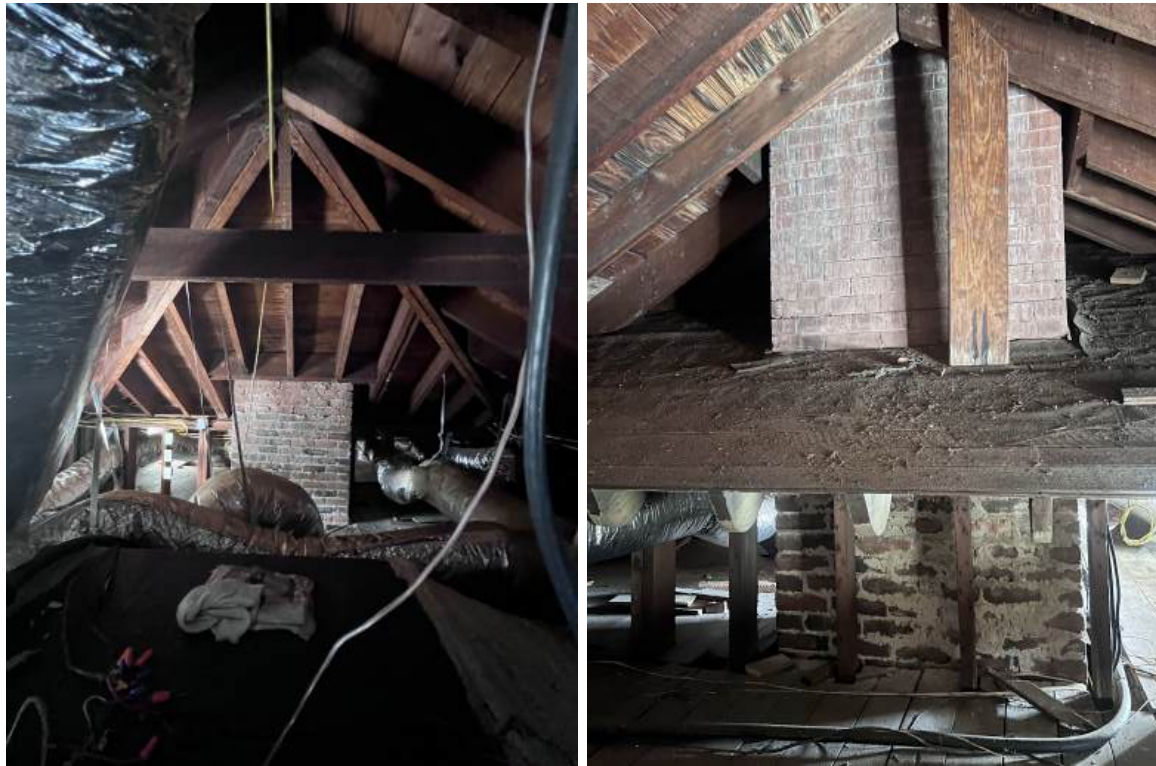


HISTORIC PHOTO DEMONSTRATING SIMILAR 2ND FLOOR CONFIGURATION AT ADJACENT OFFICER'S UNITS

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BUILDING STRUCTURE IMAGES  
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1760 I'On Avenue, Seen from the Back Yard - May 29, 1987



Original 2nd floor roof framing as remaining in existing attic



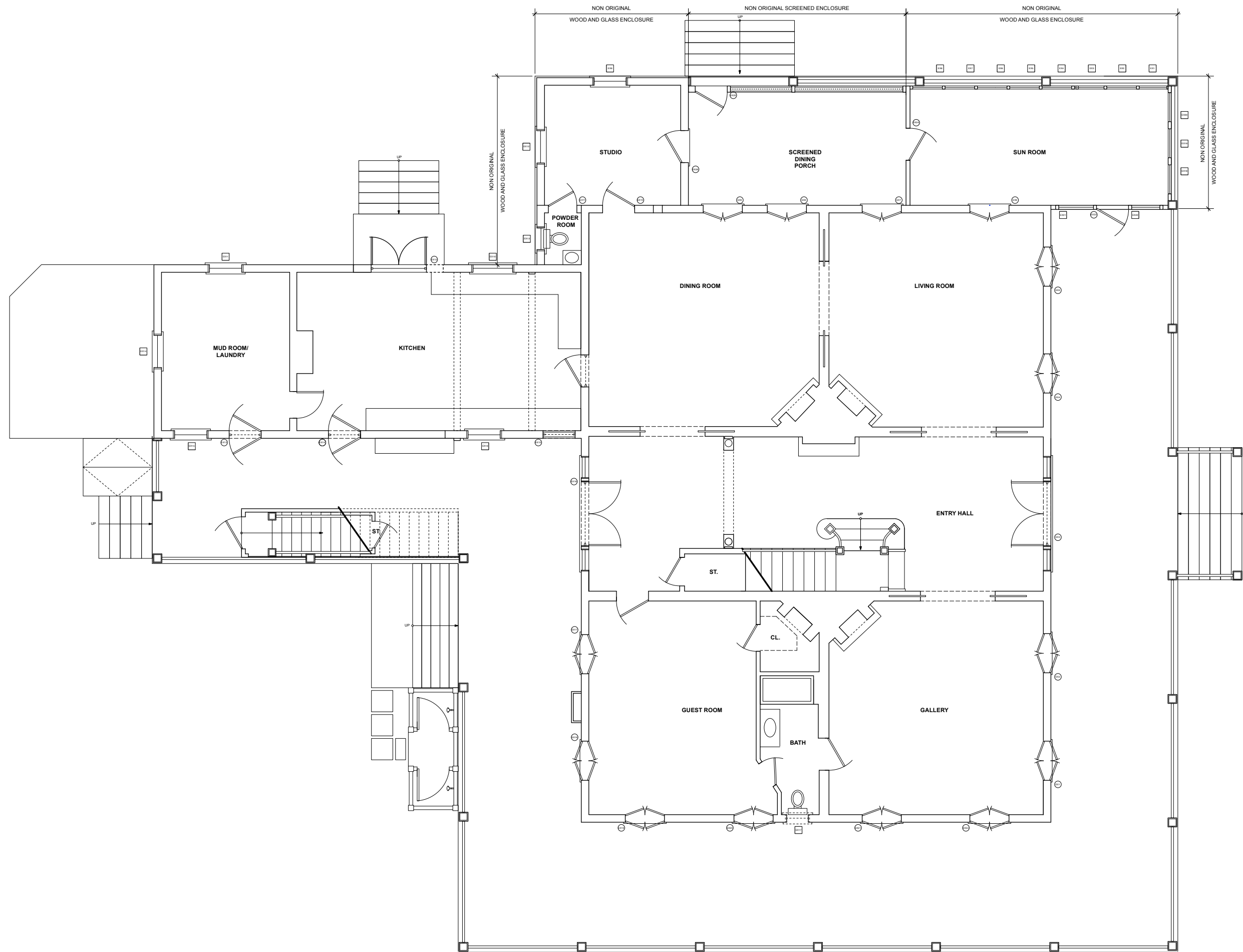
Similar configuration at 1760 I'On Avenue, Seen from the Back Yard - January 18, 1990

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AERIAL IMAGES  
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PLAN LEGEND	
-----	WALLS/WINDOWS/DOORS FOR DEMOLITION
—	EXISTING WALLS TO REMAIN
■	PROPOSED NEW WALLS

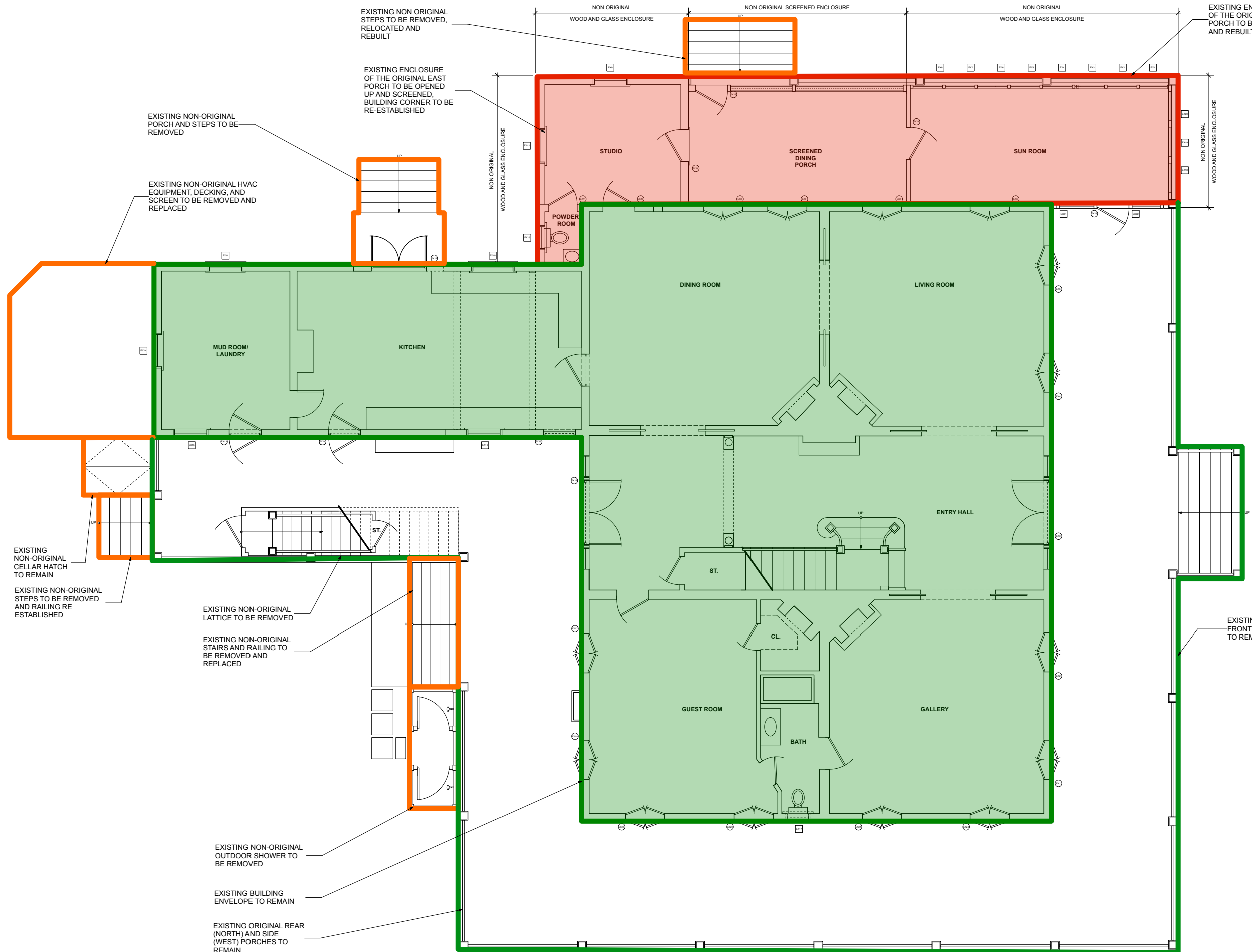
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MOORE RESIDENCE  
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EXISTING FIRST FLOOR PLAN  
1/4"=1'-0"  
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EX 1.1

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- ORIGINAL PORCH
- ORIGINAL STRUCTURE
- ADDITION- PORCH
- ADDITION- STRUCTURE
- NON-HISTORIC BUILDING FABRIC
- ENCLOSURE OF A HISTORIC PORCH

EXISTING NON ORIGINAL STEPS TO BE REMOVED, RELOCATED AND REBUILT

EXISTING ENCLOSURE OF THE ORIGINAL EAST PORCH TO BE OPENED UP AND SCREENED, BUILDING CORNER TO BE RE-ESTABLISHED

EXISTING NON-ORIGINAL PORCH AND STEPS TO BE REMOVED

EXISTING NON-ORIGINAL HVAC EQUIPMENT, DECKING, AND SCREEN TO BE REMOVED AND REPLACED

EXISTING NON-ORIGINAL CELLAR HATCH TO REMAIN

EXISTING NON-ORIGINAL STEPS TO BE REMOVED AND RAILING RE ESTABLISHED

EXISTING NON-ORIGINAL LATTICE TO BE REMOVED

EXISTING NON-ORIGINAL STAIRS AND RAILING TO BE REMOVED AND REPLACED

EXISTING NON-ORIGINAL OUTDOOR SHOWER TO BE REMOVED

EXISTING BUILDING ENVELOPE TO REMAIN

EXISTING ORIGINAL REAR (NORTH) AND SIDE (WEST) PORCHES TO REMAIN

EXISTING ENCLOSURE OF THE ORIGINAL EAST PORCH TO BE REMOVED AND REBUILT

NON ORIGINAL WOOD AND GLASS ENCLOSURE

NON ORIGINAL WOOD AND GLASS ENCLOSURE

NON ORIGINAL WOOD AND GLASS ENCLOSURE

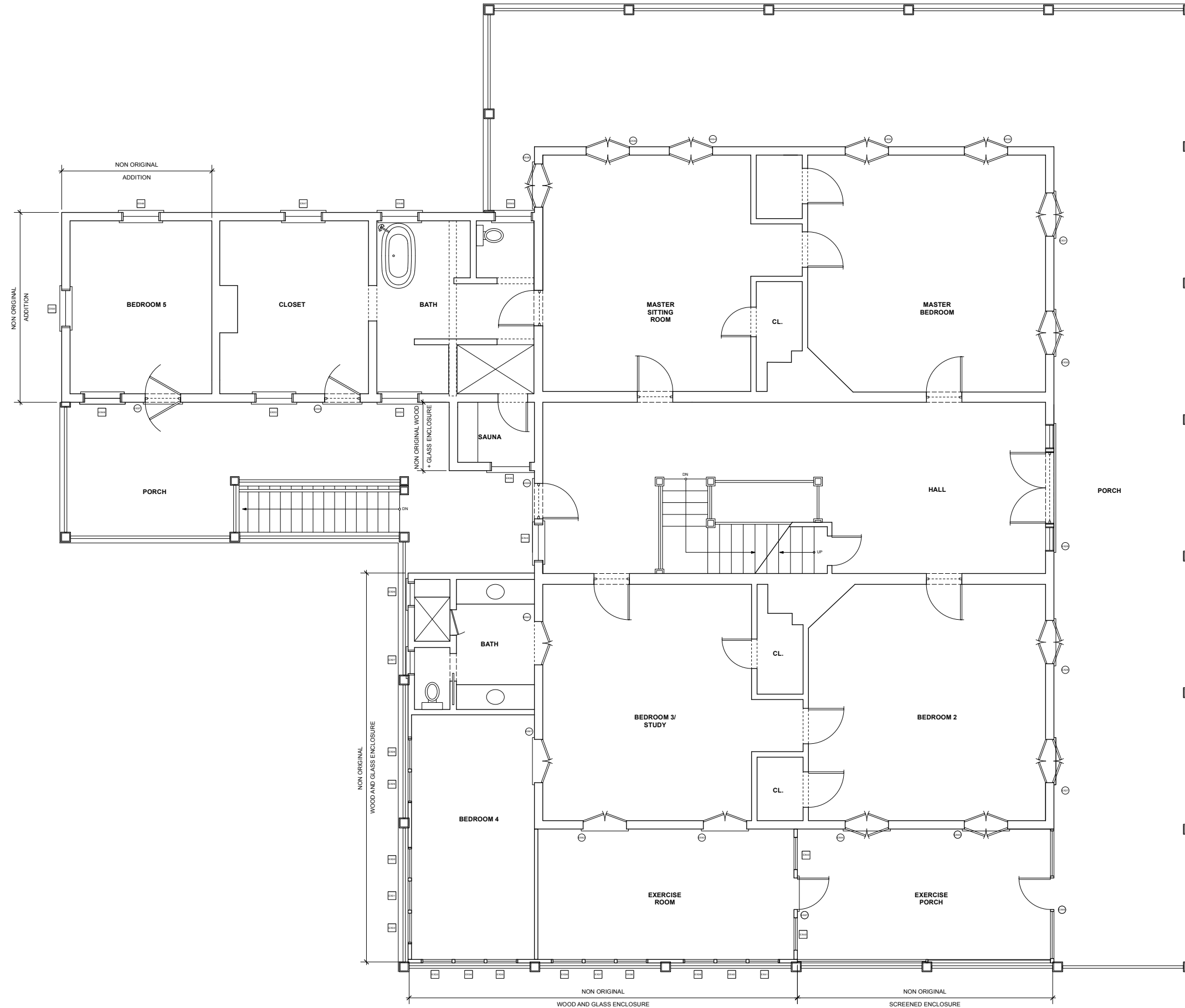
EXISTING ORIGINAL FRONT (SOUTH) PORCH TO REMAIN

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MOORE RESIDENCE  
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 EXISTING FIRST FLOOR PLAN  
 1/4"=1'-0"  
 11. 22. 24

EX 1.1

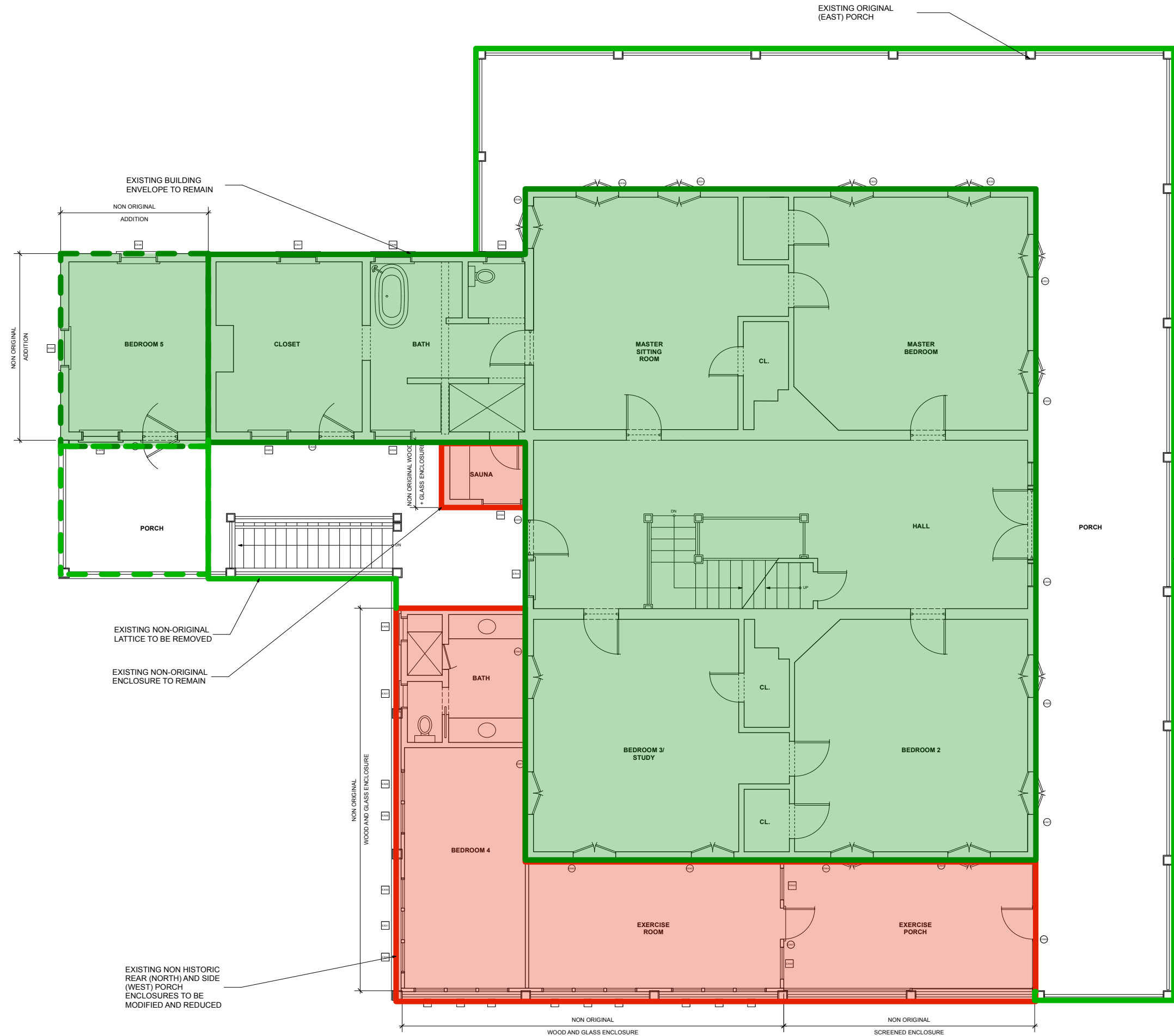








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MOORE RESIDENCE  
1702'ON AVE, SULLIVAN'S ISLAND, SC  
EXISTING SECOND FLOOR PLAN  
1/4"=1'-0"  
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EX 1.2

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-  ORIGINAL PORCH
-  ORIGINAL STRUCTURE
-  ADDITION- PORCH
-  ADDITION- STRUCTURE
-  NON-HISTORIC BUILDING FABRIC
-  ENCLOSURE OF A HISTORIC PORCH



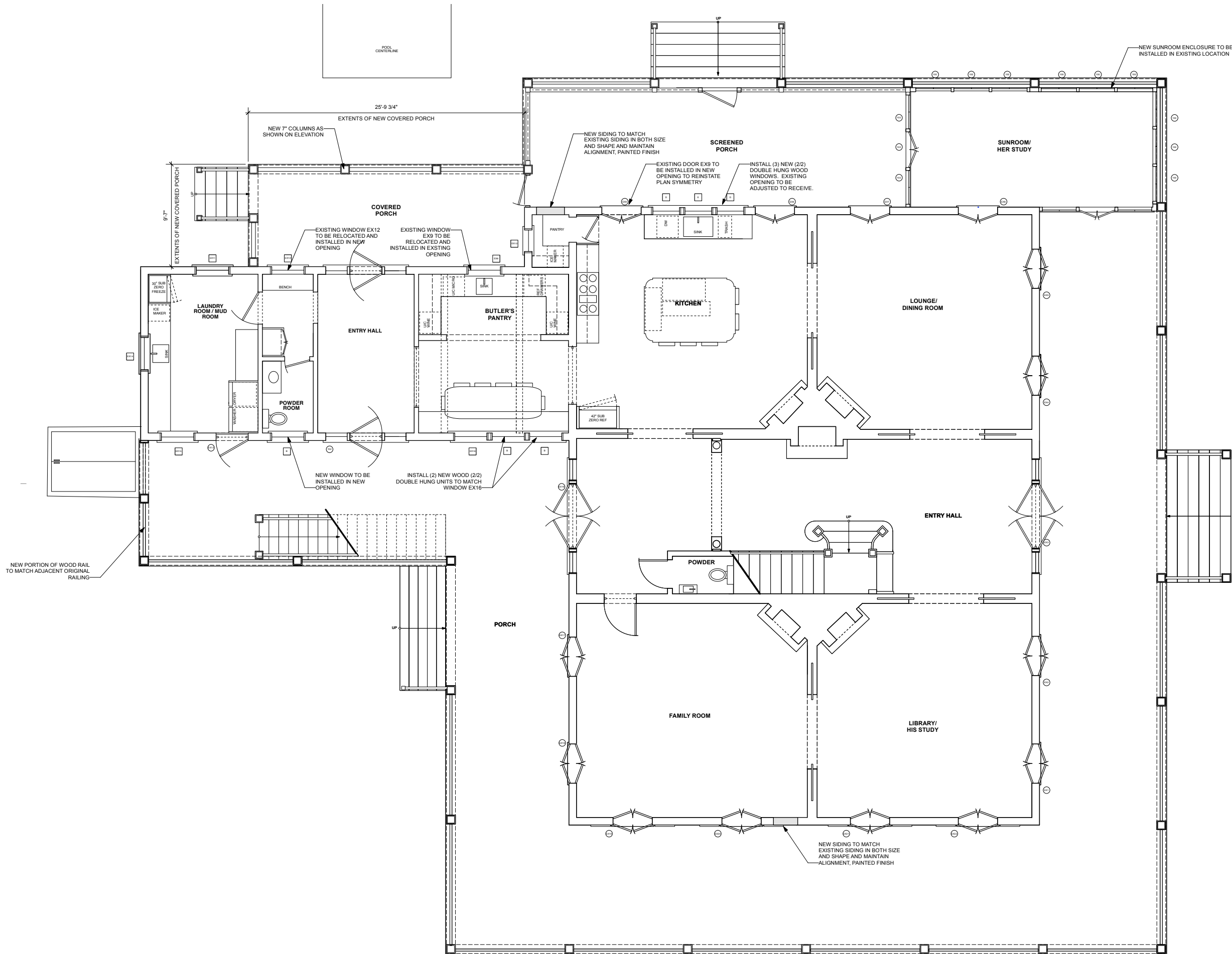
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MOORE RESIDENCE  
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 EXISTING SECOND FLOOR PLAN  
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EX 1.2



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**PLAN LEGEND**

- WALLS/WINDOWS/DOORS FOR DEMOLITION
- EXISTING WALLS TO REMAIN
- PROPOSED NEW WALLS

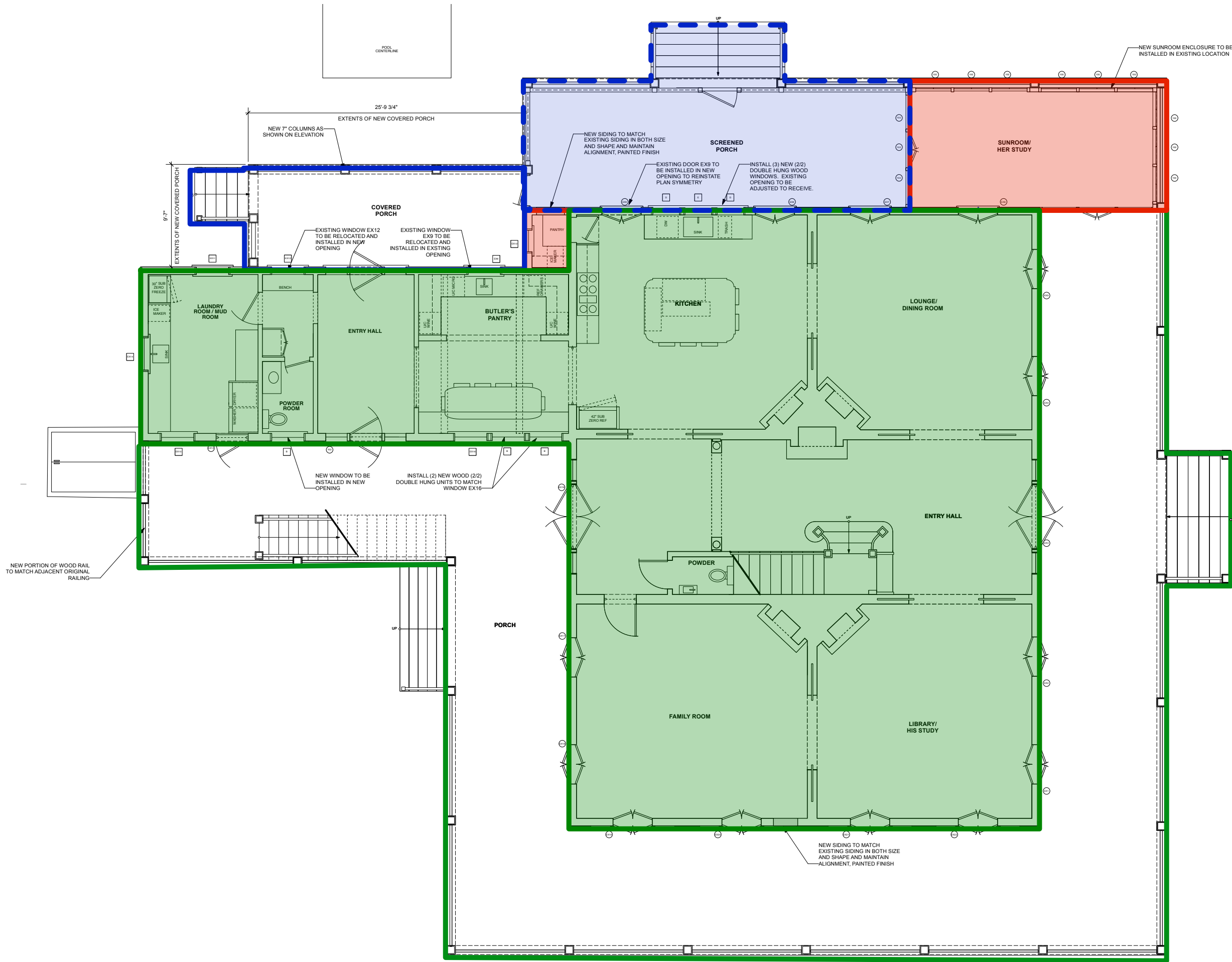
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MOORE RESIDENCE  
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 FIRST FLOOR PLAN  
 1/4"=1'-0"  
 11.22.24

**A1.1**

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- HISTORIC PORCH
- HISTORIC STRUCTURE
- PROPOSED NEW ENCLOSURE OF A HISTORIC PORCH
- ENCLOSURE OF A HISTORIC PORCH (EXIST TO BE MODIFIED)
- PROPOSED NEW COVERED PORCH
- HISTORIC PORCH PREV ENCLOSED TO BE RE-OPENED + SCREENED
- HISTORIC PORCH PREV SCREENED TO BE OPENED

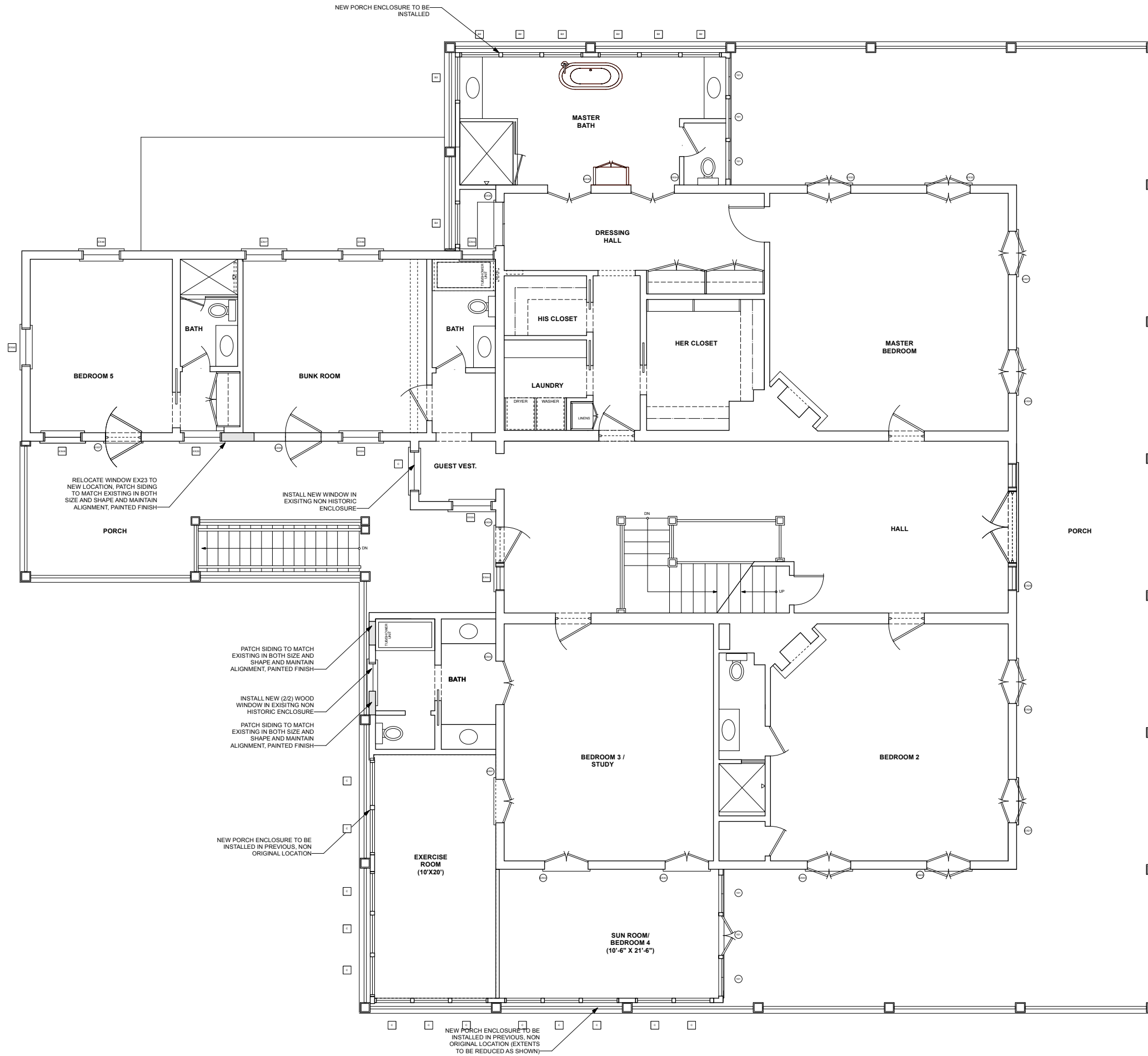


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MOORE RESIDENCE  
 1702'ON AVE, SULLIVAN'S ISLAND, SC  
 FIRST FLOOR PLAN  
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PLAN LEGEND	
---	WALLS/WINDOWS/DOORS FOR DEMOLITION
—	EXISTING WALLS TO REMAIN
▭	PROPOSED NEW WALLS

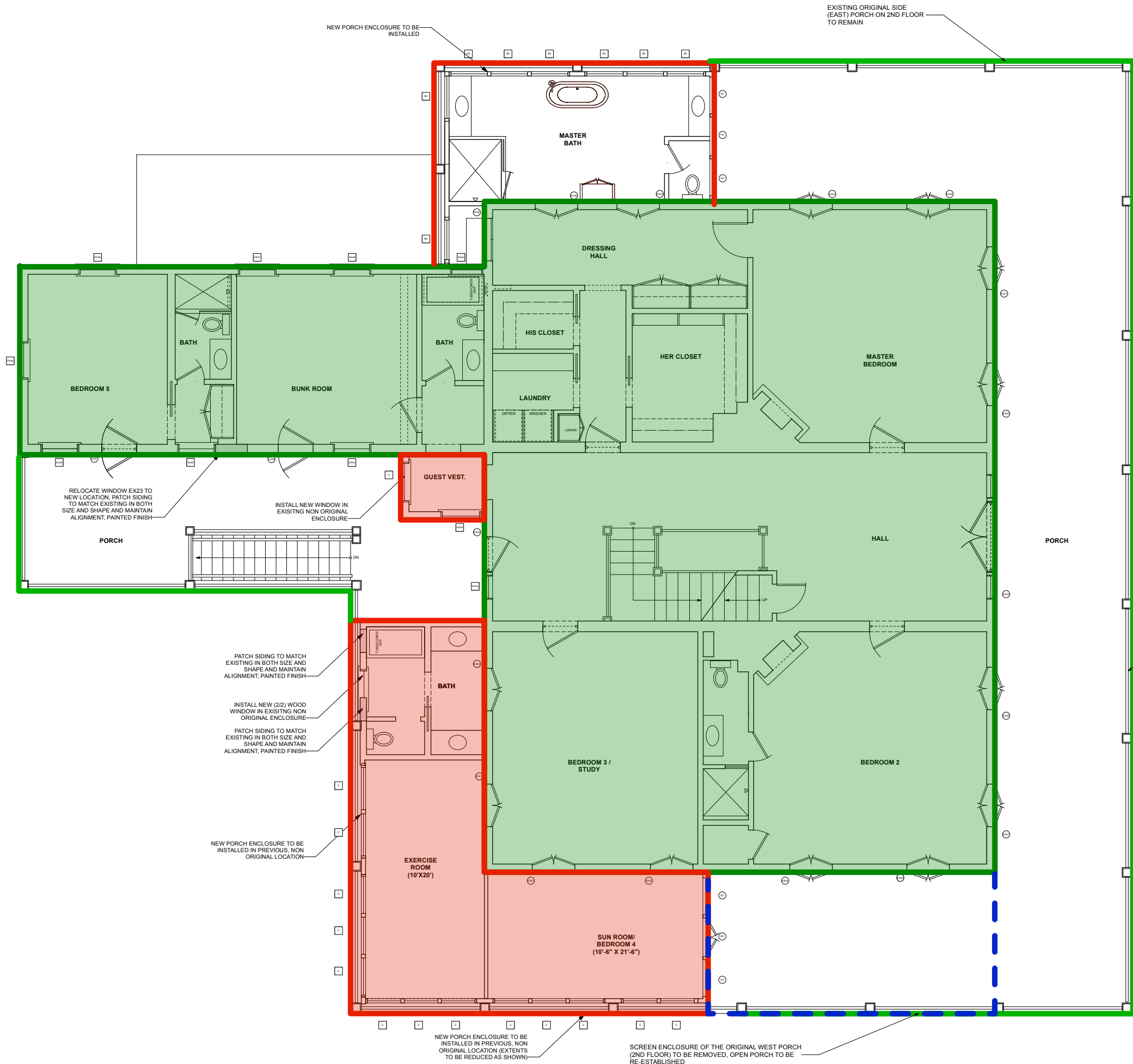
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MOORE RESIDENCE  
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SECOND FLOOR PLAN  
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A1.2

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-  HISTORIC PORCH
-  HISTORIC STRUCTURE
-  PROPOSED NEW ENCLOSURE OF A HISTORIC PORCH
-  ENCLOSURE OF A HISTORIC PORCH (EXIST TO BE MODIFIED)
-  PROPOSED NEW COVERED PORCH
-  HISTORIC PORCH PREV ENCLOSED TO BE RE-OPENED + SCREENED
-  HISTORIC PORCH PREV SCREENED TO BE OPENED

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MOORE RESIDENCE  
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 SECOND FLOOR PLAN  
 1/4"=1'-0"  
 11.22.24

A 1.2



EXISTING EAST ELEVATION  
 (NOT VISIBLE FROM STREET)

NON HISTORIC WINDOW TO BE REMOVED  
 AND REPLACED

NON HISTORIC STEPS, PORCH AND DOOR  
 TO BE REMOVED AND RECONFIGURED

NON HISTORIC WOOD ENCLOSURE OF  
 THE HISTORIC WEST PORCH (1ST FLOOR)  
 TO BE REMOVED AND REPLACED WITH  
 SCREEN



HISTORIC WEST PORCH (2ND FLOOR) TO BE OPEN

GLASS ENCLOSURE OF THE HISTORIC  
 EAST PORCH (1ST FLOOR) TO BE  
 REMOVED AND REPLACED TO FIT WITHIN  
 HISTORIC COLUMN BAYS AND  
 ALIGNMENTS SET FROM HISTORIC  
 FRENCH DOORS

PROPOSED GLASS ENCLOSURE OF THE  
 HISTORIC EAST PORCH (2ND FLOOR),  
 WINDOWS TO MATCH HISTORIC 22  
 CONFIGURATION

PROPOSED COVERED PORCH WITH  
 COMPLIMENTARY MASSING, PROPORTIONS, DETAILS  
 AND MATERIALS

NEW COVERED PORCH  
 WITH METAL ROOF TO  
 MATCH EXISTING  
 PORCH ROOFS, 7"  
 WOOD POSTS, NEW  
 WOOD RAILING TO  
 MATCH ADJACENT  
 PORCH RAILINGS

NEW WOOD STEPS

MECHANICAL ENCLOSURE RECONFIGURED AND  
 REDUCED IN SIZE

NON HISTORIC SCREEN TO BE RECONFIGURED TO  
 ALIGN WITH HISTORIC FRENCH DOORS AND  
 WINDOWS

NON HISTORIC STEPS TO BE RECONFIGURED TO  
 ALIGN WITH HISTORIC COLUMN LAYOUT AND BRICK  
 PIERS

PROPOSED EAST ELEVATION  
 (NOT VISIBLE FROM STREET)

EXISTING WINDOW EX9  
 TO BE INSTALLED IN  
 EXISTING OPENING  
 GLASS ENCLOSURE OF THE  
 ORIGINAL WEST PORCH (1ST  
 FLOOR) TO BE REMOVED AND  
 REPLACED WITH SCREEN

NEW ENTRY DOOR AND  
 SIDELITES TO BE  
 INSTALLED IN EXISTING  
 OPENING, MODIFIED TO  
 RECEIVE

EXISTING WINDOW EX12  
 TO BE INSTALLED IN  
 NEW OPENING

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GLASS ENCLOSURE OF THE HISTORIC EAST PORCH (1ST FLOOR) TO BE REMOVED AND REPLACED

LINE OF ORIGINAL ROOF AND 2ND FLOOR STRUCTURE

MECHANICAL ENCLOSURE RECONFIGURED AND REDUCED IN SIZE

EXISTING EAST ELEVATION (NOT VISIBLE FROM STREET)

NON HISTORIC WINDOW TO BE REMOVED AND REPLACED

NON HISTORIC STEPS, PORCH AND DOOR TO BE REMOVED AND RECONFIGURED

NON HISTORIC WOOD ENCLOSURE OF THE HISTORIC WEST PORCH (1ST FLOOR) TO BE REMOVED AND REPLACED WITH SCREEN



PROPOSED GLASS ENCLOSURE OF THE HISTORIC EAST PORCH (2ND FLOOR); WINDOWS TO MATCH HISTORIC 22 CONFIGURATION

HISTORIC WEST PORCH (2ND FLOOR) TO BE OPEN

GLASS ENCLOSURE OF THE HISTORIC EAST PORCH (1ST FLOOR) TO BE REMOVED AND REPLACED TO FIT WITHIN HISTORIC COLUMN BAYS AND ALIGNMENTS SET FROM HISTORIC FRENCH DOORS

PROPOSED COVERED PORCH WITH COMPLIMENTARY MASSING, PROPORTIONS, DETAILS AND MATERIALS

NEW COVERED PORCH WITH METAL ROOF TO MATCH EXISTING PORCH ROOFS, 7" WOOD POSTS, NEW WOOD RAILING TO MATCH ADJACENT PORCH RAILINGS

NEW WOOD STEPS

MECHANICAL ENCLOSURE RECONFIGURED AND REDUCED IN SIZE

PROPOSED EAST ELEVATION (NOT VISIBLE FROM STREET)

EXISTING WINDOW EX9 TO BE INSTALLED IN EXISTING OPENING GLASS ENCLOSURE OF THE ORIGINAL WEST PORCH (1ST FLOOR) TO BE REMOVED AND REPLACED WITH SCREEN

NEW ENTRY DOOR AND SIDELITES TO BE INSTALLED IN EXISTING OPENING, MODIFIED TO RECEIVE

EXISTING WINDOW EX12 TO BE INSTALLED IN NEW OPENING

NON HISTORIC SCREEN TO BE RECONFIGURED TO ALIGN WITH HISTORIC FRENCH DOORS AND WINDOWS

NON HISTORIC STEPS TO BE RECONFIGURED TO ALIGN WITH HISTORIC COLUMN LAYOUT AND BRICK PIERS

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MOORE RESIDENCE  
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11.22.24

A2.2

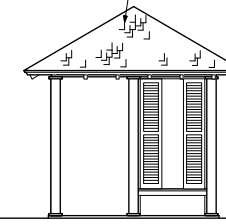


SCREEN ENCLOSURE OF THE  
ORIGINAL WEST PORCH (2ND FLOOR)  
TO BE REMOVED, GLASS  
ENCLOSURE TO BE REMOVED AND  
RECONFIGURED



EXISTING SOUTH ELEVATION

EXISTING NON ORIGINAL  
ACCESSORY STRUCTURE TO  
REMAIN



NON ORIGINAL STEPS, PORCH  
AND DOOR TO BE REMOVED  
AND RECONFIGURED

PROPOSED NEW GLASS  
ENCLOSURE OF THE ORIGINAL  
EAST PORCH (2ND FLOOR)



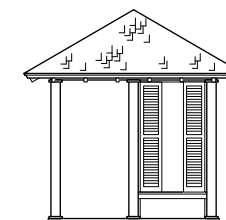
PROPOSED SOUTH ELEVATION

PROPOSED GLASS  
ENCLOSURE OF THE ORIGINAL  
SIDE (EAST) PORCH (2ND  
FLOOR), FRENCH DOORS TO  
MATCH ORIGINAL UNITS

PROPOSED GLASS  
ENCLOSURE AT ORIGINAL SIDE  
(EAST) PORCH (1ST FLOOR),  
WINDOWS TO FIT WITHIN  
ORIGINAL COLUMN BAYS WITH  
CONFIGURATION MATCHING  
ORIGINAL FRENCH DOORS  
PLUS TRANSOMS

ORIGINAL PORCH TO REMAIN OPEN

NON ORIGINAL SCREENTO BE  
RECONFIGURED TO ALIGN WITH  
ORIGINAL FRENCH DOORS AND  
WINDOWS



BEAU CLOWNEY  
ARCHITECTS

1 KING STREET  
SUITE 102  
CHARLESTON, SC 29401  
843.722.2040

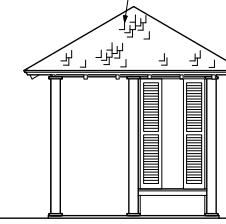
MOORE RESIDENCE  
1702 ION AVE  
SULLIVAN'S ISLAND, SC  
EXTERIOR ELEVATION  
3/16"=1'-0"  
11. 22. 24

SCREEN ENCLOSURE OF THE  
 ORIGINAL WEST PORCH (2ND FLOOR)  
 TO BE REMOVED, GLASS  
 ENCLOSURE TO BE REMOVED AND  
 RECONFIGURED



EXISTING SOUTH ELEVATION

EXISTING NON ORIGINAL  
 ACCESSORY STRUCTURE TO  
 REMAIN



NON ORIGINAL STEPS, PORCH  
 AND DOOR TO BE REMOVED  
 AND RECONFIGURED

PROPOSED NEW GLASS  
 ENCLOSURE OF THE ORIGINAL  
 EAST PORCH (2ND FLOOR)



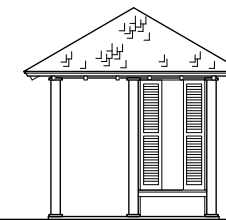
PROPOSED SOUTH ELEVATION

PROPOSED GLASS  
 ENCLOSURE OF THE ORIGINAL  
 SIDE (EAST) PORCH (2ND  
 FLOOR), FRENCH DOORS TO  
 MATCH ORIGINAL UNITS

PROPOSED GLASS  
 ENCLOSURE AT ORIGINAL SIDE  
 (EAST) PORCH (1ST FLOOR),  
 WINDOWS TO FIT WITHIN  
 ORIGINAL COLUMN BAYS WITH  
 CONFIGURATION MATCHING  
 ORIGINAL FRENCH DOORS  
 PLUS TRANSOMS

ORIGINAL PORCH TO REMAIN OPEN

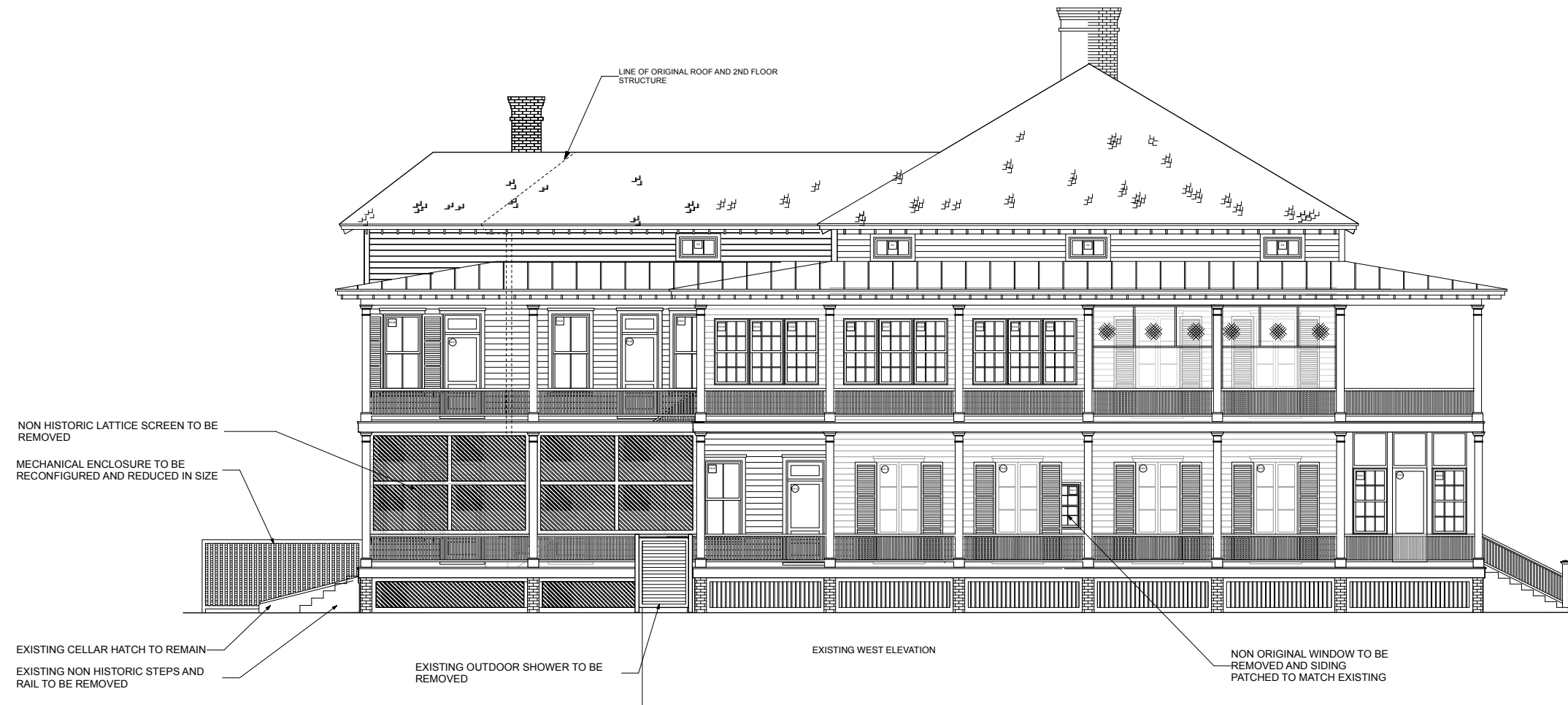
NON ORIGINAL SCREENTO BE  
 RECONFIGURED TO ALIGN WITH  
 ORIGINAL FRENCH DOORS AND  
 WINDOWS



BEAU CLOWNEY  
 ARCHITECTS

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 843.722.2040

MOORE RESIDENCE  
 1702 ION AVE  
 SULLIVAN'S ISLAND, SC  
 EXTERIOR ELEVATION  
 3/16"=1'-0"  
 11. 22. 24



NON HISTORIC LATTICE SCREEN TO BE REMOVED

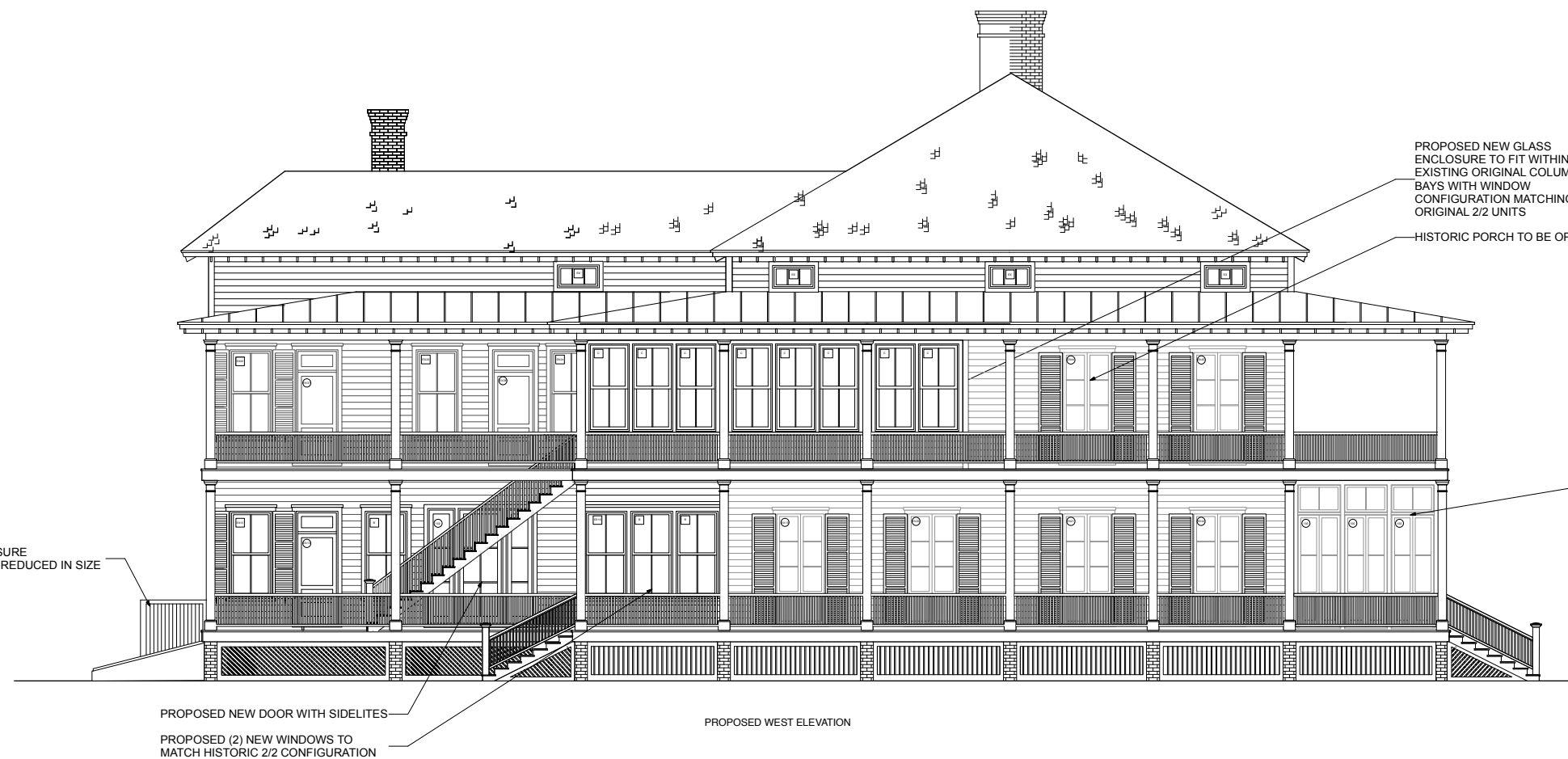
MECHANICAL ENCLOSURE TO BE RECONFIGURED AND REDUCED IN SIZE

EXISTING CELLAR HATCH TO REMAIN  
EXISTING NON HISTORIC STEPS AND RAIL TO BE REMOVED

EXISTING OUTDOOR SHOWER TO BE REMOVED

EXISTING WEST ELEVATION

NON ORIGINAL WINDOW TO BE REMOVED AND SIDING PATCHED TO MATCH EXISTING



MECHANICAL ENCLOSURE RECONFIGURED AND REDUCED IN SIZE

PROPOSED NEW DOOR WITH SIDELITES

PROPOSED (2) NEW WINDOWS TO MATCH HISTORIC 2/2 CONFIGURATION

PROPOSED WEST ELEVATION

PROPOSED NEW GLASS ENCLOSURE TO FIT WITHIN EXISTING ORIGINAL COLUMN BAYS WITH WINDOW CONFIGURATION MATCHING ORIGINAL 2/2 UNITS

HISTORIC PORCH TO BE OPEN

PROPOSED GLASS ENCLOSURE AT HISTORIC SIDE (EAST) PORCH (1ST FLOOR) TO FIT WITHIN HISTORIC COLUMN BAYS WITH CONFIGURATION MATCHING HISTORIC FRENCH DOORS PLUS TRANSOMS

BEAU CLOWNEY  
ARCHITECTS

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MOORE RESIDENCE  
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EXTERIOR ELEVATION  
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11.22.24

A2.4

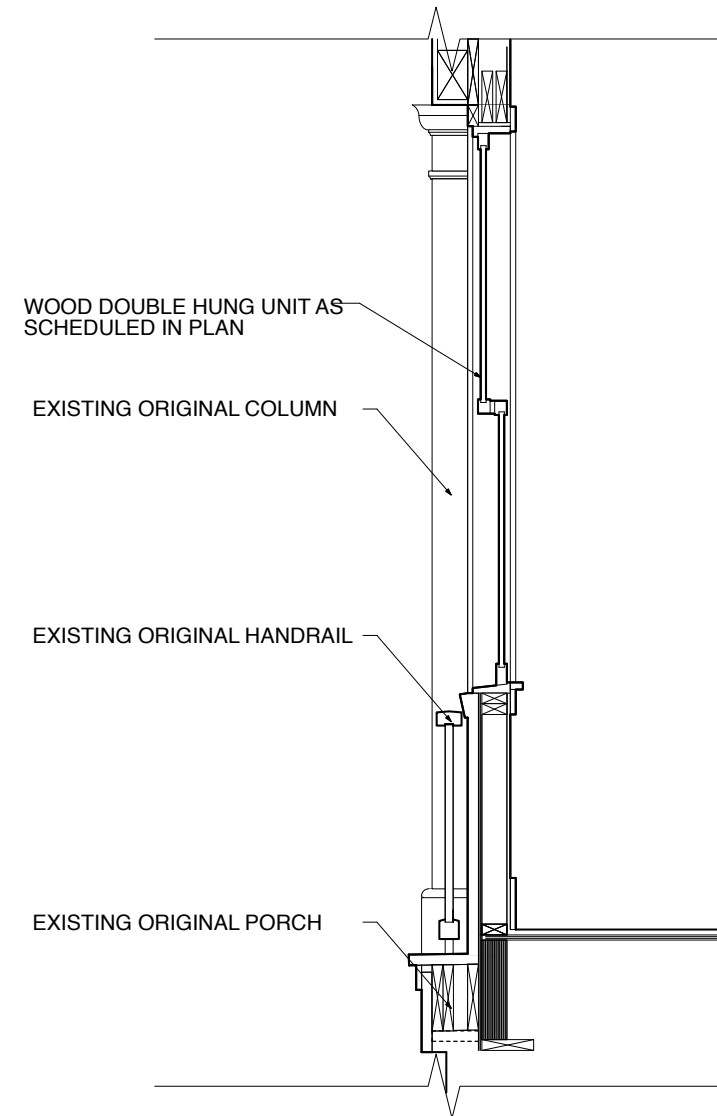


BEAU CLOWNEY  
 ARCHITECTS

1 KING STREET  
 SUITE 102  
 CHARLESTON, SC 29401  
 843.722.2040

MOORE RESIDENCE  
 1702 ION AVE  
 SULLIVAN'S ISLAND, SC  
 EXTERIOR ELEVATION  
 3/16" = 1'-0"  
 11.22.24

A2.4



WOOD DOUBLE HUNG UNIT AS SCHEDULED IN PLAN

EXISTING ORIGINAL COLUMN

EXISTING ORIGINAL HANDRAIL

EXISTING ORIGINAL PORCH

1  
 5.3 TYPICAL WALL SECTION @ PORCH ENCLOSURE  
 SCALE: 1" = 1'-0"

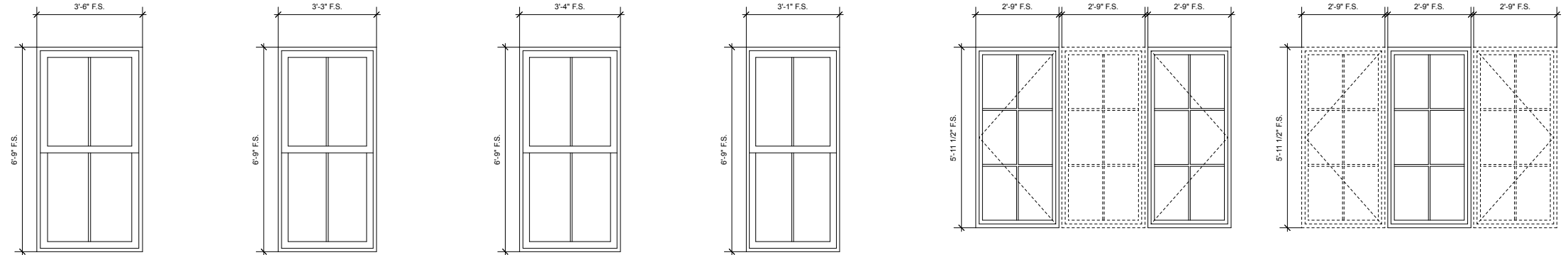
- GENERAL DETAIL NOTES**
- SEE STRUCTURAL DRAWINGS FOR ALL MEMBER SIZES, CONNECTIONS, AND DETAILS USED IN ALL FRAMING AND FOUNDATION CONDITIONS.
  - REFER TO (A3) BUILDING SECTIONS FOR SPECIFIC FLOOR TO FLOOR DIMENSIONS AND RELATIONSHIPS.
  - REFER TO (A3) BUILDING SECTIONS FOR FINISH FLOOR AND GRADE RELATIONSHIPS AS THEY PERTAIN TO ANY FLOOD REQUIREMENTS.
  - U.O.N. TYP. FLOOR FRAMING RELATIVE TO FOUNDATION WALLS/PIERS. OUTSIDE FACE OF STUD = OUTSIDE FACE OF CONC.
  - WINDOW/DOOR UNIT INSTALLATION SHALL FOLLOW THE MANUFACTURER'S RECOMMENDATIONS.
  - WINDOW/DOOR UNITS MUST MEET ALL IBC/IRC REQUIREMENTS INCLUDING IMPACT, DESIGN PRESSURE RATINGS AND WATER INTRUSION STANDARDS PER ZONE.
  - REFER TO (A3) BUILDING SECTIONS AND HEADER SCHEDULE FOR ALL SPECIFIC WINDOW/DOOR UNIT HEADER HEIGHTS.
  - REPORT DISCREPANCIES TO ARCHITECT

SCALE: AS NOTED PER DETAIL



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 843.722.2040  
 MOORE RESIDENCE  
 1702'ON AVE, SULLIVAN'S ISLAND, SC  
 SECOND FLOOR PLAN  
 1/4" = 1'-0"  
 11. 22. 24

EXTERIOR WINDOWS



**WINDOW A**  
 DOUBLE HUNG 2/2 LITE  
 TRUE DIVIDED LITES (MATCH EXISTING WINDOWS)  
 PREFINISHED, MAHOGANY CONSTRUCTION  
 \*COORD. EXTERIOR COLOR W/ ARCH

**WINDOW B**  
 DOUBLE HUNG 2/2 LITE  
 TRUE DIVIDED LITES (MATCH EXISTING WINDOWS)  
 PREFINISHED, MAHOGANY CONSTRUCTION  
 \*COORD. EXTERIOR COLOR W/ ARCH

**WINDOW B2**  
 DOUBLE HUNG 2/2 LITE  
 TRUE DIVIDED LITES (MATCH EXISTING WINDOWS)  
 PREFINISHED, MAHOGANY CONSTRUCTION  
 \*COORD. EXTERIOR COLOR W/ ARCH

**WINDOW C**  
 DOUBLE HUNG 2/2 LITE  
 TRUE DIVIDED LITES (MATCH EXISTING WINDOWS)  
 PREFINISHED, MAHOGANY CONSTRUCTION  
 \*COORD. EXTERIOR COLOR W/ ARCH

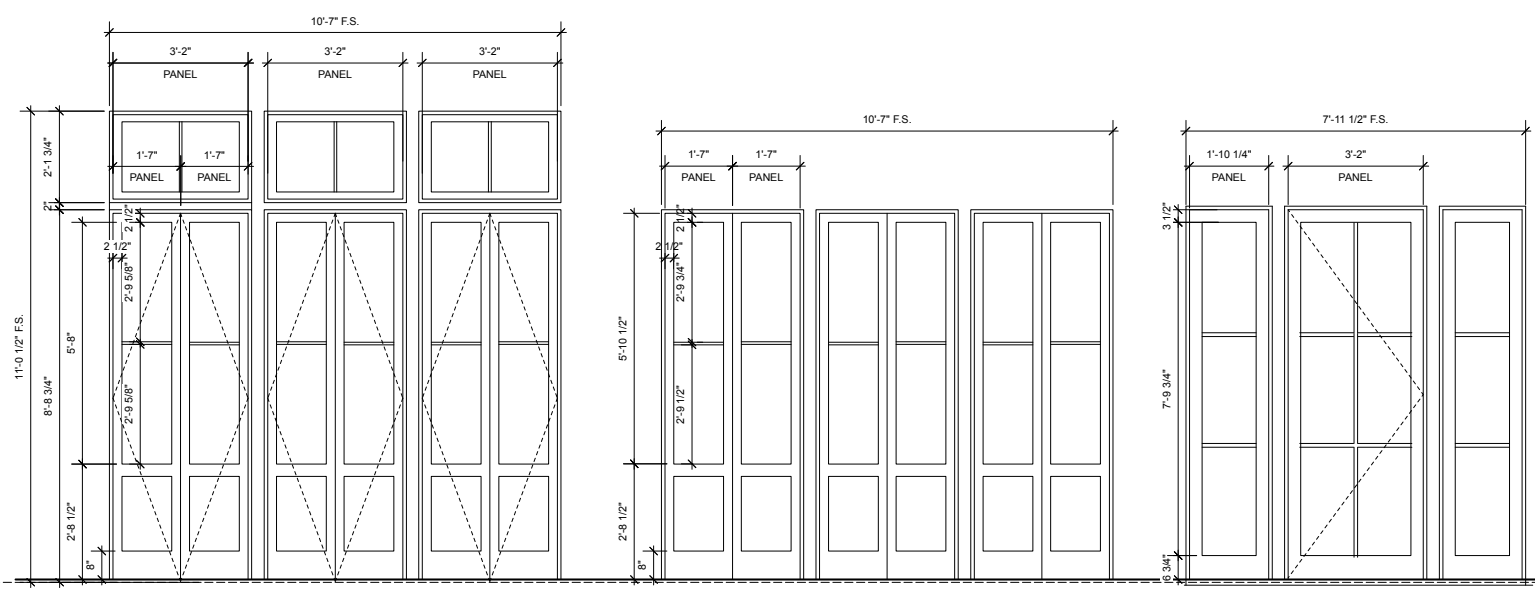
**WINDOW D**  
 CASEMENT 6 LITE  
 TRUE DIVIDED LITES (MATCH EXISTING WINDOWS)  
 PREFINISHED, MAHOGANY CONSTRUCTION  
 \*COORD. EXTERIOR COLOR W/ ARCH

**WINDOW E**  
 FIXED 6 LITE  
 TRUE DIVIDED LITES (MATCH EXISTING WINDOWS)  
 PREFINISHED, MAHOGANY CONSTRUCTION  
 \*COORD. EXTERIOR COLOR W/ ARCH

DOOR AND WINDOW NOTES

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- CONTRACTOR TO REVIEW HEADER SCHEDULE AND BUILDINGS SECTIONS AND COORDINATE THOSE WITH THE ROUGH OPENING DIMENSIONS IN THE FIELD TO ENSURE EXECUTION OF DESIGN INTENT.
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- WINDOWS GANGED IN SERIES SHALL BE FRAMED WITH A SINGLE 1.75" WIDE LSL JACK STUD IN-BETWEEN EACH UNIT.
- WINDOWS WRAPPING CORNERS ARE TO BE FRAMED EQUIDISTANT ABOUT CORNER.
- SLIDING EXTERIOR DOOR UNITS ARE TYPICALLY SET BELOW THE SUBFLOOR. CONTRACTOR TO REVIEW AND COORD. FLOOR FRAMING, WEEPING SYSTEM AND FLASHING TO ACCOMMODATE SETUP.
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- REPORT DISCREPANCIES TO ARCHITECT

EXTERIOR DOORS



**100 EXTERIOR DOOR**  
 TWO-LITE FRENCH DOORS  
 TWO-LITE FIXED TRANSOM  
 TRUE DIVIDED LITES  
 PREFINISHED, MAHOGANY CONSTRUCTION

**101 EXTERIOR DOOR**  
 TWO-LITE FRENCH DOORS  
 TRUE DIVIDED LITES  
 PREFINISHED, MAHOGANY CONSTRUCTION

**102 EXTERIOR DOOR**  
 TWO-LITE FIXED TRANSOMS  
 SIX-LITE SINGLE DOOR W/ COORDINATING SCREEN DOOR  
 TRUE DIVIDED LITES  
 PREFINISHED, MAHOGANY CONSTRUCTION



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 843.722.2040

10.15.24  
 MOORE RESIDENCE  
 1702 ION AVE  
 SULLIVAN'S ISLAND, SC  
 WINDOW AND DOOR SCHEDULE  
 1/2" = 1'-0"  
 11.22.24

Moore Residence  
 1702 Ion Avenue  
 Sullivan's Island, SC

11/22/2024

**EXISTING WINDOW DOCUMENTATION AND SCHEDULE**

FLOOR	WINDOW NUMBER	ORIGINAL-YES/NO	TYPE	CONFIGURATION	SIZE	MATERIAL	PROPOSED CHANGES	NOTES
FIRST	EX1	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX2	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX3	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX4	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX5	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX6	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX7	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX8	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX9	NO	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	REMOVE ENCLOSURE + WINDOW	NON ORIGINAL PORCH ENCLOSURE, REPAIR WINDOW AS NEEDED FOR REUSE ON WEST FACADE
	EX10	NO	DOUBLE HUNG	2 OVER 2	3'11" x 5'9"	WOOD	REMOVE AND REPLACE	NON ORIGINAL UNIT
	EX11	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX12	NO	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	REMOVE ENCLOSURE + WINDOW	NON ORIGINAL PORCH ENCLOSURE, REPAIR WINDOW AS NEEDED FOR REUSE ON EAST FACADE
	EX13	NO	DOUBLE HUNG	1 OVER 1	1'10" x 6'9"	WOOD	-	NON ORIGINAL PORCH ENCLOSURE
	EX14	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX15	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX16	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX17	NO	DOUBLE HUNG	4 OVER 4	2'0" x 3'8"	WOOD	REMOVE AND MATCH ADJACENT SIDING	NON ORIGINAL UNIT- ADDED FOR BATHROOM
	EX18	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX19	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX20	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX21	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
	EX22	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL PORCH ENCLOSURE
SECOND	EX23	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	REMOVE AND RELOCATE	ADJUST LOCATION PER PLAN
	EX24	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX25	NO	FIXED	4 LITE	3'0" x 2'0"	WOOD	-	NON ORIGINAL ENCLOSURE
	EX26	NO	FIXED	1 LITE	1'11" x 1'11"	WOOD	REMOVE, PATCH SIDING	NON ORIGINAL ENCLOSURE
	EX27	NO	FIXED	4 LITE	1'11" x 1'11"	WOOD	REMOVE, PATCH SIDING	NON ORIGINAL ENCLOSURE
	EX28	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX29	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX30	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX31	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX32	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX33	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX34	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX35	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX36	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX37	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX38	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX39	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX40	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX41	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX42	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX43	NO	DOUBLE HUNG	6 OVER 6	2'11" x 5'6"	WOOD	REMOVE AND REPLACE	NON ORIGINAL ENCLOSURE
	EX44	NO	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	OPENING WAS PREVIOUSLY MODIFIED TO ENABLE CLOSET/ SAUNA ENCLOSURE
	EX45	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX46	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX47	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX48	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX49	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
	EX50	YES	DOUBLE HUNG	2 OVER 2	3'3" x 6'9"	WOOD	-	
NOTE: NO CHANGE TO ATTIC WINDOWS								

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10.15.24  
 MOORE RESIDENCE  
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 EXISTING WINDOW SCHEDULE  
 1/2" = 1'-0"  
 11.22.24