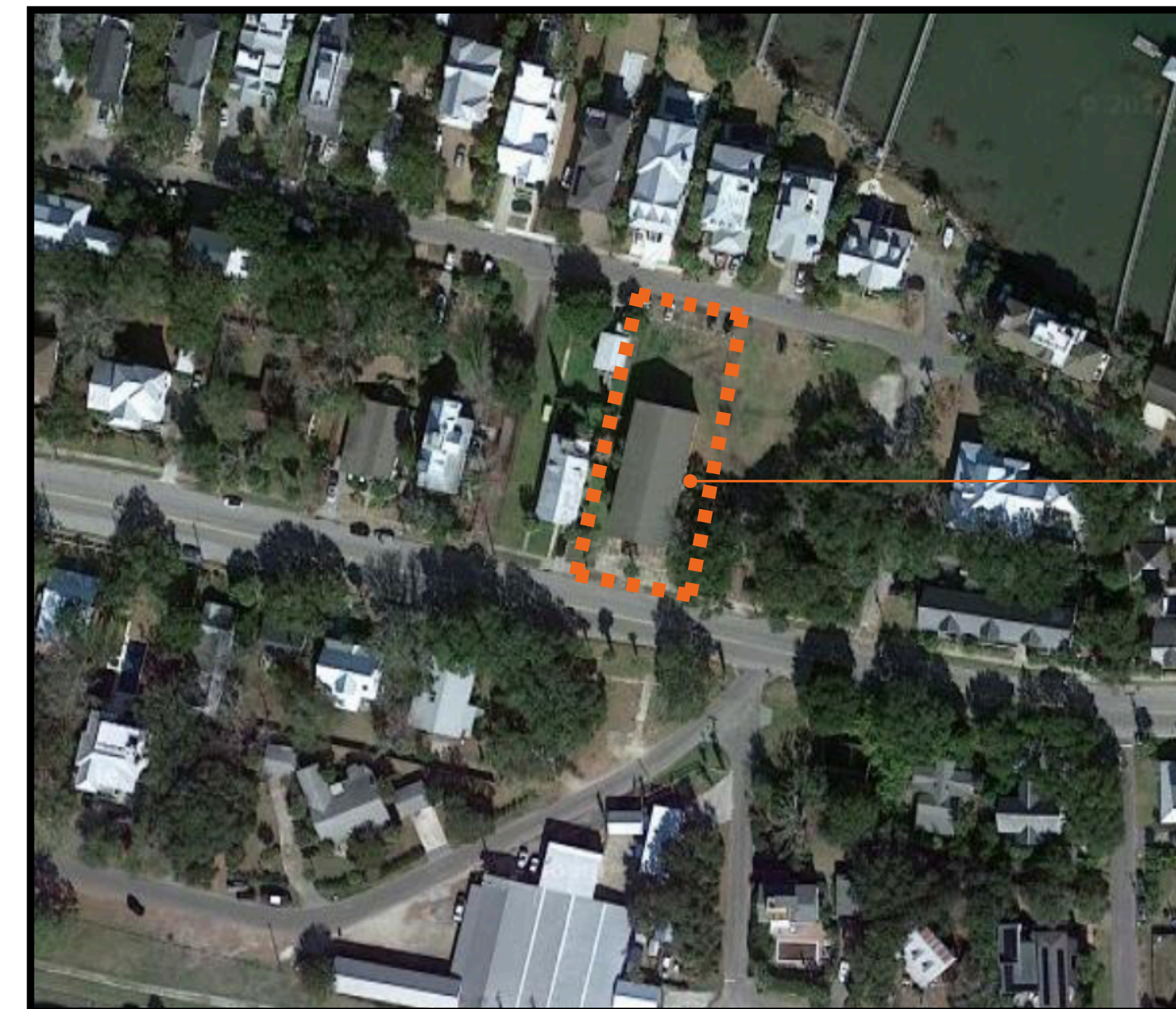


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 843 724 6002 WWW.HOERTDOERFERARCHITECTS.COM

PROJECT LOCATION



PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION

1454 MIDDLE STREET SULLIVANS ISLAND • SC TMS # 523-07-00-043

ARCHITECT AND PROJECT MANAGEMENT:
 KEVAN HOERTDOERFER ARCHITECTS
 843.724.6002
 khh@hoertdoerferarchitects.com

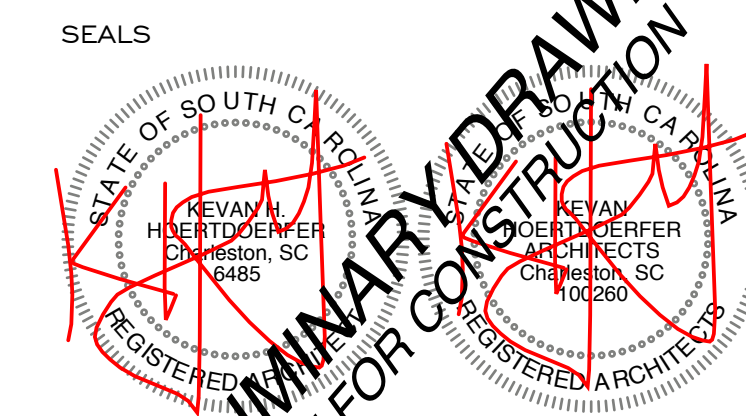
OWNER AND CONSTRUCTION MANAGEMENT:

CONTRACTOR:

STRUCTURAL ENGINEER:

MEP ENGINEER:

MARK	DESCRIPTION	DATE
◇	SULLIVAN'S ISLAND DRB SUBMITTAL	11.22.2024



PROJ. NO. 24-001

SI THEATER

1454 MIDDLE STREET
 SULLIVANS ISLAND, SOUTH CAROLINA

11.22.2024 KHH/GJ 2109-02

PROJECT TEAM

INDEX OF DRAWINGS

APPLICABLE CODES, INCLUDING SC STATEWIDE MODIFICATIONS:

2021 INTERNATIONAL RESIDENTIAL CODE
 2009 INTERNATIONAL ENERGY CONSERVATION CODE
 ICC / ANSI A117.1-2017

PORTABLE FIRE EXTINGUISHERS SHALL BE PROVIDED AT LOCATIONS MARKED ON PLAN, (FE). DEVICES SHALL BE IN ACCORDANCE WITH SECTION 906 OF THE IBC 2015. PROVIDE SUBMITTAL.

GC MUST FIELD VERIFY LAYOUT AND DIMENSIONS AND NOTIFY THE ARCHITECT OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH WORK.

THESE DRAWINGS MUST BE USED FOR DESIGN INTENT ONLY. THE GC MUST SUBMIT DETAILED SHOP DRAWINGS AND MATERIAL SAMPLES FOR APPROVAL BY ARCHITECT OR ENGINEERS.

THE G.C. MUST NOTIFY ARCHITECT AND PERMITTING AGENCY OF ANY VALUE ENGINEERING CHANGES INSTRUCTED BY OR AUTHORIZED BY THE OWNER.

DEFERRED SUBMITTALS:

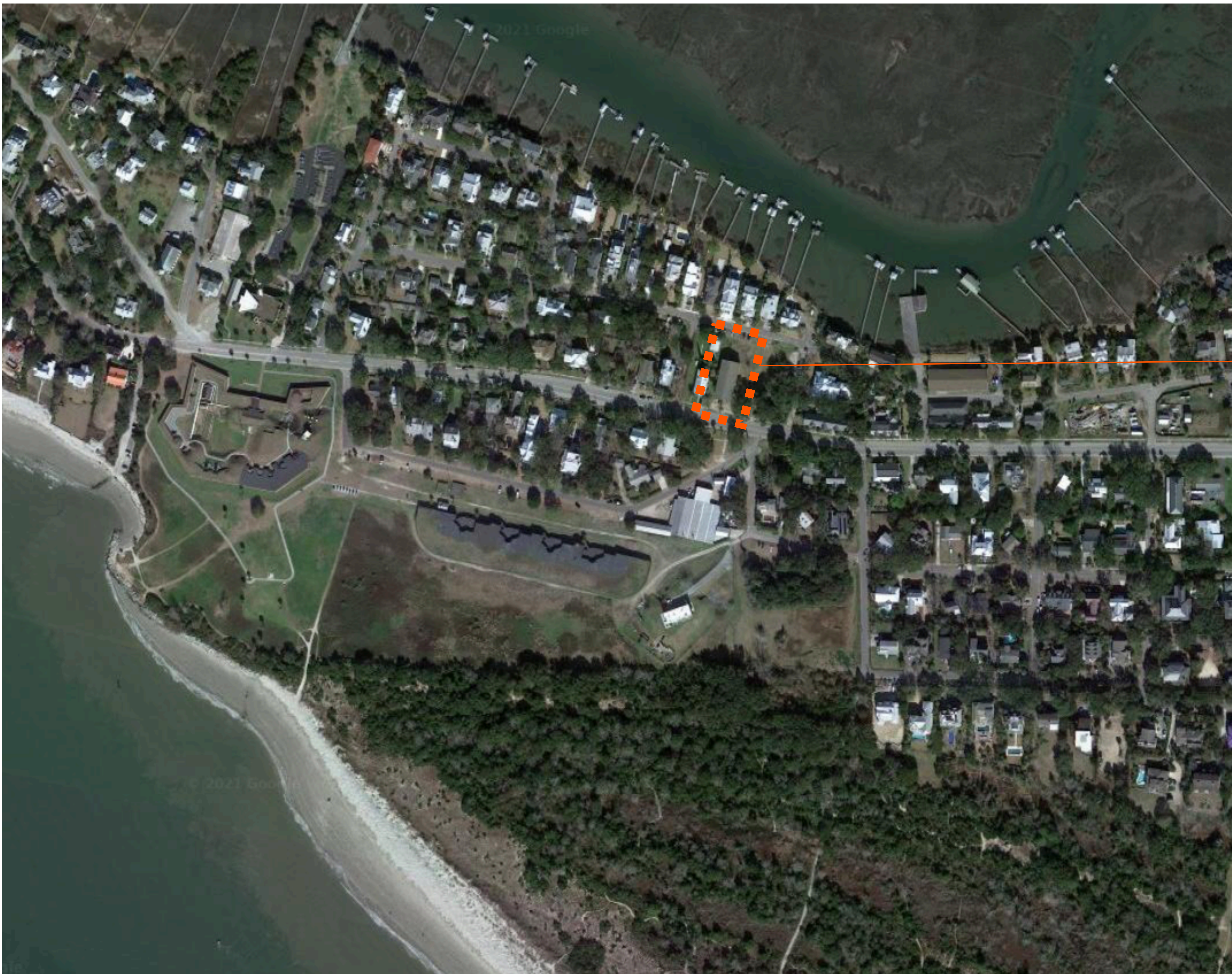
NONE

PROJECT NOTES

ABBREVIATIONS & SYMBOLS

	Indicates demo scope		Indicates wall type, see details on A110
	Indicates existing walls		Indicates door number, see schedule on A600's
	Indicates new walls		Indicates window number, see schedule on A600's
	Indicates room name & number		

AFF	Above Finished Floor	N/A	Non Applicable
BFE	Base Flood Elevation	NIC	Not in Contract
BLDG	Building	NTS	Not to Scale
CIP	Cast in Place	OC	On Center
CJ	Control Joint	OD	Outside Diameter
CL	Center Line	OPP	Opposite
CLG	Ceiling	PT	Paint
CMU	Concrete Masonry Unit	PT	Pressure Treated
CONC	Concrete	REF	Refrigerator
CPT	Carpet	RM	Room
CT	Ceramic Tile	RO	Rough Opening
D	Dryer	SF	Square Foot (Feet)
DIM	Dimension	SIM	Similar
DN	Down	SPECS	Specifications
DTL	Detail	STD	Standard
EA	Each	STL	Steel
EJ	Expansion Joint	SV	Sheet Vinyl
EXT	Exterior	T.O.	Top of
FIN	Finish	T.O.C	Top of Concrete
FLR	Floor	T.O.S	Top of Steel
FT	Feet	T.O.W	Top of Wall
GB	Gypsum Wall Board	T&G	Tongue and Groove
GYP BD	Gypsum Wall Board	TEL	Telephone
HC	Handicapped	TYP	Typical
IN	Inches	VCT	Vinyl Composition Tile
INT	Interior	W	Washer
MO	Masonry Opening	WD	Wood
MSL	Mean Sea Level		



PROJECT LOCATION



HISTORIC THEATER RENOVATION

1454 MIDDLE STREET
SULLIVANS ISLAND, SC



PROJECT LOCATION



HISTORIC THEATER RENOVATION

1 4 5 4 M I D D L E S T R E E T
S U L L I V A N S I S L A N D , S C



PROJECT LOCATION



HISTORIC THEATER RENOVATION

1 4 5 4 M I D D L E S T R E E T
S U L L I V A N S I S L A N D , S C



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HISTORIC THEATER RENOVATION

1454 MIDDLE STREET
SULLIVANS ISLAND, SC

CONTINUATION AND PHOTOGRAPHS

Control Number: 0 / 19 / 1380 / 1750259
 county census site number

South Carolina Inventory of Historic Places
 Survey Field Form/Data Entry Form
 State Historic Preservation Office
 PO Box 11,669, Columbia, SC 29211
 (803) 734-8577

CONTINUATION:

HISTORICAL DATA: This building was constructed as a motion picture theatre for Fort Moultrie ca. 1930. It was sold by the government in the early 1950s and was converted for use as a warehouse ca. 1975. --- The fort saw a major expansion in the late 19th and early 20th centuries as the United States sought to strengthen its system of coastal defenses. In 1902, the government took possession of much of the land between Station 12 and Station 18 for the expansion of the fort. A great deal of construction was carried out between 1902 and ca. 1930 as housing and support facilities were constructed for the fort's growing garrison. This building served as the Fort's primary entertainment facility from ca. 1930 until 1947. The fort was deactivated in 1947 and most of its property was sold to private individuals or turned over to the State of South Carolina.



Photo #	View of
Roll #01: 35	S facade (r.), W elev. (l.)
Roll #12: 03	E elev. (l.), N elev. (r.)

Date taken: 87/04/05
 Recorded by: John Laurens



1454 MIDDLE STREET C. 1930. The Fort Moultrie Post Theatre was constructed as a motion picture theatre for Fort Moultrie families. It was sold by the government in the early 1950s and was converted for use as a warehouse c. 1975. This building served as the fort's primary entertainment facility until 1947, when the fort was deactivated and most of its property sold to private individuals or turned over to the State of South Carolina. [Part of a significant grouping of military structures associated with the expansion of Fort Moultrie between 1897 and 1935. It is important as an example of early 20th-century military architecture.] (Courtesy Marshall Stith.)



1617 MIDDLE STREET C. 1900. The Fort Moultrie Dispensary/Provost Marshall's Office was constructed as the dispensary for Fort Moultrie and is so indicated on 1901 and 1915 maps. It was later converted for use as the Provost Marshall's Office, and has since been converted to a residence. [Part of a significant grouping of military structures.] (Courtesy Marshall Stith.)

L. In 1813 Grace
 n 1861 and sold in
 he Holy Cross was
 York, formerly of
 service as held on
 bell was dedicated
 In 1902, with the
 ment and used as a
 the government,
 nto a new Chapel
 Moultrie in 1947,
 dministration and
 structure was given
 rmed congregation
 s; the building was
 significant as an
 orical associations



HISTORIC THEATER RENOVATION

1454 MIDDLE STREET
 SULLIVANS ISLAND, SC



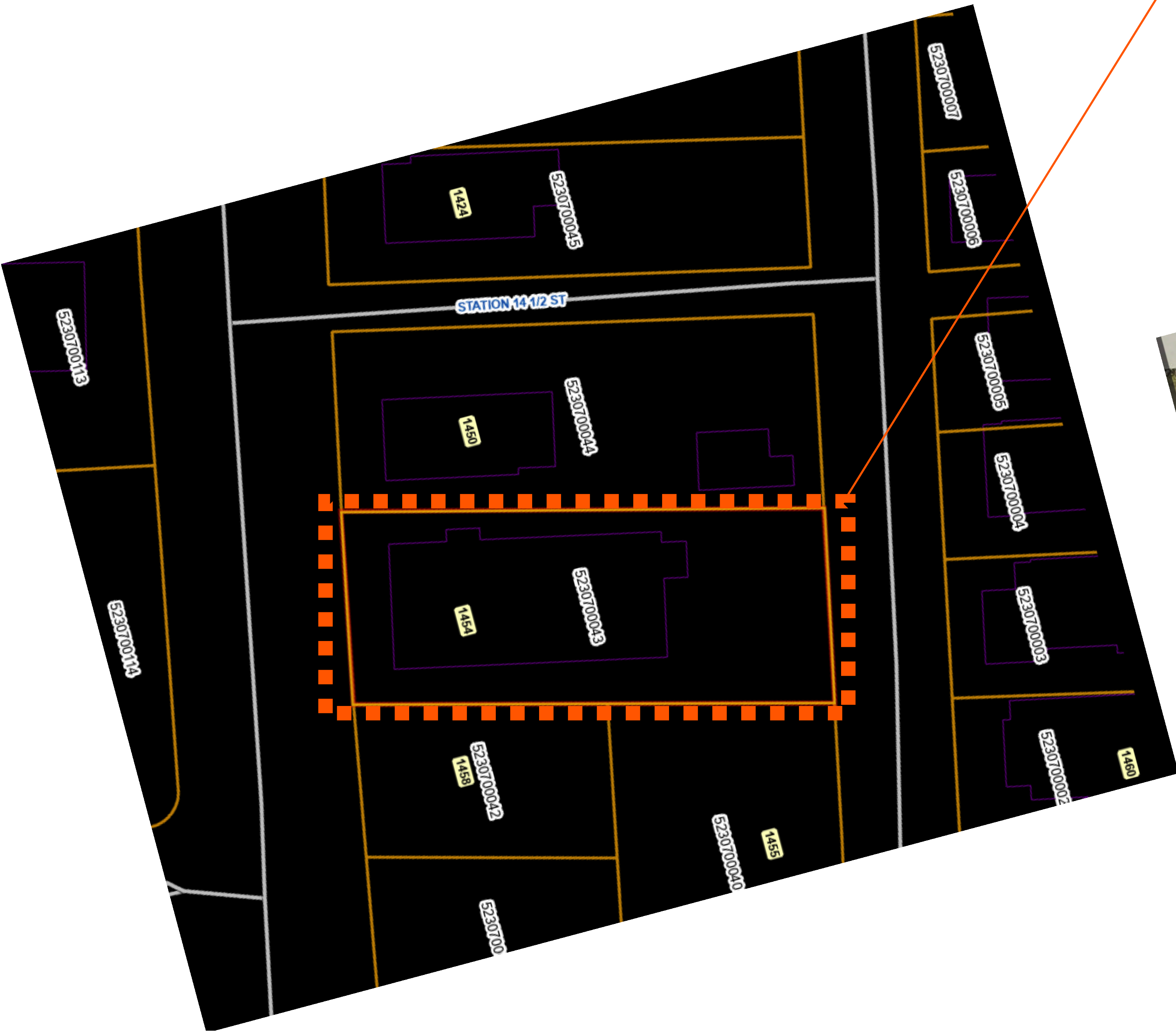
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HISTORIC THEATER RENOVATION

1454 MIDDLE STREET
SULLIVANS ISLAND, SC

PROJECT LOCATION



HISTORIC THEATER RENOVATION

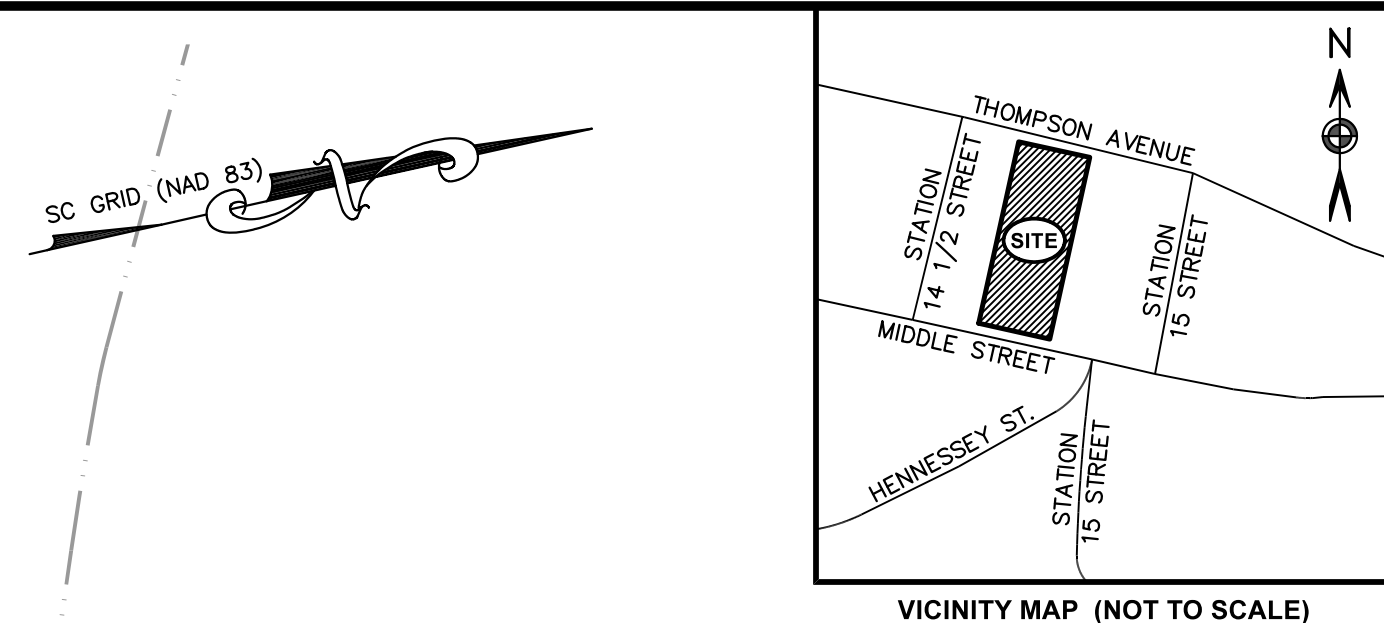
1454 MIDDLE STREET
SULLIVANS ISLAND, SC



- LEGEND**
- - PROPERTY CORNER FOUND (AS DESCRIBED)
 - △ - CALCULATED POINT (NO MARKER SET/FOUND)
 - ⊙ - STORM DRAINAGE JUNCTION BOX MANHOLE
 - ⊠ - STORM DRAINAGE GRATE INLET
 - SD - UNDERGROUND STORM DRAINAGE LINE
 - ⊕ - WATER METER
 - ⊙ - POWER POLE
 - OHP - OVERHEAD POWER LINE
 - +7.86 - SPOT ELEVATION
 - 9- - CONTOUR LINE
 - x-x- - FENCE LINE
 - - FEMA FLOOD LINE
 - - PROPERTY LINE
 - - ADJACENT PROPERTY LINE
 - - RIGHT-OF-WAY
 - ▭ - CONCRETE

EXISTING LOT COVERAGE:
 LOT SQ FT = 16,270 SQ. FT.
 IMPERVIOUS AREA = 7,848 SQ. FT.
 MAIN BUILDING AREA = 5,212 SQ. FT.
 BOILER ROOMS AREA = 283 SQ. FT.
 CONCRETE AREA = 2,328 SQ. FT.
 STEPS AREA = 25 SQ. FT.
 TOTAL LOT COVERAGE = 48.20%

STATION 14 1/2 STREET (20' R/W)



**LOT 20, BLOCK K
 FORT MOULTRIE SUBDIVISION
 1450 MIDDLE STREET
 ROBERTA SCOTT
 TMS No. 523-07-00-044**

**LOT 19, BLOCK K
 FORT MOULTRIE SUBDIVISION
 1454 MIDDLE STREET
 FERGUSON ASSOCIATES, LLC
 TMS No. 523-07-00-043
 16,270 Sq.Ft.
 0.374 Ac.**

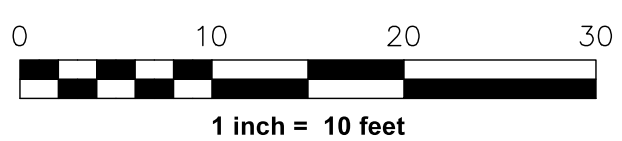
**LOT 18, BLOCK K
 FORT MOULTRIE SUBDIVISION
 TOWNSHIP OF SULLIVANS ISLAND
 TMS No. 523-07-00-042**

**LOT 16, BLOCK K
 FORT MOULTRIE SUBDIVISION
 TOWNSHIP OF SULLIVANS ISLAND
 TMS No. 523-07-00-040**

LOCAL LAND SURVEYING, LLC
 1075 WINSLOW DRIVE
 CHARLESTON, SC 29412
 PHONE: (843) 990-6328
 EMAIL: jnance@locallandsurveying.com

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

JOSHUA W. NANCE
 JOSHUA W. NANCE, PLS
 S.C.P.L.S. No. 28606
 DATE: 4-26-2021
 THIS PLAT OR SURVEY IS INVALID UNLESS IT CONTAINS THE ORIGINAL SIGNATURE AND CRIMPED SEAL OF THE ABOVE STATED SURVEYOR.



FLOOD NOTE
 THIS PROPERTY IS LOCATED IN FLOOD ZONE AE (EL. 10) & VE (EL. 11), PER FEMA FLOOD MAP PANEL No. 45019C0528K, COMMUNITY No. 455418 (TOWN OF SULLIVANS ISLAND).
 MAP REVISED DATE: 01-29-2021.

- NOTES**
- 1) CONTOURS ARE IN ONE FOOT INTERVALS.
 - 2) ELEVATIONS ARE BASED ON NAVD 29 DATUM.
 - 3) COORDINATES ARE BASED ON SOUTH CAROLINA STATE PLANE GRID NAD 83 (2011).
 - 4) ALL 8" & LARGER TREES OF ALL SPECIES ARE SHOWN HEREON. TREE SIZES SHOWN HEREON ARE IN INCHES OF DIAMETER. TREE IDENTIFICATIONS ARE NOT MADE BY A CERTIFIED ARBORIST.
 - 5) DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES.
 - 6) ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY IS FOR DESCRIPTIVE PURPOSES ONLY.
 - 7) THIS PLAT OR SURVEY SHOWS ALL UTILITIES EVIDENT AT THE TIME OF THE SURVEY, NO UNDERGROUND UTILITY INVESTIGATION WAS MADE AT THIS TIME.
 - 8) NO SUBSURFACE OR ENVIRONMENTAL INVESTIGATION WAS PERFORMED FOR THIS PLAT OR SURVEY, THEREFORE, THIS PLAT OR SURVEY DOES NOT REFLECT THE EXISTENCE OR NONEXISTENCE OF WETLANDS, CONTAMINATION, OR OTHER CONDITIONS WHICH MAY AFFECT THIS PROPERTY.
 - 9) THE PUBLIC RECORDS REFERENCED ON THIS PLAT OR SURVEY ARE ONLY USED AND/OR NECESSARY TO THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY. THEY ARE NOT AND DO NOT CONSTITUTE A TITLE SEARCH.
 - 10) THIS PROPERTY IS LOCATED IN THE TOWN OF SULLIVANS ISLAND ZONING DISTRICT RS (RESIDENTIAL DISTRICT).
 - 11) ZONING AND SETBACK NOTE: ALL PARTIES NEED TO VERIFY ZONING AND SETBACKS WITH THE TOWN OF SULLIVANS ISLAND.

- REFERENCES**
- 1) PROPERTY DEED FOR TMS No. 523-07-00-043, RECORDED AT CHARLESTON COUNTY ROD, DEED BOOK P317, PAGE 337.
 - 2) PLAT ENTITLED "REVISED SUBDIVISION OF FORT MOULTRIE, SULLIVANS ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA", DATED: DECEMBER, 1951 BY: JOHEAR SANDERS, JR., SURVEYOR RECORDED AT CHARLESTON COUNTY ROD, PLAT BOOK H, PAGE 112.

**BOUNDARY, TREE, TOPOGRAPHIC & AS-BUILT SURVEY
 SHOWING LOT 19, BLOCK K
 FORT MOULTRIE SUBDIVISION
 1454 MIDDLE STREET
 TMS No. 523-07-00-043
 OWNED BY: FERGUSON ASSOCIATES, LLC
 LOCATED IN THE
 TOWN OF SULLIVANS ISLAND
 CHARLESTON COUNTY, SOUTH CAROLINA
 DATE: APRIL 26, 2021 SCALE: 1"=10' PROJECT No. 21014**

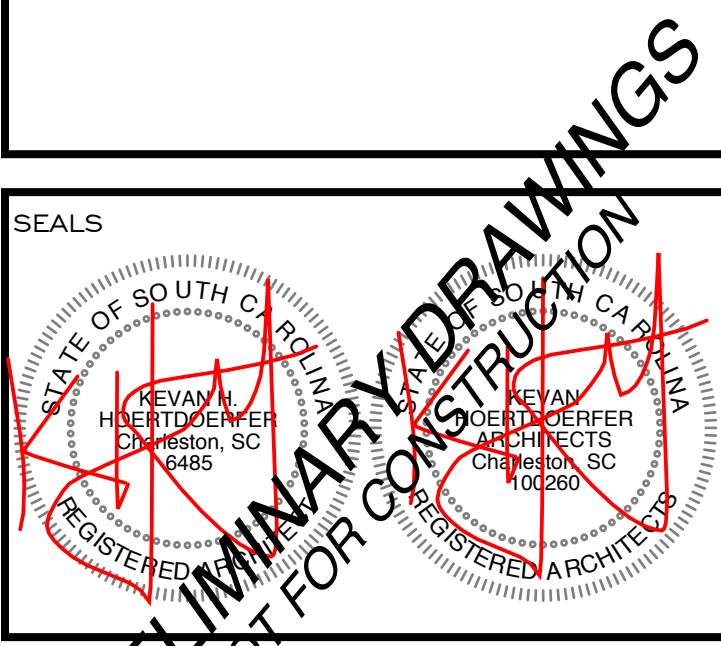


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GENERAL NOTES

PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION

MARK	DESCRIPTION	DATE
◇	SULLIVAN'S ISLAND DRB SUBMITTAL	11.22.2024



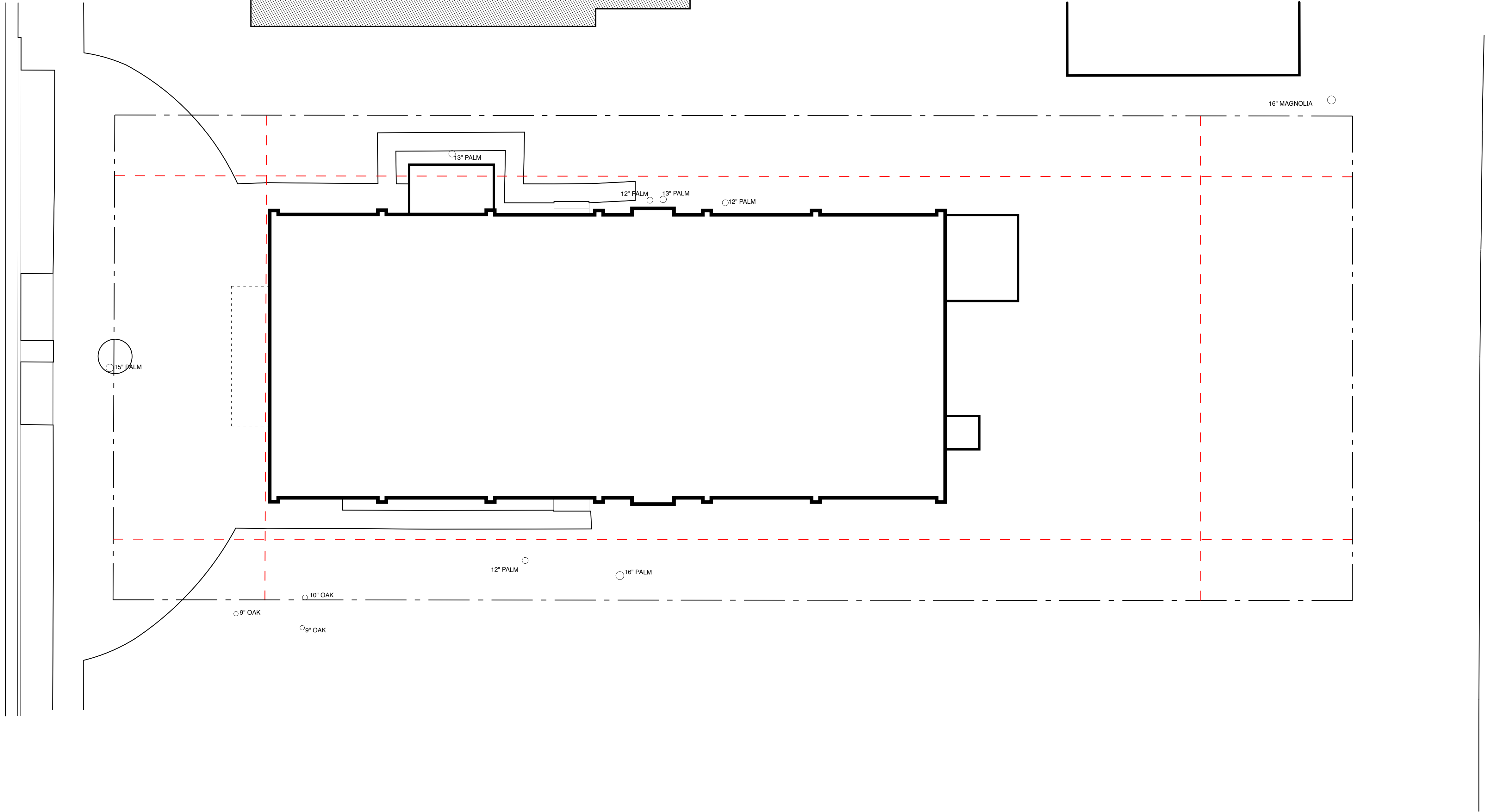
PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION

SI THEATER
 1454 MIDDLE STREET
 SULLIVANS ISLAND, SOUTH CAROLINA

11.22.2024 KHH/GJ 2109-02

A002
 SITE PLAN - EXISTING

GENERAL HOUSE LOCATION
 BASED ON CHARLESTON COUNTY
 GIS DATABASE



MIDDLE STREET

THOMPSON STREET

A1 SITE PLAN - EXISTING
 SCALE: 1" = 10'-0"

AREA CALCULATIONS (PROPOSED)

LOT AREA: 16,270 SF

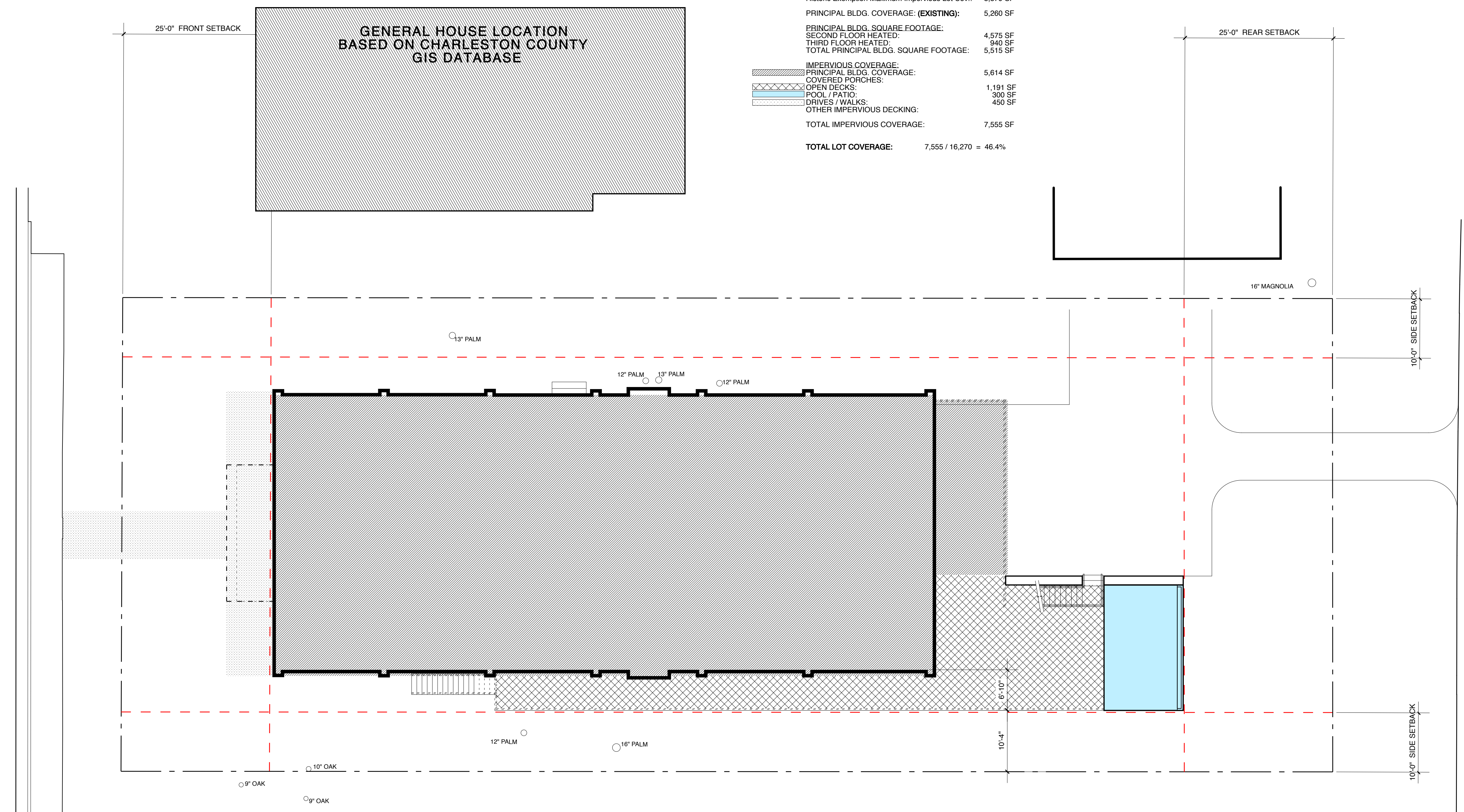
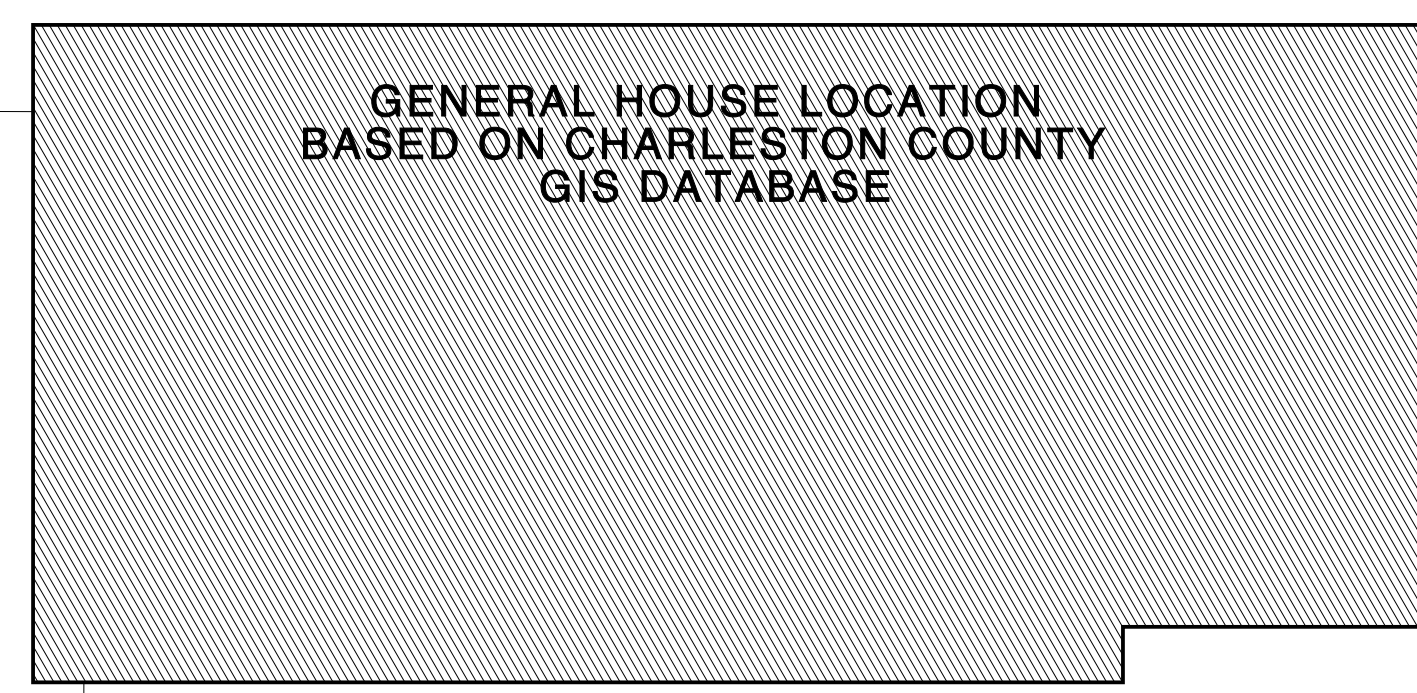
Maximum Impervious Lot Coverage: (30%) or 4,881 SF
 50% of the historic impervious coverage: 3,998 SF
 Historic Exemption Maximum Impervious Lot Cov.: 8,879 SF

PRINCIPAL BLDG. COVERAGE: (EXISTING): 5,260 SF

PRINCIPAL BLDG. SQUARE FOOTAGE: 4,575 SF
 SECOND FLOOR HEATED: 940 SF
 THIRD FLOOR HEATED: 5,515 SF
 TOTAL PRINCIPAL BLDG. SQUARE FOOTAGE: 5,515 SF

IMPERVIOUS COVERAGE:
 PRINCIPAL BLDG. COVERAGE: 5,614 SF
 COVERED PORCHES:
 OPEN DECKS: 1,191 SF
 POOL / PATIO: 300 SF
 DRIVES / WALKS: 450 SF
 OTHER IMPERVIOUS DECKING:
 TOTAL IMPERVIOUS COVERAGE: 7,555 SF

TOTAL LOT COVERAGE: $7,555 / 16,270 = 46.4\%$



GENERAL NOTES

**PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION**

MARK	DESCRIPTION	DATE
◇	SULLIVAN'S ISLAND DRB SUBMITTAL	11.22.2024

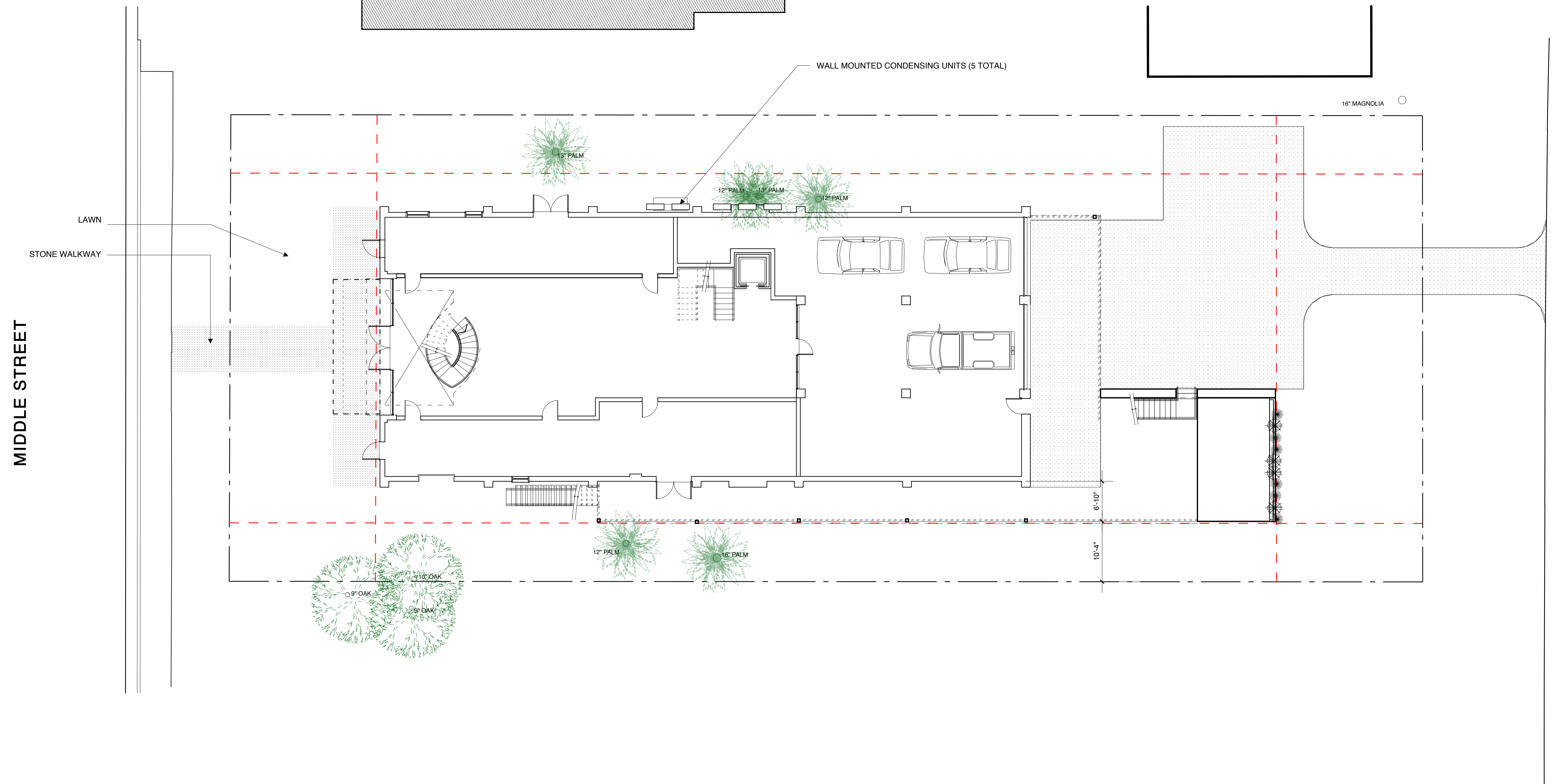
SEALS

**PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION**

SI THEATER

1454 MIDDLE STREET
 SULLIVANS ISLAND, SOUTH CAROLINA

GENERAL HOUSE LOCATION
BASED ON CHARLESTON COUNTY
GIS DATABASE



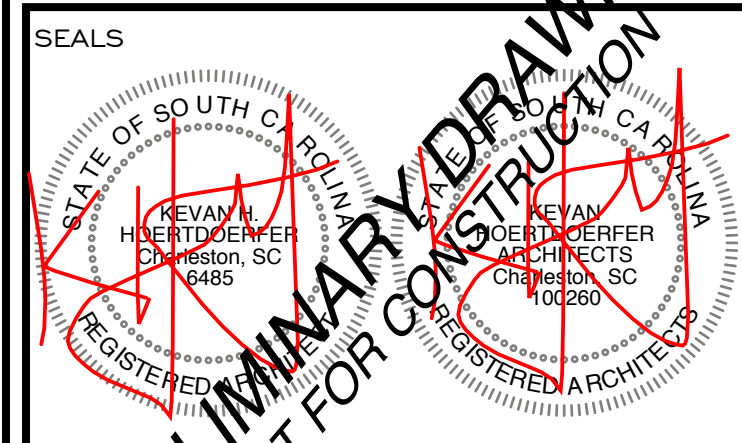
A. Lot Information: TMS: 523-07-00-043
B. Dimensions to face of block or street, if not otherwise noted.
C. Property zone:
D. FLOOD ZONE "AE-10" and "AE-11"
E. SETBACKS & RESTRICTIONS
FRONT: 25'
REAR: 25'

SEAL
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GENERAL NOTES

PRELIMINARY DRAWINGS
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SI THEATER
1454 MIDDLE STREET
SULLIVANS ISLAND, SOUTH CAROLINA

11.22.2024 KHH/GJ 2109-02

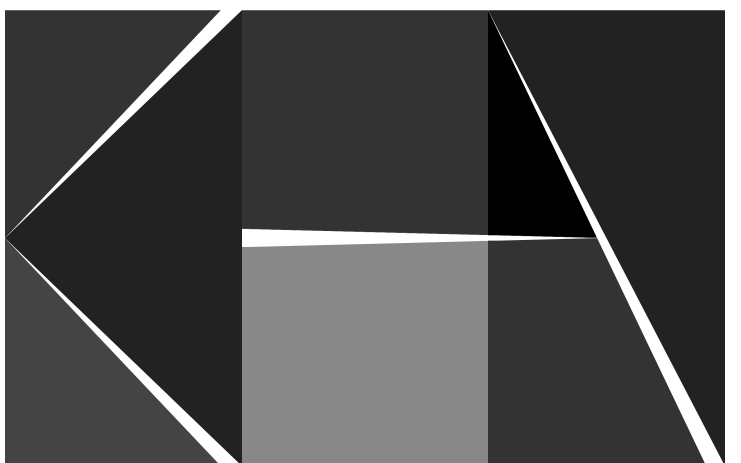
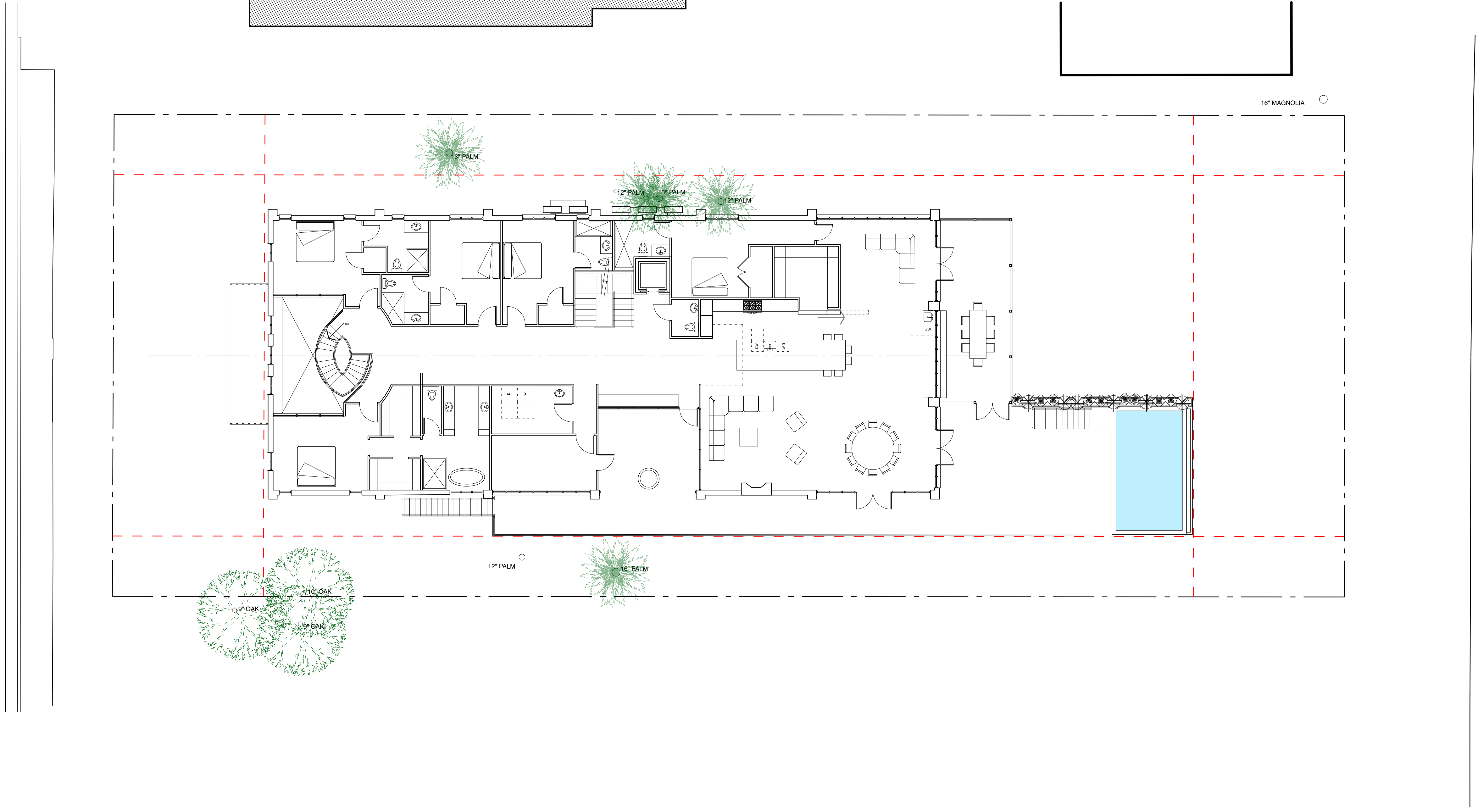
A004

SITE PLAN - PROPOSED

NOTE:
SEE LANDSCAPE PLAN FOR DRPOSED PLANTING PLAN
AND HARDSCAPE LAYOUT.

A1 SITE PLAN - PROPOSED
SCALE: 1" = 10'-0"

GENERAL HOUSE LOCATION
BASED ON CHARLESTON COUNTY
GIS DATABASE

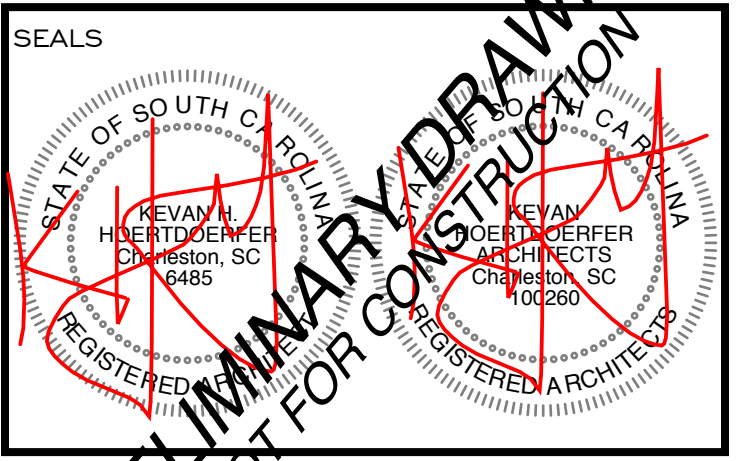


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SI THEATER
1454 MIDDLE STREET
SULLIVANS ISLAND, SOUTH CAROLINA

11.22.2024 KHH/GJ 2109-02

A005
SITE PLAN - PROPOSED

A1 SITE PLAN - PROPOSED
SCALE: 1" = 10'-0"

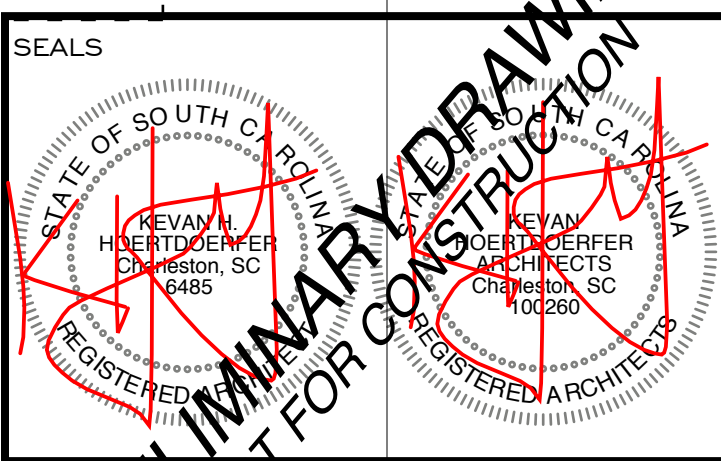


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GENERAL NOTES

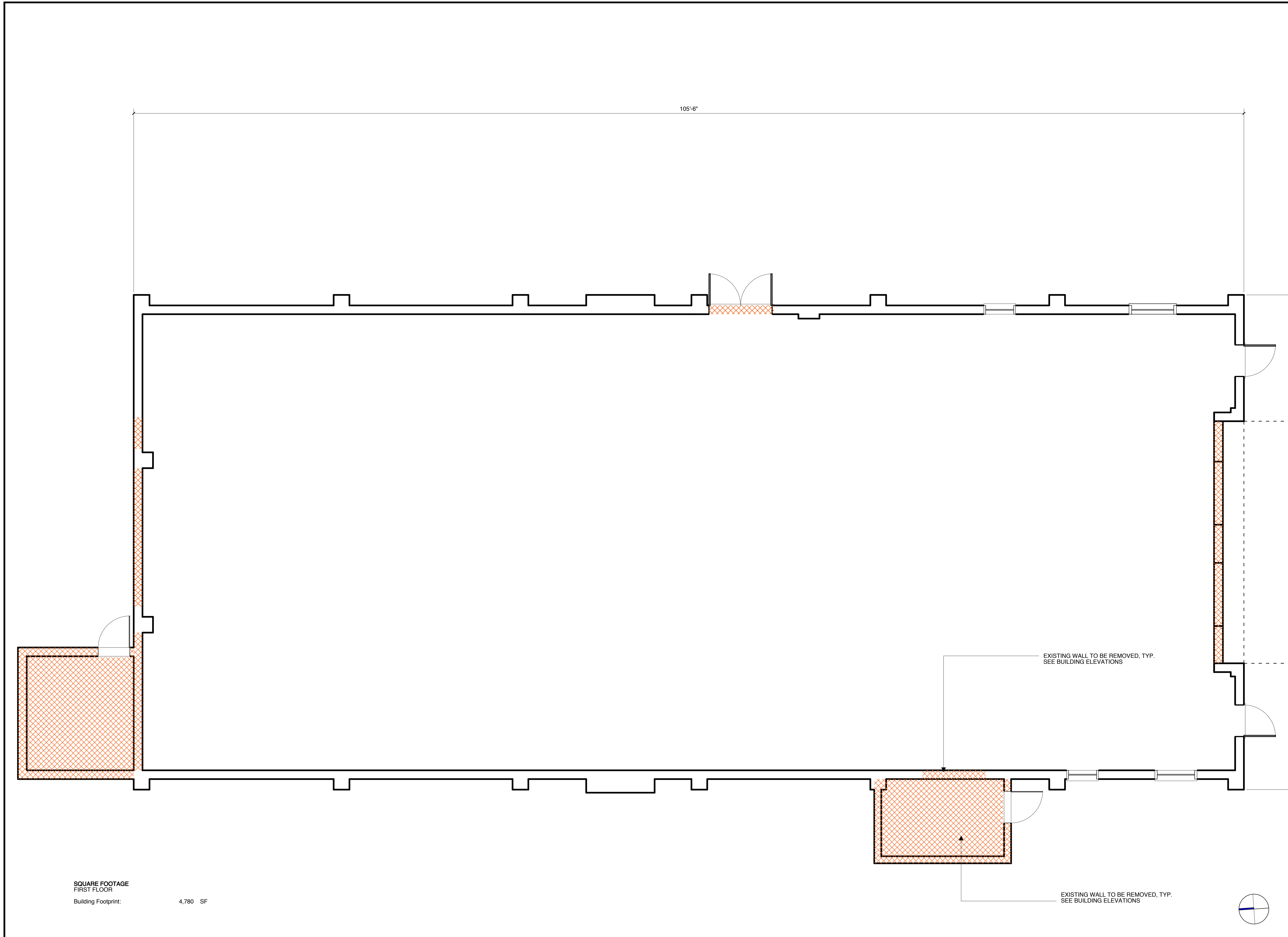
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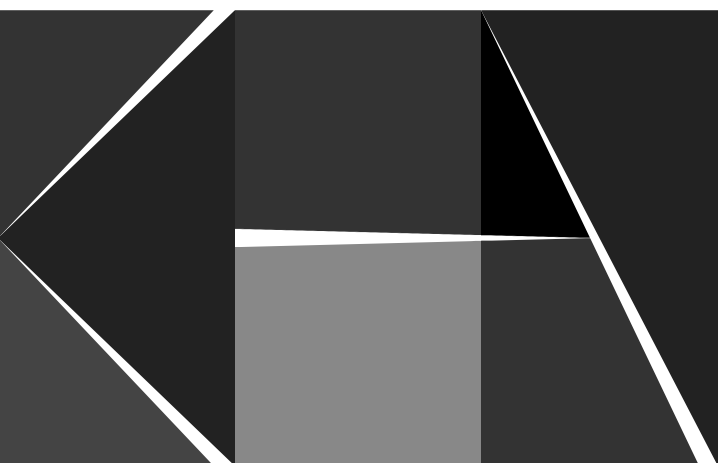
SI THEATER
 1454 MIDDLE STREET
 SULLIVANS ISLAND, SOUTH CAROLINA

11.22.2024 KHH/GJ 2109-02
D101
 FIRST FLOOR PLAN PROPOSED



SQUARE FOOTAGE
 FIRST FLOOR
 Building Footprint: 4,780 SF

A1 FIRST FLOOR PLAN - EXISTING
 SCALE: 1/4" = 1'-0"

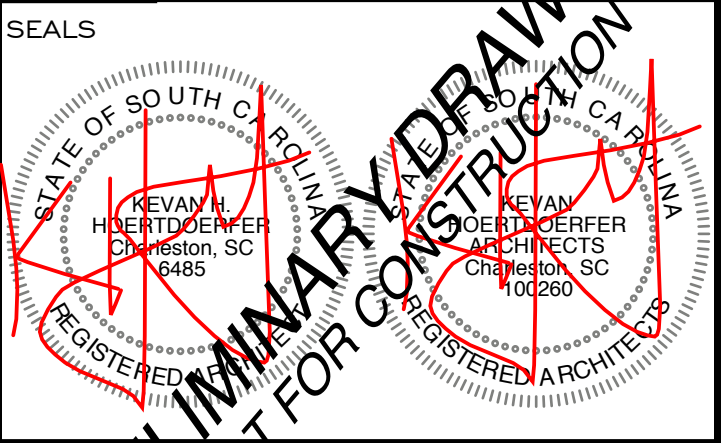


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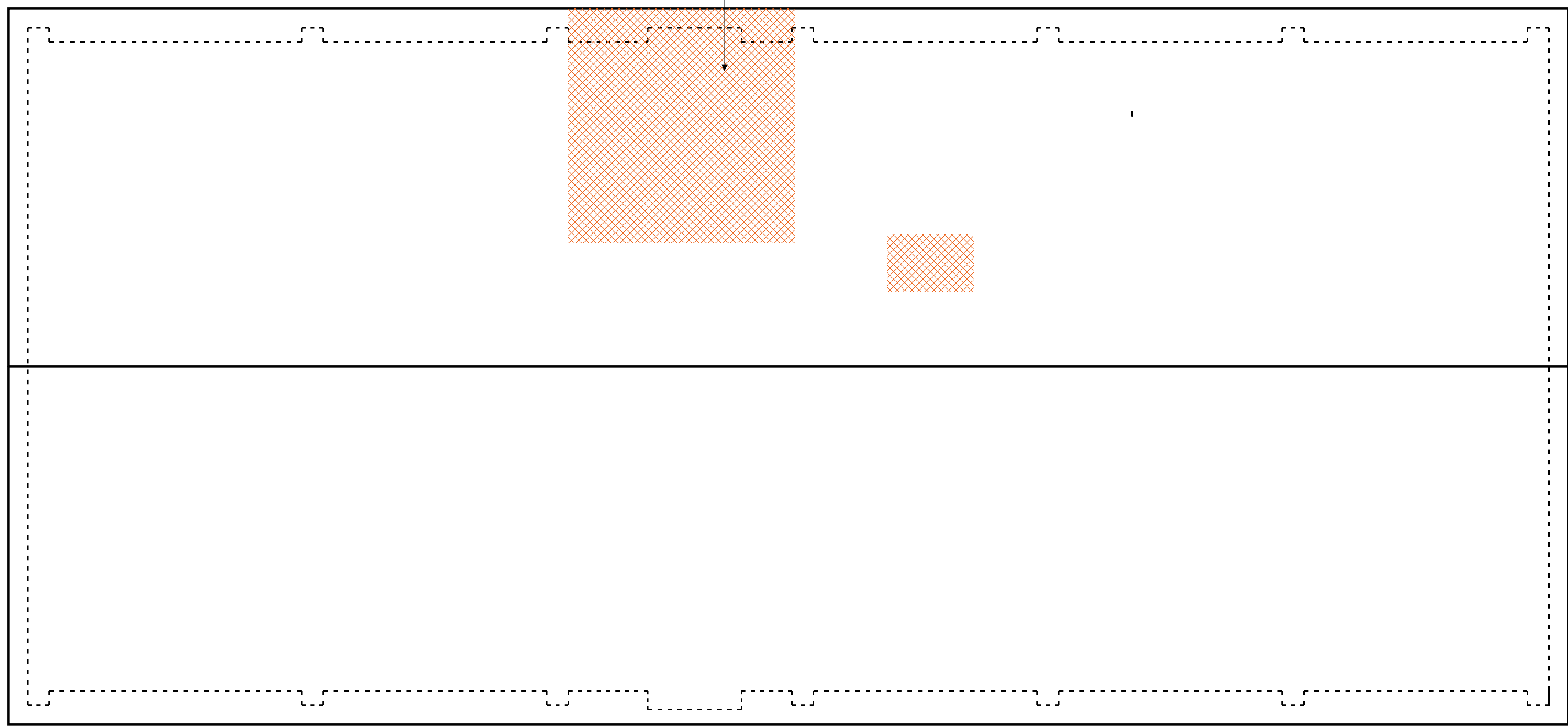


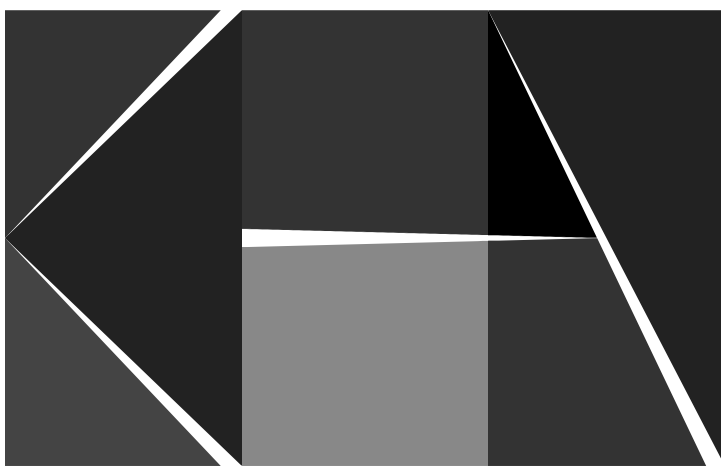
PROJ. NO. 2109-02
SI THEATER
 1454 MIDDLE STREET
 SULLIVANS ISLAND, SOUTH CAROLINA

11.22.2024 KHH/GJ 2109-02

D104
 ROOF PLAN
 PROPOSED

EXISTING ROOF TO BE REMOVED, TYP.
 SEE BUILDING ELEVATIONS





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GENERAL NOTES

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**PRELIMINARY DRAWINGS
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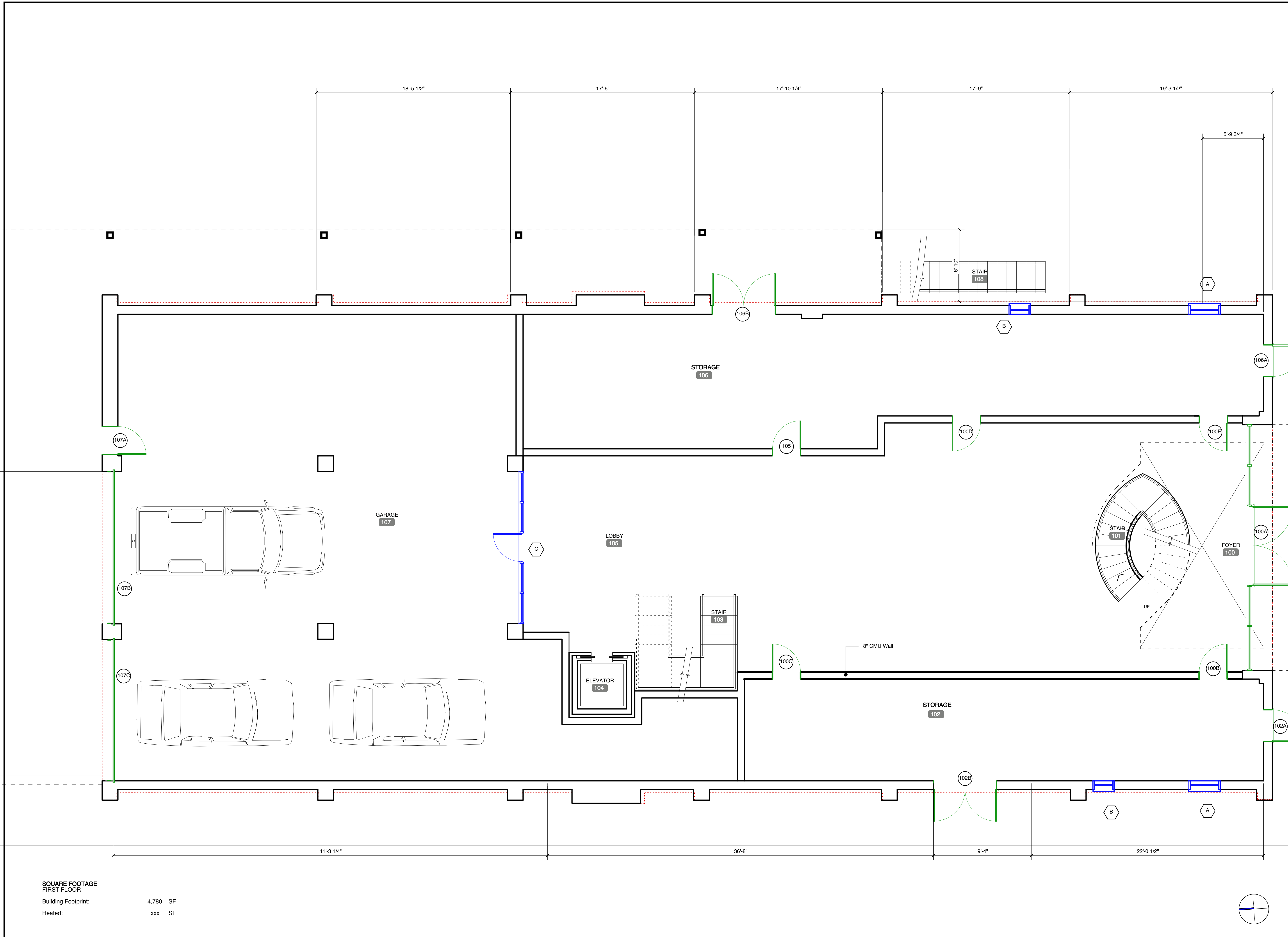
SEALS

**PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION**

SI THEATER
 1454 MIDDLE STREET
 SULLIVAN'S ISLAND, SOUTH CAROLINA

11.22.2024 KHH/GJ 2109-02

A101
 FIRST FLOOR PLAN
 PROPOSED



SQUARE FOOTAGE
 FIRST FLOOR
 Building Footprint: 4,780 SF
 Heated: xxx SF

A1 FIRST FLOOR PLAN - PROPOSED
 SCALE: 1/4" = 1'-0"



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GENERAL NOTES

PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION

MARK	DESCRIPTION	DATE
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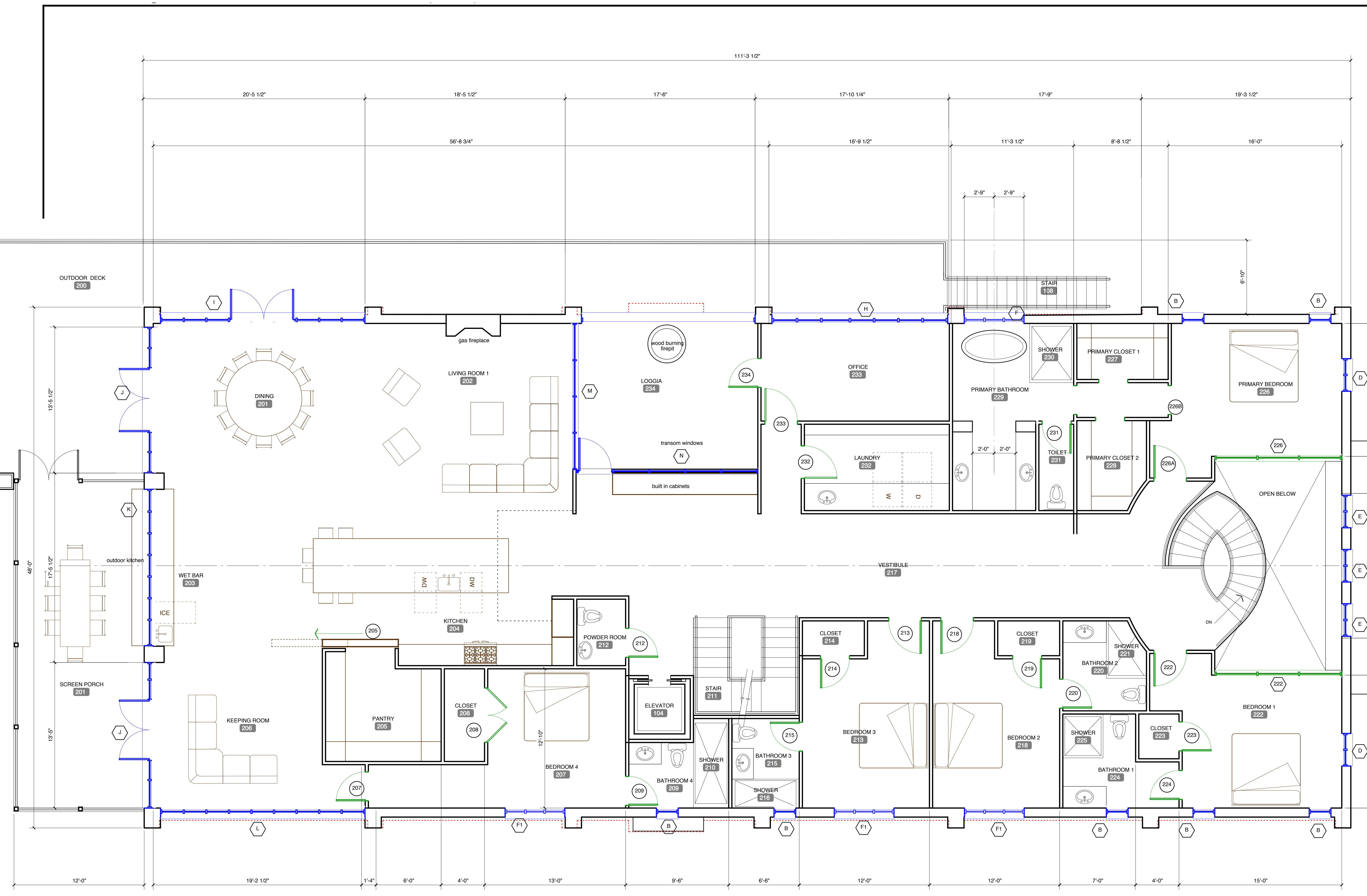
SEALS

PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION

SI THEATER
 1454 MIDDLE STREET
 SULLIVAN'S ISLAND, SOUTH CAROLINA

11.22.2024 KHH/GJ 2109-02

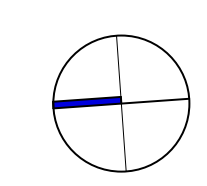
A102
 SECOND FLOOR PLAN
 PROPOSED



SQUARE FOOTAGE
 SECOND FLOOR

Building Footprint:	4,780 SF
Heated:	4,687 SF
Open / Covered Porch:	xxx SF

A1 SECOND FLOOR PLAN - PROPOSED
 SCALE: 1/4" = 1'-0"





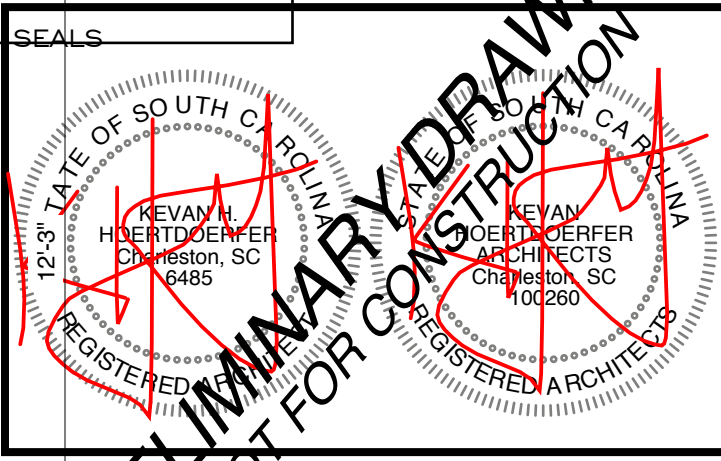
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GENERAL NOTES

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MARK	DESCRIPTION	DATE
◇	SULLIVAN'S ISLAND DRB SUBMITTAL	11.22.2024



PRELIMINARY DRAWINGS
 NOT FOR CONSTRUCTION

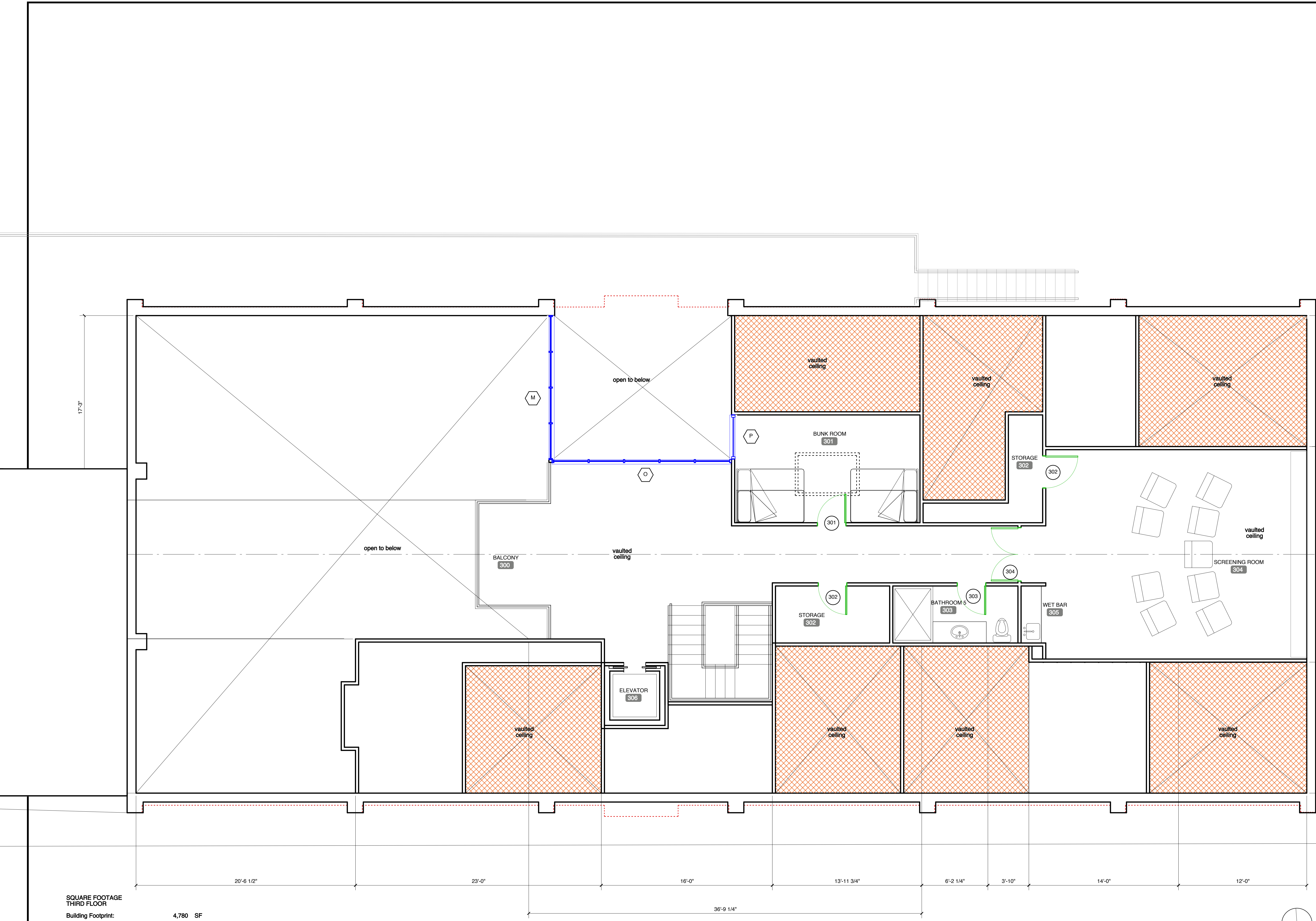
SI THEATER

1454 MIDDLE STREET
 SULLIVAN'S ISLAND, SOUTH CAROLINA

11.22.2024 KHH/GJ 2109-02

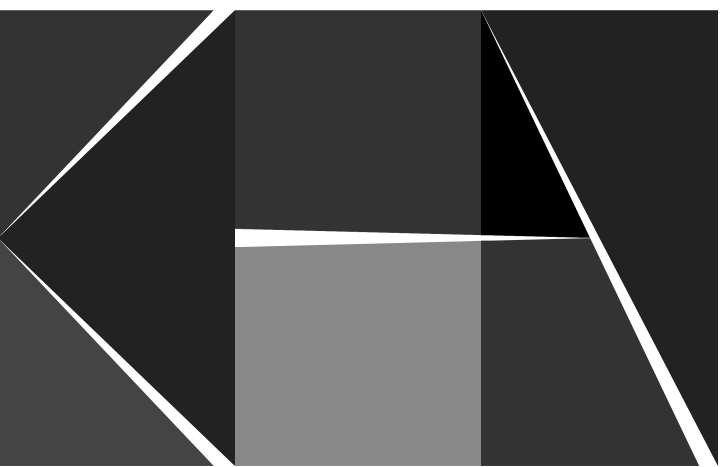
A103

THIRD FLOOR PLAN PROPOSED



SQUARE FOOTAGE
 THIRD FLOOR
 Building Footprint: 4,780 SF
 Heated: 1,367 SF
 Open / Covered Porch: SF

A1 THIRD FLOOR PLAN - PROPOSED



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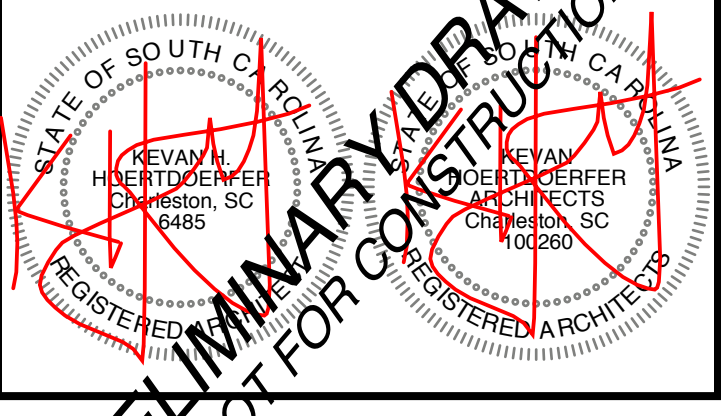
GENERAL NOTES

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MARK	DESCRIPTION	DATE
◇	SULLIVAN'S ISLAND DRB SUBMITTAL	11.22.2024

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SEALS



**PRELIMINARY DRAWINGS
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SI THEATER

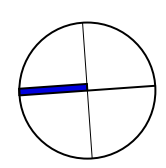
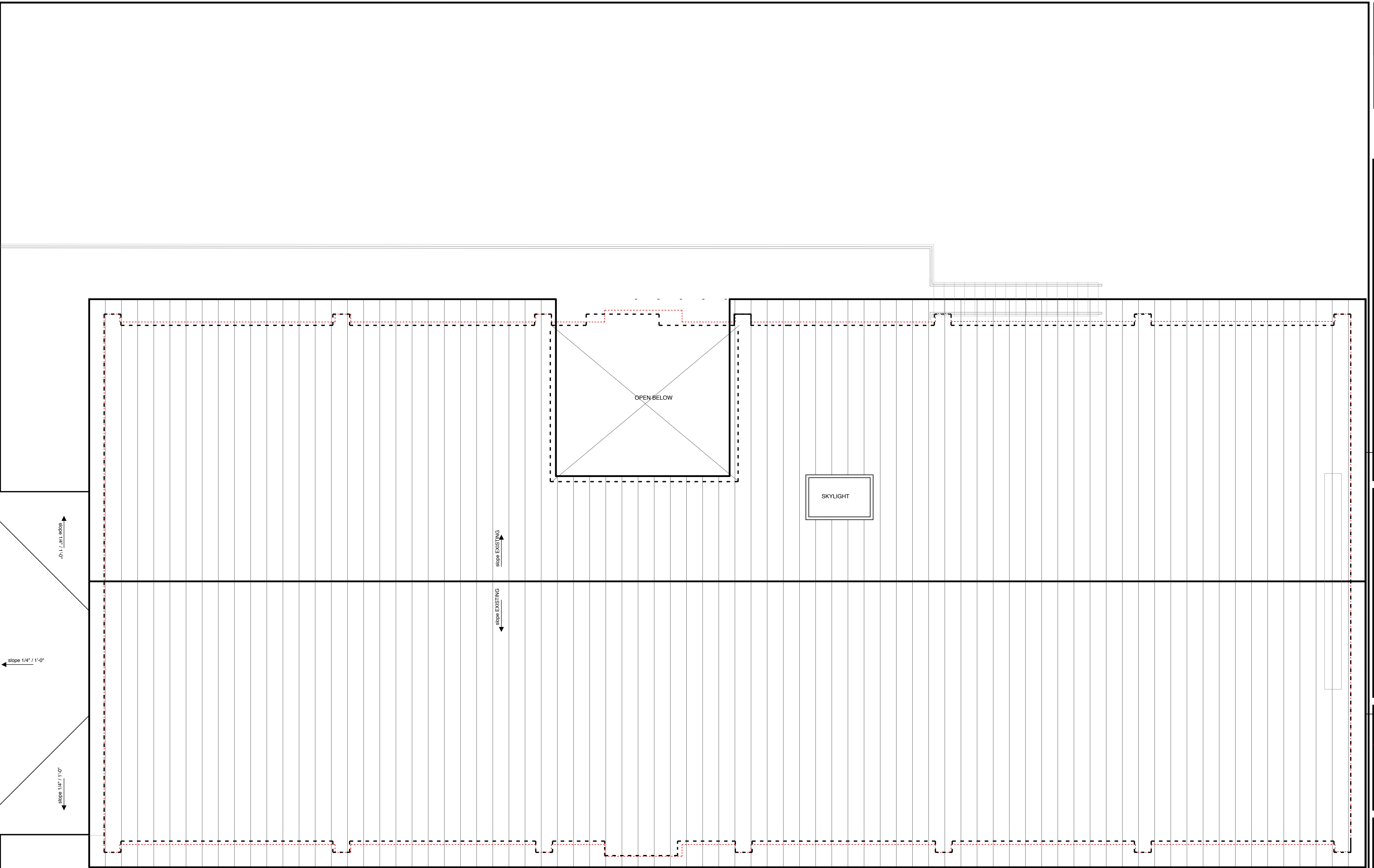
1454 MIDDLE STREET
 SULLIVANS ISLAND, SOUTH CAROLINA

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A104

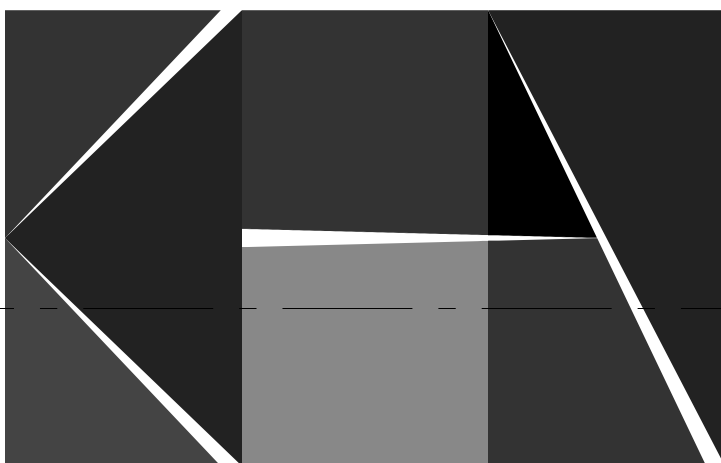
ROOF PLAN PROPOSED

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A1 ROOF PLAN - PROPOSED

SCALE: 1/4" = 1'-0"



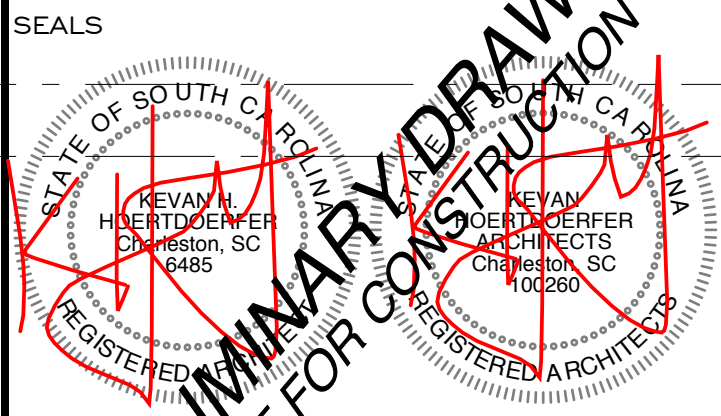
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GENERAL NOTES

EXISTING OPENING WITH NEW STEEL WINDOWS
 EXISTING OPENING WITH NEW STEEL WINDOWS
 EXISTING BRICK WITH WHITE LIME WASH
 SS CABLE RAILING WITH PAINTED STEEL SUPPORTS
 EXISTING OPENING WITH NEW STEEL DOORS
 EXISTING OPENING WITH NEW STEEL WINDOWS SYSTEM

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MARK	DESCRIPTION	DATE
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 SULLIVANS ISLAND, SOUTH CAROLINA

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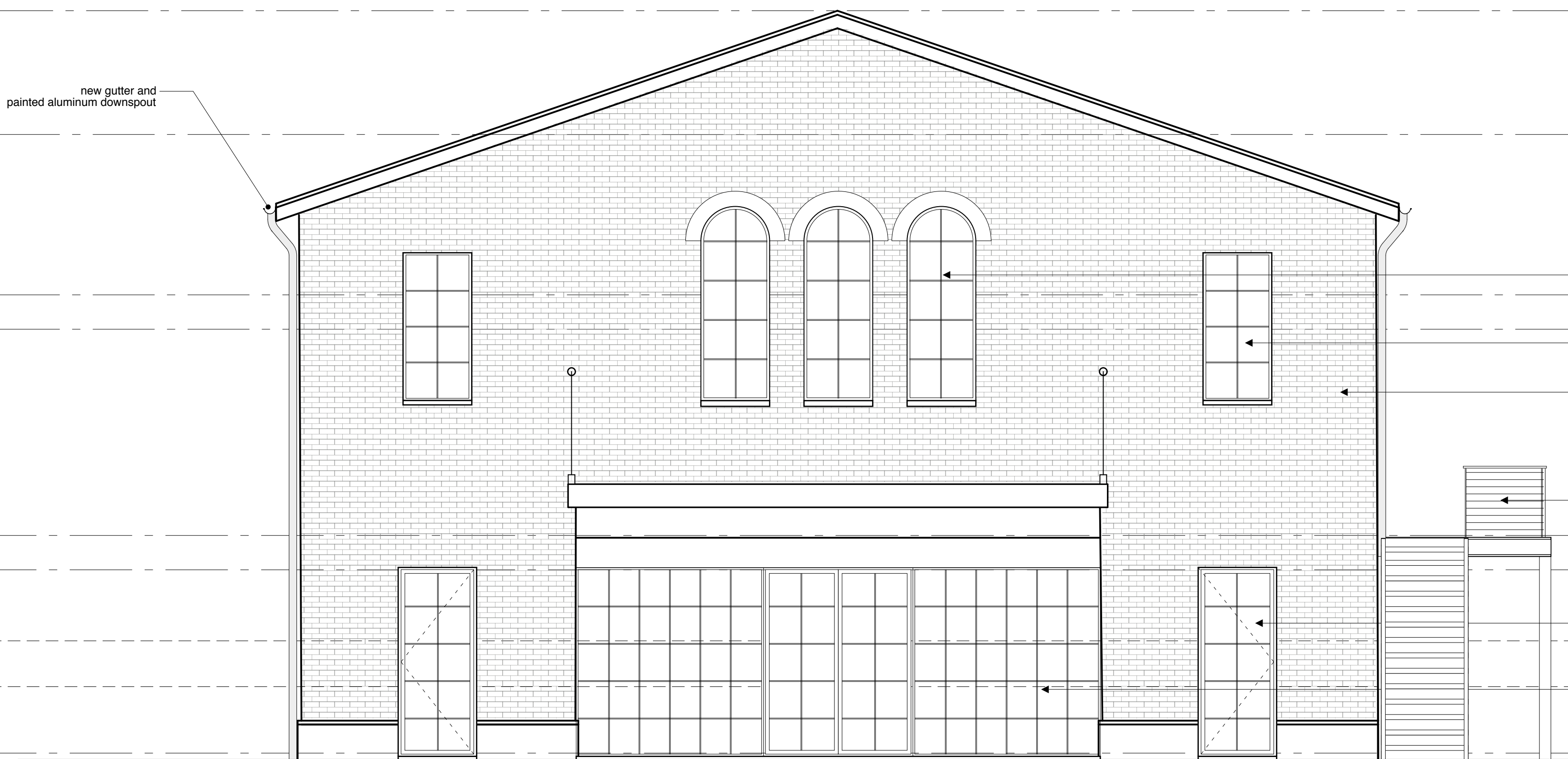
A200

BUILDING ELEVATIONS

ROOF HEIGHT

7'-0"
 1'-6"
 9'-0"
 1'-6"
 8'-0"
 2'-0"
 2'-11"
 THIRD FLOOR
 CLG. HEIGHT
 SECOND FLOOR
 CLG. HEIGHT
 DFE 12'-0" AMSL
 BFE AE 10'-0" AMSL
 FIRST FLOOR

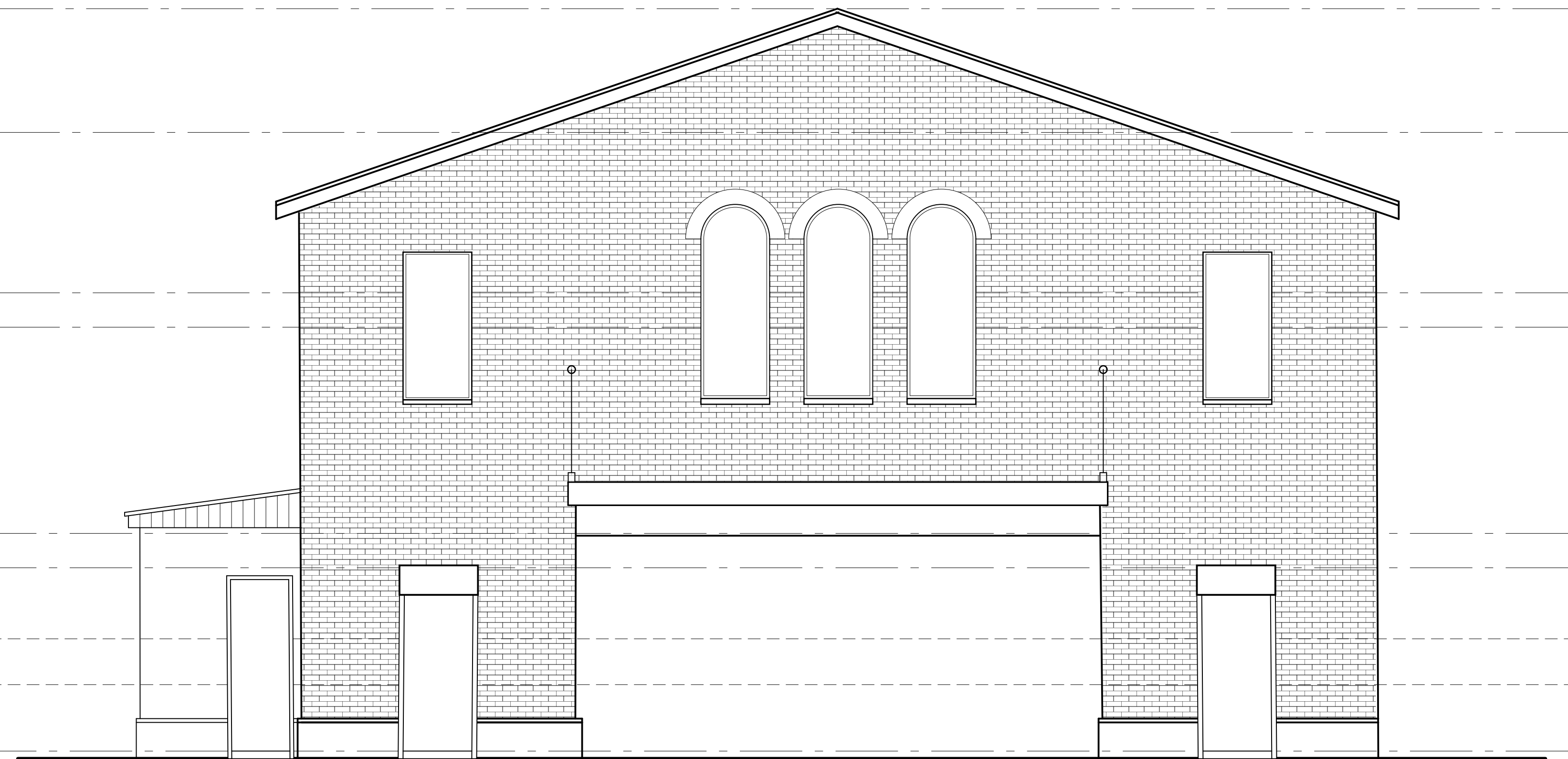
new gutter and
 painted aluminum downspout



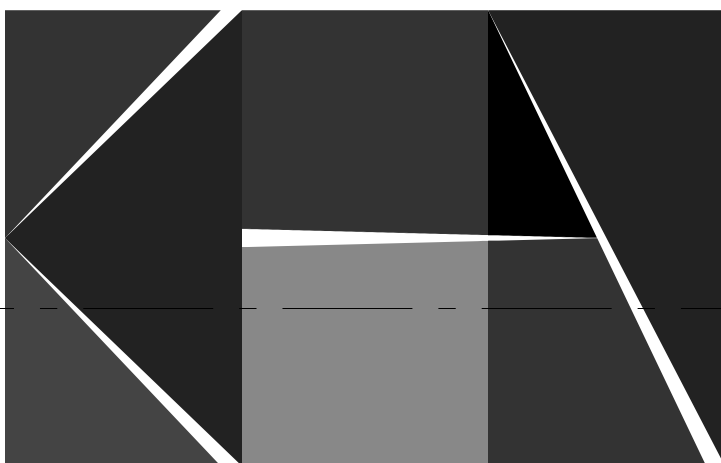
C1 SOUTH ELEVATION - PROPOSED
 SCALE: 1/4" = 1'-0"

ROOF HEIGHT

7'-0"
 1'-6"
 9'-0"
 1'-6"
 8'-0"
 2'-0"
 2'-11"
 THIRD FLOOR
 CLG. HEIGHT
 SECOND FLOOR
 CLG. HEIGHT
 DFE 12'-0" AMSL
 BFE AE 10'-0" AMSL
 FIRST FLOOR



A1 SOUTH ELEVATION - EXISTING
 SCALE: 1/4" = 1'-0"

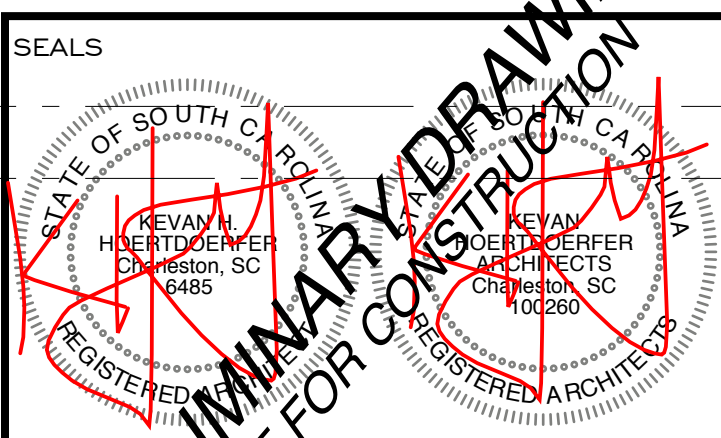


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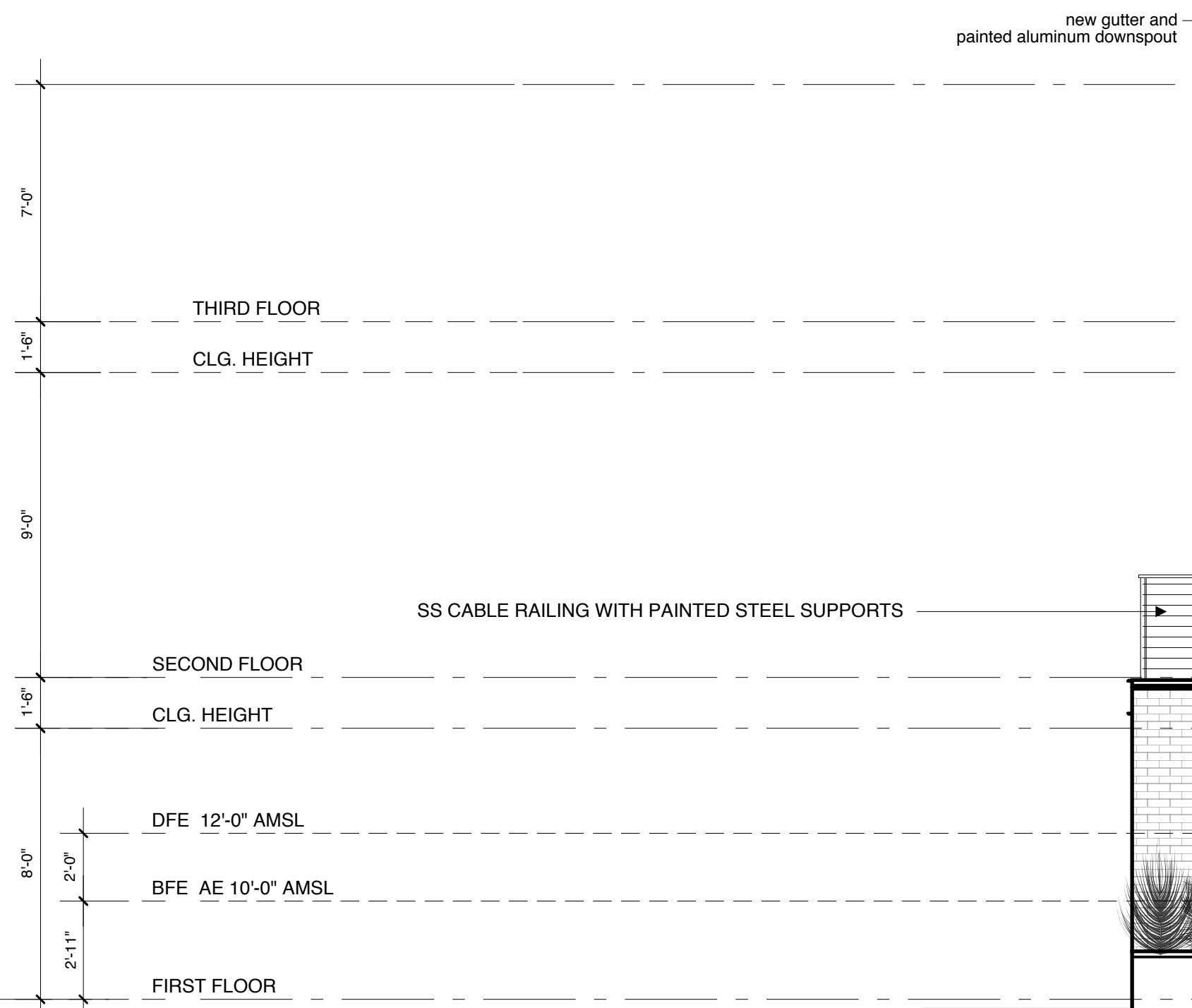
PROJ. NO.

SI THEATER
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 SULLIVANS ISLAND, SOUTH CAROLINA

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A201
 BUILDING ELEVATIONS
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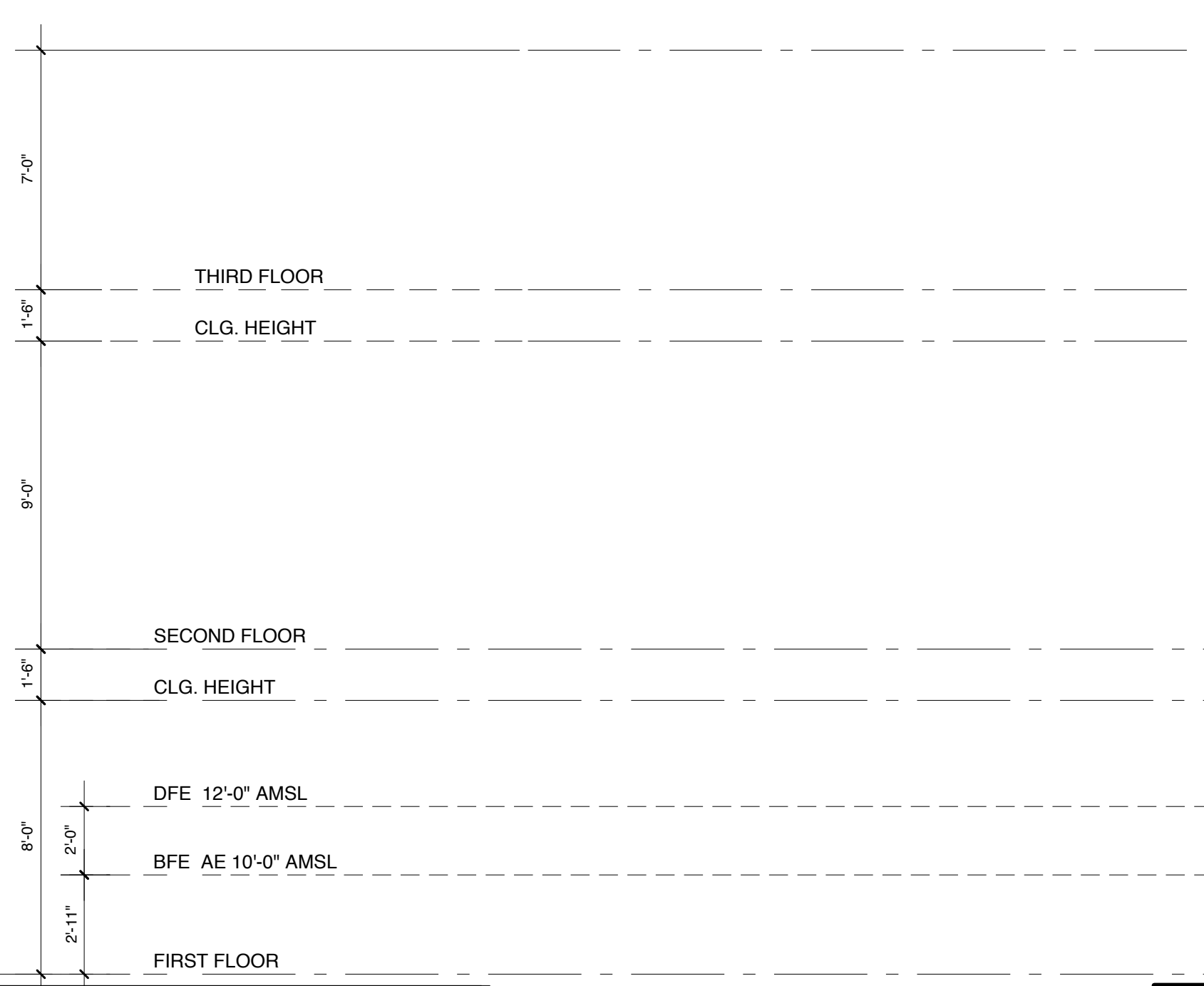
ROOF HEIGHT



- NEW STEEL FRAME AND SCREENED IN PORCH
- NEW OPENING WITH NEW STEEL WINDOWS SYSTEM
- EXISTING BRICK WITH WHITE LIME WASH
- NEW BALCONY AND RAILING SYSTEM
- WOOD GARAGE DOOR

C1 NORTH ELEVATION - PROPOSED
 SCALE: 1/4" = 1'-0"

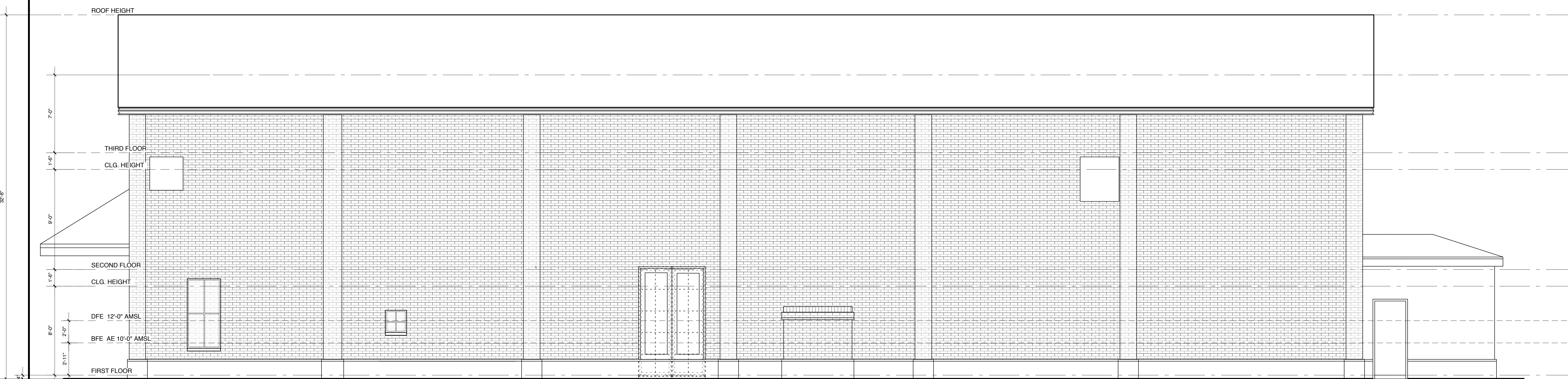
ROOF HEIGHT



A1 NORTH ELEVATION - EXISTING
 SCALE: 1/4" = 1'-0"



C1 EAST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"



A1 EAST ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"

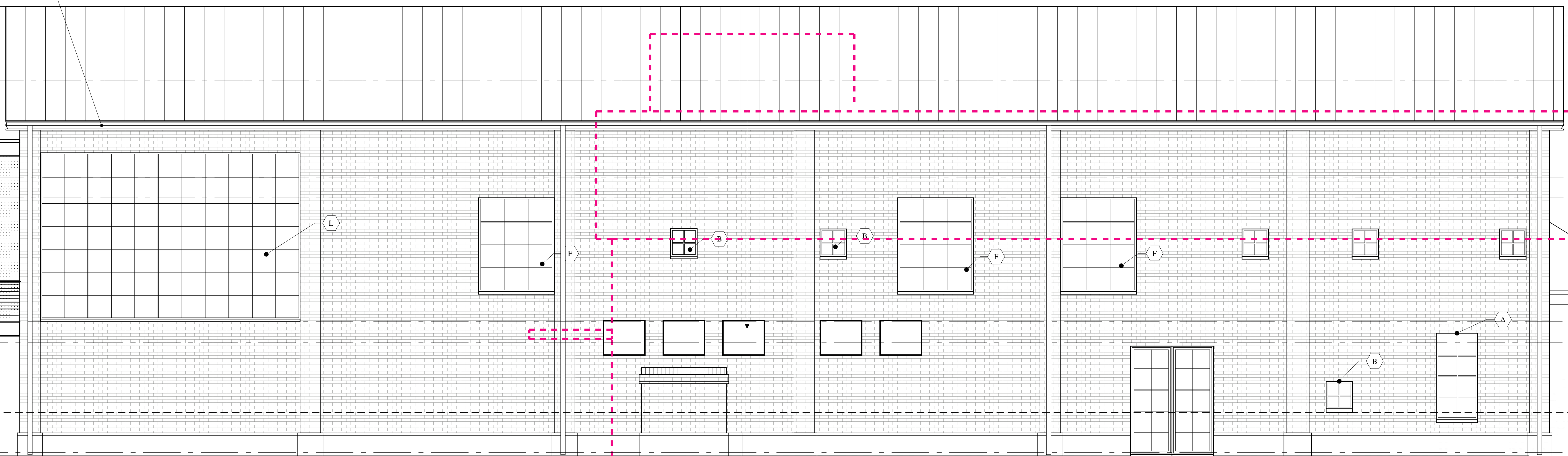
A202
BUILDING ELEVATIONS

new galvalume gutter and painted aluminum downspout

WALL MOUNTED CONDENSING UNITS (5 TOTAL)

ROOF HEIGHT

32'-0"
7'-0"
1'-6"
9'-0"
1'-6"
8'-0"
2'-0"
2'-11"
THIRD FLOOR
CLG. HEIGHT
SECOND FLOOR
CLG. HEIGHT
DFE 12'-0" AMSL
BFE AE 10'-0" AMSL
FIRST FLOOR

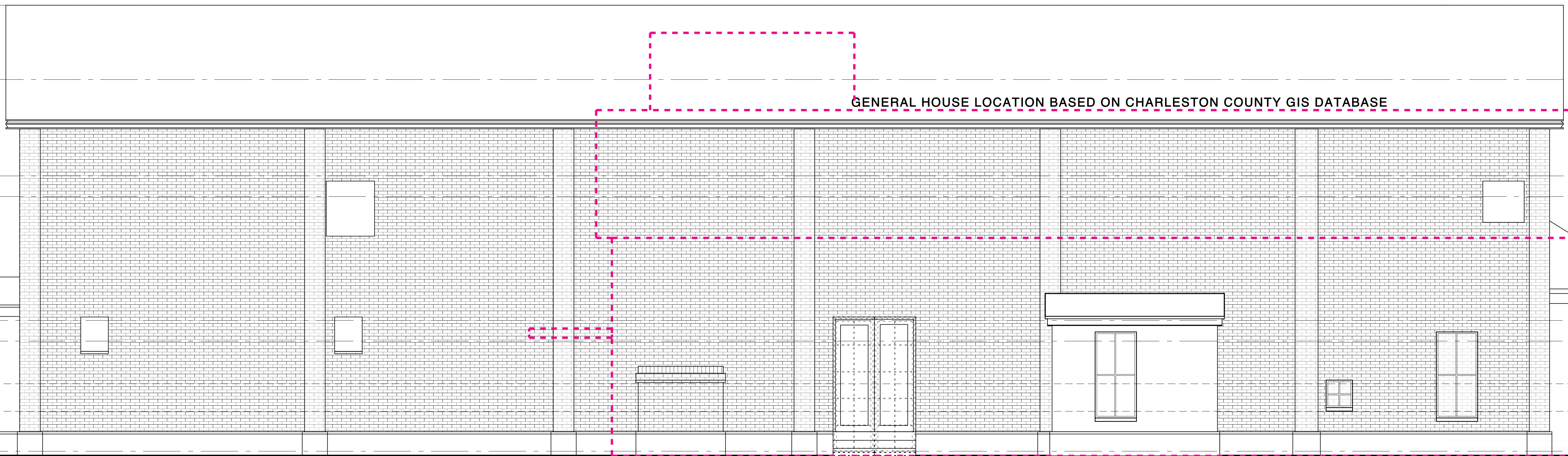


C1 WEST ELEVATION - PROPOSED
SCALE: 1/4" = 1'-0"

ROOF HEIGHT

32'-0"
7'-0"
1'-6"
9'-0"
1'-6"
8'-0"
2'-0"
2'-11"
THIRD FLOOR
CLG. HEIGHT
SECOND FLOOR
CLG. HEIGHT
DFE 12'-0" AMSL
BFE AE 10'-0" AMSL
FIRST FLOOR

GENERAL HOUSE LOCATION BASED ON CHARLESTON COUNTY GIS DATABASE



A1 WEST ELEVATION - EXISTING
SCALE: 1/4" = 1'-0"

A203

BUILDING ELEVATIONS

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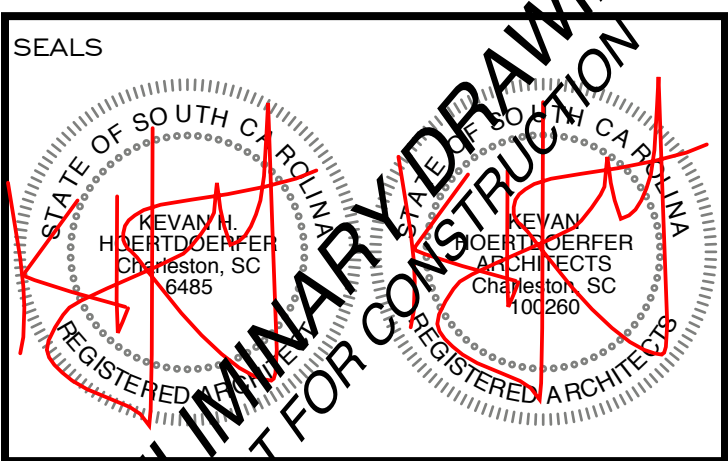
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MARK	DESCRIPTION	DATE
◇	SULLIVAN'S ISLAND DRB SUBMITTAL	11.22.2024

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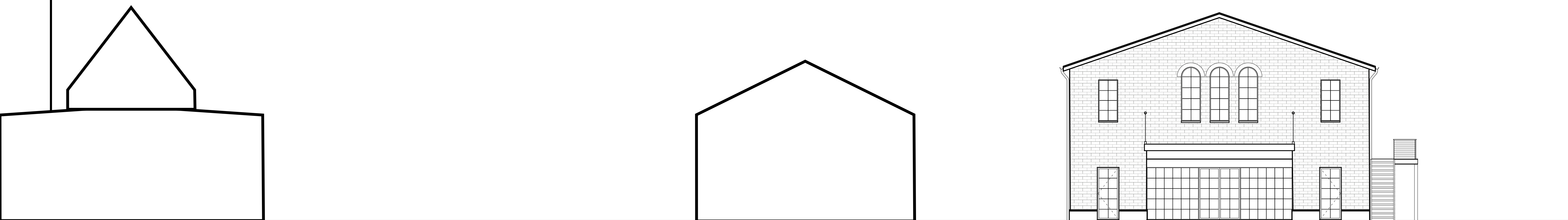


PROJECT

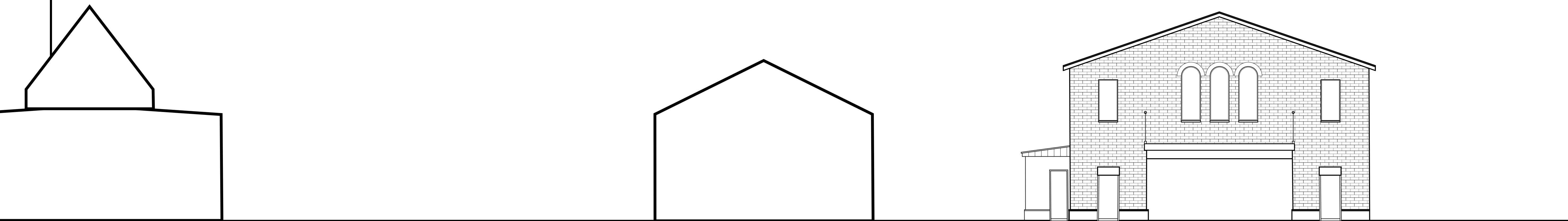
SI THEATER
 1454 MIDDLE STREET
 SULLIVANS ISLAND, SOUTH CAROLINA

11.22.2024 KHH/GJ 2109-02

A204
 STREET ELEVATIONS



C1 SOUTH ELEVATION - PROPOSED
 SCALE: 1/8" = 1'-0"



A1 SOUTH ELEVATION - EXISTING
 SCALE: 1/8" = 1'-0"



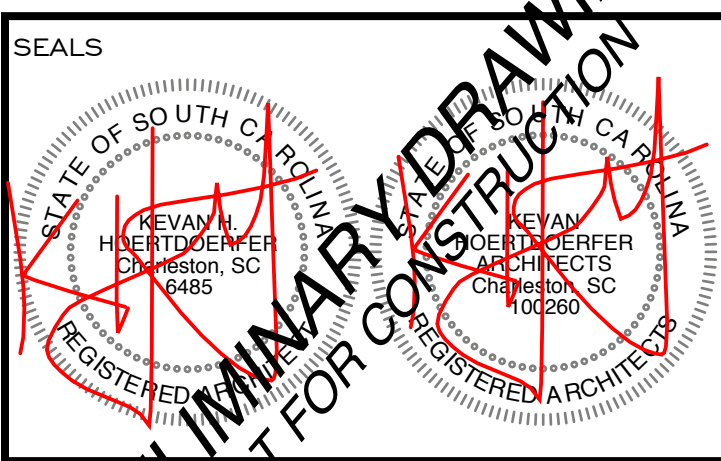
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MARK	DESCRIPTION	DATE
◇	SULLIVAN'S ISLAND DRB SUBMITTAL	11.22.2024

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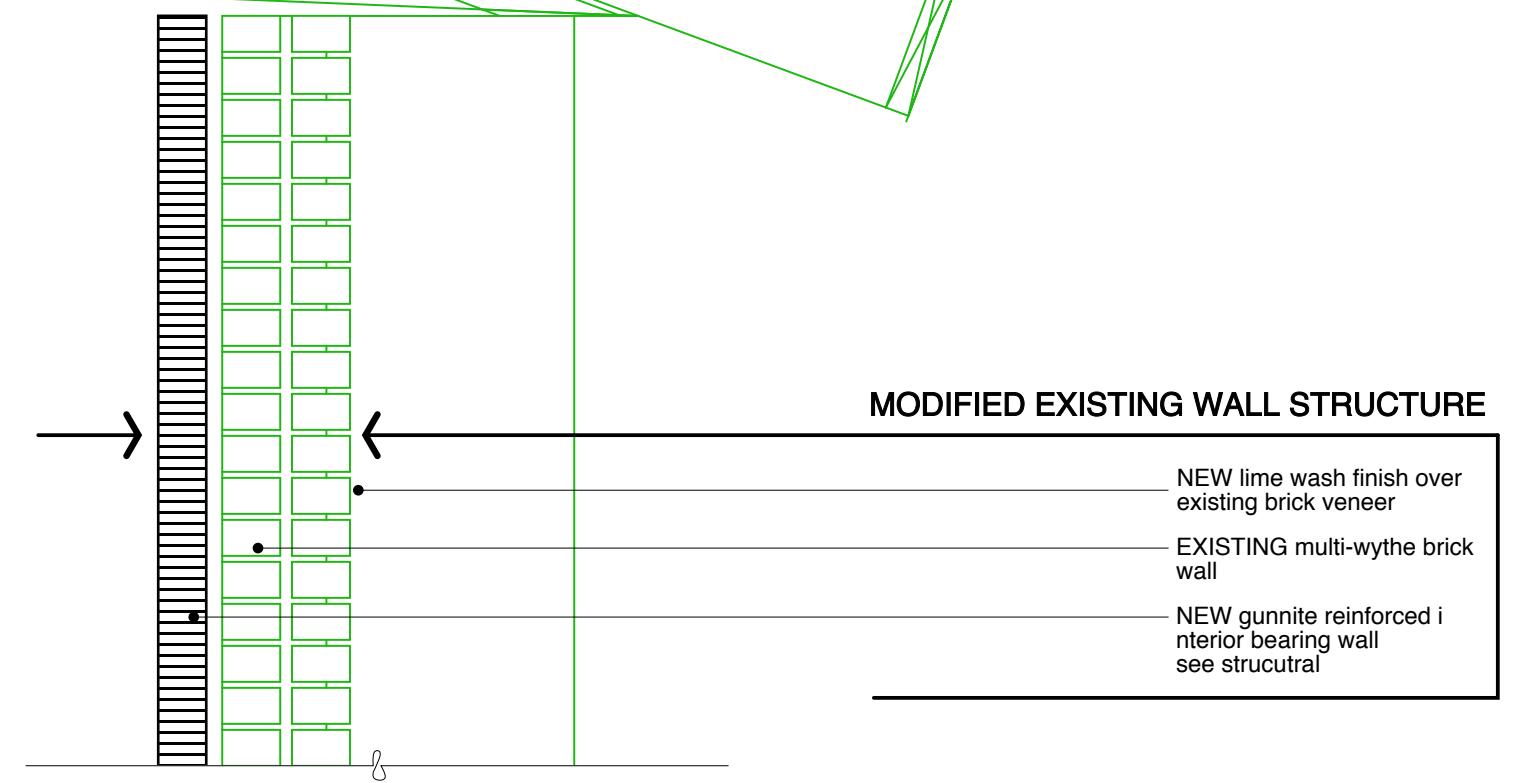
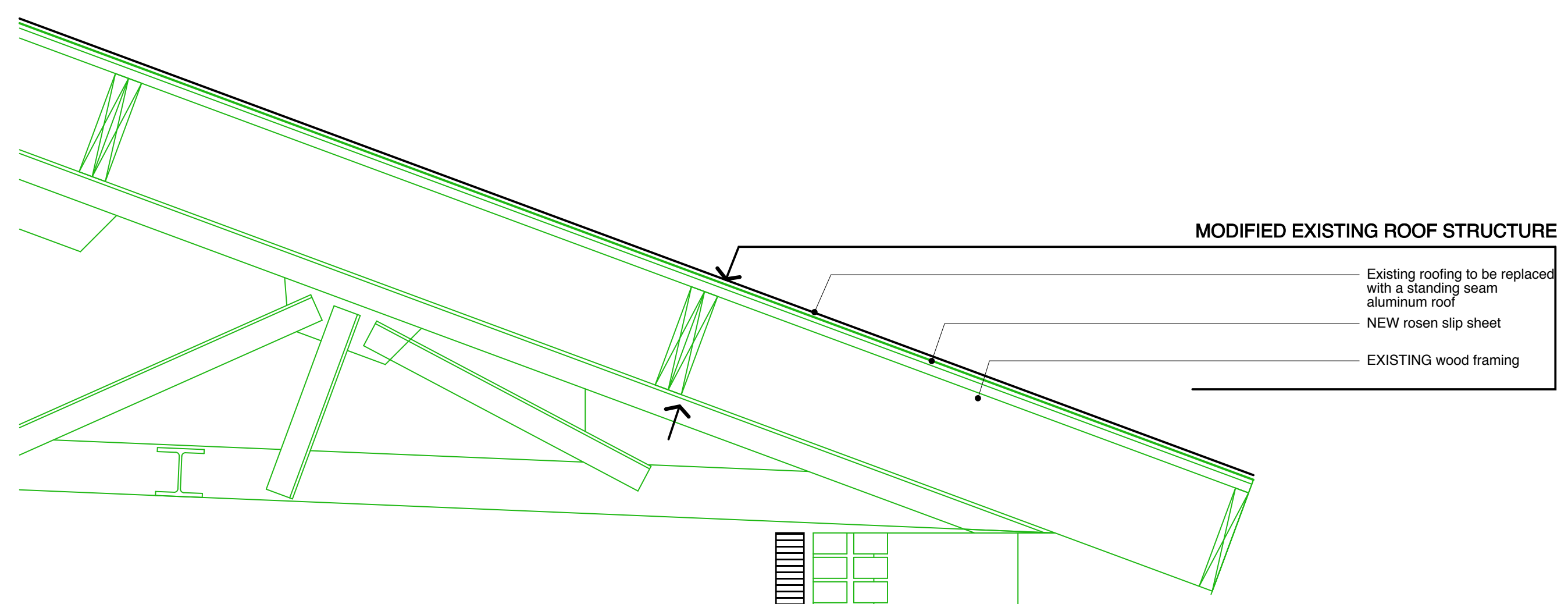


SI THEATER

1454 MIDDLE STREET
 SULLIVAN'S ISLAND, SOUTH CAROLINA

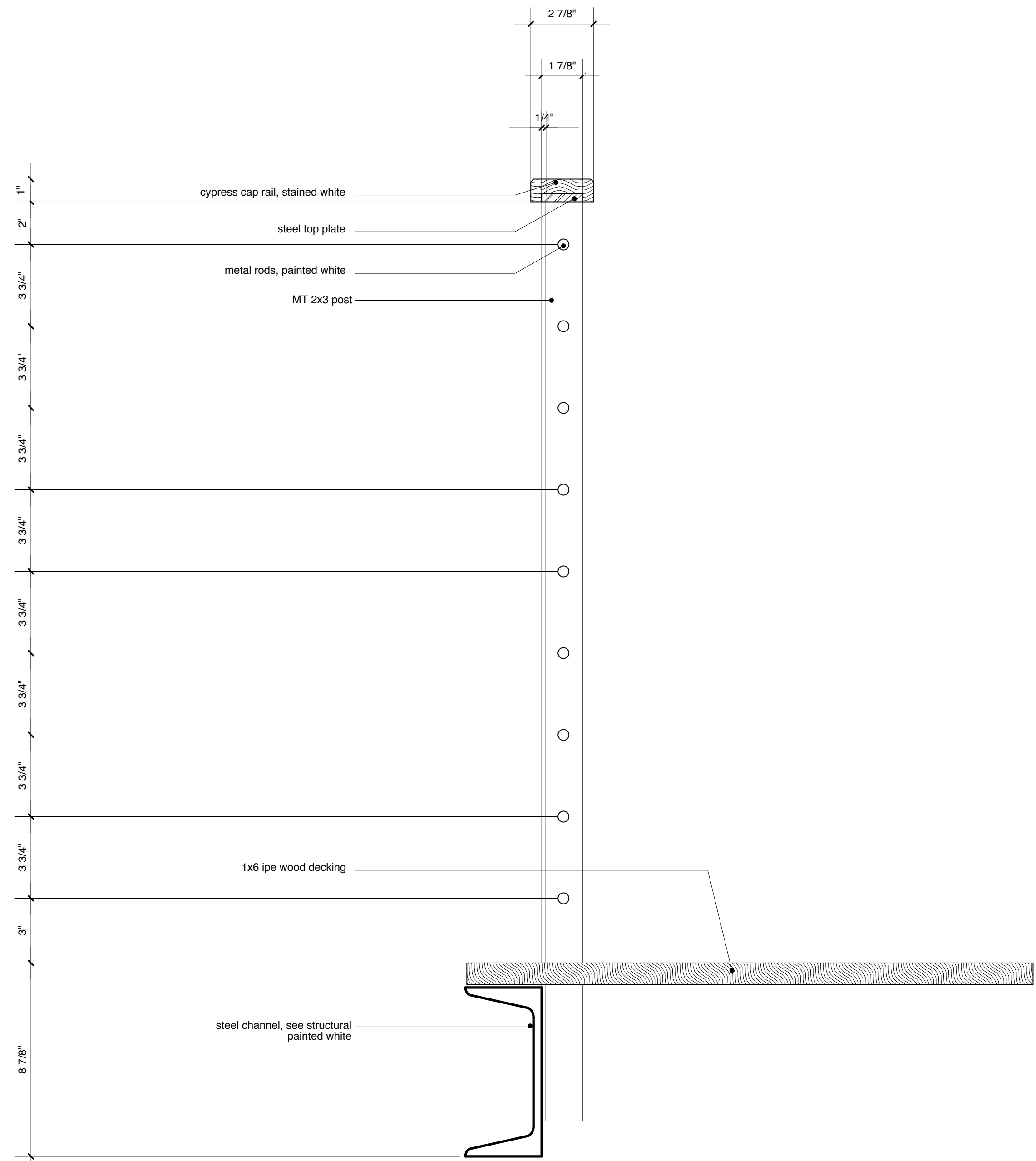
11.22.2024 KHH/GJ 2109-02

A400
 WALL SECTIONS

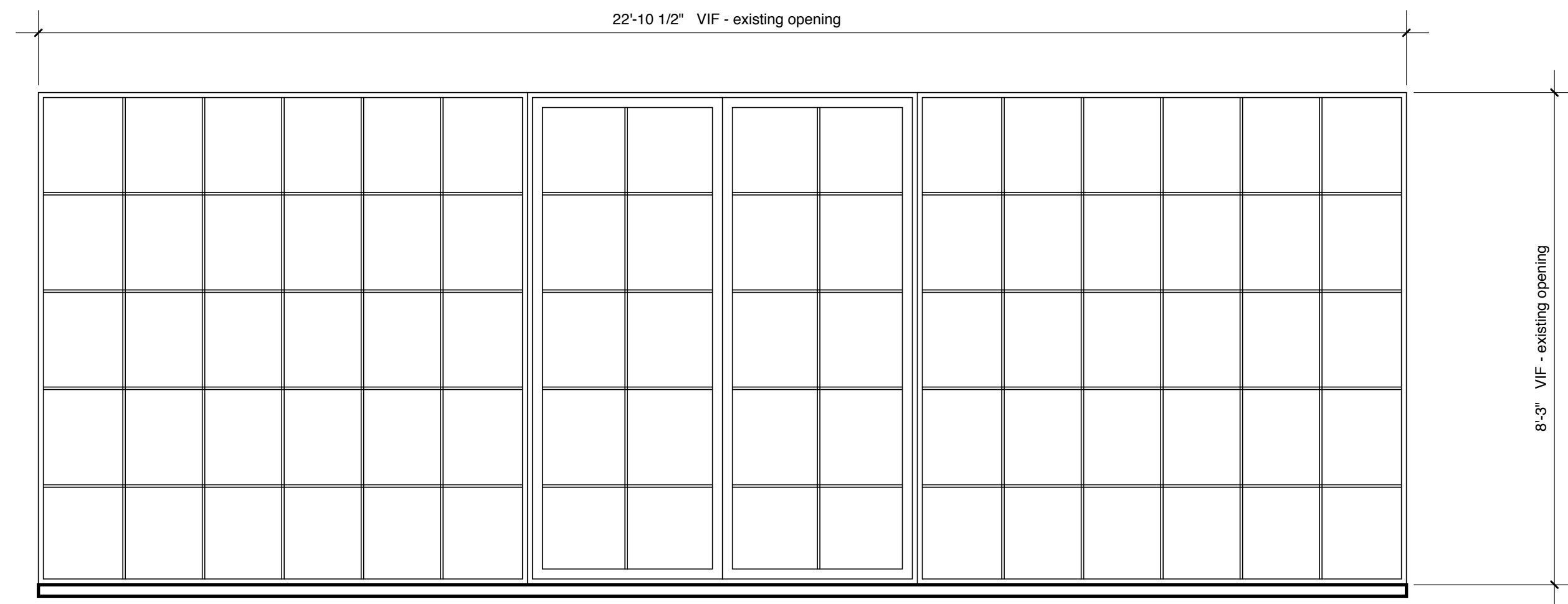


GROUND FLOOR

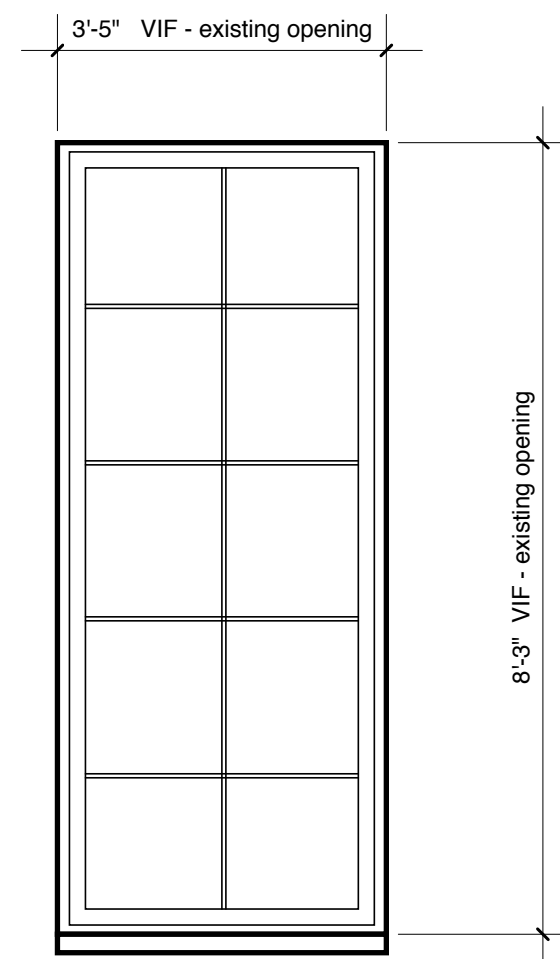
A5 WALL SECTION
 SCALE: 1" = 1'-0"



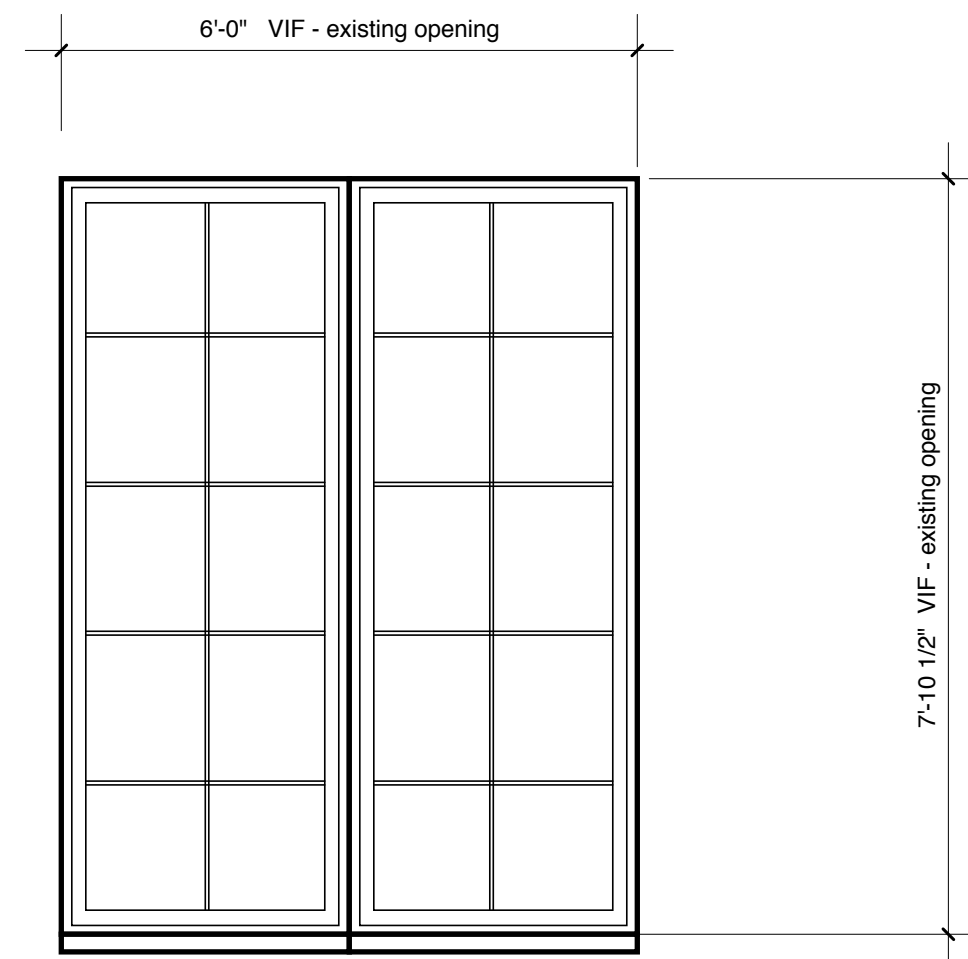
A1 EXTERIOR RAILING DETAIL
 SCALE: 3" = 1'-0"



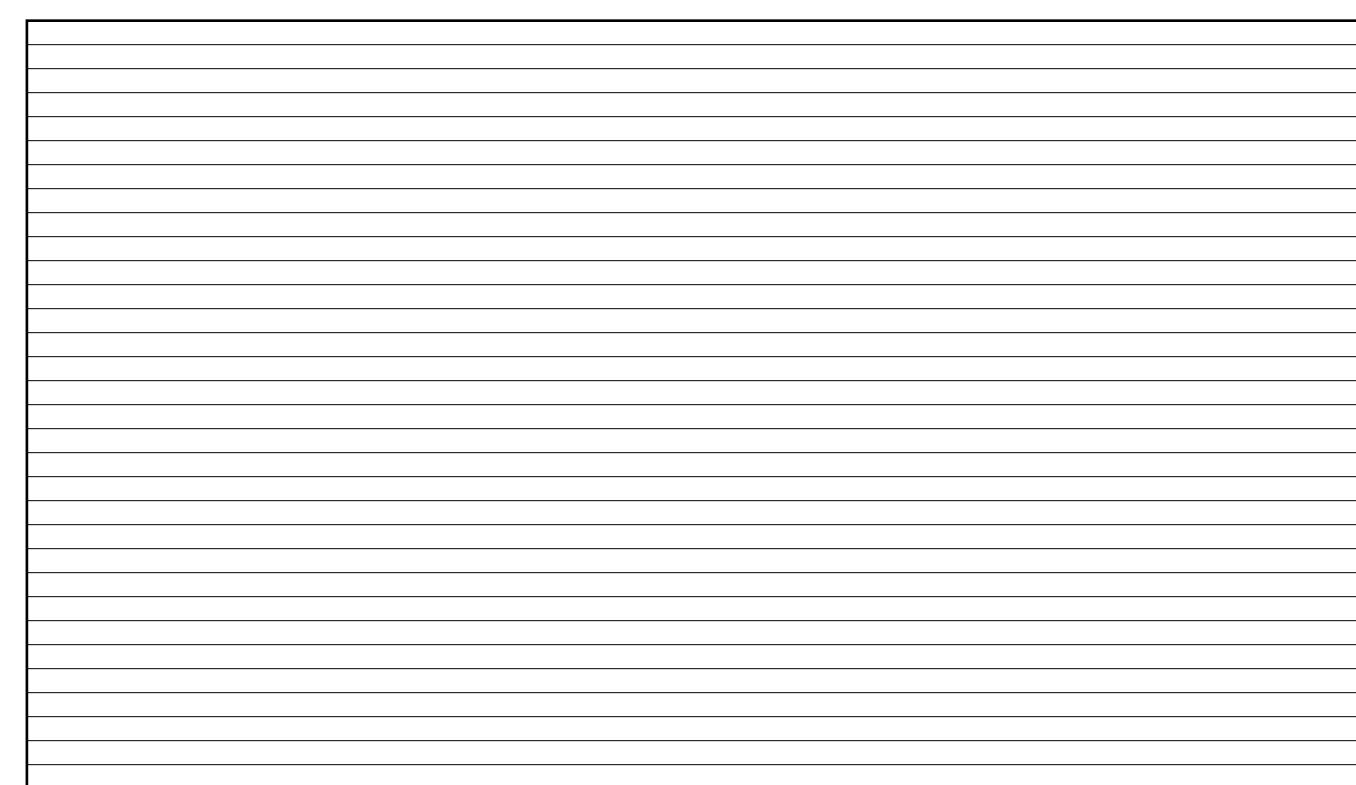
100A



102A 106A 107A

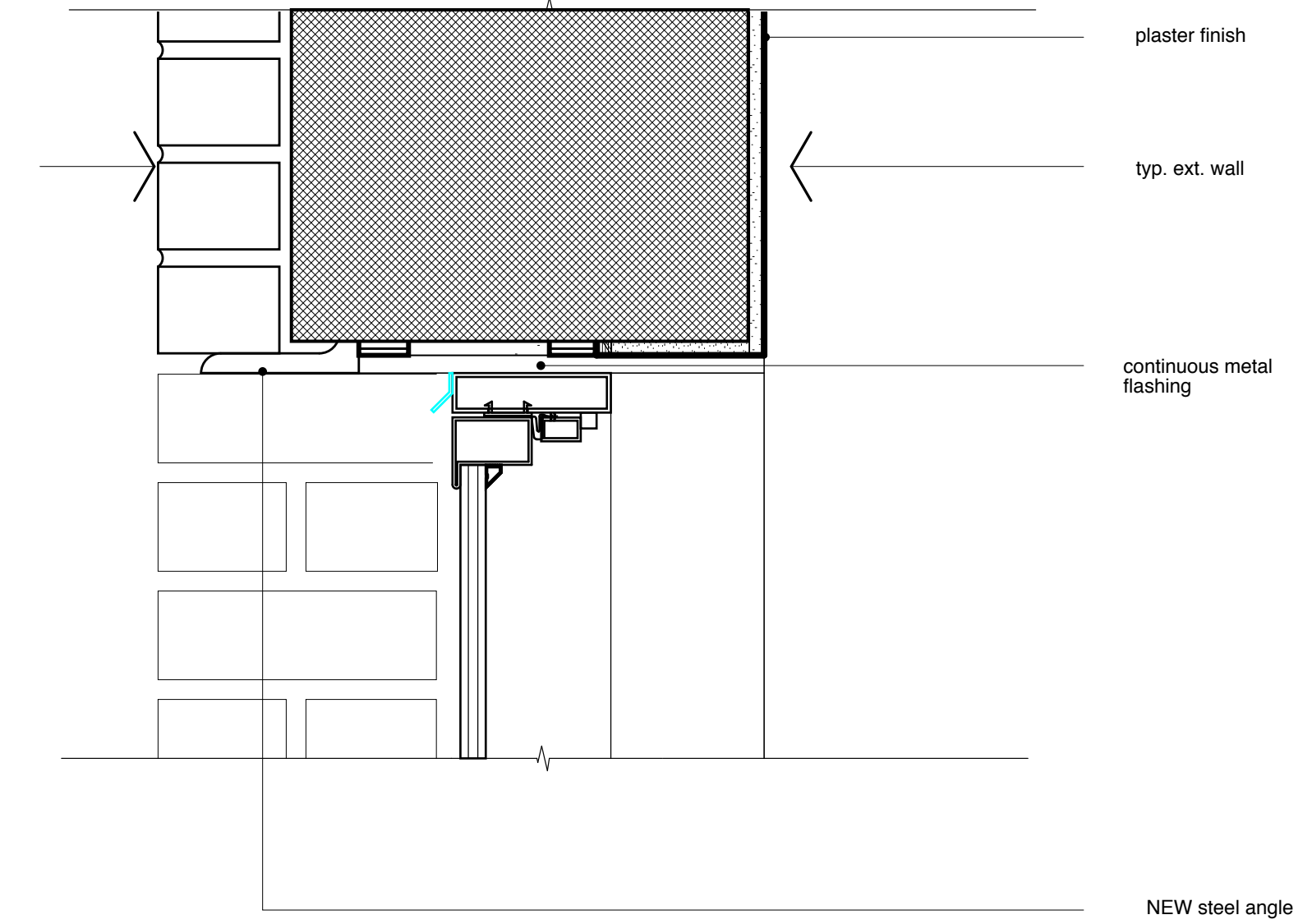


106B 102B

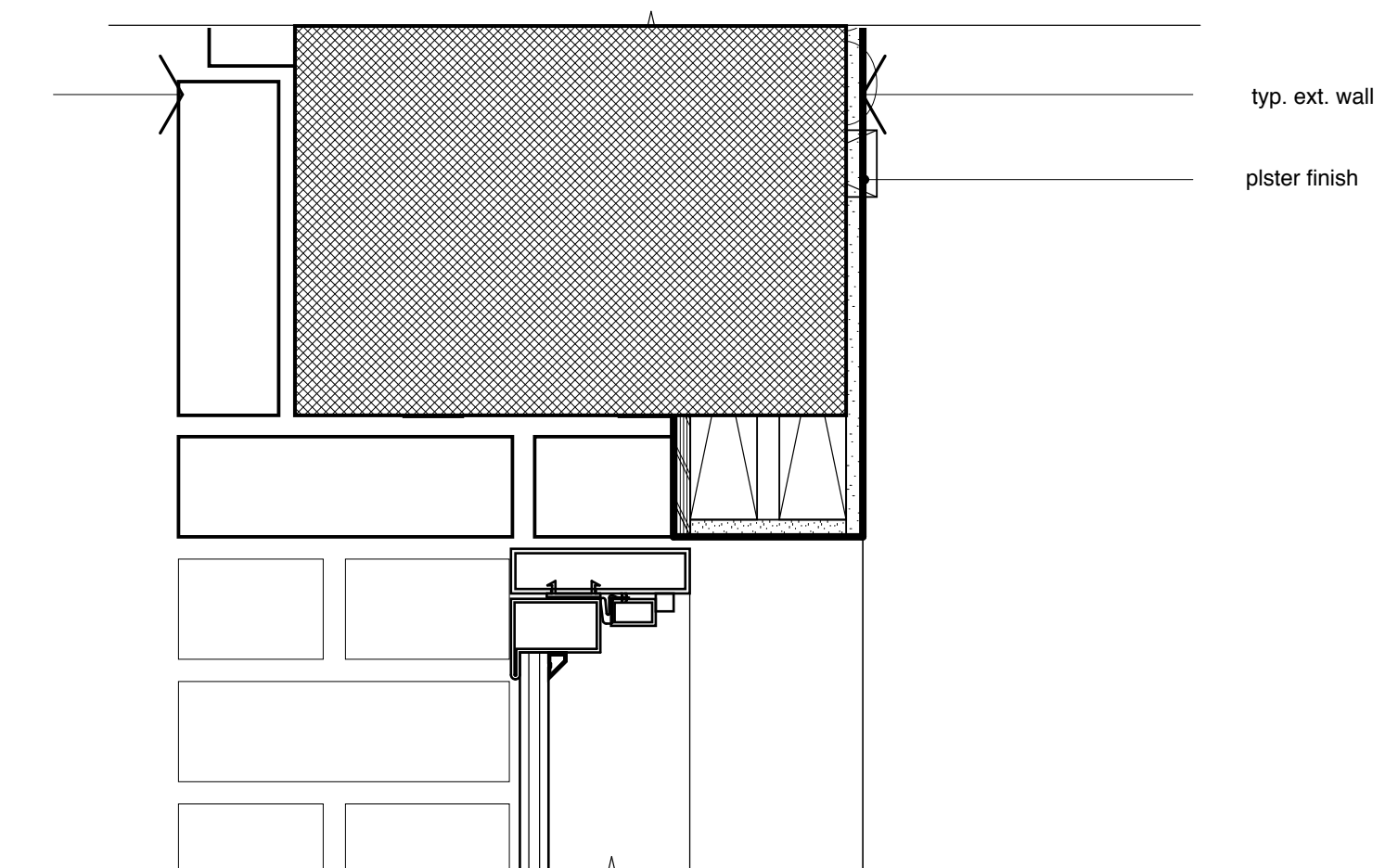


107B 107C

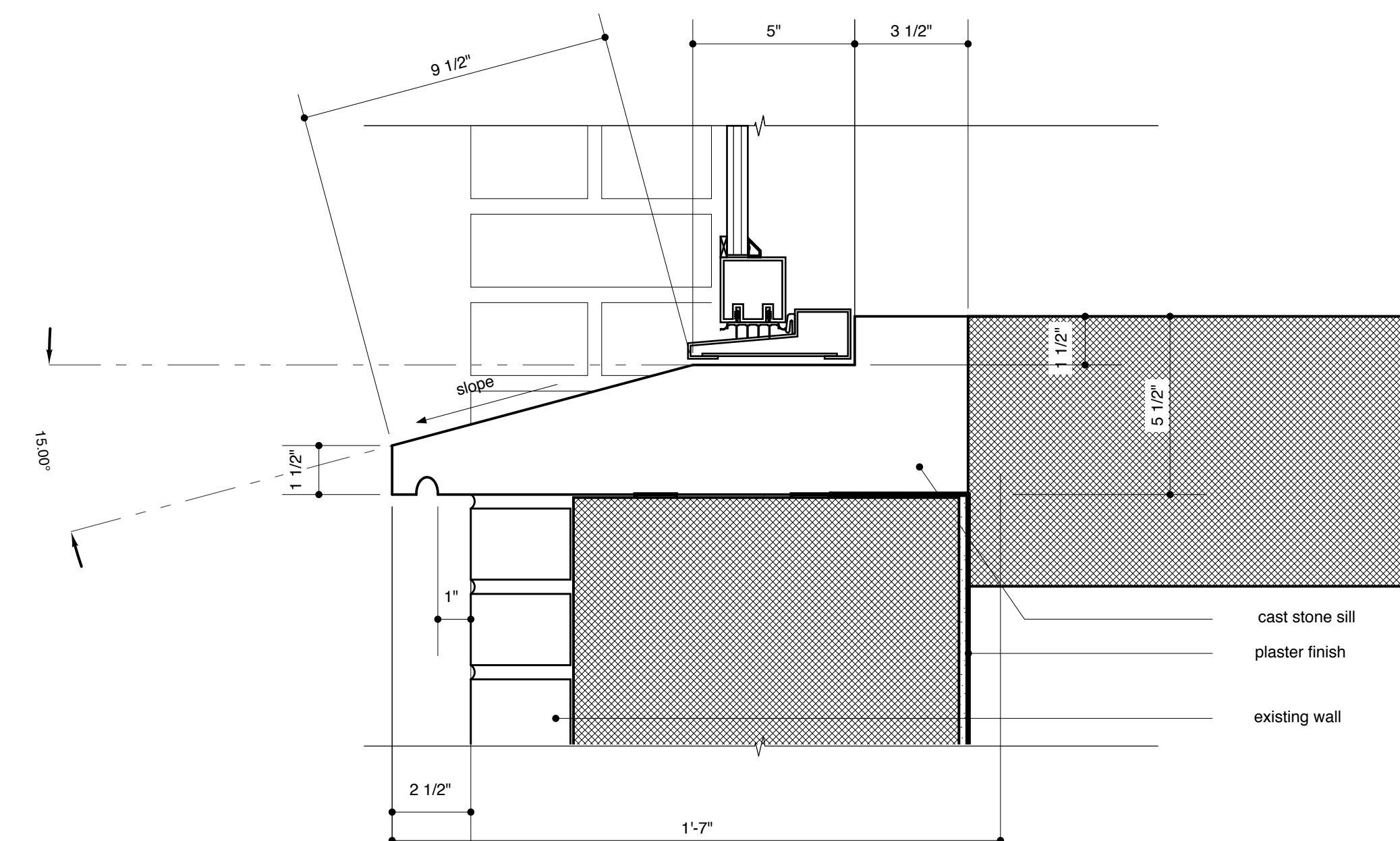
A1 EXTERIOR DOOR SIZES
SCALE: 1/2" = 1'-0"



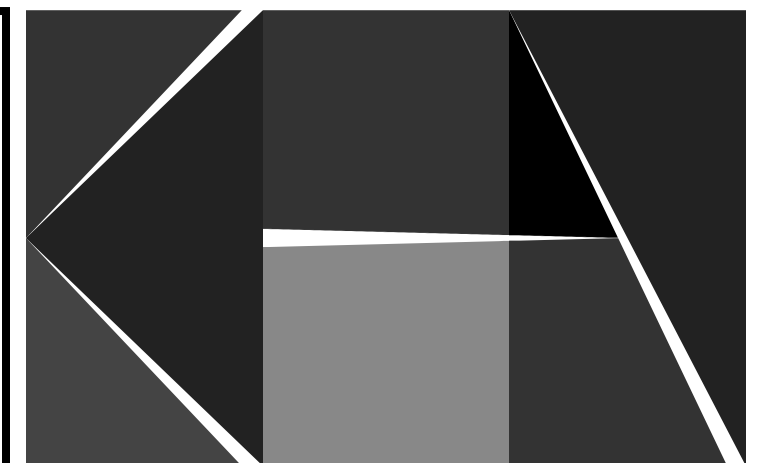
E1 DOOR HEAD - TYPICAL
SCALE: 3" = 1'-0"



C1 DOOR JAMB - TYPICAL
SCALE: 3" = 1'-0"



A1 DOOR SILL - TYPICAL
SCALE: 3" = 1'-0"

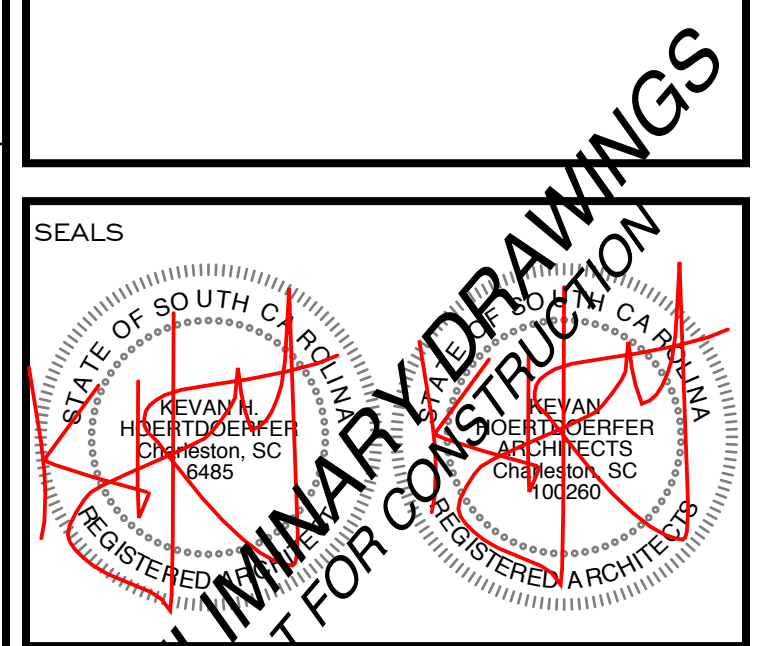


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GENERAL NOTES

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MARK	DESCRIPTION	DATE
◇	SULLIVAN'S ISLAND DRB SUBMITTAL	11.22.2024



SI THEATER

1454 MIDDLE STREET
SULLIVAN'S ISLAND, SOUTH CAROLINA

11.22.2024 KHH/GJ 2109-02

A600
DOOR DETAILS
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GENERAL NOTES

1. Window sizes are approximate. See Window Distributor's information for exact rough openings.
2. Muntin patterns listed in schedule over ride elevations unless other wise noted
3. Provide tempered glass in all locations required by the INTERNATIONAL BUILDING CODE .
4. All windows in sleeping rooms to conform to the egress requirements of the international BUILDING CODE .

T=Tempered glazing
 E=Egress window
 NS= No Screen
 ASF= Above Subfloor
 ASL = Above Slab

PRELIMINARY DRAWINGS
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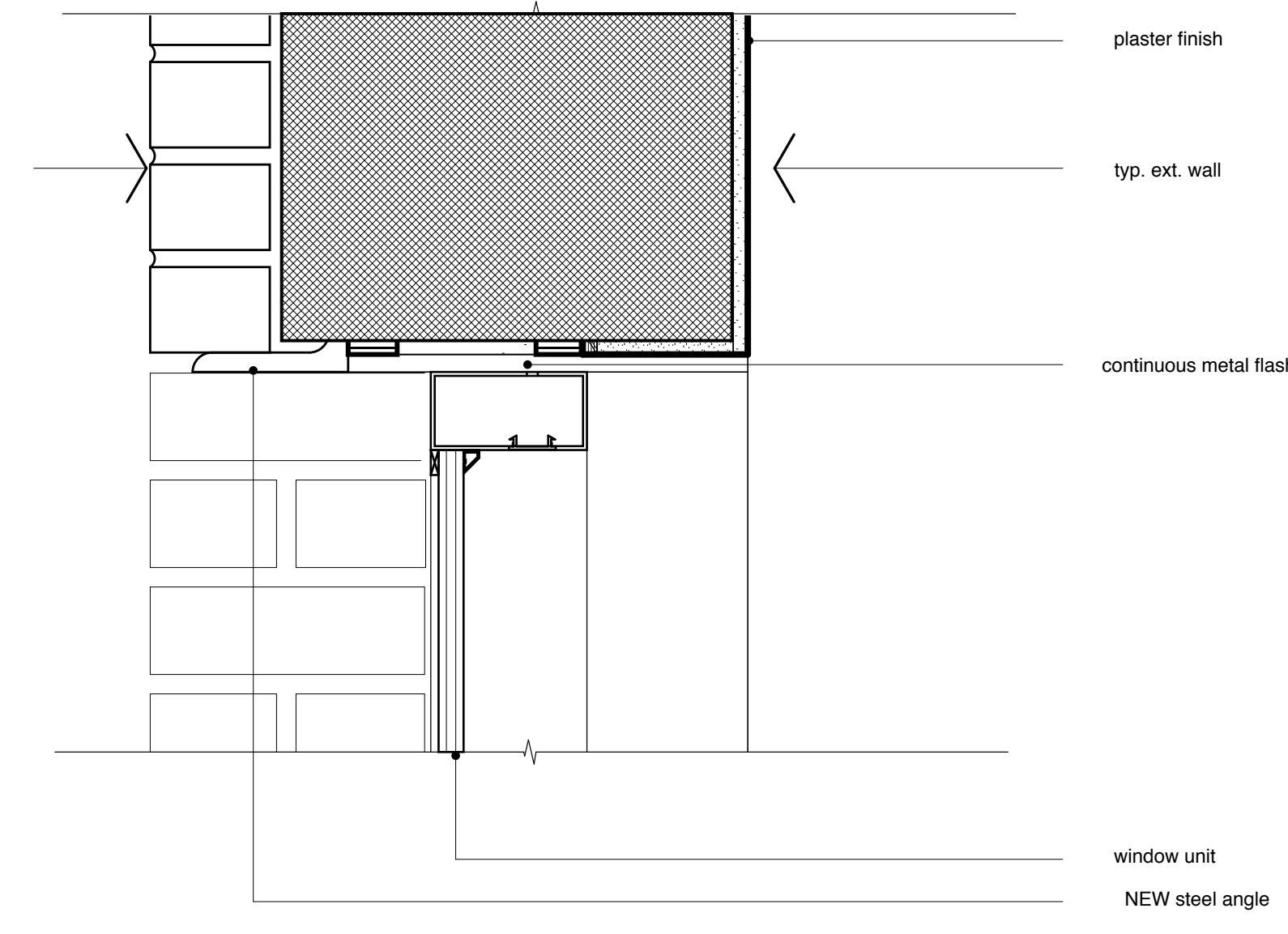
MARK	DESCRIPTION	DATE
◇	SULLIVAN'S ISLAND DRB SUBMITTAL	11.22.2024

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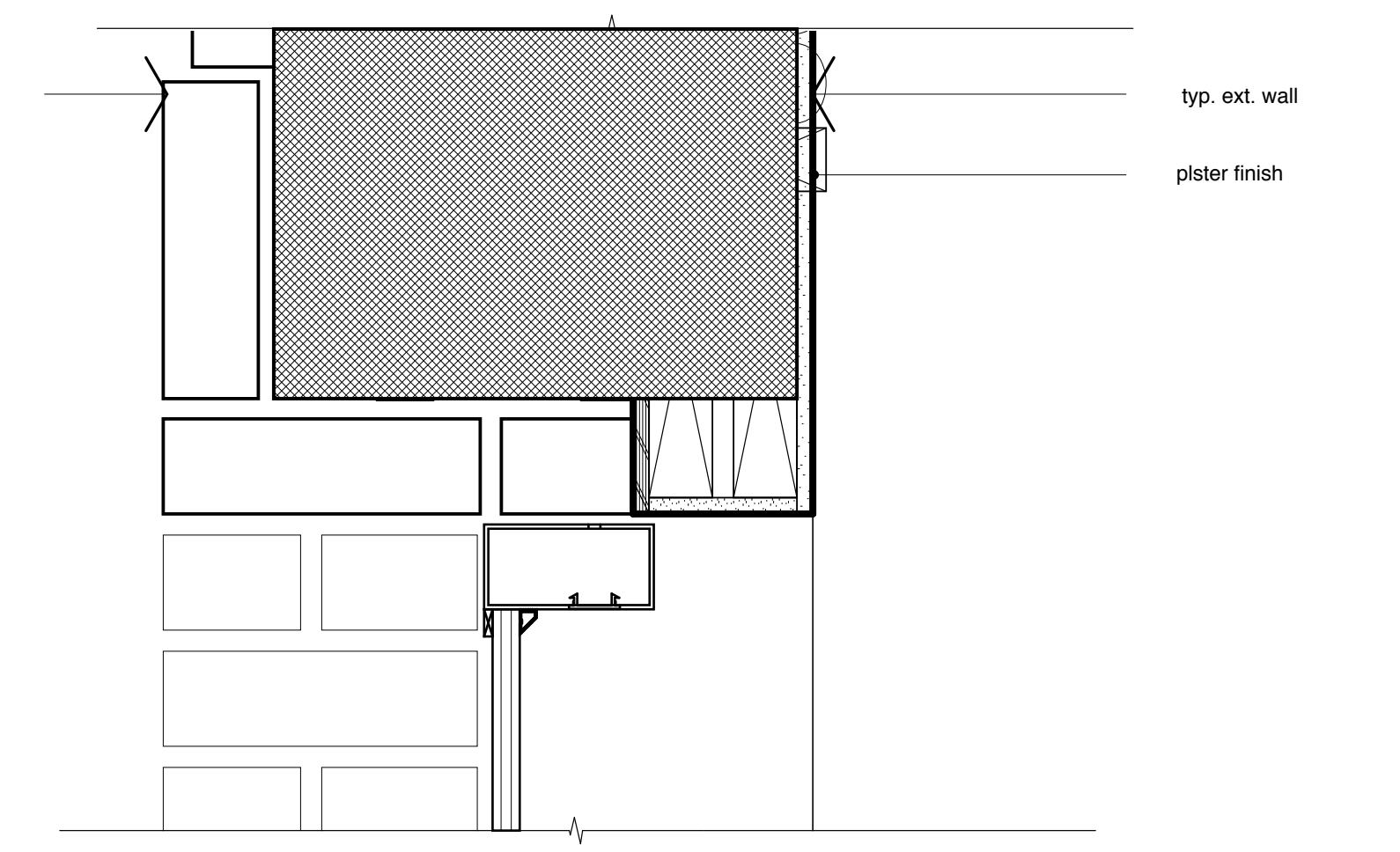
PROJ. NO. 2109-02
SI THEATER
 1454 MIDDLE STREET
 SULLIVANS ISLAND, SOUTH CAROLINA

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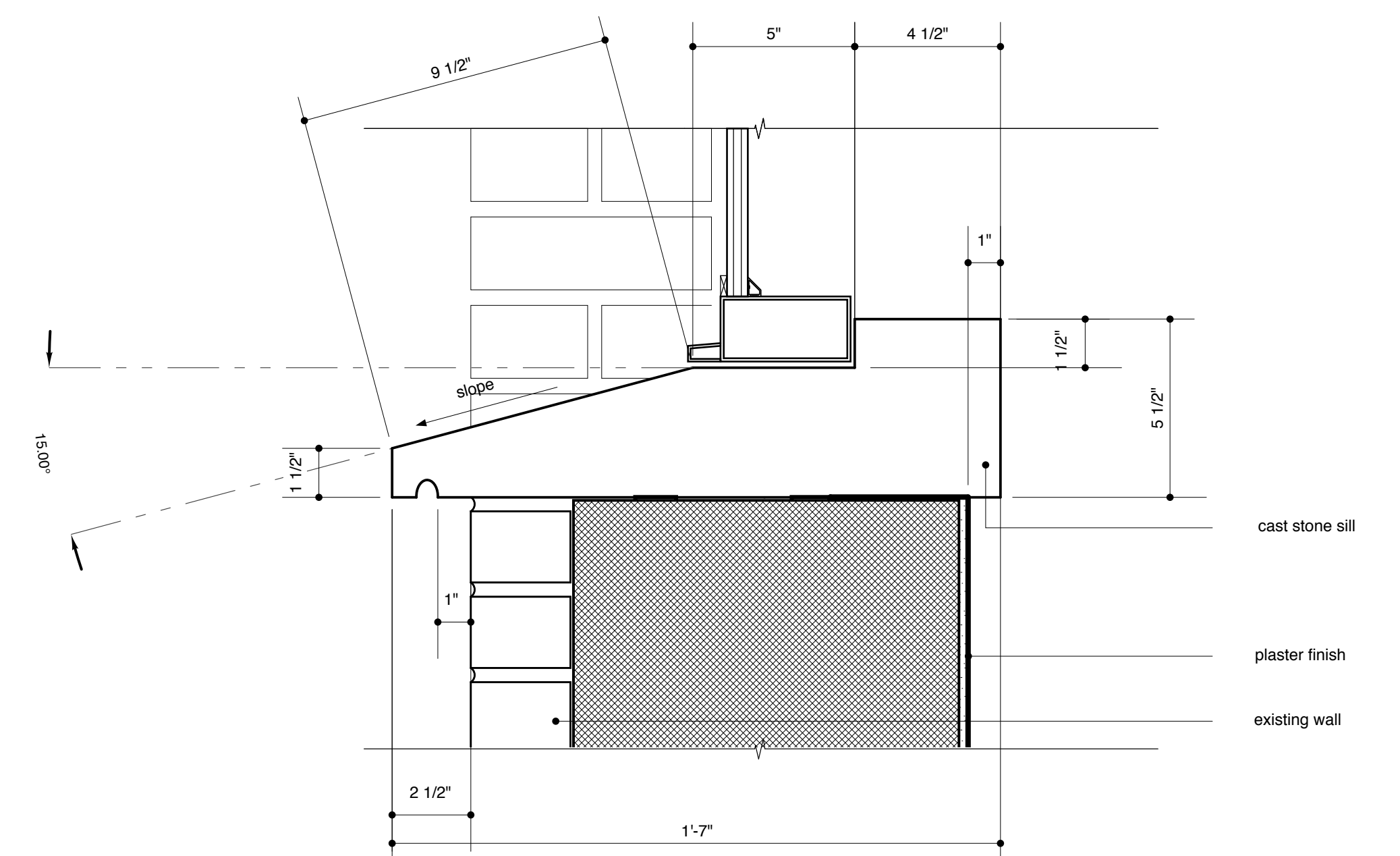
A601
 WINDOW AND DOOR
 DETAILS / SCHEDULES



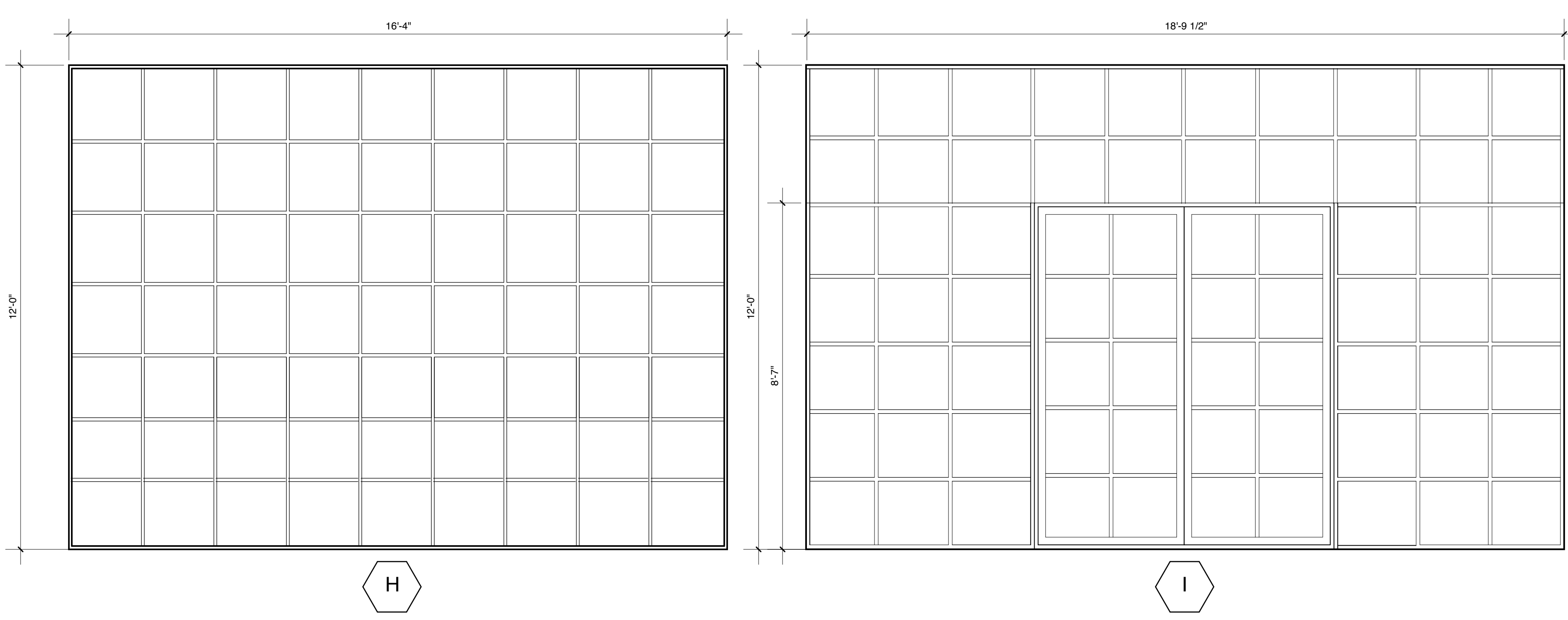
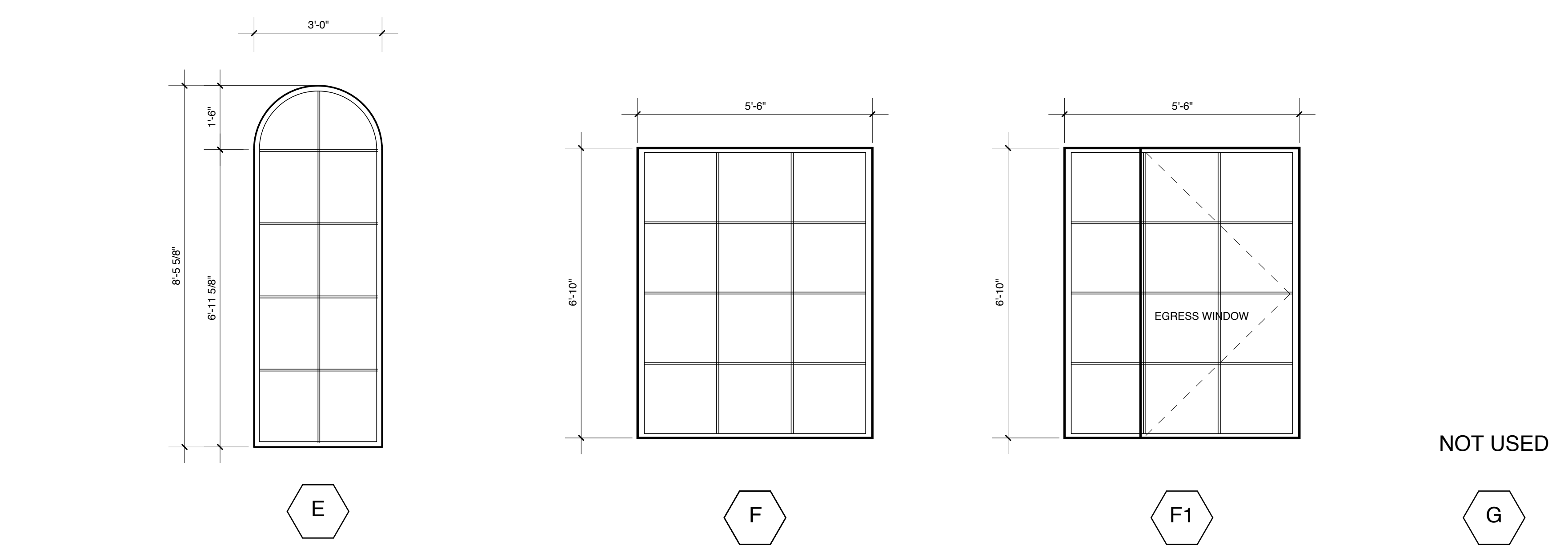
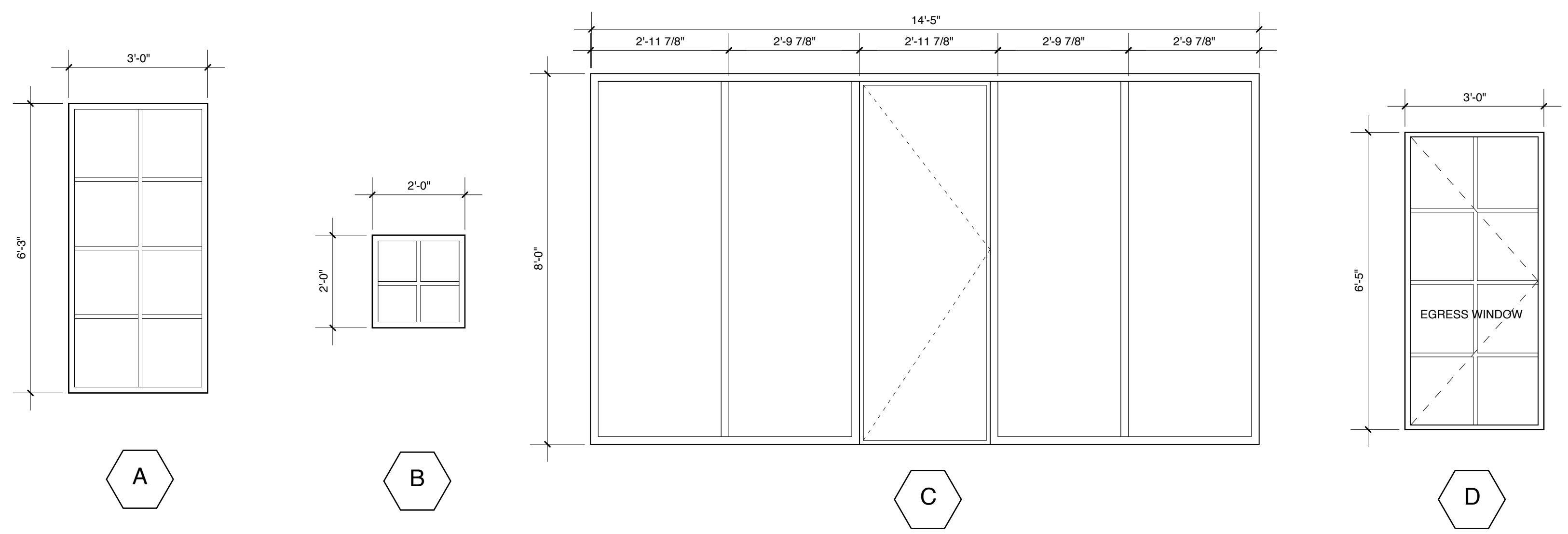
E1 WINDOW HEAD - TYPICAL
 SCALE: 3" = 1'-0"



C1 WINDOW JAMB - TYPICAL
 SCALE: 3" = 1'-0"



A1 WINDOW SILL - TYPICAL
 SCALE: 3" = 1'-0"



A1 WINDOW SIZES
 SCALE: 1/2" = 1'-0"

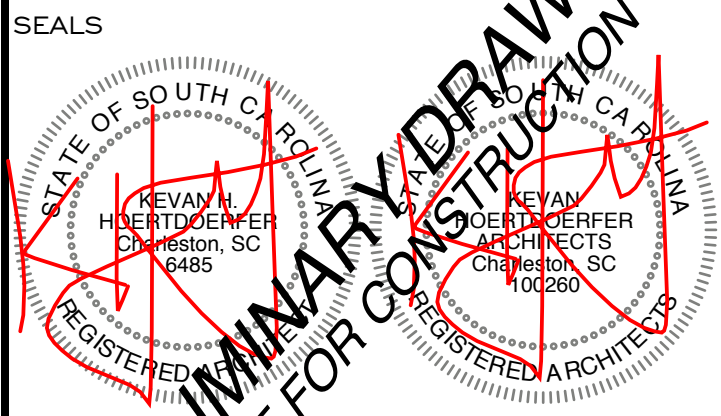


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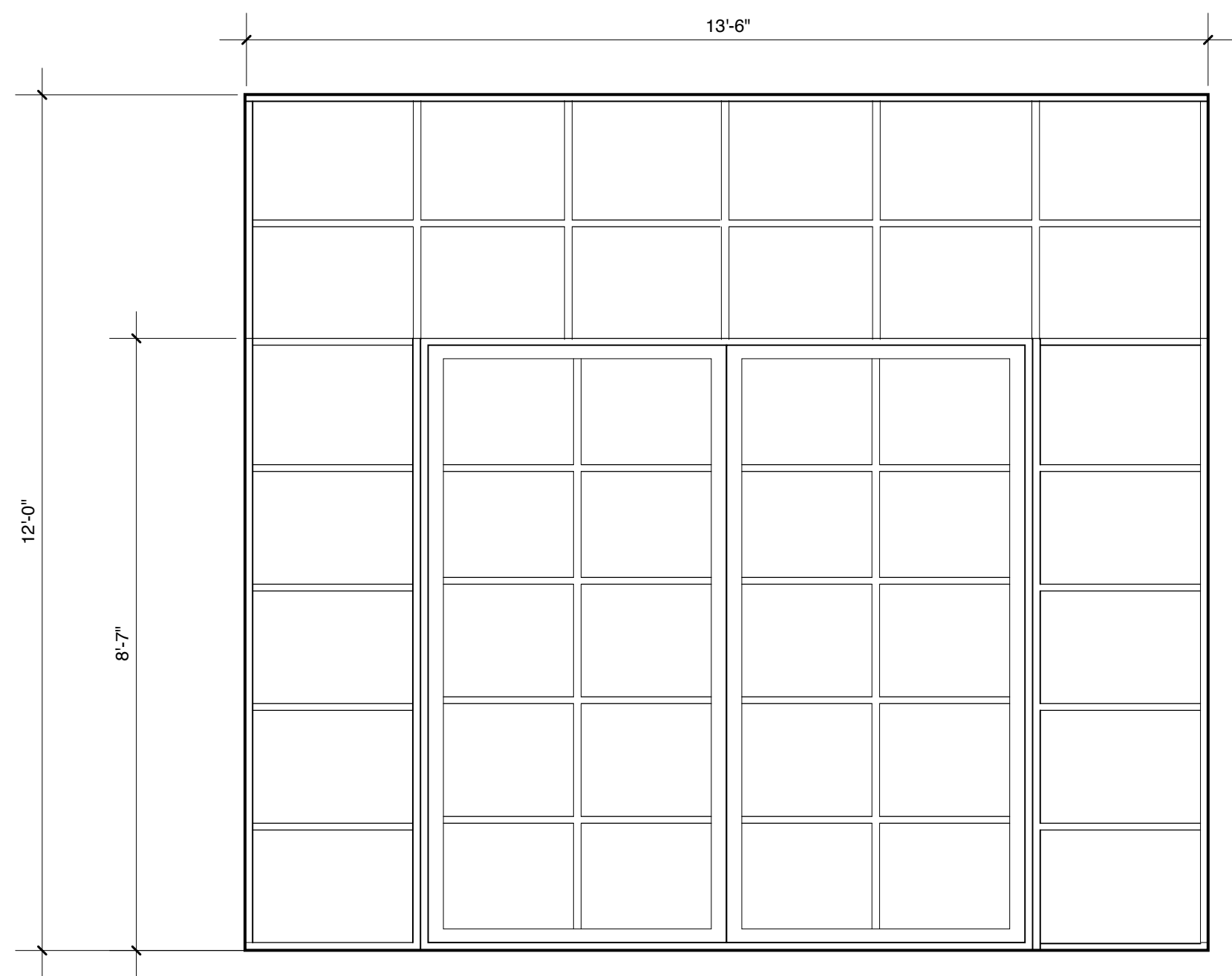
SI THEATER
1454 MIDDLE STREET
SULLIVAN'S ISLAND, SOUTH CAROLINA

11.22.2024 KHH/GJ 2109-02

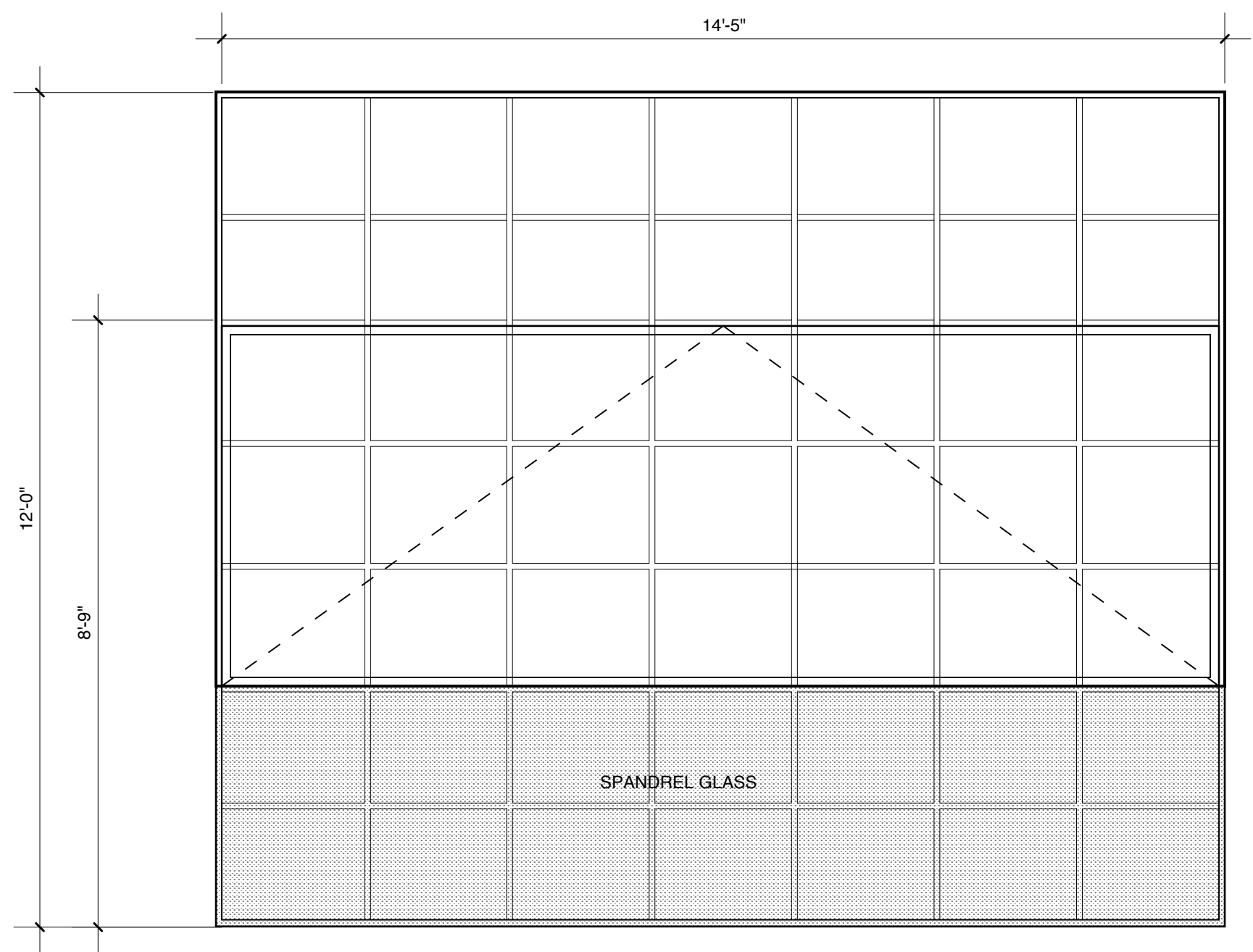
A602

WINDOW AND DOOR
DETAILS / SCHEDULES

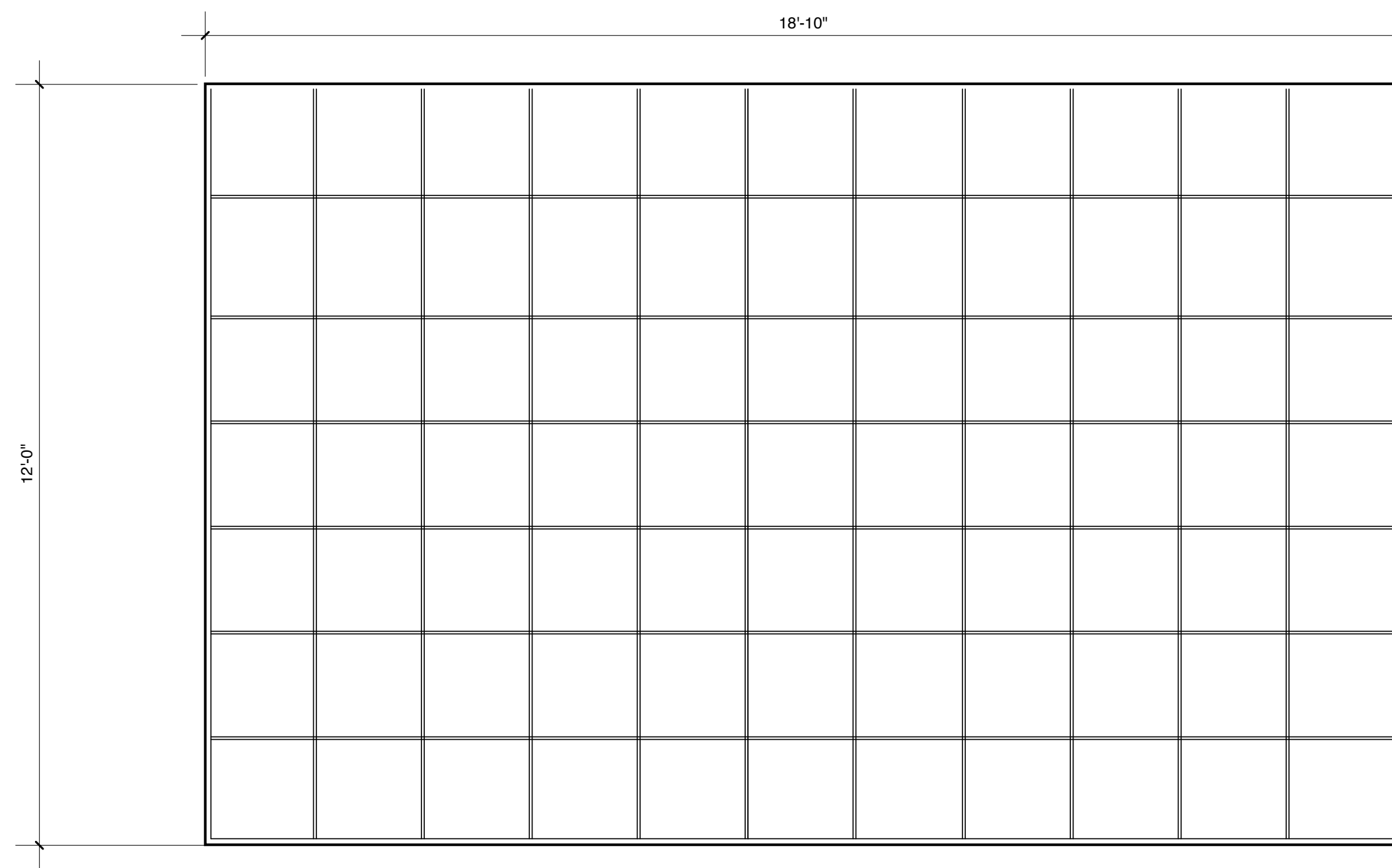
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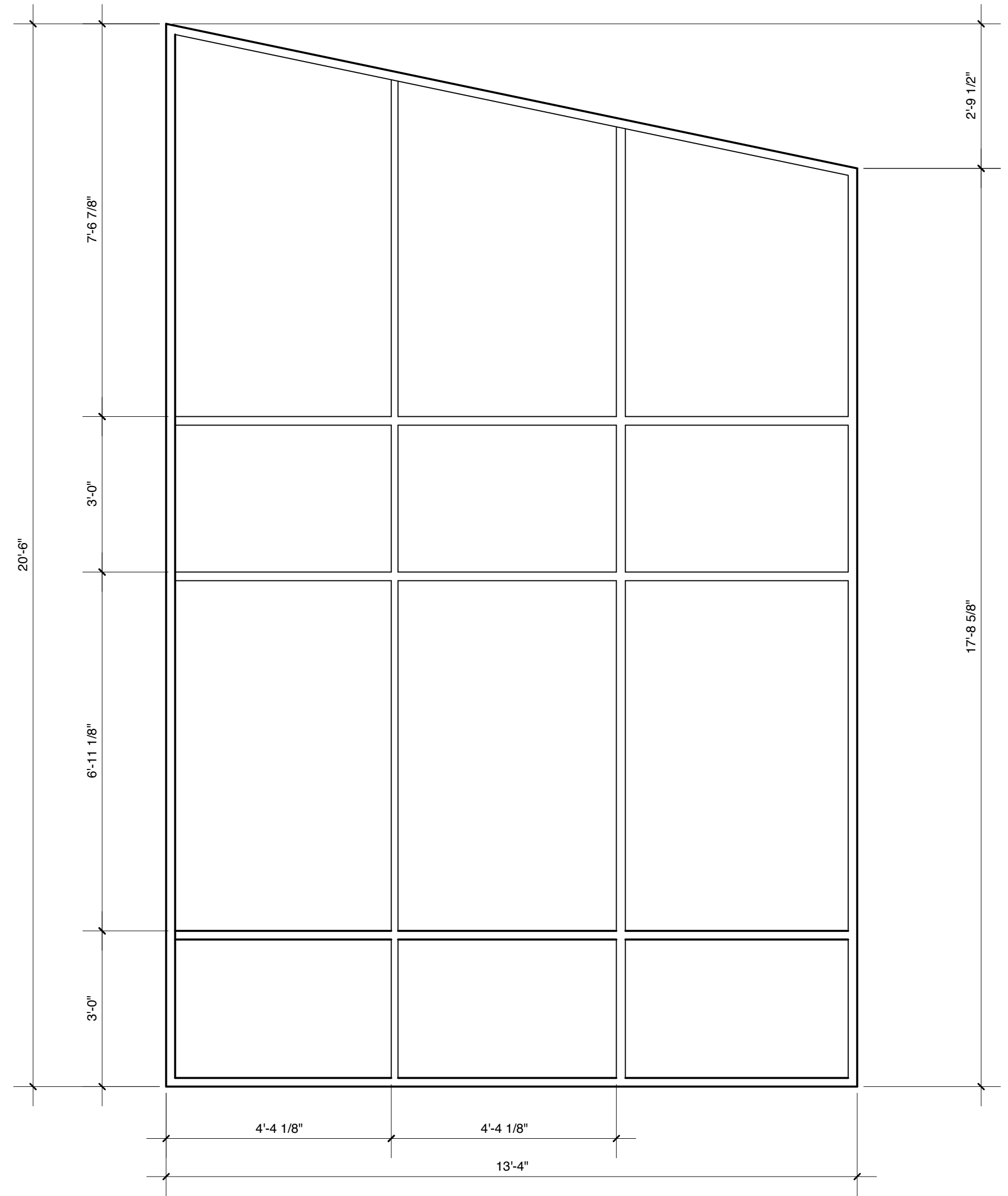
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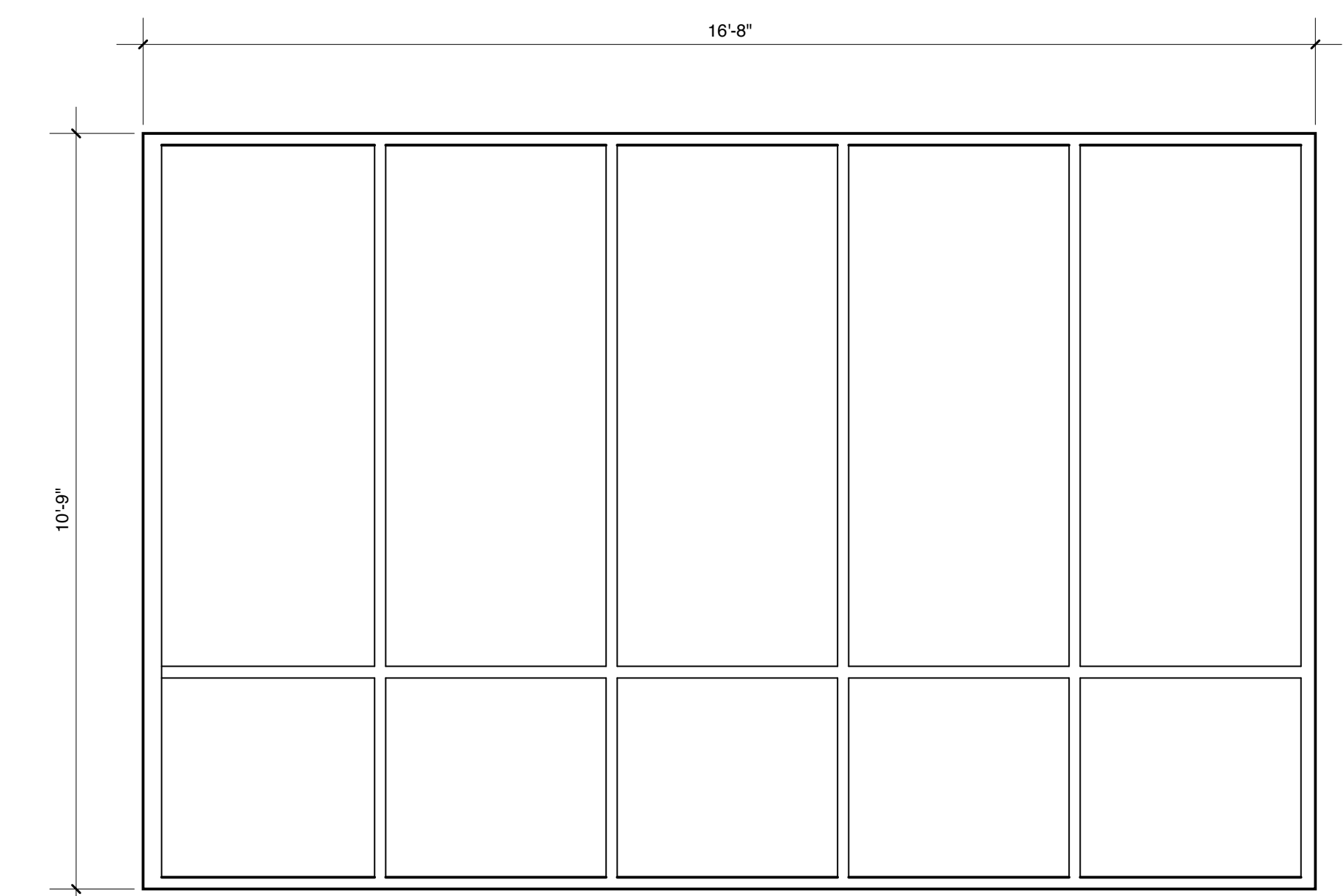
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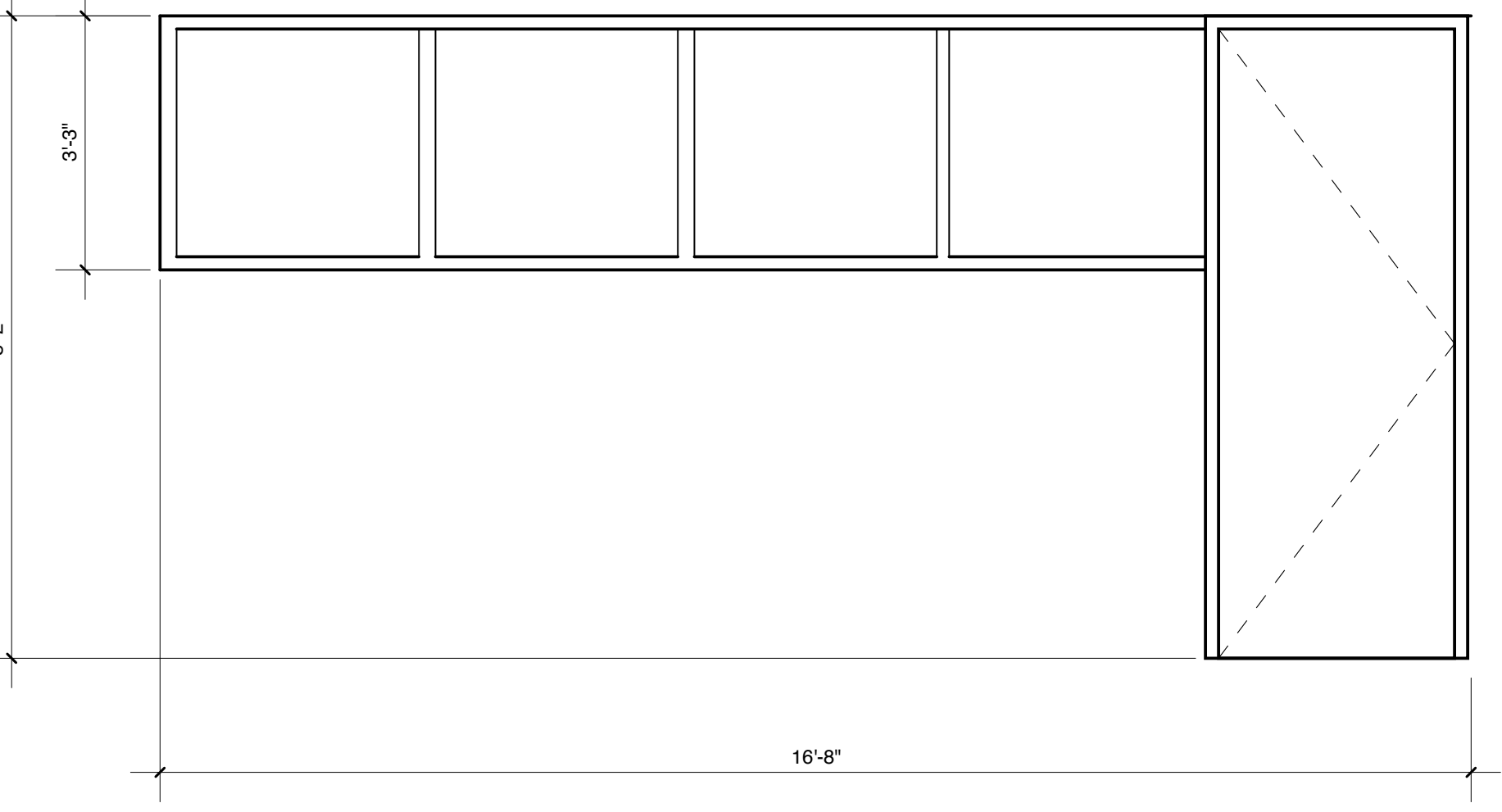
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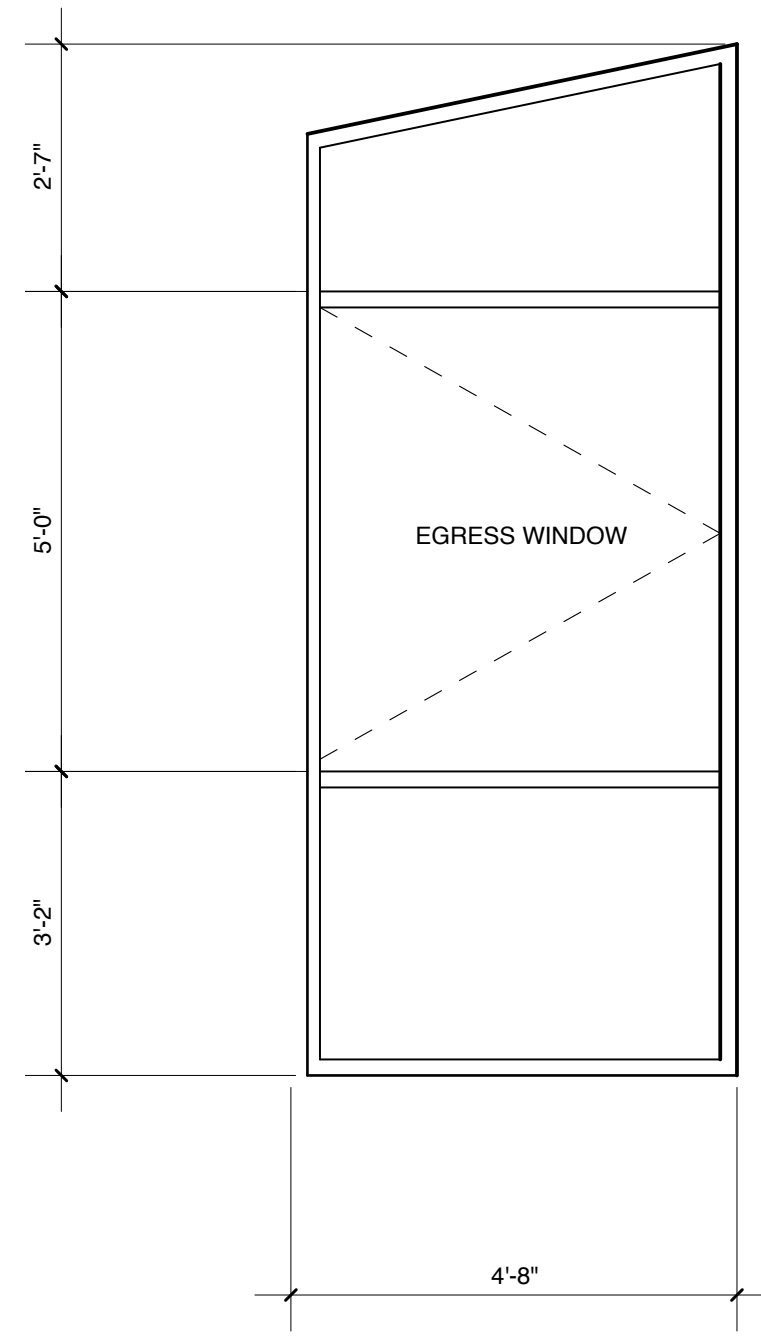
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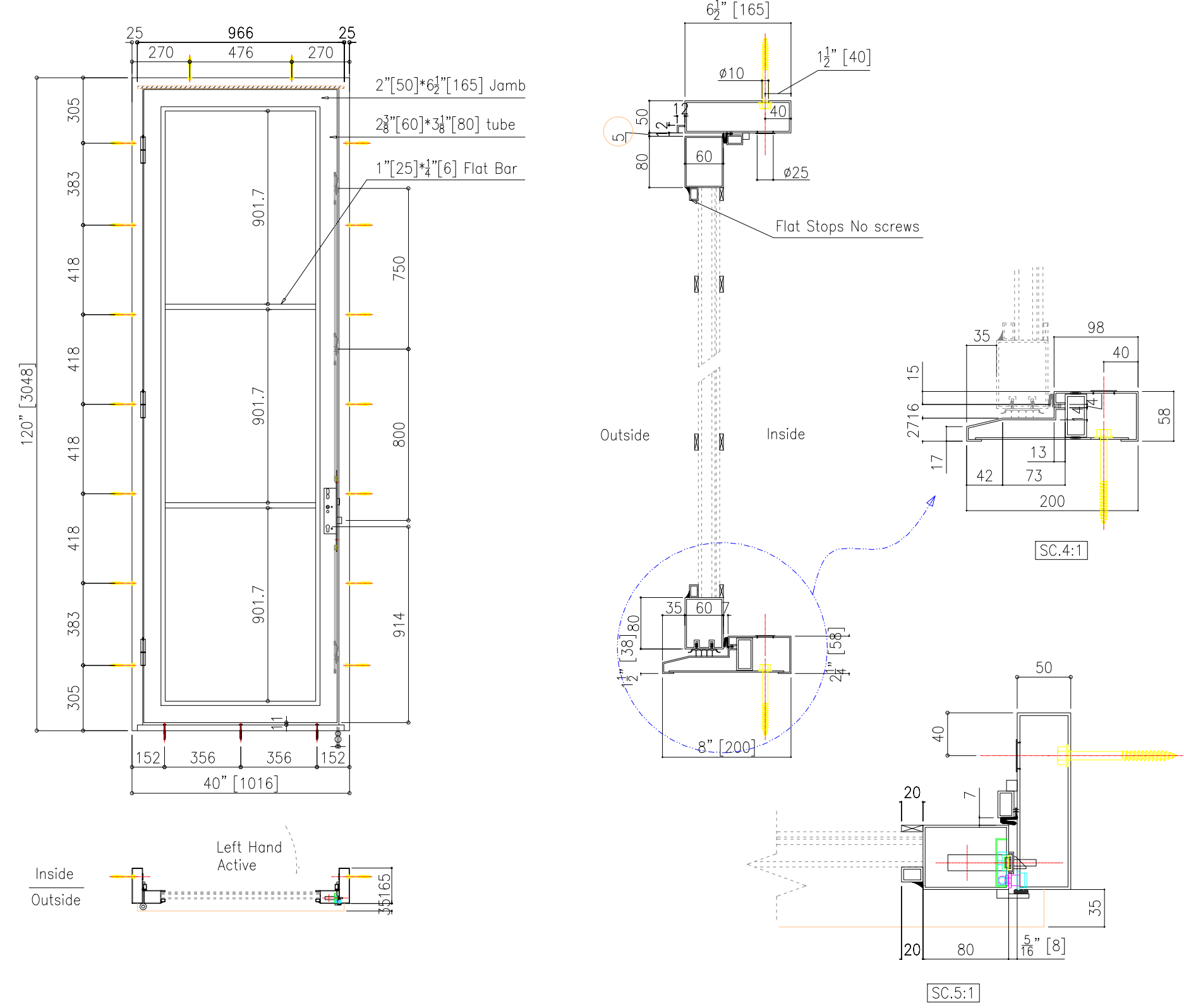
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N



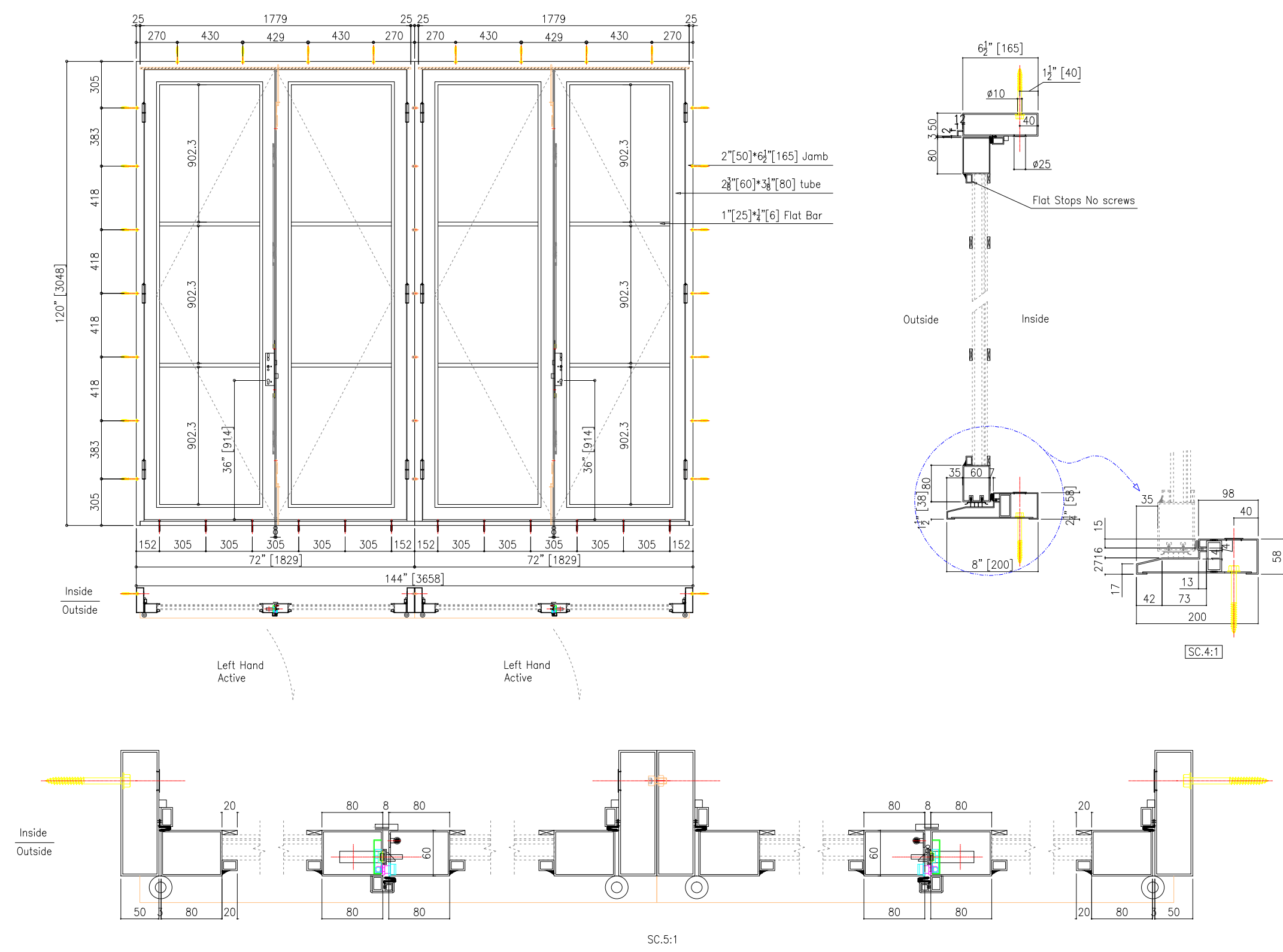
P



THE FRENCH STEEL COMPANY

French Steel estimate #	XXXX-XXXX
Dealer PO#	XXXX-XXXX
JOB NAME	Single Door
Unit #	XXXX-XXXX
Series	Classic Hurricane Impact
Date	2024-05-30
Thermally Broken	No
Finish	Matte Black
Glass	Impact glass 1" Clear temp +10° or +12" clear temp +0.90 SSP + 1" Clear Temp
GLAZING	SDL/putty
Mounting	Holes
Swing	Outswing
Handing	Left Hand
HARDWARE	Special prep
Prep	
Retractable Screen	No
QTY	1 Set
Version #	1.0
NS Bolt	

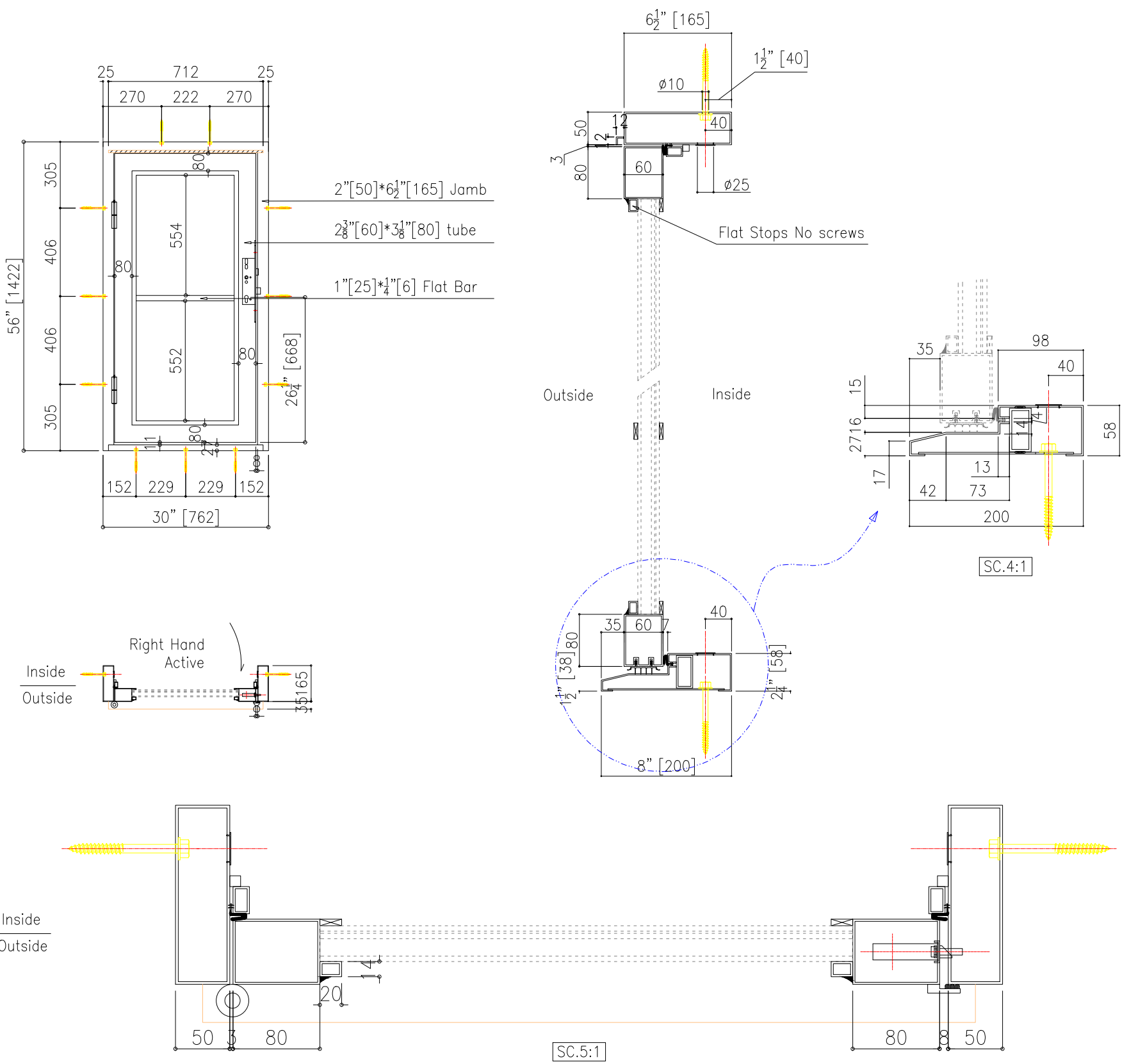
BY SIGNING HERE, I AGREE THAT DESIGN AND DIMENSIONS SHOWN IN THIS DRAWING ARE APPROVED AND ACCEPTED X _____ DATE _____



THE FRENCH STEEL COMPANY

French Steel estimate #	XXXX-XXXX
Dealer PO#	XXXX-XXXX
JOB NAME	Twin Double Door
Unit #	XXXX-XXXX
Series	Classic Hurricane Impact
Date	2024-05-30
Thermally Broken	No
Finish	Matte Black
Glass	Impact glass 1" Clear temp +10° or +12" clear temp +0.90 SSP + 1" Clear Temp
GLAZING	SDL/putty
Mounting	Holes
Swing	Outswing
Handing	Left Hand
HARDWARE	Special prep
Prep	
Retractable Screen	No
QTY	1 Set
Version #	1.0
NS Bolt	

BY SIGNING HERE, I AGREE THAT DESIGN AND DIMENSIONS SHOWN IN THIS DRAWING ARE APPROVED AND ACCEPTED X _____ DATE _____

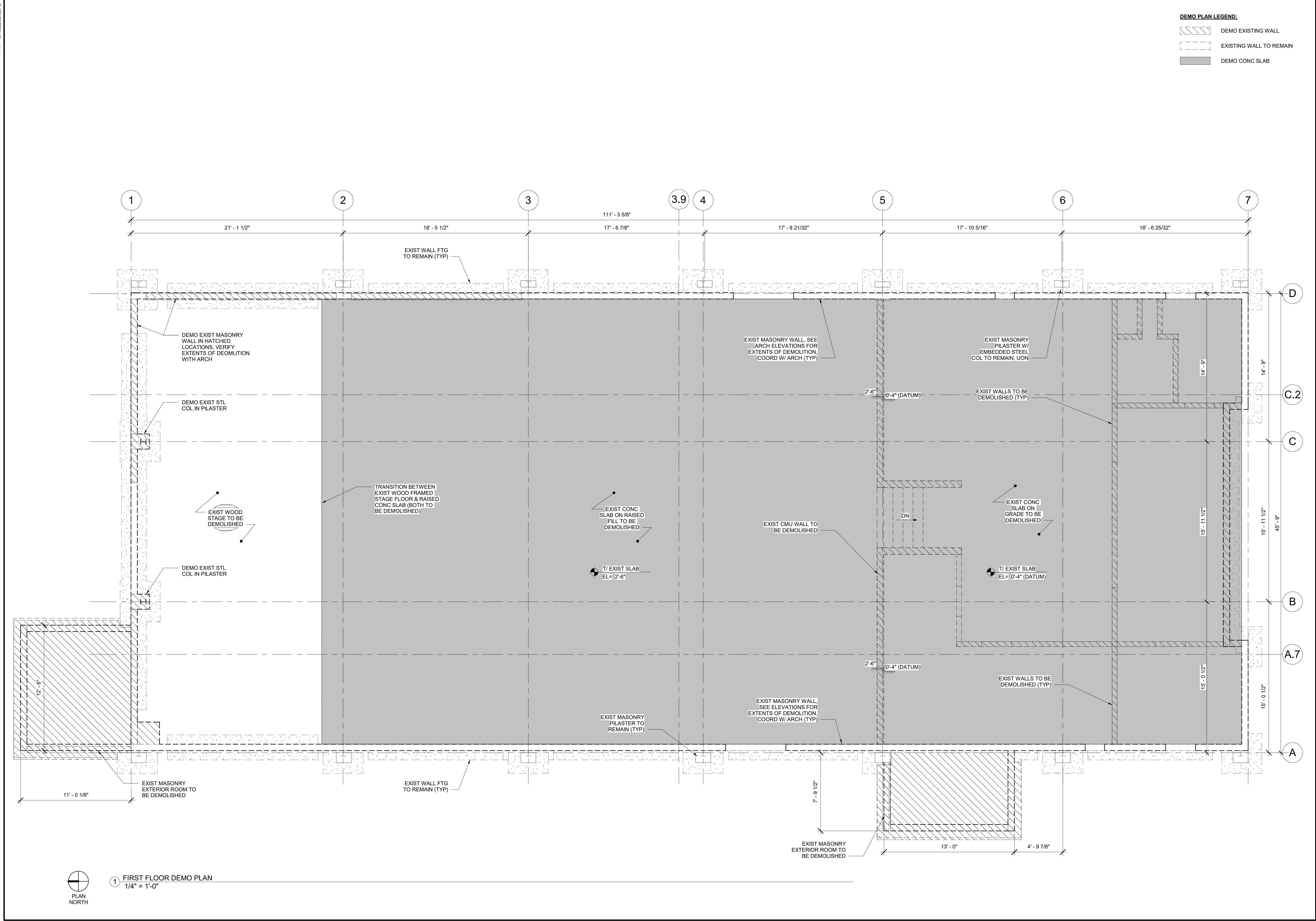


THE FRENCH STEEL COMPANY

French Steel estimate #	XXXX-XXXX
Dealer PO#	XXXX-XXXX
JOB NAME	Casement Window
Unit #	XXXX-XXXX
Series	Classic Hurricane Impact
Date	2024-05-30
Thermally Broken	No
Finish	Matte Black
Glass	Impact glass 1" Clear temp +10° or +12" clear temp +0.90 SSP + 1" Clear Temp
GLAZING	SDL/putty
Mounting	Holes
Swing	Outswing
Handing	Left Hand
HARDWARE	Special prep
Prep	
Retractable Screen	No
QTY	1 Set
Version #	1.0
NS Bolt	

BY SIGNING HERE, I AGREE THAT DESIGN AND DIMENSIONS SHOWN IN THIS DRAWING ARE APPROVED AND ACCEPTED X _____ DATE _____

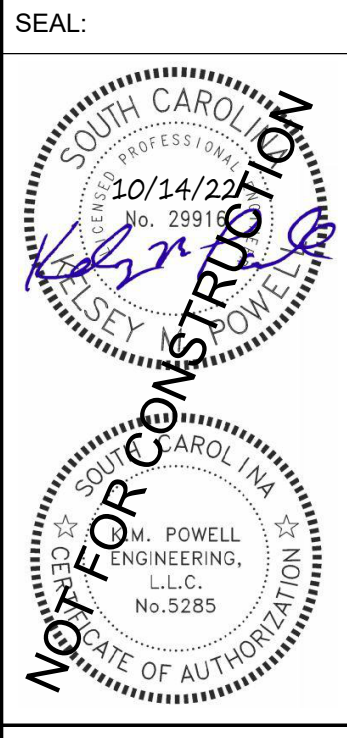
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DEMO PLAN LEGEND:

	DEMO EXISTING WALL
	EXISTING WALL TO REMAIN
	DEMO CONC SLAB

NO.	REVISION	DATE
0	50% PRICING SUBMITTAL	10/14/22



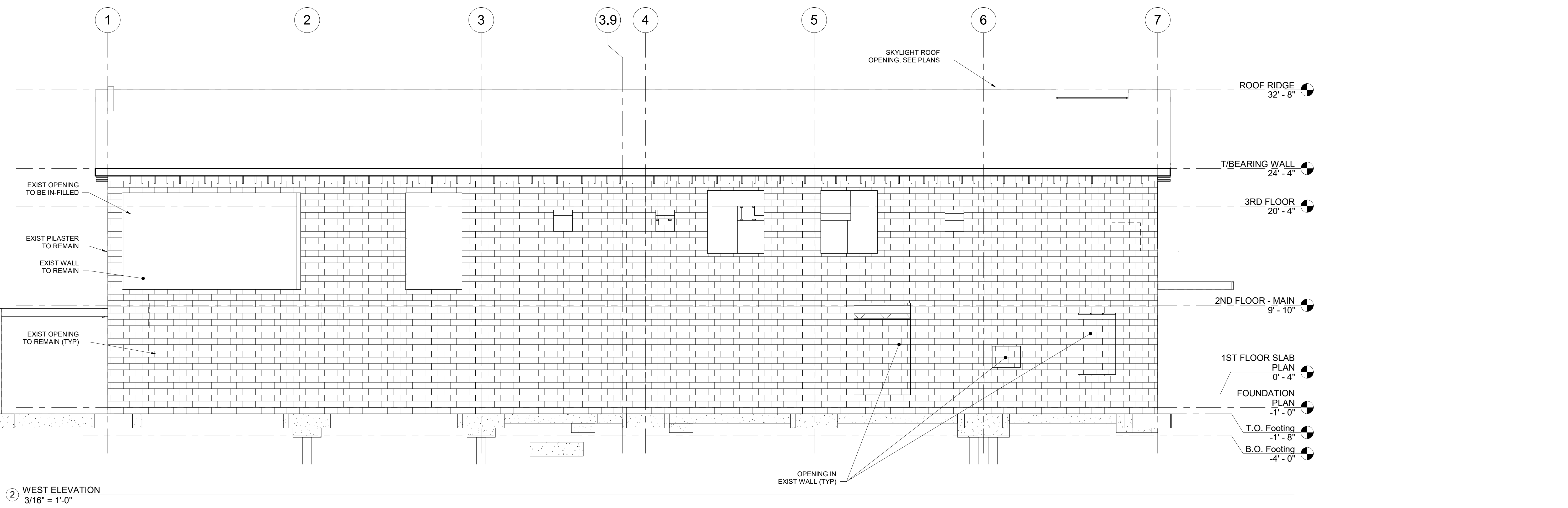
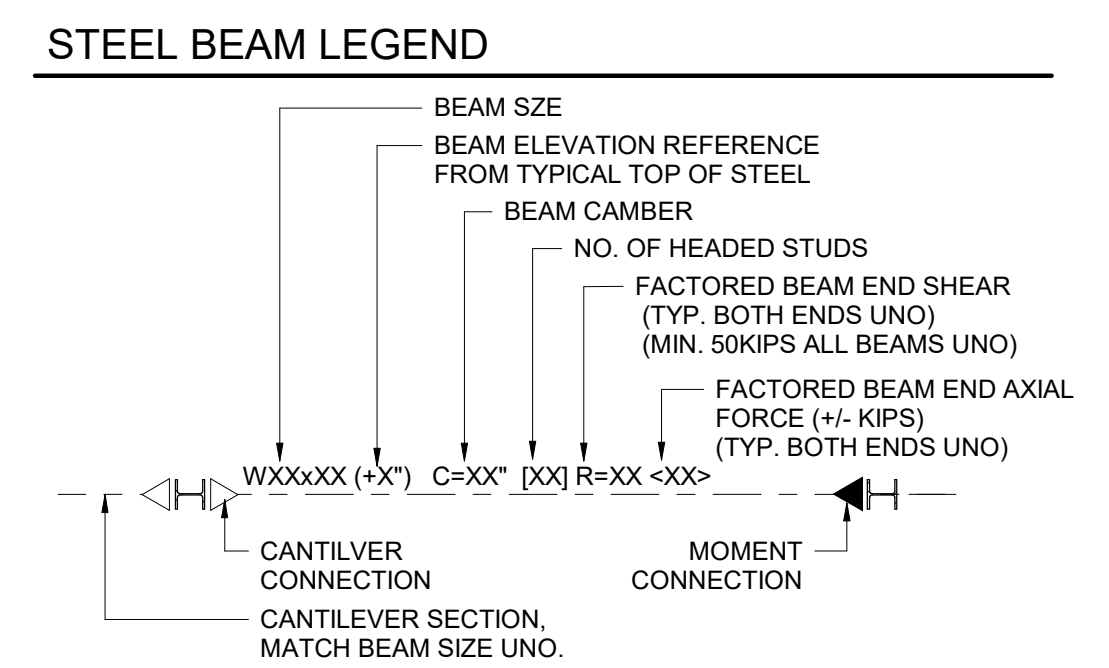
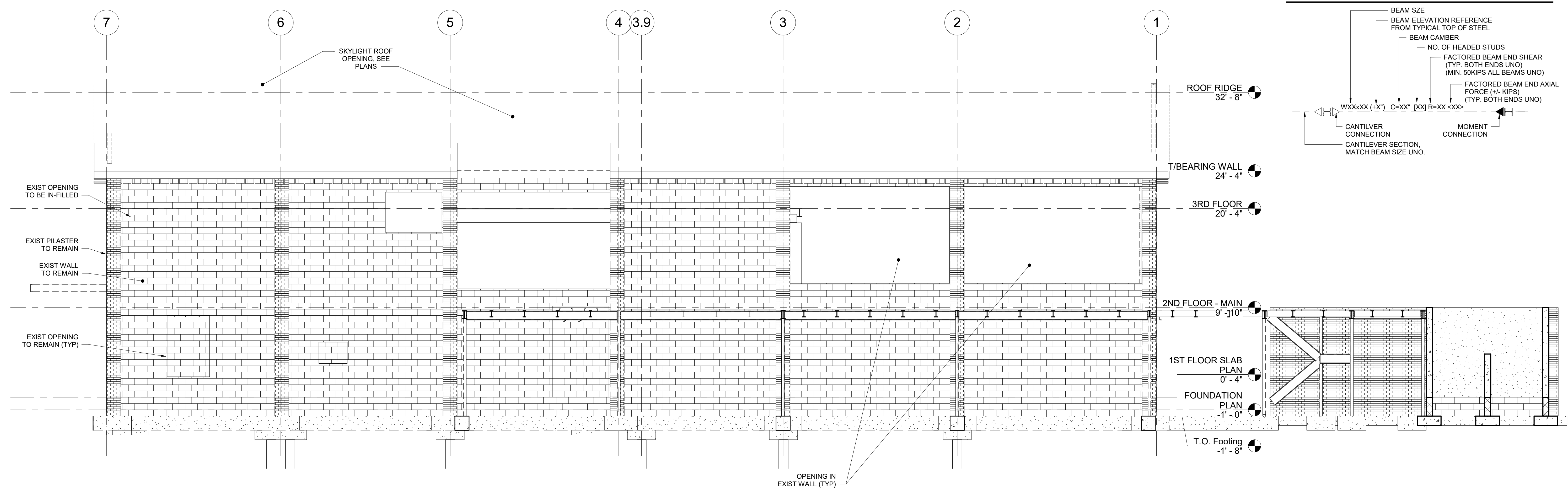
STRUCTURAL PLANS
HISTORIC THEATER RENOVATION
 1454 MIDDLE STREET,
 SULLIVAN'S ISLAND, SC

JOB	12121
DESIGNED	MTP
DRAWN	MTP
DATE	10/14/22
SCALE	AS NOTED

SHEET
FIRST FLOOR DEMOLITION PLAN
 SHEET
S-101D

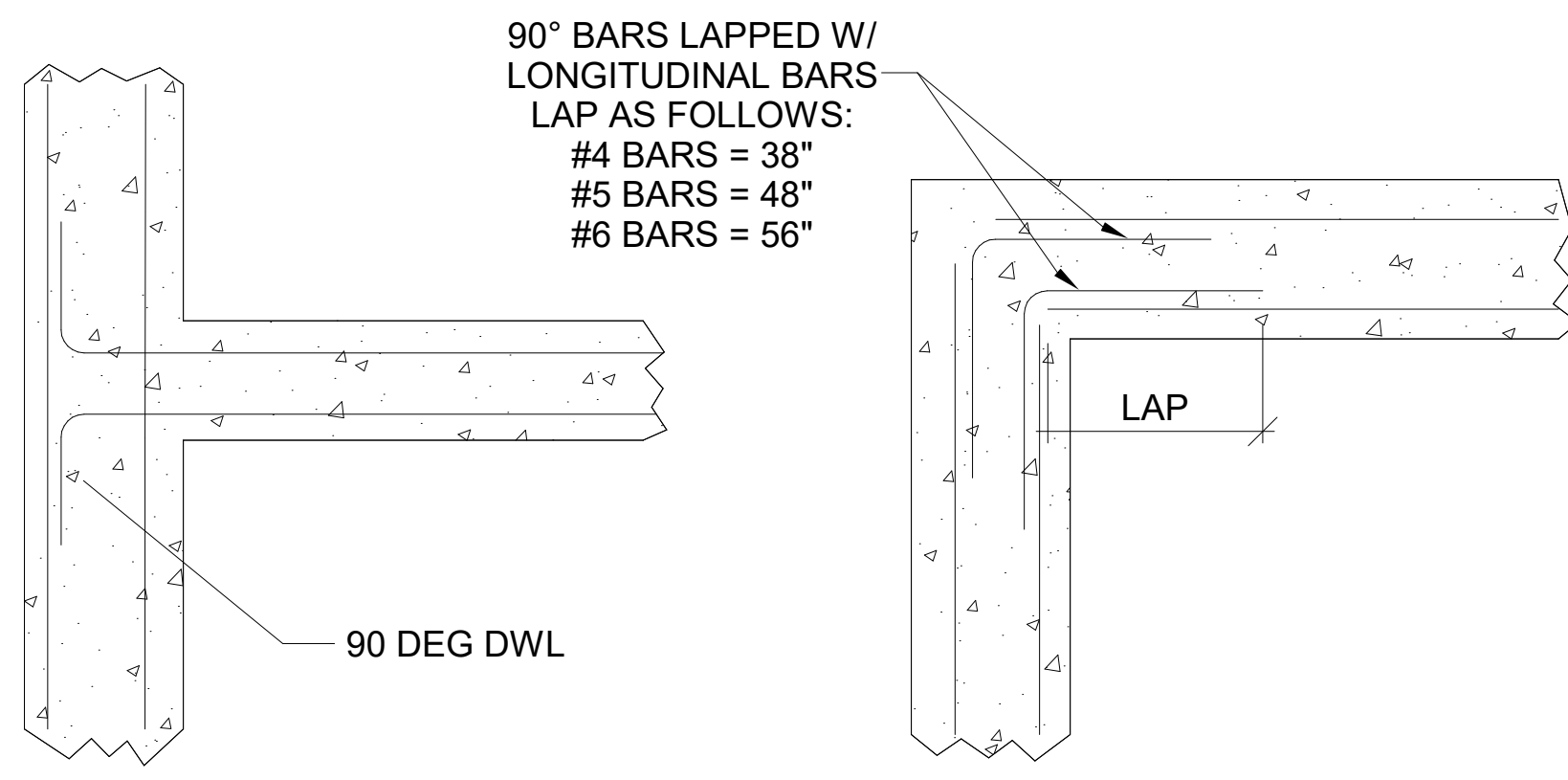
1 FIRST FLOOR DEMO PLAN
 1/4" = 1'-0"

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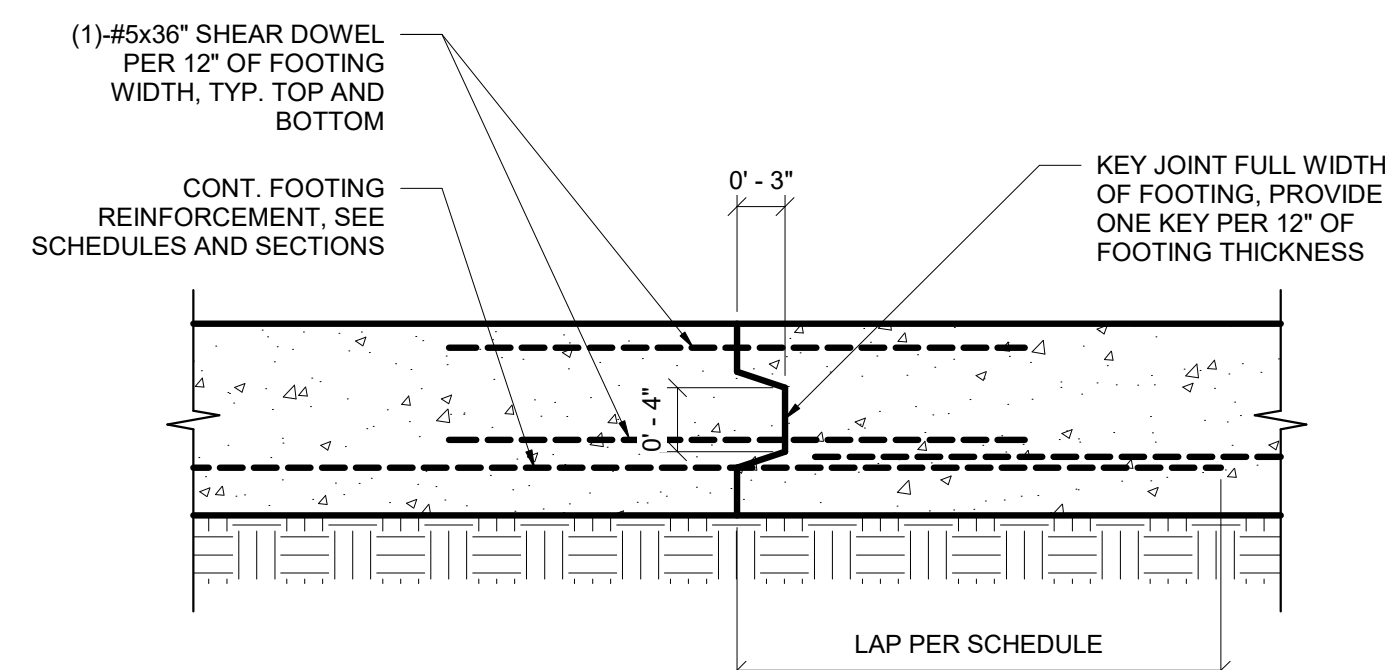


DATE	
NO.	
REVISION	
SEAL:	
POWELL ENGINEERING <small>K.M. POWELL ENGINEERING, LLC 1014 MIDDLE STREET, SULLIVAN'S ISLAND, SC 29928 TEL: 803-466-6611 FAX: 803-466-6611 WWW.POWELL-ENG.COM</small>	
STRUCTURAL PLANS HISTORIC THEATER RENOVATION 1454 MIDDLE STREET, SULLIVAN'S ISLAND, SC	
JOB	12121
DESIGNED	MTP
DRAWN	MTP
DATE	10/14/22
SCALE	AS NOTED
SHEET	BLDG ELEVATION
SHEET	S-201

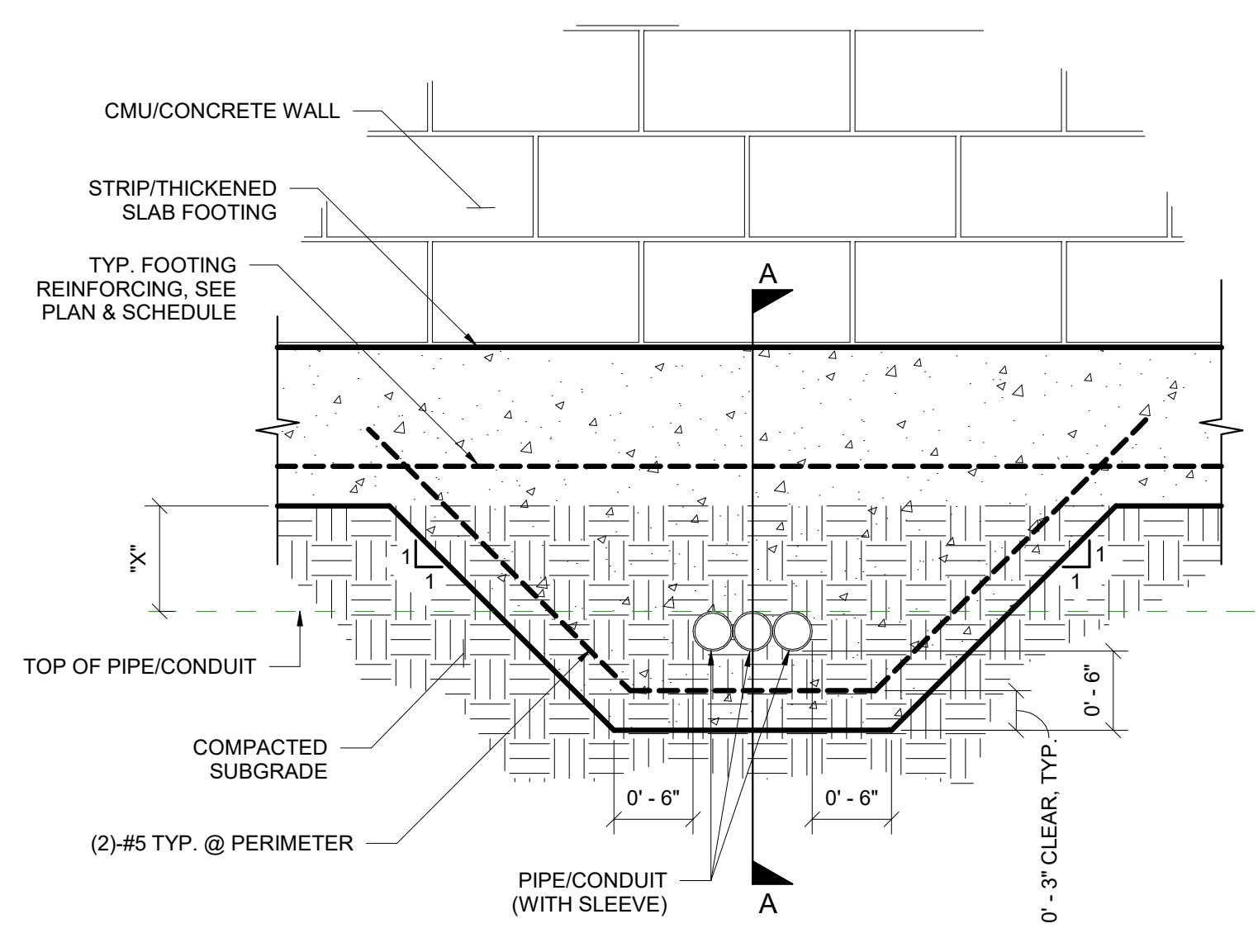
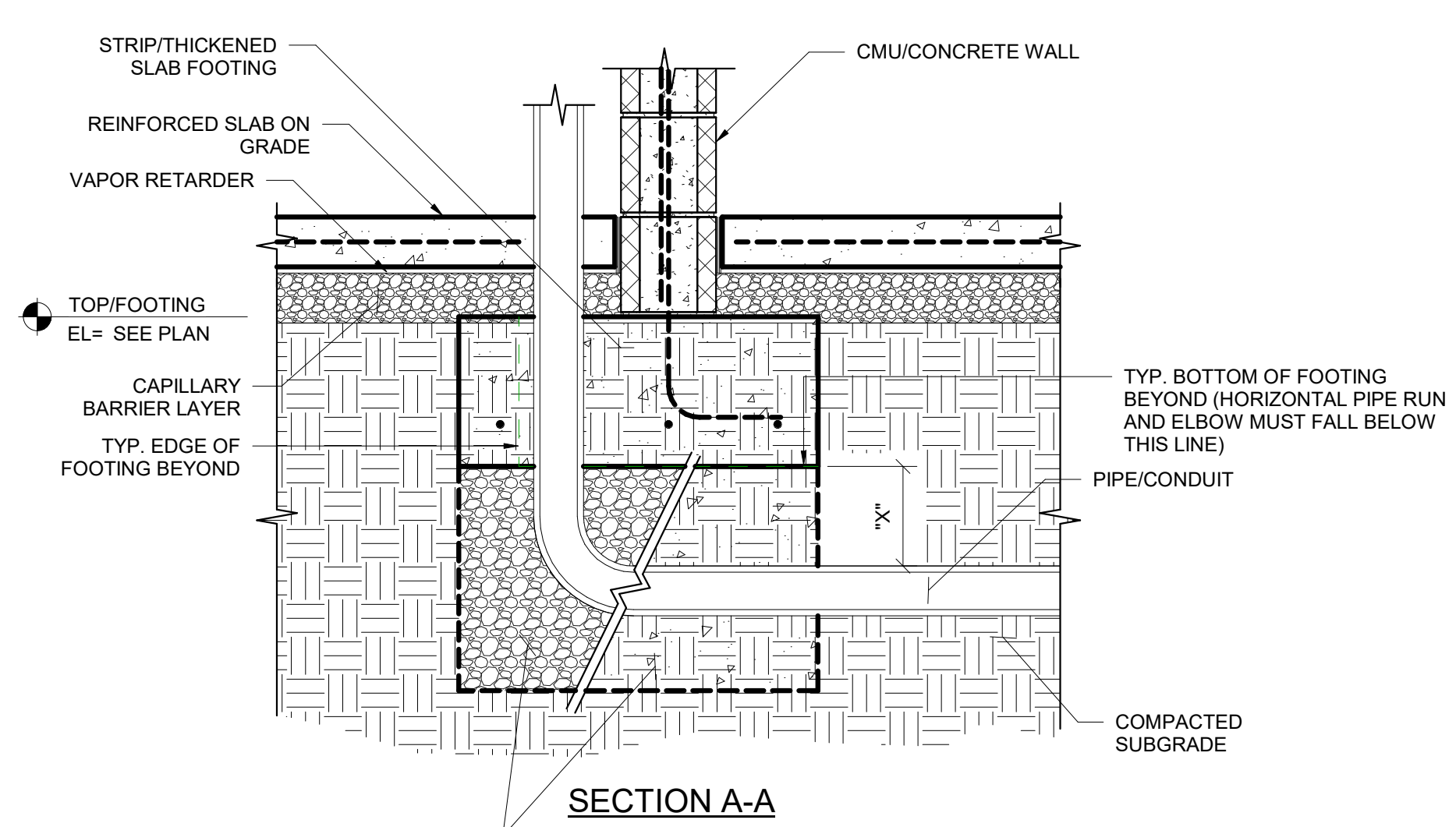
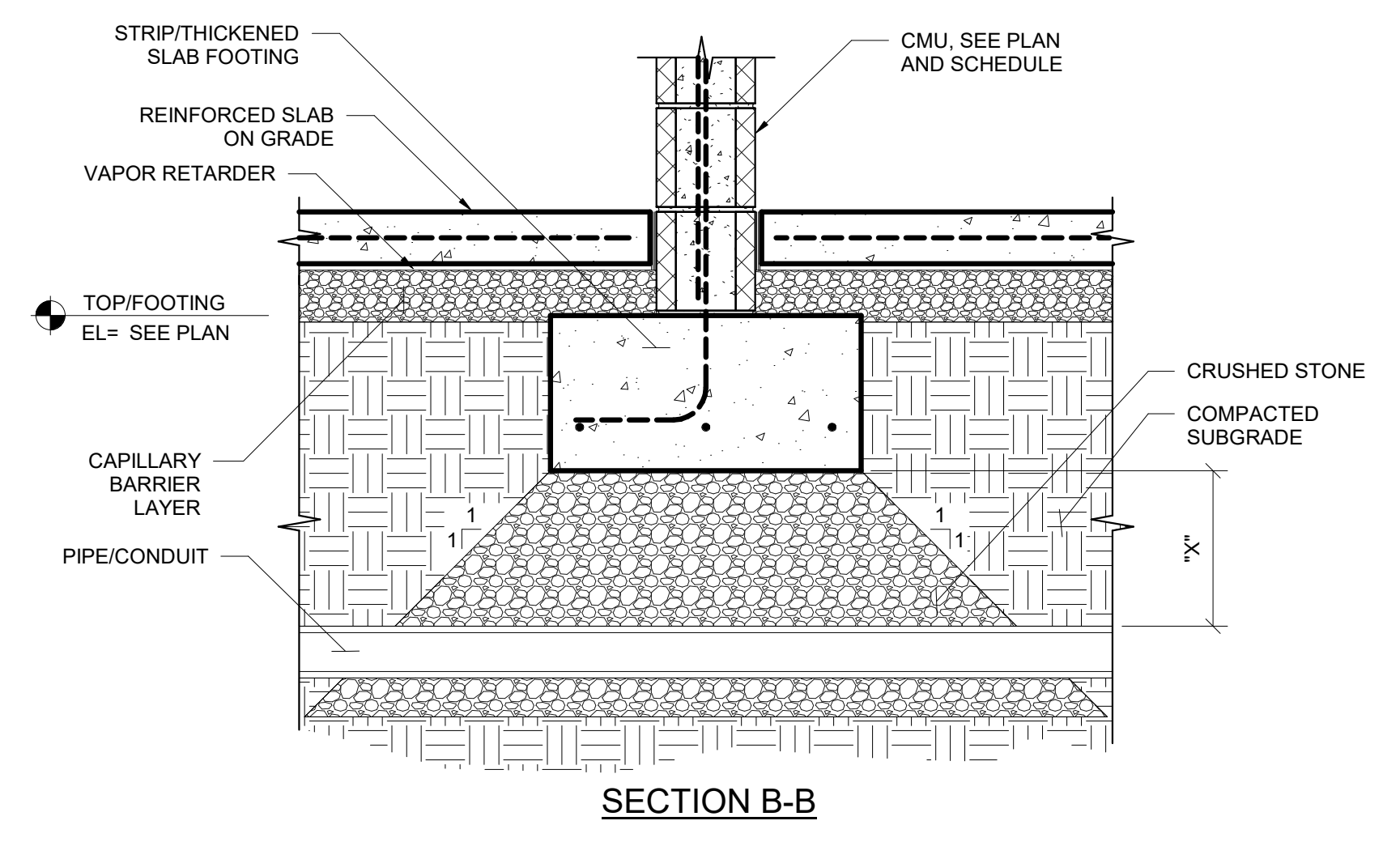
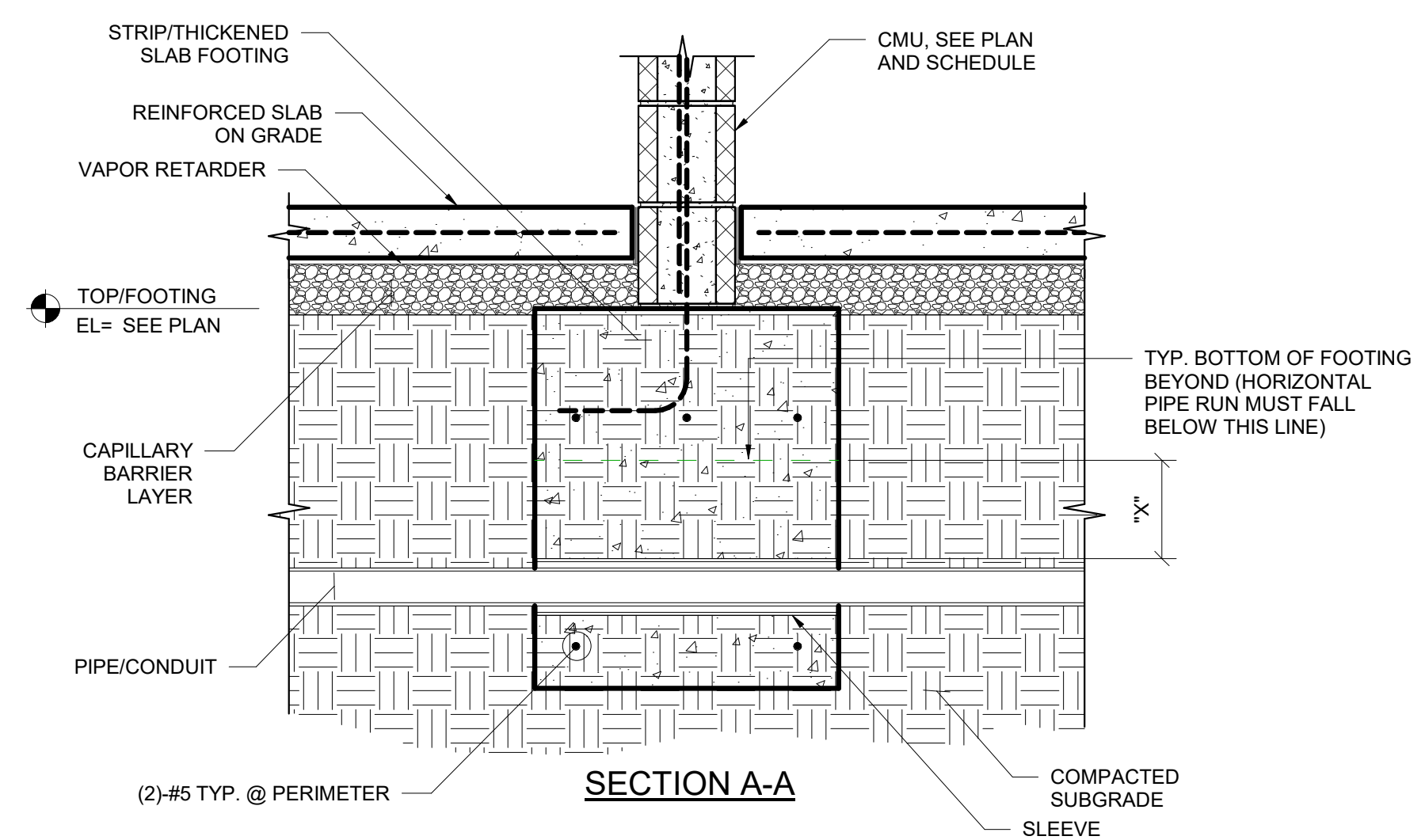
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1 TYP STRIP FOOTING HORIZ REIN DETAIL
3/8" = 1'-0"



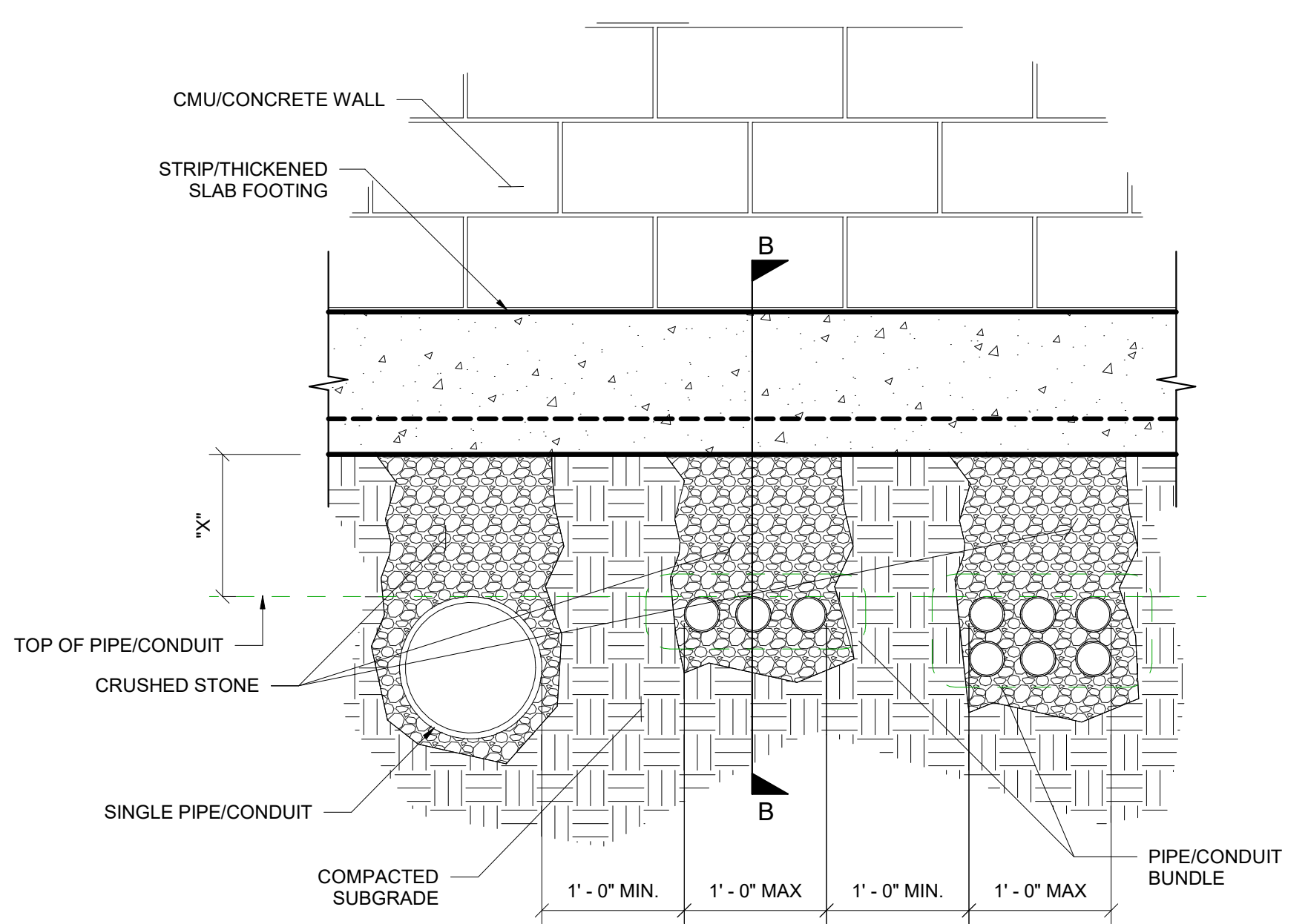
2 TYP. FOOTING CONSTRUCTION JOINT
1" = 1'-0"



CASE 1
(0'-0" < "X" ≤ 1'-0")

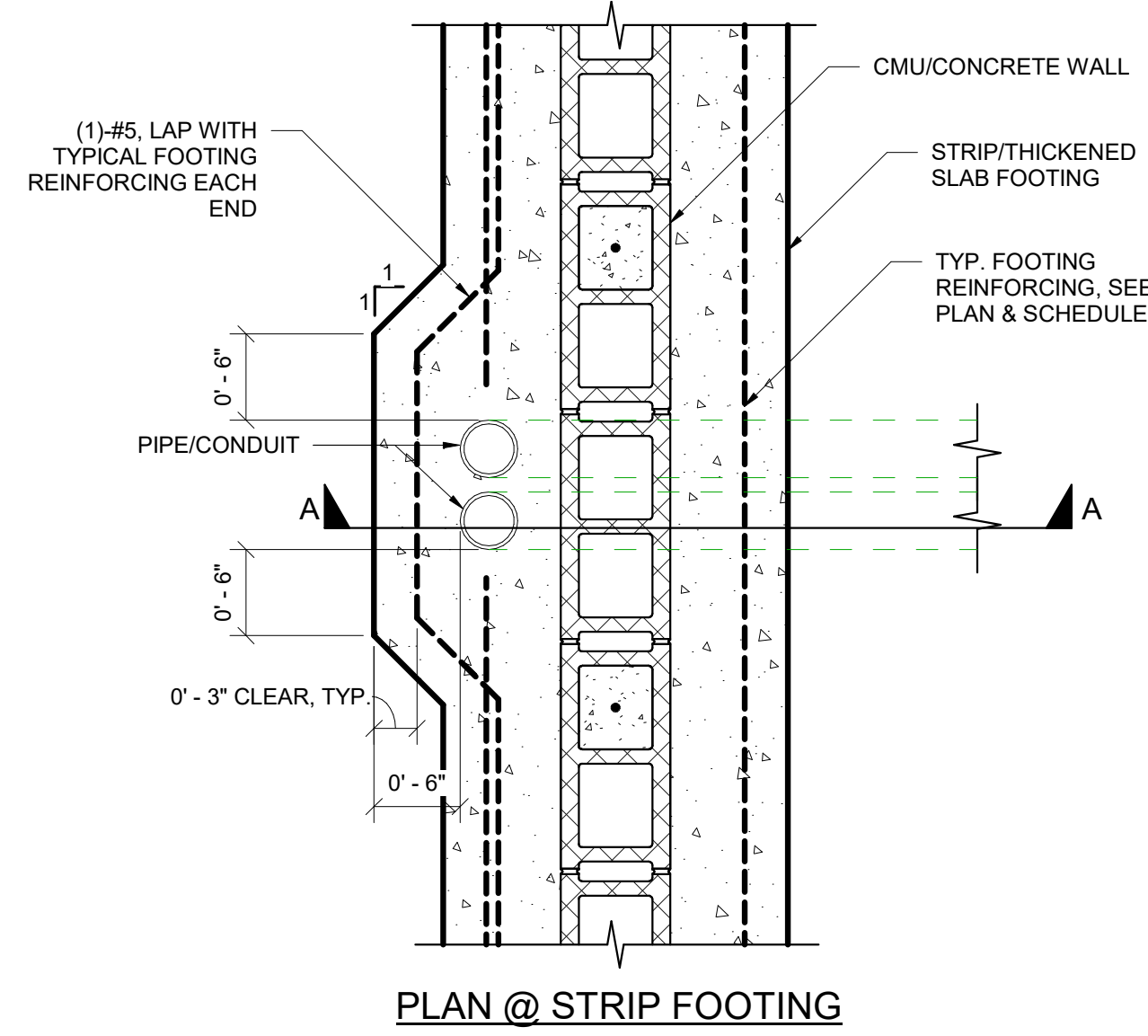
- NOTES:
- TOP OF FOOTING VARIES. COORDINATE WITH PLANS
 - IN NO CASE SHALL HORIZONTAL RUN OF PIPE/CONDUIT (INCLUDING ELBOWS) ENCR OACH WITHIN LIMITS OF REQUIRED FOOTING SIZE. IF SUCH A CASE ARISES, FOOTINGS SHALL BE DROPPED BELOW PIPE/CONDUIT (SEE ADDITIONAL TYPICAL DETAILS FOR STEPPED FOOTING REQUIREMENTS AND PIPE/CONDUIT WALL PENETRATIONS)
 - PIPE/CONDUIT SHALL NOT BE PERMITTED BELOW SPREAD FOOTINGS

3 TYP. PIPE/CONDUIT BELOW STRIP/THICKENED SLAB FOOTING
1" = 1'-0"



CASE 2
(1'-0" < "X" < 2'-0")

CONCRETE/GRAVEL SEE ADDITIONAL TYPICAL DETAILS FOR REQUIREMENTS BASED UPON DIMENSION "X"

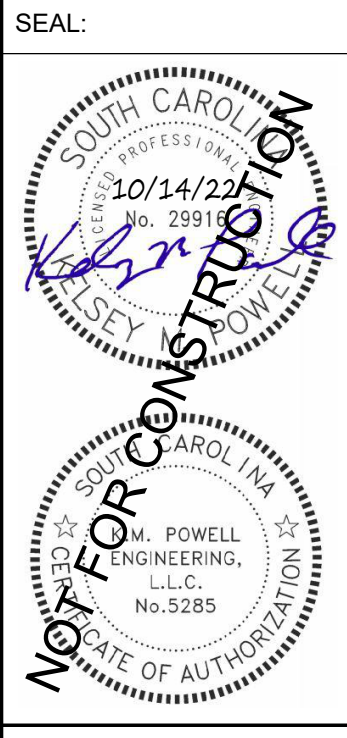


PLAN @ STRIP FOOTING

- NOTES:
- IN NO CASE SHALL HORIZONTAL RUN OF PIPE/CONDUIT (INCLUDING ELBOWS) ENCR OACH WITHIN LIMITS OF REQUIRED FOOTING SIZE. IF SUCH A CASE ARISES, FOOTINGS SHALL BE DROPPED BELOW PIPE/CONDUIT (SEE ADDITIONAL TYPICAL DETAILS FOR STEPPED FOOTING REQUIREMENTS AND PIPE/CONDUIT WALL PENETRATIONS)
 - PIPING OR CONDUIT SHALL NOT BE PERMITTED BELOW SPREAD FOOTINGS

4 TYP. PIPE/CONDUIT VERTICAL PENETRATION AT STRIP/THICKENED SLAB FOOTING
1" = 1'-0"

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REVISION	50% PRICING SUBMITTAL



STRUCTURAL PLANS
 HISTORIC THEATER RENOVATION
 1454 MIDDLE STREET,
 SULLIVAN'S ISLAND, SC

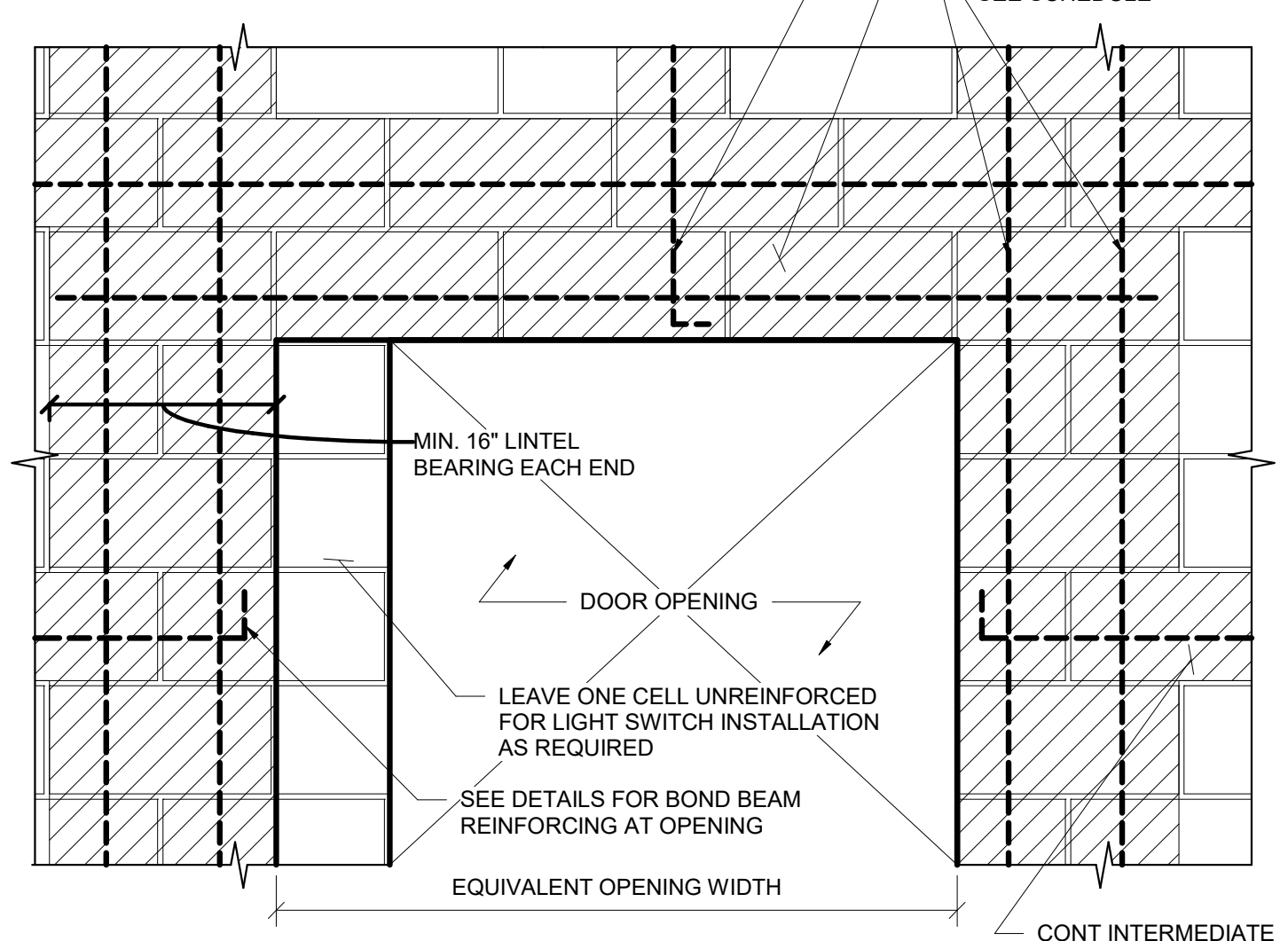
JOB	12121
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DRAWN	MTP
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SCALE	AS NOTED

SHEET
 TYPICAL FOUNDATION SECTIONS & DETAILS
 SHEET

S-310

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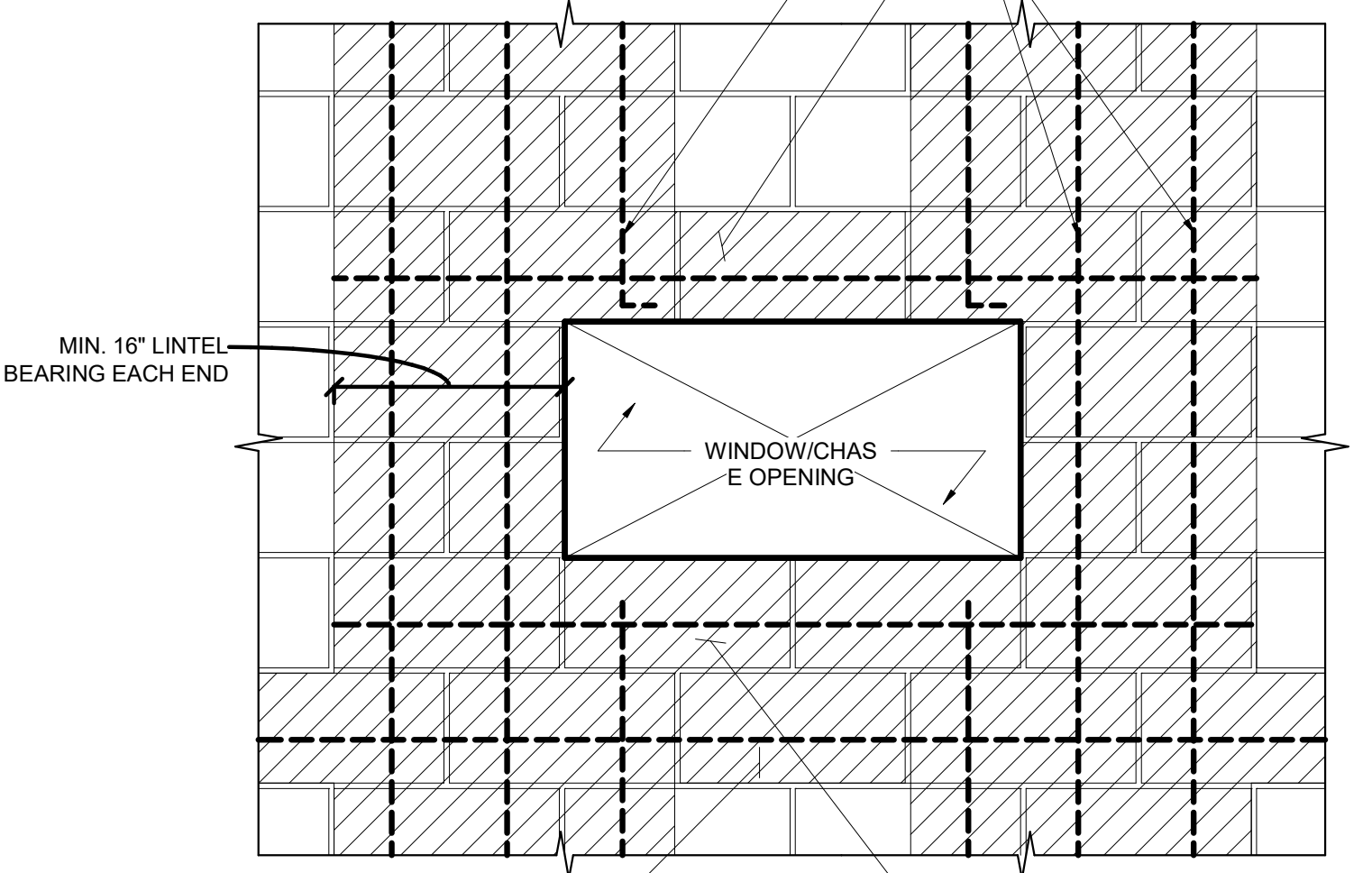
JAMB BAR SCHEDULE	
EQUIVALENT OPENING WIDTH	# OF BARS AT EACH SIDE OF OPENING
1'-4" TO 2'-8"	2 EACH SIDE UNO
2'-9" TO 7'-4"	2 EACH SIDE UNO
7'-5" TO 12'-0"	3 EACH SIDE UNO



- NOTES:**
- JAMB BAR SIZE SHALL MATCH TYPICAL ADJACENT WALL REINFORCING SIZE
 - PROVIDE HORIZONTAL JOINT REINFORCEMENT @ 16" O.C. VERTICALLY AND FIRST COURSE ABOVE AND BELOW OPENING, EXTEND MIN. OF 24" PAST OPENING
 - LINTELS SHALL BE CONSTRUCTED OF STANDARD "U" SHAPED UNITS (NOT BOND BEAM UNITS)
 - JAMB REINFORCING SHALL BE CONTINUOUS FROM FOOTING, GIRT, OR DIAPHRAGM LEVEL BELOW TO DIAPHRAGM LEVEL, GIRT OR TOP OF WALL ABOVE
 - DETAIL IS TYPICAL ALL OPENINGS GREATER THAN 1'-0" WIDE
 - COORDINATE JAMB BARS WITH SPECIFIC CMU PIER DETAILS WHERE INDICATED

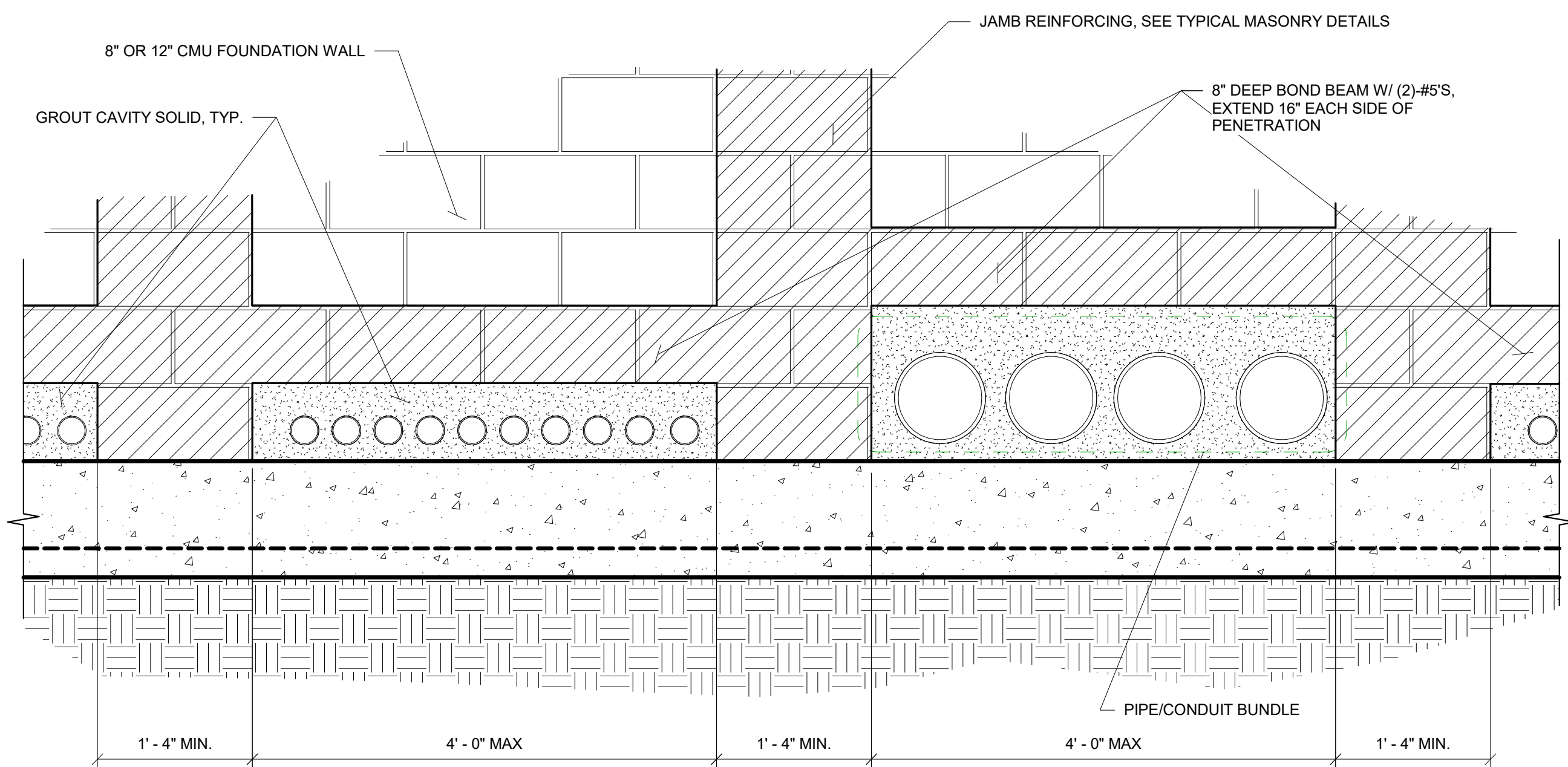
1 TYP. CMU CONSTRUCTION (@ DOOR)
1" = 1'-0"

JAMB BAR SCHEDULE	
OPENING WIDTH	# OF BARS AT EACH SIDE OF OPENING
1'-4" TO 2'-8"	1 EACH SIDE UNO
2'-9" TO 7'-4"	2 EACH SIDE UNO
7'-5" TO 12'-0"	3 EACH SIDE UNO



- NOTES:**
- JAMB BAR SIZE SHALL MATCH TYPICAL ADJACENT WALL REINFORCING SIZE
 - PROVIDE HORIZONTAL JOINT REINFORCEMENT @ 16" O.C. VERTICALLY AND FIRST COURSE ABOVE AND BELOW OPENING, EXTEND MIN. OF 24" PAST OPENING
 - LINTELS SHALL BE CONSTRUCTED OF STANDARD "U" SHAPED UNITS (NOT BOND BEAM UNITS)
 - JAMB REINFORCING SHALL BE CONTINUOUS FROM FOOTING, GIRT, OR DIAPHRAGM LEVEL BELOW TO DIAPHRAGM LEVEL, GIRT OR TOP OF WALL ABOVE
 - DETAIL IS TYPICAL ALL OPENINGS GREATER THAN 1'-0" WIDE
 - COORDINATE JAMB BARS WITH SPECIFIC CMU PIER DETAILS WHERE INDICATED

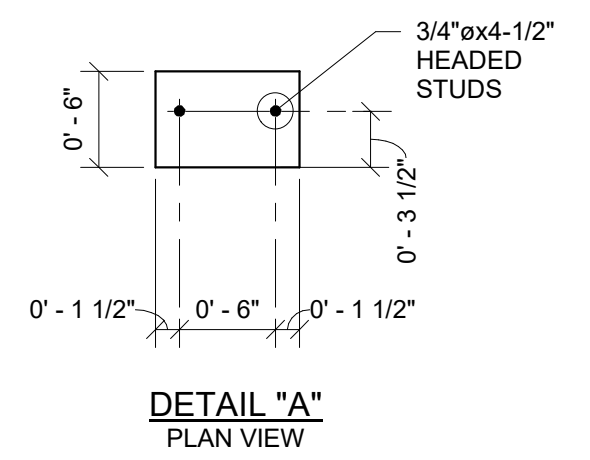
2 TYP. CMU CONSTRUCTION (@ OPENING)
1" = 1'-0"



- NOTES:**
- SPECIAL LINTEL MAY BE OMITTED WHERE THE BOTTOM OF A CONTINUOUS BOND BEAM OCCURS LESS THAN 16" ABOVE PENETRATION
 - SEE TYPICAL MASONRY DETAILS FOR JAMB REINFORCING AT OPENING
 - PIPING/CONDUIT SHALL NOT BE PERMITTED AT LOCATIONS OF "JAMB REINFORCING" OR SPECIAL MASONRY PIERS AS INDICATED IN PLANS OR TYPICAL DETAILS

3 TYP. PIPE/CONDUIT GROUP PENETRATION @ CMU WALL
1" = 1'-0"

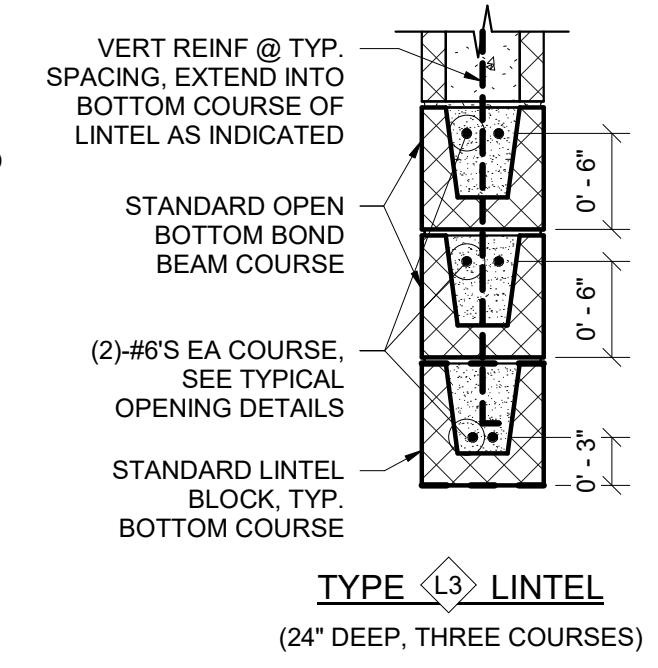
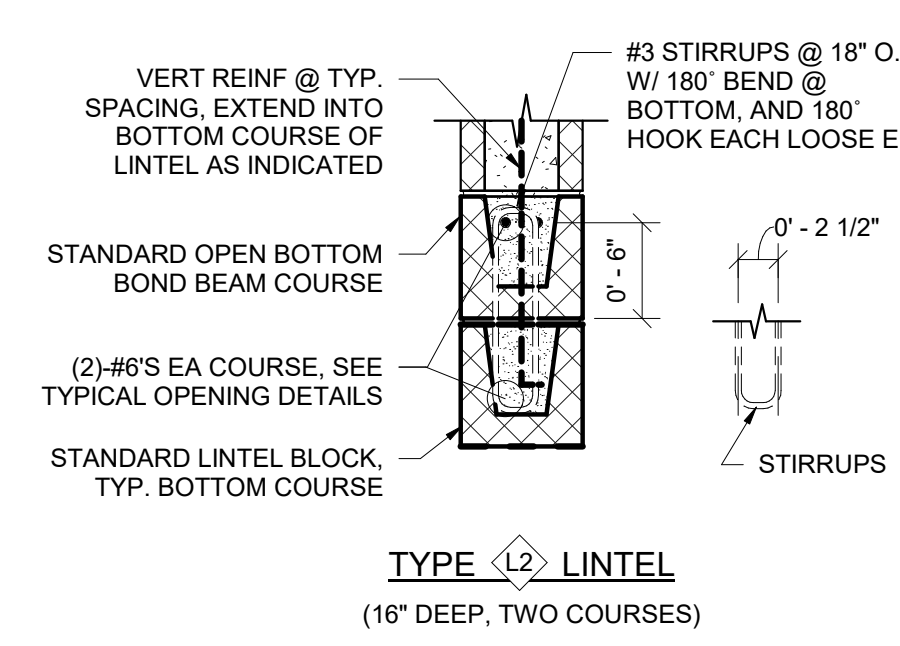
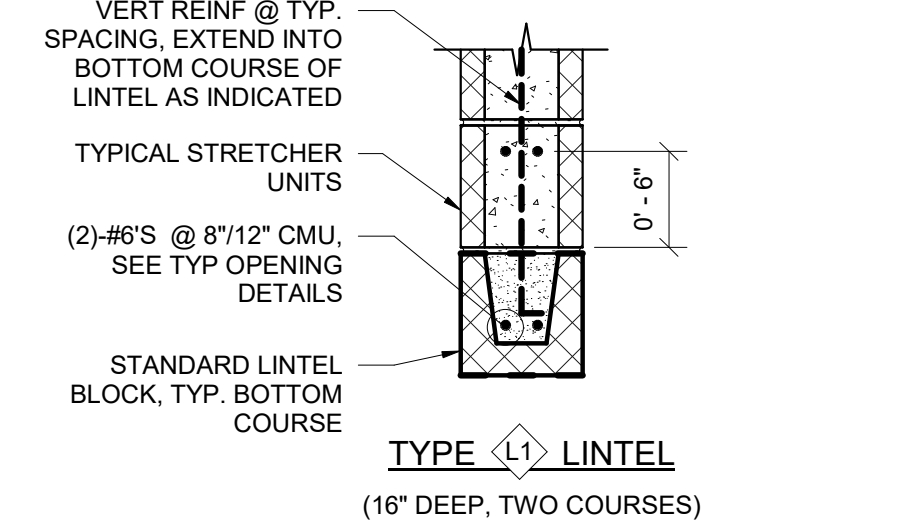
BEARING PLATE SCHEDULE		
EMBED MARK	PLATE LAYOUT	EMBED PLATE
EM1 (TOP MOUNT)	DETAIL "A"	5/8" (A36)



- NOTES:**
- EMBED PLATES SHALL BE SET SUCH THAT TOP OF EMBED = JOIST BEARING/BEAM BEARING FOR "TOP MOUNT" CONDITION
 - SUBMIT EMBED SHOP DRAWINGS FOR APPROVAL. SHOP DRAWINGS SHALL SHOW LAYOUT OF ALL EMBEDS
 - SEE TYPICAL DETAILS FOR BEAM ATTACHMENT TO EMBED PLATES
 - SEE TYPICAL AND SPECIFIC DETAILS FOR JOIST ATTACHMENT TO EMBED PLATES

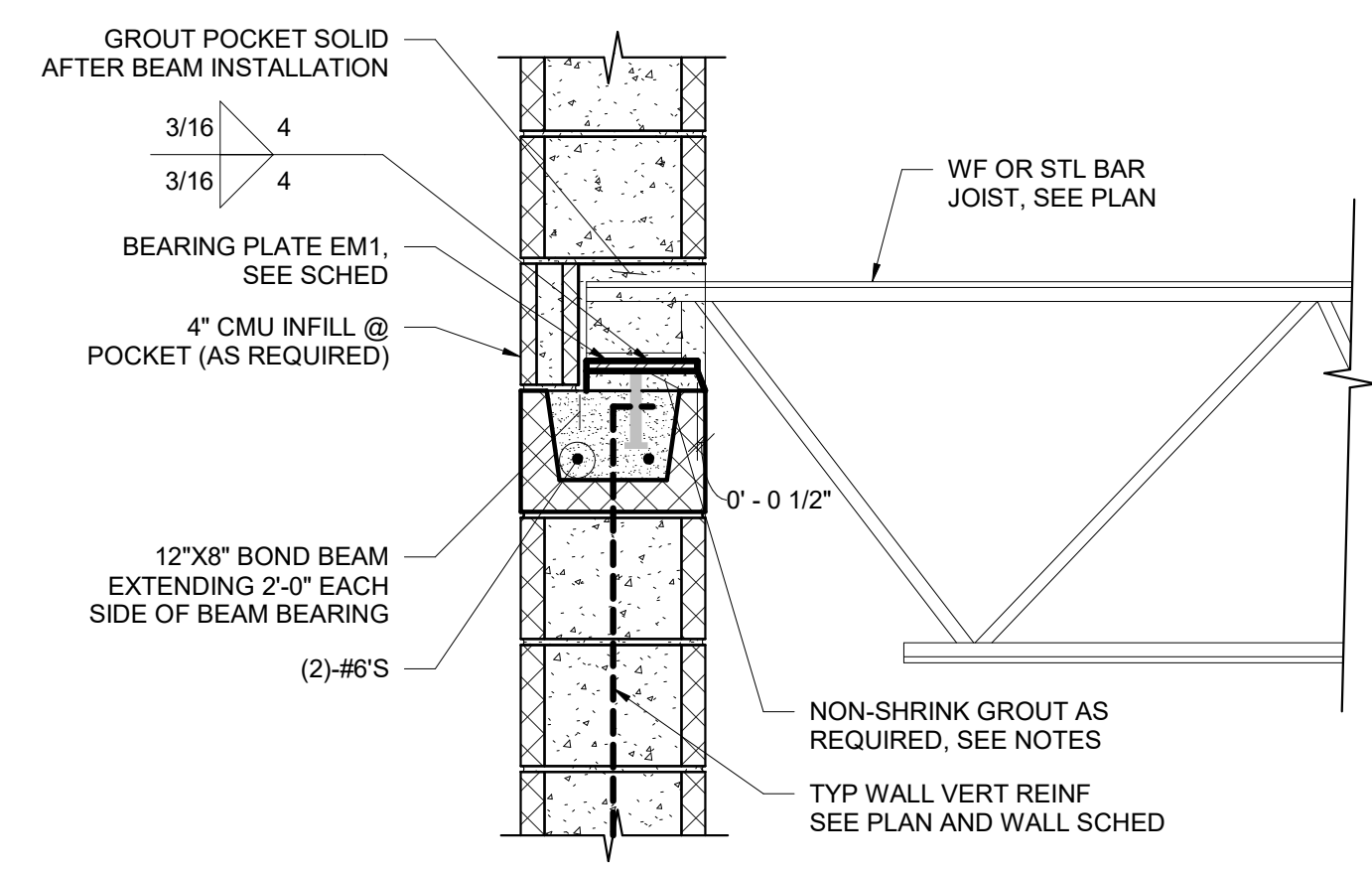
5 TYP. EMBED PLATE SCHEDULE
1" = 1'-0"

ALLOWABLE LINTEL SPANS	
LINTEL TYPE	ALLOWABLE SPAN (NOTE #9)
L1	< 6'-0"
L2	6'-0" TO 8'-4"
L3	< 16'-0"



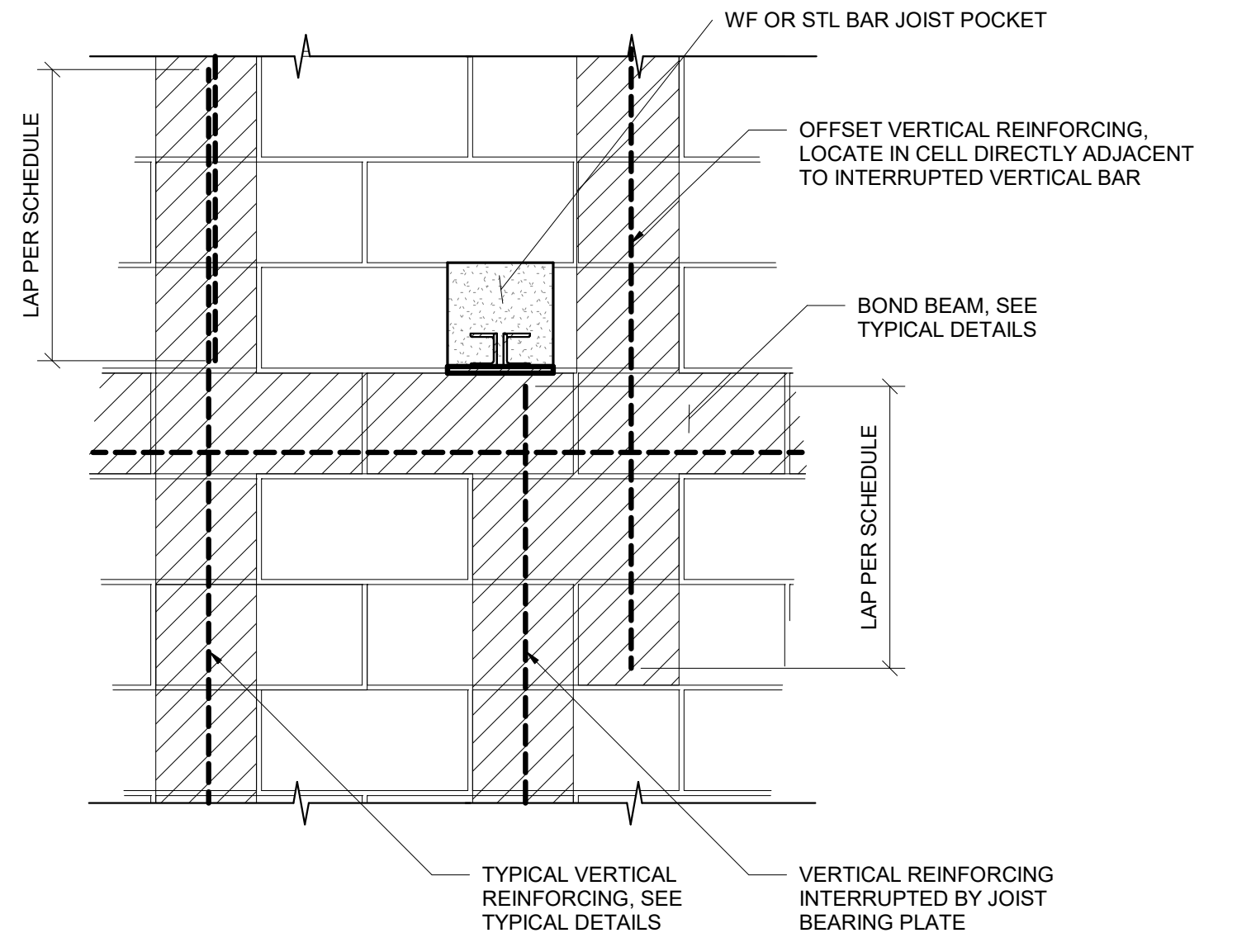
- NOTES:**
- SUPPORT LINTEL BARS ON HORIZONTAL REBAR POSITIONERS @ 16" O.C. MAX TO ACHIEVE PROPER LOCATION
 - PROVIDE ADDITIONAL BARS, WIRE TIES, ETC. AS REQUIRED TO ENSURE LINTEL BARS ARE NOT DISPLACED DURING GROUTING OPERATIONS
 - ALL VERTICAL REINFORCING SHALL EXTEND INTO BOTTOM COURSE OF LINTEL AS SHOWN
 - ALL COURSES OF LINTELS SHALL BE GROUTED AT THE SAME TIME WITHOUT COLD JOINTS PRESENT BETWEEN THE COURSES
 - SEE 1/S-321 AND 2/S-321 FOR TYPICAL CMU OPENING CONSTRUCTION
 - WHERE LINTEL IS NOTED AS "CONT." IT IS CONTINUOUS ACROSS ADJACENT OPENINGS
 - WHERE LINTEL IS NOTED AS "ABOVE" IT REFERS TO A SECOND LINTEL ABOVE A HIGHER OPENING
 - ALLOWABLE SPANS ARE FOR MISCELLANEOUS OPENINGS NOT SPECIFICALLY INDICATED ON PLAN
 - TYPE "L1" LINTELS SHALL BE LOCATED A MINIMUM OF (3)-COURSES BELOW FLOOR ELEVATION OR ROOF JOIST BEARING ELEVATION
 - TYPE "L2" LINTELS SHALL BE LOCATED A MINIMUM OF 3'-4" BELOW FLOOR ELEVATION OR ROOF JOIST BEARING ELEVATION
 - DO NOT LOCATE LINTEL WITHIN 8" FROM END OF BEAM BEARING PLATE OR 1'-4" EACH SIDE OF CENTERLINE OF BEAM BEARING ABOVE UNO
 - PROVIDE MIN. 1'-4" CLEAR BETWEEN ADJACENT OPENINGS UNO
 - TOP OF MECHANICAL OPENINGS NOTED BELOW SECOND FLOOR CONSTRUCTION SHALL NOT BE HIGHER THAN 12'-0" ABOVE FIRST FLOOR FINISHED FLOOR UNO
 - TOP OF MECHANICAL OPENINGS NOTED BELOW ROOF JOIST BEARING SHALL BE A MINIMUM OF 2'-0" BELOW JOIST BEARING ELEVATION UNO

4 TYP. CMU LINTEL
1" = 1'-0"



- NOTES:**
- GROUT FILLED CUT BLOCK MAY BE USED IN PLACE OF NON-SHRINK GROUT WHERE BLOCK HEIGHT WILL BE GREATER THAN 2"
 - ADJUST GROUT THICKNESS TO PROVIDE UNIFORM T/STL ELEVATIONS FOR ALL JOIST SIZES
 - LOCATE SPECIAL BOND BEAM AT FIRST FULL COURSE BELOW BEAM BEARING
 - SPECIAL BOND BEAM NOT REQUIRED WHERE TYPICAL WALL BOND BEAM OCCURS AT FIRST FULL COURSE BELOW BEAM BEARING
 - BLOCK ABOVE (AND BLOCK BEAM INFILL AS REQUIRED) NOT SHOWN FOR CLARITY

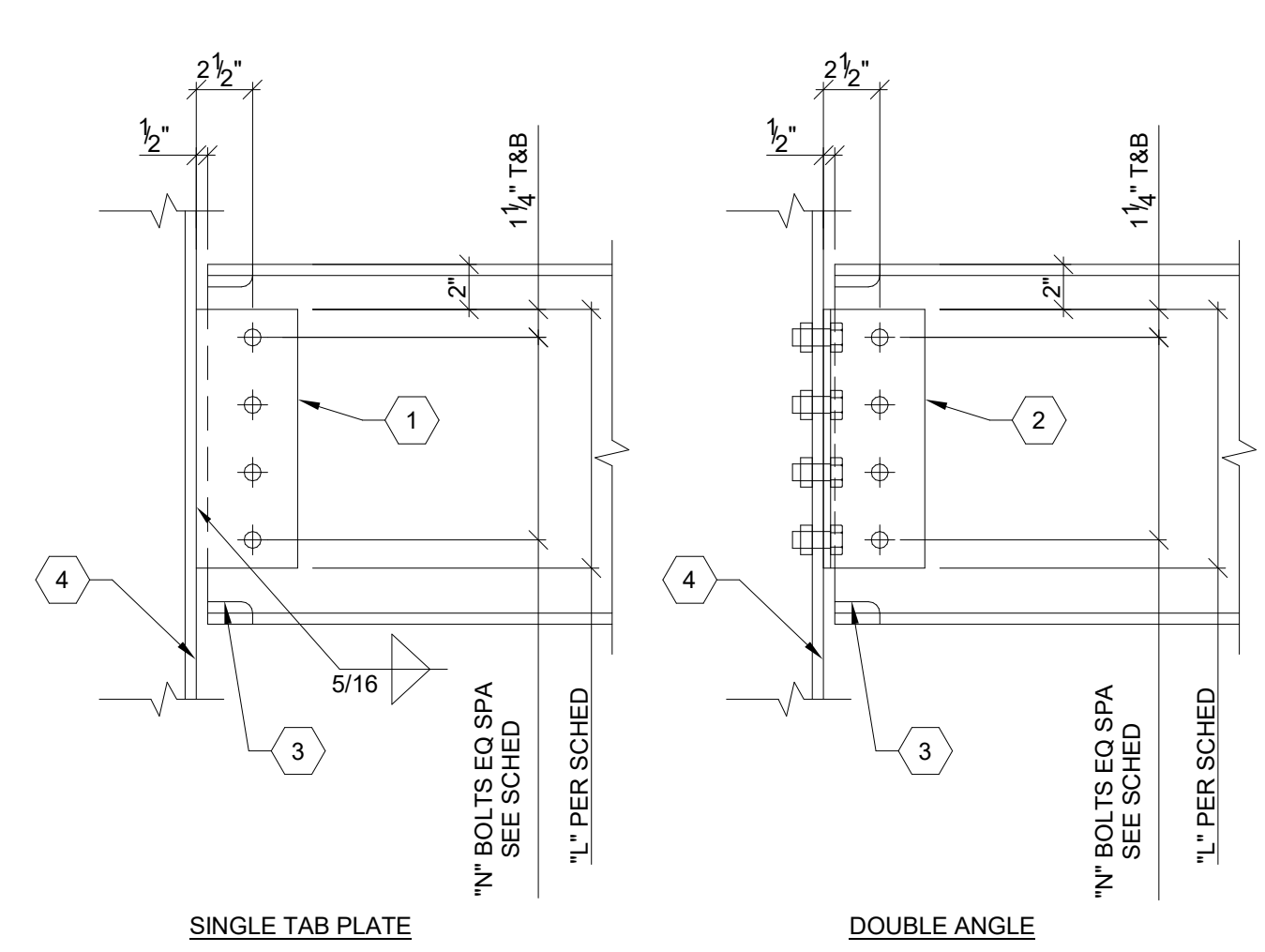
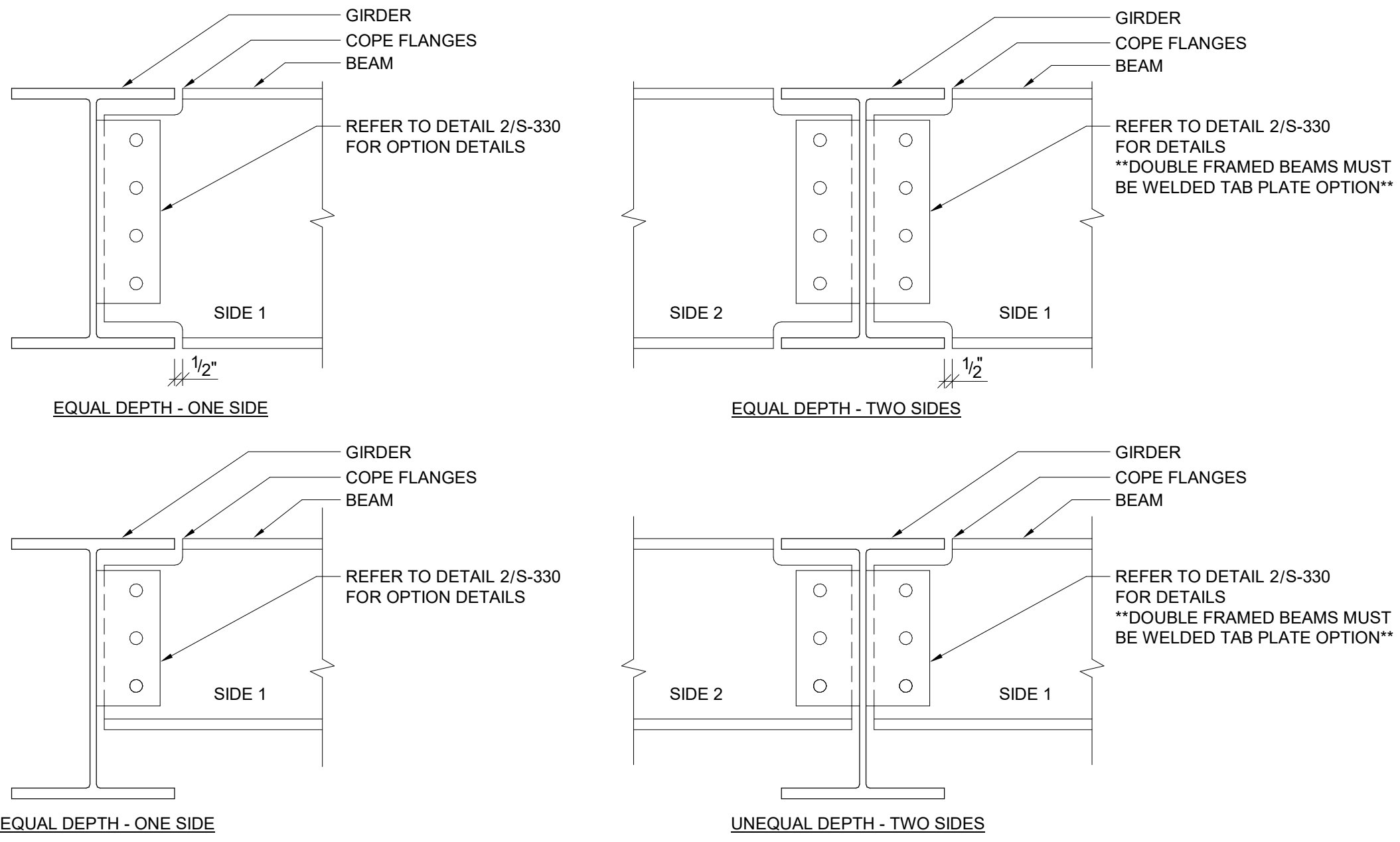
6 TYP. JOIST BEARING PERPENDICULAR TO 12" CMU WALL (SLOPED & EXPOSED CONDITION)
1" = 1'-0"



7 TYP. VERTICAL REINFORCING (OFFSET AT BEARING PLATE)
1" = 1'-0"

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NO.	0
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STRUCTURAL PLANS HISTORIC THEATER RENOVATION 1454 MIDDLE STREET, SULLIVAN'S ISLAND, SC	
JOB	12121
DESIGNED	MTP
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SCALE	AS NOTED
TYPICAL CMU SECTIONS & DETAILS	
SHEET	
S-321	

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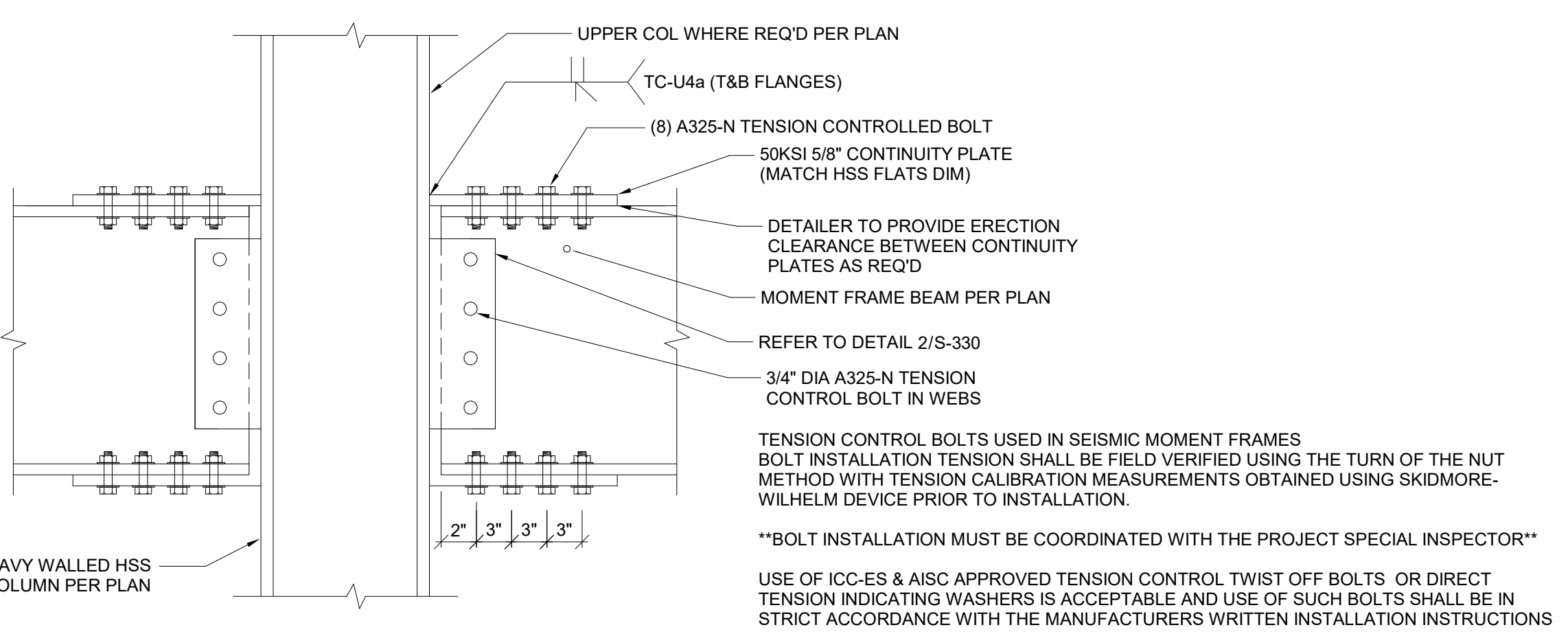


BEAM DEPTH (IN)	"L"	"N"
8	5 1/2	2
10	8 1/2	3
12	8 1/2	3
14	8 1/2	3
16	11 1/2	4
18	14 1/2	5
21	17 1/2	6
24	20 1/2	7
27	20 1/2	7
30	23 1/2	8
33	26 1/2	9
36	29 1/2	10

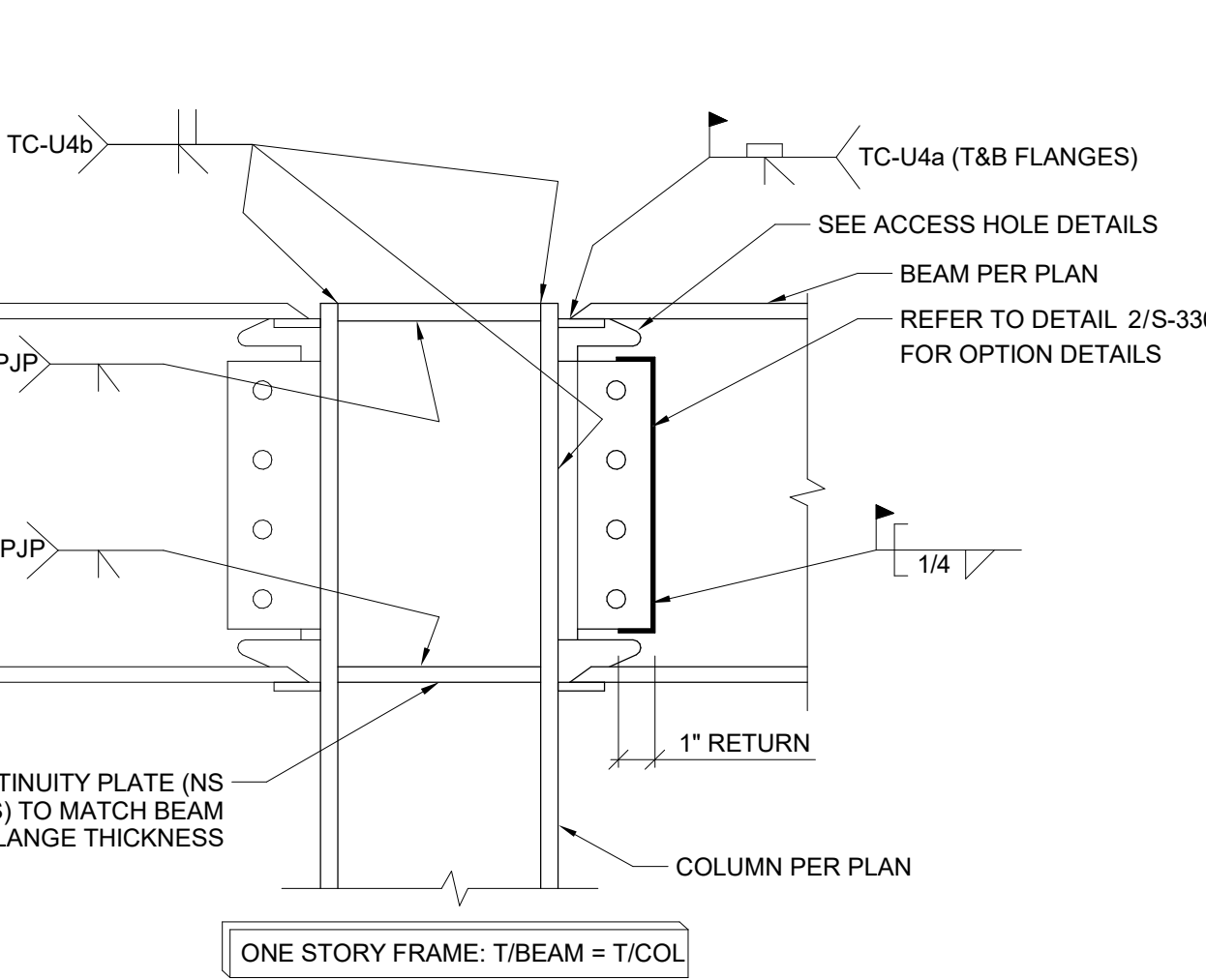
DETAIL KEYNOTES:
 1. 3/8" x 4" TAB PL
 2. L4x4x3/8, EA SIDE
 3. COPE BEAM AS REQUIRED T&B
 4. EDGE OF CONNECTED MEMBER

1 TYP BEAM TO BEAM SHEAR CONNECTION DETAILS
 1/4" = 1'-0"

2 TYP SIMPLE SHEAR BEAM CONNECTION DETAILS
 1/4" = 1'-0"

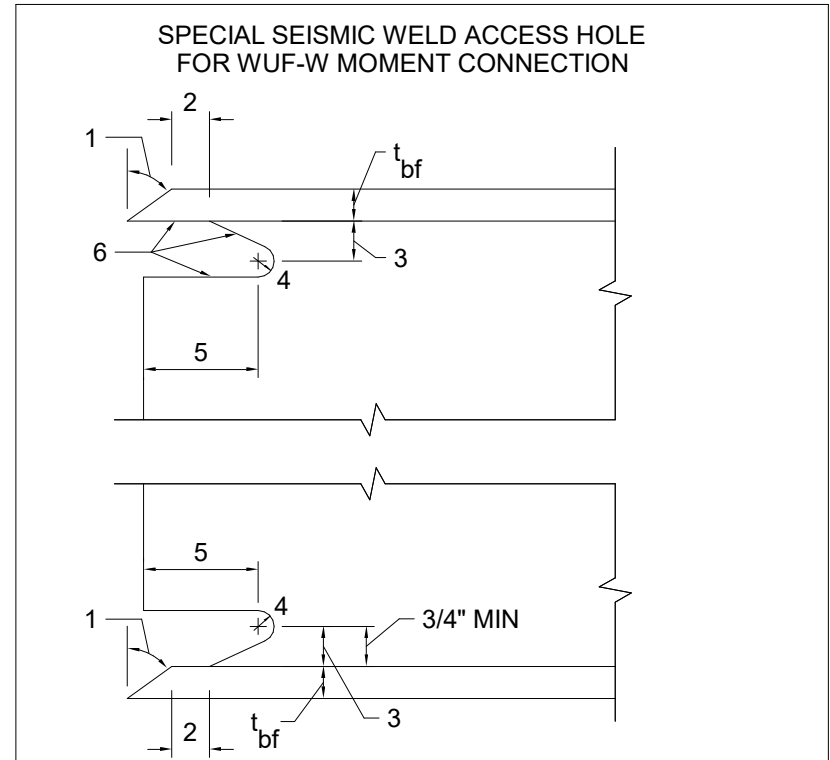


3 HSS COL TO WIDE FLANGE BEAM MOMENT CONNECTION
 1/4" = 1'-0"



****THIS WELD IS PART OF THE SEISMIC FORCE RESISTING SYSTEM AND MUST BE INSPECTED BY A LICENSED SPECIAL INSPECTOR DURING WELDING****

4 TYPICAL BEAM TO COLUMN FLANGE WELDED UN-REINFORCED FLANGE-WELDED WEB (WUF-W)
 1/4" = 1'-0"



NOTES:
 1. BEVEL AS REQ'D FOR SELECTED GROOVE WELD.
 2. LARGER OF t_{bf} OR $1/2$ (PLUS $1/2 t_{bf}$ OR MINUS $1/4 t_{bf}$)
 3. $3/4 t_{bf}$ TO t_{bf} $3/4$ MIN ($\pm 1/4$)
 4. $3/8$ MIN RADIUS (PLUS NOT LIMITED, MINUS 0)
 5. $3 t_{bf}$ ($\pm 1/2$)
 6. SEE FEMA-353, "RECOMMENDED SPECIFICATIONS AND QUALITY ASSURANCE GUIDELINES FOR STEEL MOMENT-FRAME CONSTRUCTION FOR SEISMIC APPLICATIONS," FOR FABRICATION DETAILS INCLUDING CUTTING METHODS AND SMOOTHNESS REQUIREMENTS. TOLERANCES SHALL NOT ACCUMULATE TO THE EXTENT THAT THE ANGLE OF THE ACCESS HOLE CUT TO THE FLANGE SURFACE EXCEEDS 25°.

MOMENT CONNECTION NOTES:
 1. FOR BEAM FLANGE TO COLUMN FLANGE WELD:
 a. **AT BOTT. FLANGE:** USE STEEL OR NON-FUSIBLE BACKING BARS, AND REMOVE BACKING BAR, BACK-GOUGE TO SOUND WELD-METAL TO ALLOW FOR UT INSPECTION, AND REINFORCE ROOT WITH 5/16" FILLET WELD (SUCH THAT TOE OF WELD IS ON BASE METAL), AS PER AISC 358-16 3.3.2 AND 3.3.5.
 b. **AT TOP FLANGE:** EITHER USE NON-FUSIBLE BACKING & COMPLY W/ REQ'MTS ABOVE OR PROVIDE STEEL BACKING AND ATTACH BACKING TO THE COLUMN W/ A CONT. 5/16" FILLET, AS PER AISC 358-16 3.3.3
 c. **IN BOTH CASES, DO NOT ATTACH BACKING TO BEAM.** SEE AISC 358-16 3.3.4 & 3.3.5 FOR BACKING BAR ATTACHMENT REQUIREMENTS & PROHIBITIONS.
 2. CONNECTION DESIGNER SHALL PROVIDE PREQUALIFIED CONNECTION, AS DESCRIBED IN AISC 358-16.
 3. ALL WELDS THIS DETAIL SHALL BE PERFORMED IN ACCORDANCE W/ AISC 341-16 APP. W
 4. ALL WELDS THIS DETAIL SHALL BE MADE W/ FILLER METAL MEETING OR EXCEEDING CVN TOUGHNESS REQ'MT OF 20 FT LB AT 0°F (SEE ADDN'L REQ'MTS AT DEMAND CRITICAL WELDS).
 5. WELDS THIS DETAIL SHALL BE CONSIDERED DEMAND CRITICAL WHERE DESIGNATED "DC," AND SHALL MEET OR EXCEED AISC 341-16 7.3b REQ'MTS INCLUDING CVN TOUGHNESS REQ'MTS OF 20 FT LB AT -20°F AND 40 FT LB AT 70°F AS DETERMINED ACCORDING TO 7.3b.
 6. FOR CONTINUITY PLATES: STEEL BACKING USED AT CONTINUITY PLATE WELDS SHALL MEET REQUIREMENTS OF NOTES 2(a) OR 2(b) ABOVE.

BOLT TIGHTENING INFORMATION

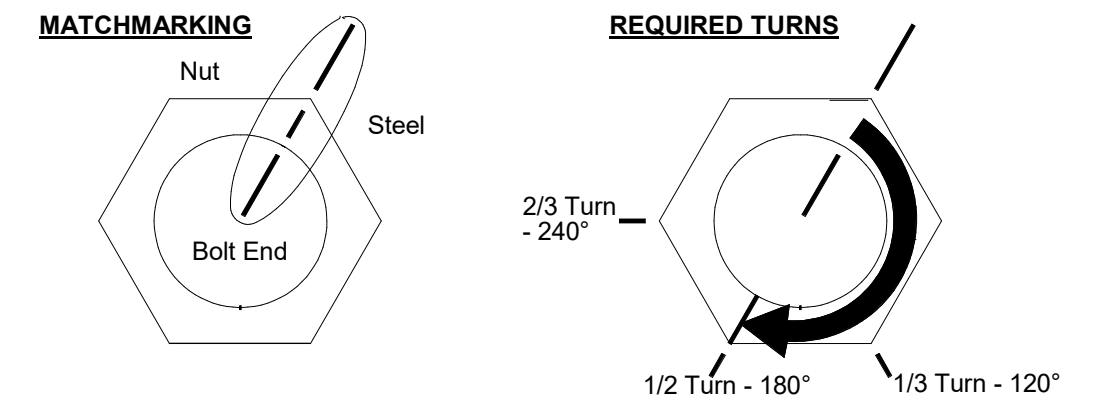
TURN OF THE NUT

- PRETENSIONED JOINTS ARE USED AT ALL CONNECTIONS UTILIZING BOLTS LARGER THAN 1/2" DIAMETER. TIGHTENING OF BOLTS SHALL BE IN ACCORDANCE WITH THE "SPECIFICATION FOR STRUCTURAL JOINTS USING HIGH STRENGTH BOLTS" LATEST EDITION PUBLISHED BY RESEARCH COUNCIL ON STRUCTURAL CONNECTIONS (RCSC) USING "TURN OF THE NUT PRETENSIONING"
 - ALL BOLT HOLES SHALL BE ALIGNED TO PERMIT INSERTION OF THE BOLTS WITHOUT UNDUE DAMAGE TO THE THREADS.
 - BOLTS SHALL BE PLACED IN ALL HOLES AND NUTS THREADED TO COMPLETE THE ASSEMBLY.
 - COMPACTING THE JOINT TO THE SNUG-TIGHT CONDITION SHALL PROGRESS SYSTEMATICALLY FROM THE MOST RIGID PART OF THE JOINT. SNUG TIGHT IS THE CONDITION THAT EXISTS WHEN ALL OF THE PLIES IN A CONNECTION HAVE BEEN PULLED INTO FIRM CONTACT BY THE BOLTS IN THE JOINT AND ALL OF THE BOLTS IN THE JOINT HAVE BEEN TIGHTENED SUFFICIENTLY TO PREVENT THE REMOVAL OF THE NUTS WITHOUT THE USE OF A WRENCH.
 - THE SNUG TIGHTENED CONDITION IS TYPICALLY ACHIEVED WITH A FEW IMPACTS OF AN IMPACT WRENCH OR THE FULL EFFORT OF A WORKER ON AN ORDINARY SPUD WRENCH, MORE THAN ONE CYCLE THROUGH THE BOLT PATTERN MAY BE REQUIRED TO ACHIEVE THE SNUG TIGHTENED JOINT.
 - THE NUT OR HEAD ROTATION SHOWN BELOW AND CONFIRMED BY PRE-INSTALLATION VERIFICATION TESTING SHALL BE APPLIED TO ALL FASTENER ASSEMBLIES IN THE JOINT, PROGRESSING SYSTEMATICALLY FROM THE MOST RIGID PART OF THE JOINT IN A MANNER THAT WILL MINIMIZE RELAXATION OF THE PREVIOUSLY PRETENSIONED BOLTS. THE PART NOT TURNED BY THE WRENCH SHALL BE PREVENTED FROM ROTATING DURING THIS OPERATION. UPON COMPLETION OF THE APPLICATION OF THE REQUIRED NUT ROTATION FOR PRETENSIONING, IT IS NOT PERMITTED TO TURN THE NUT IN THE LOOSENING DIRECTION EXCEPT FOR THE PURPOSE OF COMPLETE REMOVAL OF THE INDIVIDUAL FASTENER ASSEMBLY. SUCH FASTENER ASSEMBLIES SHALL NOT BE REUSED EXCEPT WHEN PERMITTED BY THE ENGINEER OF RECORD.

Ø	LENGTH	TURNS	LENGTH	TURNS	LENGTH	TURNS
5/8"	UP TO 2-1/2"	1/3	> 2-1/2" TO 5"	1/2	> 5" TO 7-1/2"	2/3
3/4"	UP TO 3"		> 3" TO 6"		> 6" TO 9"	
1"	UP TO 4"	1/3	> 4" TO 8"	1/2	> 8" TO 12"	2/3
1-1/8"	UP TO 4-1/2"		> 4-1/2" TO 9"		> 9" TO 13-1/2"	
1-1/4"	UP TO 5"	1/3	> 5" TO 10"	1/2	> 10" TO 15"	2/3
1-1/2"	UP TO 6"		> 6" TO 12"		> 12" TO 18"	

INFORMATION FROM RCSC TABLE 8.2

- THE USE OF "MATCHMAKING" WHERE THE BOLT, NUT, AND PLATE IS MARKED AFTER SNG TIGHT IS HIGHLY RECOMMENDED. THIS IS HELPFUL TO IDENTIFY THAT THE AMOUNT OF ROTATION OR TURN IS CORRECT AND IS AN AID TO INSPECTION.



- PRE-INSTALLATION VERIFICATION IS REQUIRED. A TENSION CALIBRATOR (SKIDMORE-WILHELM) SHALL BE USED TO CONFIRM THE SUITABILITY OF THE COMPLETE FASTENER ASSEMBLY, INCLUDING LUBRICATION, FOR PRETENSIONED INSTALLATION AND CONFIRM THE PROCEDURE AND PROPER USE BY THE BOLTING CREW OF THE PRETENSION METHOD BEING USED.
 - A SAMPLE OF AT LEAST THREE COMPLETE FASTENER ASSEMBLIES OF EACH COMBINATION OF DIAMETER, LENGTH, GRADE AND LOT SHALL BE TESTED IN THE TENSION CALIBRATOR.
 - SNUG TIGHTEN THE ASSEMBLY USING THE SAME TECHNIQUE THAT WILL BE USED IN THE STRUCTURE.
 - MATCH MARK THE NUT, BOLT, AND CALIBRATOR FACEPLATE.
 - APPLY THE REQUIRED NUT ROTATION.
 - VERIFY THAT CALIBRATOR READING IS AT LEAST THE VALUE SHOWN BELOW FOR THE BOLT DIAMETER.

Ø	A325	A490
5/8"	20	25
3/4"	29	37
1"	54	67
1-1/8"	67	84
1-1/4"	85	107
1-1/2"	124	155

BASED ON AISC 360-16, TABLE J3.1

- IF READING IS LESS THAN MINIMUM VALUE, THE CAUSE SHALL BE DETERMINED AND RESOLVED BEFORE THE FASTENER ASSEMBLIES ARE USED. CLEANING, LUBRICATION, AND LARGER TURN ARE PERMITTED PROVIDED THAT ASSEMBLIES USED DURING ACTUAL CONSTRUCTION ARE TREATED IN THE SAME MANNER.
- SPECIAL INSPECTION
 - ERECTOR AND INSPECTOR SHALL CONFIRM INTERACTION AND SCHEDULE FOR INSPECTION OF BOLT TIGHTENING PROCESS AND RESULTS PRIOR TO STARTING STEEL ERECTION.
 - INSPECTOR SHALL OBSERVE THE PRE-INSTALLATION VERIFICATION TESTING.
 - WHEN MATCHMARKING IS USED, INSPECTOR MAY VISUALLY INSPECT AFTER PRETENSIONING.
 - IF MATCHMARKING IS NOT USED, ROUTINE OBSERVATION BY THE INSPECTOR IS PERFORMED DURING BOLTING TO ENSURE THAT THE BOLTING CREW PROPERLY ROTATES THE NUT.
 - THE USE OF A TORQUE WRENCH AS AN INSPECTION TOOL IS NOT A VALID APPROACH RECOGNIZED BY RCSC.
 - FASTENER COMPONENTS SHALL BE PROTECTED FROM DIRT AND MOISTURE IN CLOSED CONTAINERS AT THE SITE OF INSTALLATION. ONLY AS MANY FASTENER COMPONENTS AS ARE ANTICIPATED TO BE INSTALLED DURING THE WORK SHIFT SHALL BE TAKEN FROM PROTECTED STORAGE. FASTENER COMPONENTS THAT ARE NOT INCORPORATED INTO THE SORK SHALL BE RETURNED TO PROTECTED STORAGE AT THE END OF THE WORK SHIFT.

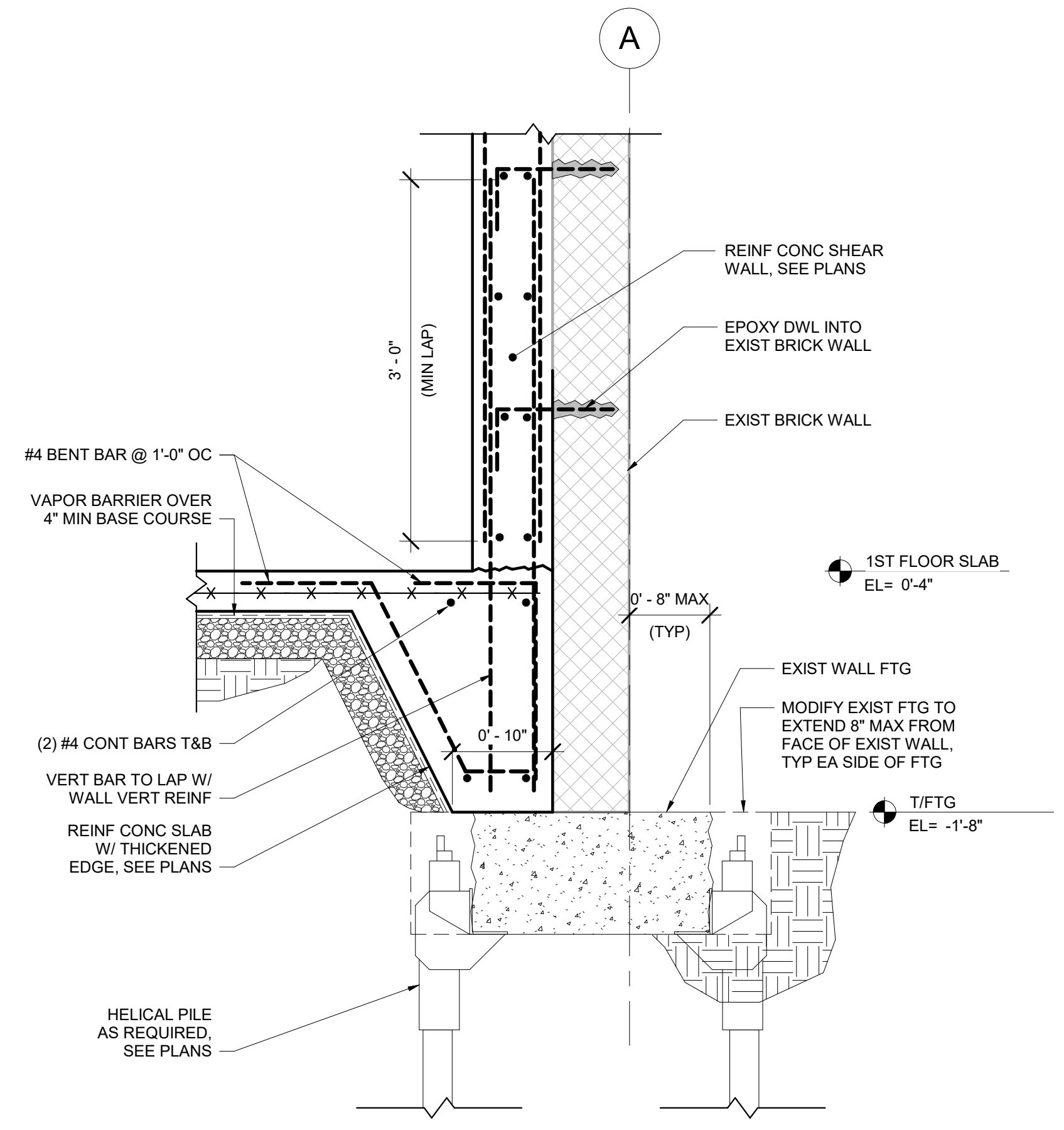
**** IN LIEU OF THE TURN OF THE NUT METHOD, BOLT PRE-TENSIONING SHALL BE ACHIEVED BY CALIBRATED WRENCH PRE-TENSIONING, TWIST-OFF-TYPE TENSION CONTROL BOLT PRE-TENSIONING, OR DIRECT TENSION INDICATOR PRE-TENSIONING METHODS IN ACCORDANCE WITH THE RCSC. ****

DATE	
NO.	
REVISION	
SEAL:	
POWELL ENGINEERING <small>K.M. POWELL ENGINEERING, LLC 1 Columbia Street • Suite 200 • Columbia, SC 29201 www.kmpowell.com</small>	
STRUCTURAL PLANS HISTORIC THEATER RENOVATION 1454 MIDDLE STREET, SULLIVAN'S ISLAND, SC	
JOB	12121
DESIGNED	MTP
DRAWN	MTP
DATE	10/14/22
SCALE	AS NOTED
SHEET	
TYPICAL STEEL SECTIONS & DETAILS	
SHEET	
S-330	

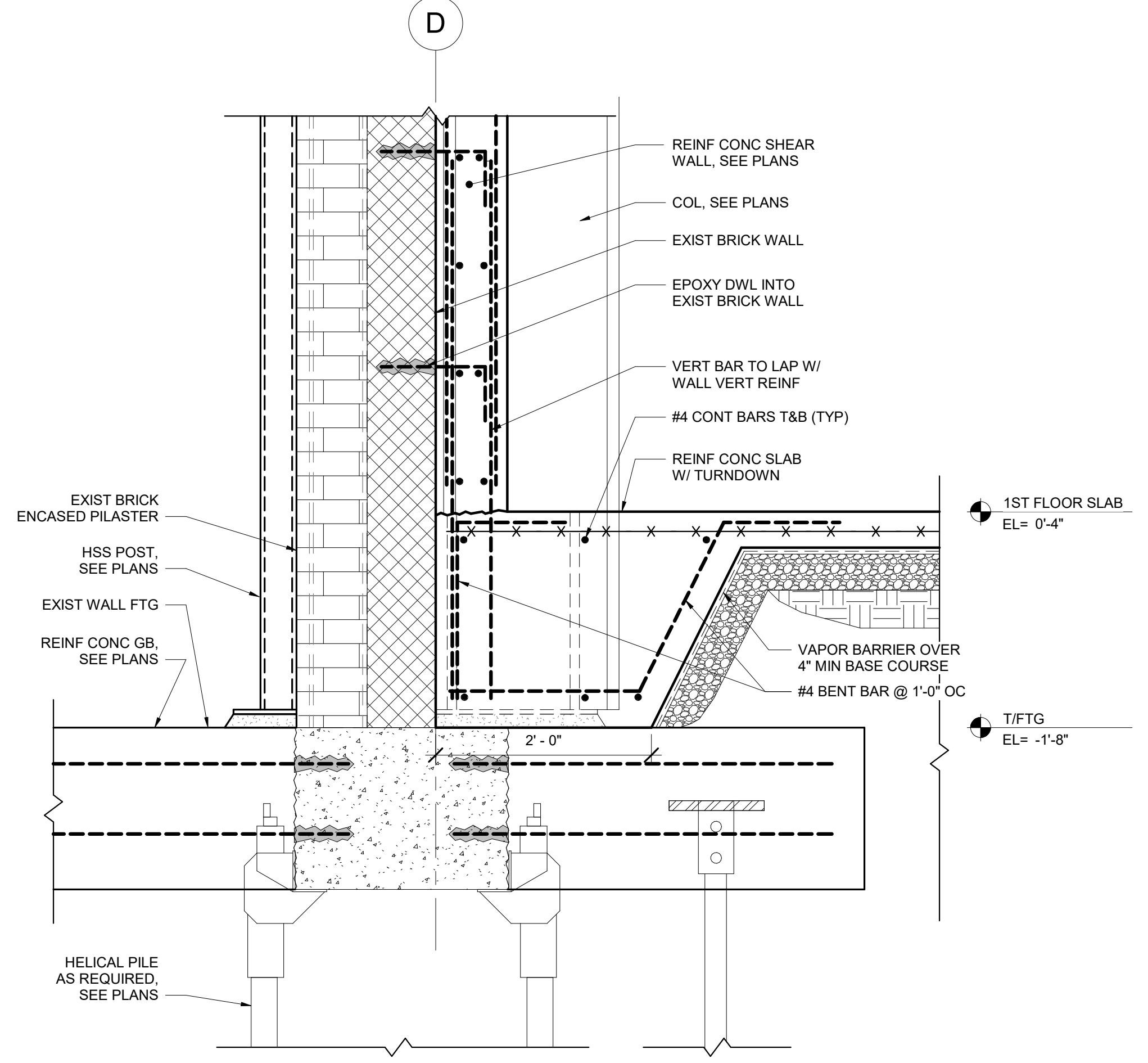
K:\M Powell Engineering\2022 Projects\1211_1454 Middle St Historic Theater Renovation & Seismic Structural Drawings\1211_1454 Middle St Historic Theater Renovation.dwg, 10/14/2022, 2:51:13 PM

THIS DRAWING WAS PREPARED AT THE SCALE INDICATED. DIMENSIONS IN THE STATED SCALE MAY BE DIFFERENT FROM THE ACTUAL DIMENSIONS OF THE WORK. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL WORK BEFORE BEGINNING WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE ACTUAL SCALE.

ALL RIGHTS RESERVED. NO PART OF THIS DRAWING OR THE INFORMATION CONTAINED HEREIN IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION FROM K.M. POWELL ENGINEERING.

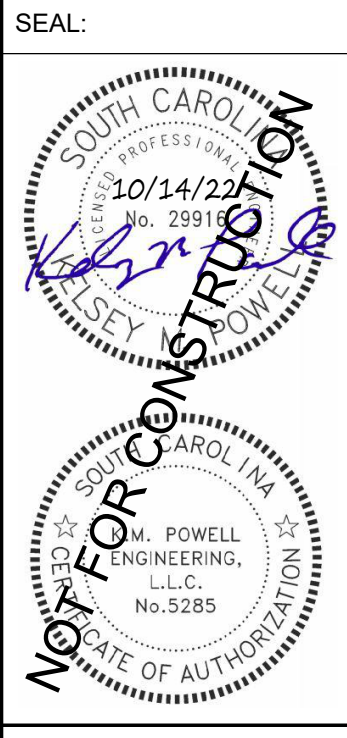


① TYP. MODIFIED WALL FOOTING
1" = 1'-0"



② TYP. MODIFIED WALL FOOTING @ EXTERIOR POST
1" = 1'-0"

NO.	REVISION	DATE
0	50% PRICING SUBMITTAL	10/14/22



STRUCTURAL PLANS
HISTORIC THEATER RENOVATION
 1454 MIDDLE STREET,
 SULLIVAN'S ISLAND, SC

JOB	12121
DESIGNED	MTP
DRAWN	MTP
DATE	10/14/22
SCALE	AS NOTED

SHEET
SECTIONS & DETAILS

SHEET
S-501

MIDDLE STREET THEATER

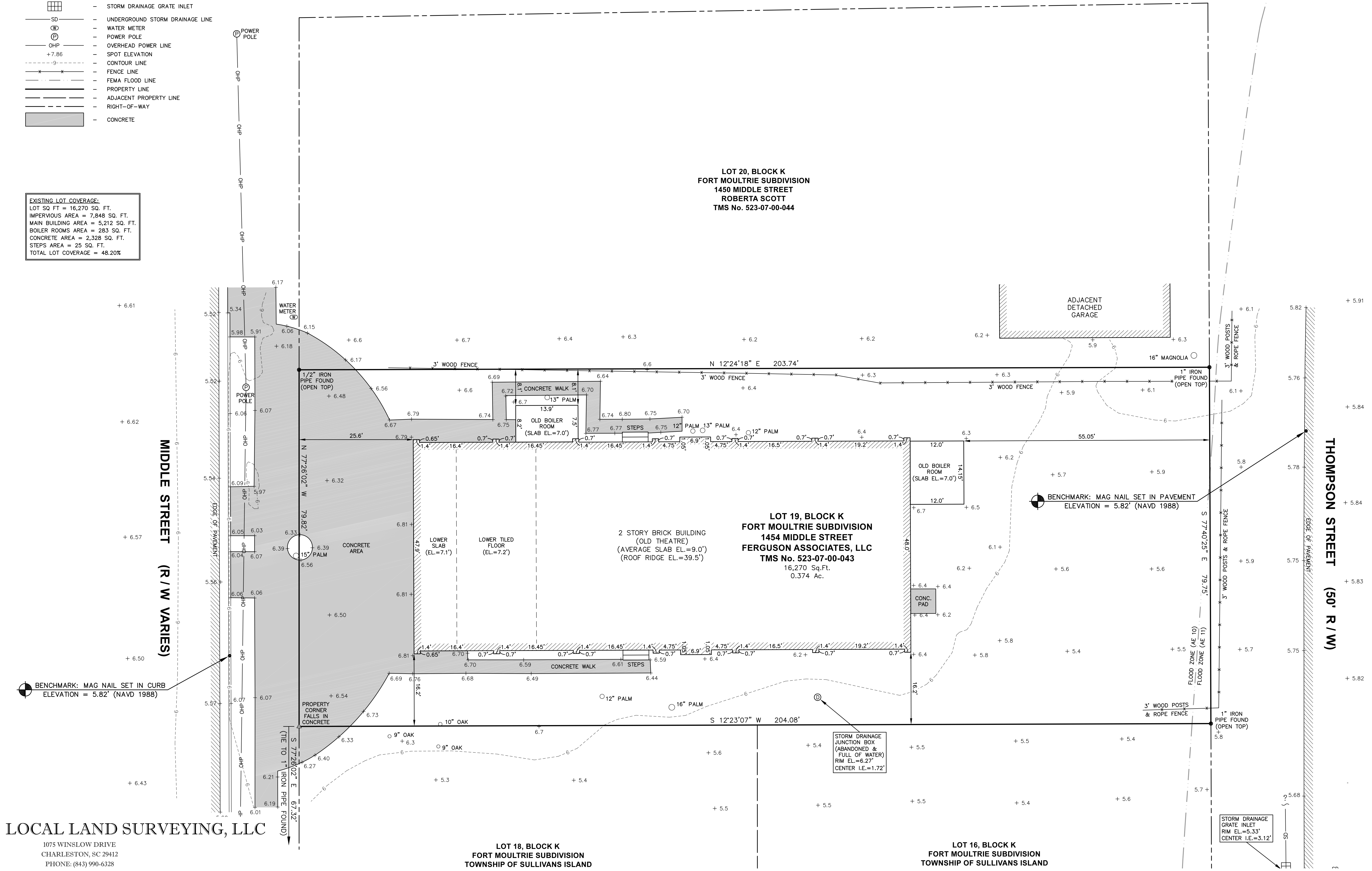
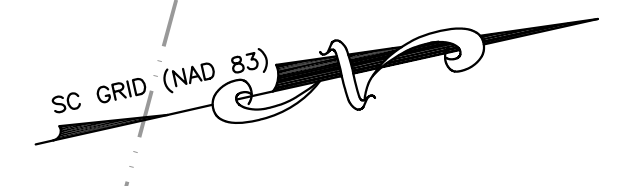
1454 Middle Street | Sullivan's Island, SC | November 2024

Concept Board

- LEGEND**
- - PROPERTY CORNER FOUND (AS DESCRIBED)
 - △ - CALCULATED POINT (NO MARKER SET/FOUND)
 - ⊕ - STORM DRAINAGE JUNCTION BOX MANHOLE
 - ⊞ - STORM DRAINAGE GRATE INLET
 - SD - UNDERGROUND STORM DRAINAGE LINE
 - ⊗ - WATER METER
 - ⊙ - POWER POLE
 - ⊕ - OVERHEAD POWER LINE
 - +7.86 - SPOT ELEVATION
 - 9- - CONTOUR LINE
 - - FENCE LINE
 - - - - FEMA FLOOD LINE
 - — — — PROPERTY LINE
 - — — — ADJACENT PROPERTY LINE
 - — — — RIGHT-OF-WAY
 - - CONCRETE

EXISTING LOT COVERAGE:
 LOT SQ. FT. = 16,270 SQ. FT.
 IMPERVIOUS AREA = 7,848 SQ. FT.
 MAIN BUILDING AREA = 5,212 SQ. FT.
 BOILER ROOMS AREA = 283 SQ. FT.
 CONCRETE AREA = 2,328 SQ. FT.
 STEPS AREA = 25 SQ. FT.
 TOTAL LOT COVERAGE = 48.20%

STATION 14 1/2 STREET (20' R / W)



LOCAL LAND SURVEYING, LLC
 1075 WINSLOW DRIVE
 CHARLESTON, SC 29412
 PHONE: (843) 990-6328

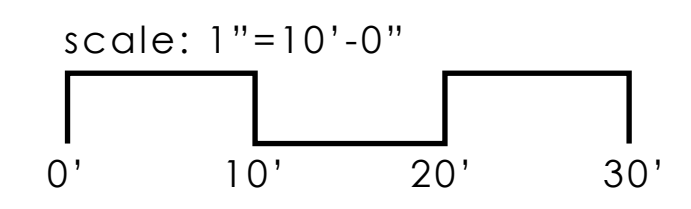
**LOT 18, BLOCK K
 FORT MOULTRIE SUBDIVISION
 TOWNSHIP OF SULLIVANS ISLAND**

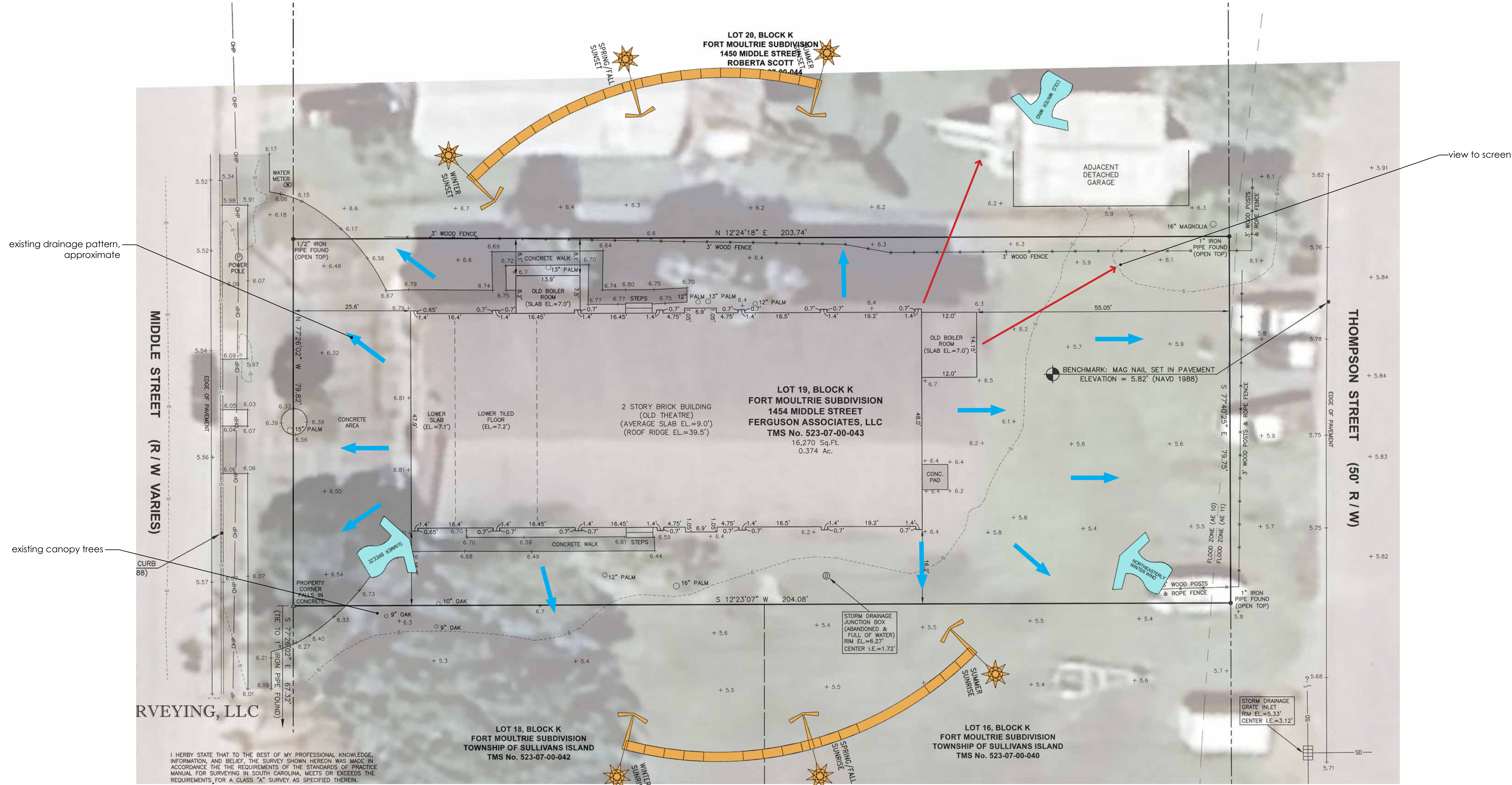
**LOT 16, BLOCK K
 FORT MOULTRIE SUBDIVISION
 TOWNSHIP OF SULLIVANS ISLAND**

MIDDLE STREET THEATER

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SURVEY



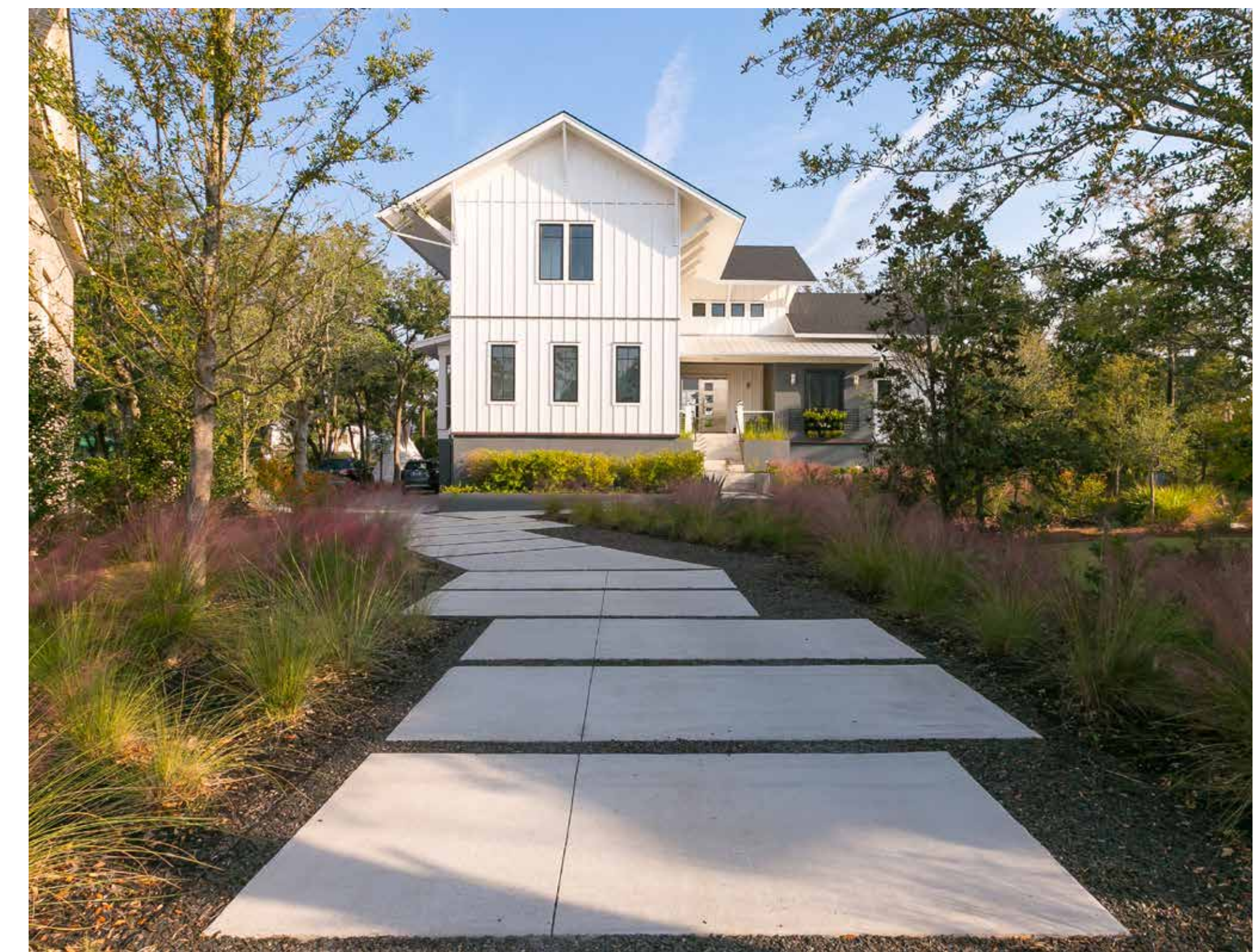


MIDDLE STREET THEATER

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EXISTING CONDITIONS / SITE ANALYSIS





MIDDLE STREET THEATER

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PRECEDENT IMAGERY

REMARK

INSPIRATION IMAGERY:



concrete steppers



permeable pavers



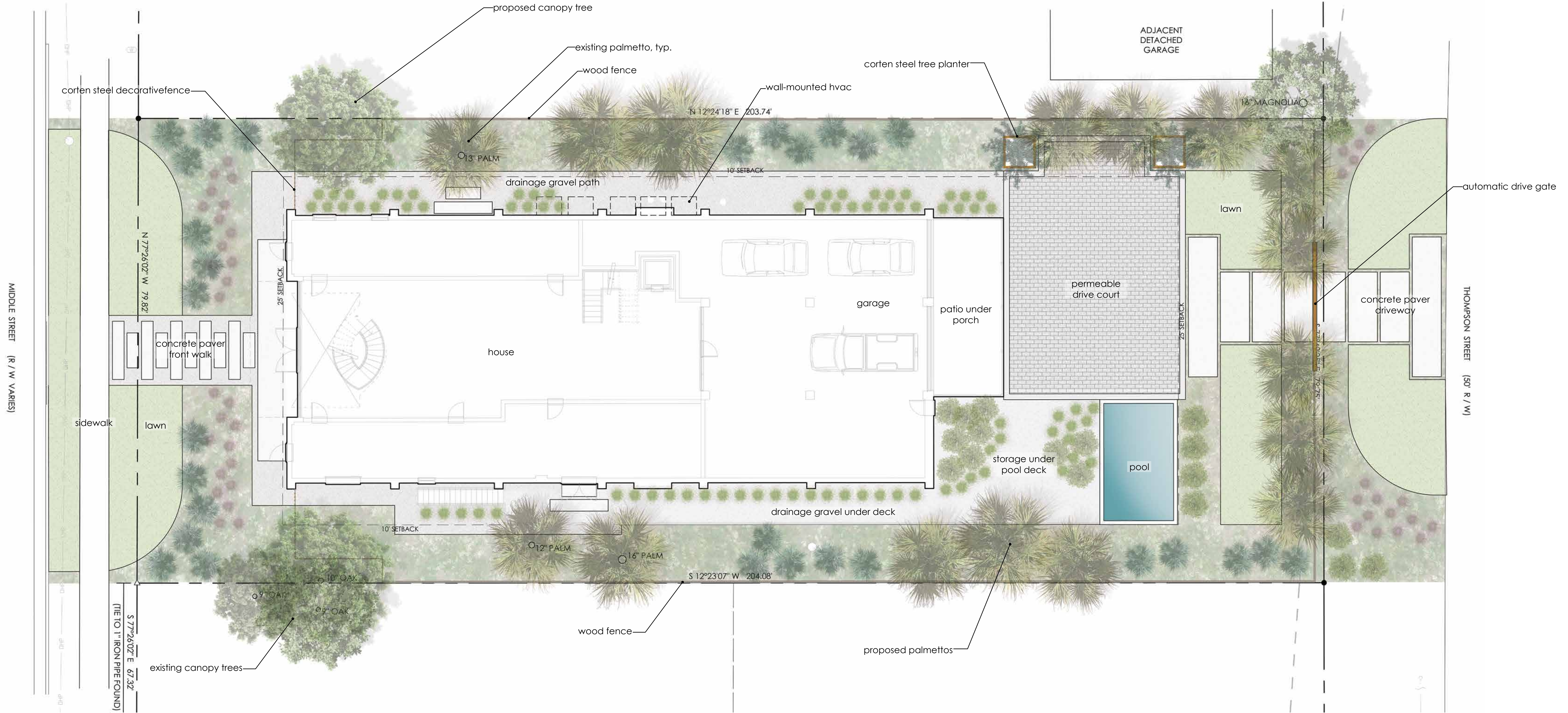
raised corten steel planters



decorative corten steel fence



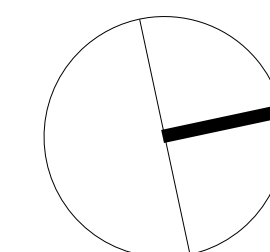
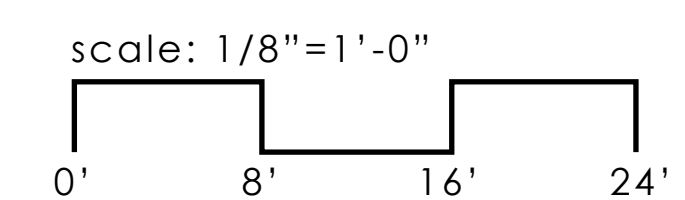
automatic drive gate



MIDDLE STREET THEATER

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CONCEPT 1





palmetto



silver saw palm



agave



false indigo



wax myrtle



rosemary



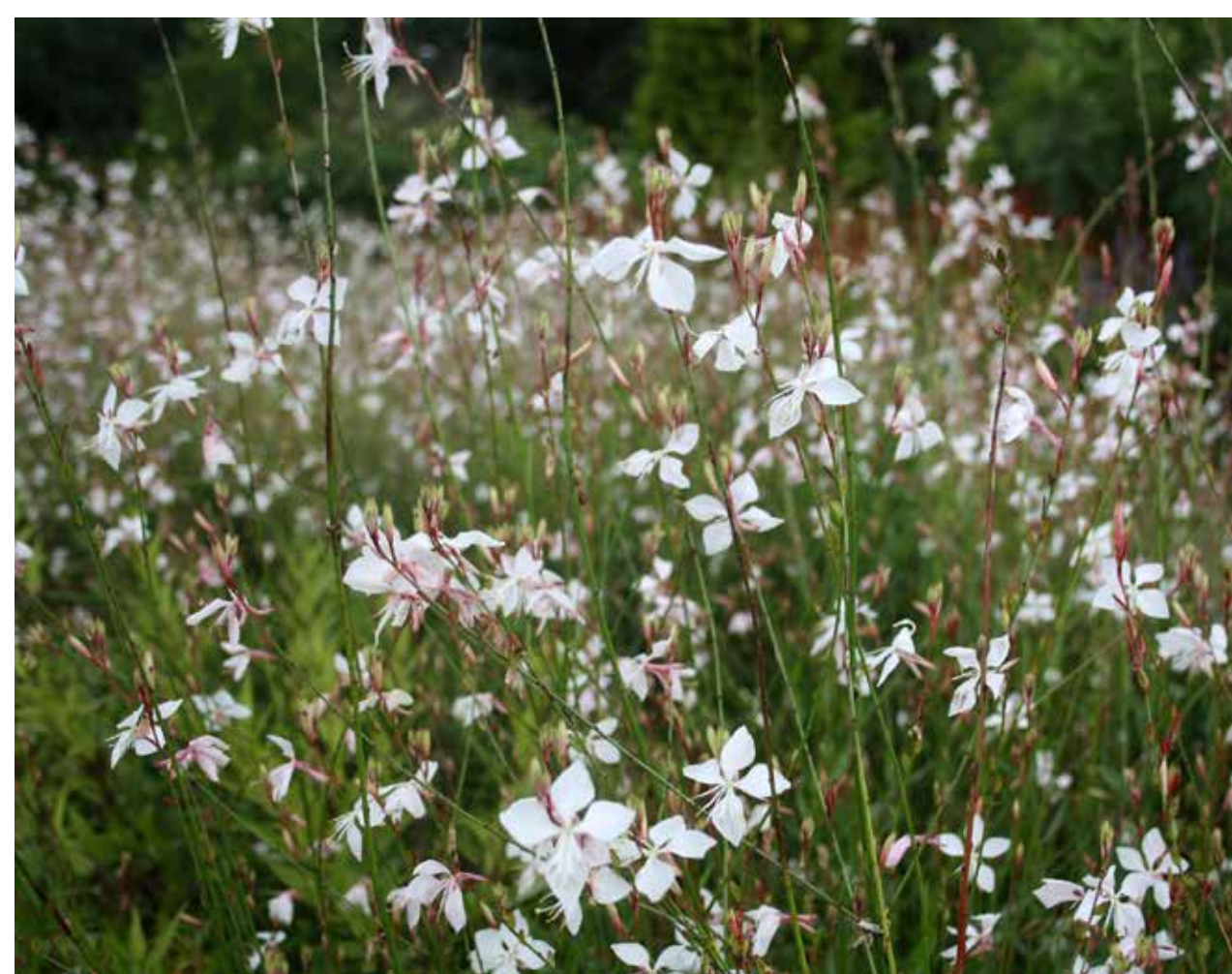
prickly pear cactus



yucca



coreopsis



butterfly gaura



bulbine



evening primrose



spartina patens



purple lovegrass

MIDDLE STREET THEATER

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PRECEDENT PLANT IMAGERY



