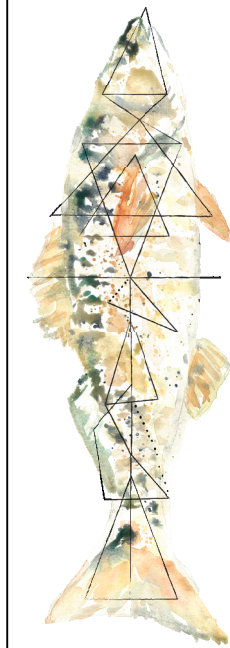


3202 JASPER BLVD.

SULLIVANS ISLAND, SC

TMS NO. 529-08-00-063



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— CHARLESTON, SC —

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COASTAL CREEK DESIGN
501 BRANSON CT. SUITE 100
MOUNT PLEASANT, SC 29464
843-514-1790

Project
RENOVATION / ADDITION
3202 JASPER BLVD.

Sheet Title
CONCEPTUAL SUBMITTAL

SIGNATURE Jane H. Smith DATE 06-10-20

LEGEND

REFERENCES

- | LINE TABLE | | |
|------------|--------|------------|
| LINE | LENGTH | BEARING |
| L1 | 9.04 | N83°W 02'E |
| L2 | 23.58 | N53°E 46'E |
| L3 | 32.76 | S56°E 18'E |
| L4 | 35.92 | N55°W 45'E |
| L5 | 32.76 | N43°E 02'E |
| L6 | 42.07 | N40°E 48'E |
| L7 | 30.17 | N50°E 41'E |
| L8 | 24.60 | N40°E 75°E |
| L9 | 32.39 | N31°E 20'E |
| L10 | 21.72 | N49°E 14'E |
| L11 | 35.61 | N32°E 10°W |
| L12 | 43.31 | N39°E 34°W |
| L13 | 41.63 | N48°E 45°W |
| L14 | 12.45 | N38°E 00°W |
| L15 | 37.76 | N35°E 10°W |
| L16 | 33.74 | N17°E 51'E |
| L17 | 11.06 | N42°E 01'E |
| L18 | 11.47 | N25°E 75°E |
| L19 | 5.74 | N34°E 31'E |
| L20 | 48.11 | N49°E 02°E |
| L21 | 4.70 | S12°E 31°E |
| L22 | .78 | N45°E 10°E |

GRAPHIC SCALE

I, hereby state that to the best of my knowledge, information and belief, the survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in North Carolina, and meets or exceeds the requirements for Class A survey as specified therein; there are no visible encroachments, projections, or setbacks affecting the property other than those shown.

THIS DOCUMENT IS NOT A TRUE VALID COPY UNLESS BEARING THE ORIGINAL SIGNATURE AND RAISED, EMBOSSED SEAL OF THE SURVEYOR.

NOTES

- 1.) PROPERTY CORNERS SET ARE ALL 5/8" REBAR UNLESS NOTED OTHERWISE
- 2.) AREA CALCULATED BY THE COORDINATE METHOD.
- 3.) BEARINGS SHOWN HEREON ARE TO SHOWLINE GRID
- 4.) THIS PLAT IS INTENDED ONLY TO SHOW THE SURVEY OF LOT C AND IS BASED ON FOUND MONUMENTATION, LINDS REFERENCE DATA, AND UNES OF OCCUPANCY NOT TO BE RECORDED HERE.
- 5.) SETBACKS ARE SUBJECT TO CHANGE AND MUST BE APPROVED TOWN OFFICIAL
- 6.) THE SURVEY SHOWS EASEMENTS WHICH ARE OBVIOUS OR APPARENT TO THE SURVEYOR
- 7.) NO SUBSURFACE INVESTIGATION DONE
- 8.) ANY REPRESENTATION OUTSIDE BOUNDARY IS FOR REFERENCE
- 9.) THERE HAS BEEN NO ENVIRONMENTAL INVESTIGATION DONE FOR PARCEL, THE PRESENCE OR ABSENCE OF U.S. ARMY CORPS OF ENGINEERS JURISDICTIONAL WETLANDS OR DHEC-DCRM CRITICAL AREAS ARE UNDETERMINED AS OF THIS DATE.
- 10.) THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ZONE "X" AND "V-1" AS PER F.I.R.M. PLAN #45019C0533K, DATED JANUARY 29, 2021.
- 11.) THIS SURVEY IS FOR CLIENT AND CURRENT LENDING INSTITUTION AND IS NOT TRANSFERABLE TO SUBSEQUENT OWNERS OR LENDING INSTITUTIONS

CONCH CREEK
2
FLOA

18.5' x 12.5'

APPROX.
BOAT LIFTZONING RS

SETBACKS
FRONT 25'
SIDE 40' COMBINED/ 15' MINIMUM
REAR 25'
CONFIRM WITH TOWN ON SETBACKS AND BUFFERS

LOT COVERAGE

TOTAL HIGHLAND AREA=19,503 sq. ft.
HOUSE/STEPS/PORCHES= 3,045 sq. ft.
POOL/DECK/HOT TUB= 940 sq. ft.
CONCRETE DRIVE/SLABS/WALK=2451 sq. ft.
HVAC STAND=2451 sq. ft. 63 sq. ft.
TOTAL LOT COVERAGE AREA=6,499 sq. ft. 33.32%

TOPOGRAPHICAL SURVEY OF TMS#529-08-00-063
LOT C OF POINT EAST END ISLAND
OWNED BY 211 LLC
LOCATED IN
TOWN OF SULLIVANS ISLAND
CHARLESTON COUNTY SOUTH CAROLINA
DATE SURVEYED: MAY 15, 2024

THE AREA SHOWN ON THIS PLAT IS A REPRESENTATION OF DEPARTMENT (SCDHEC OCRM)PERMIT AUTHORITY ON THE SUBJECT PROPERTY. CRITICAL AREAS BY THEIR NATURE ARE DYNAMIC AND SUBJECT TO CHANGE OVER TIME.BY DELINEATING THE PERMIT AUTHORITY OF SCDHEC OCRM, SCDHEC OCRM IN NO WAY WAIVES ITS RIGHT TO ASSERT PERMIT JURISDICTION AT ANY TIME IN ANY CRITICAL AREA ON THE SUBJECT PROPERTY, WHETHER SHOWN HEREON OR NOT.

SIGNATURE _____ DATE _____

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LEGEND

IRON PIPE SET
IRON PIPE FOUND
POWERLINE
CONTOUR
SPOT ELEVATION

○
●
PP ○

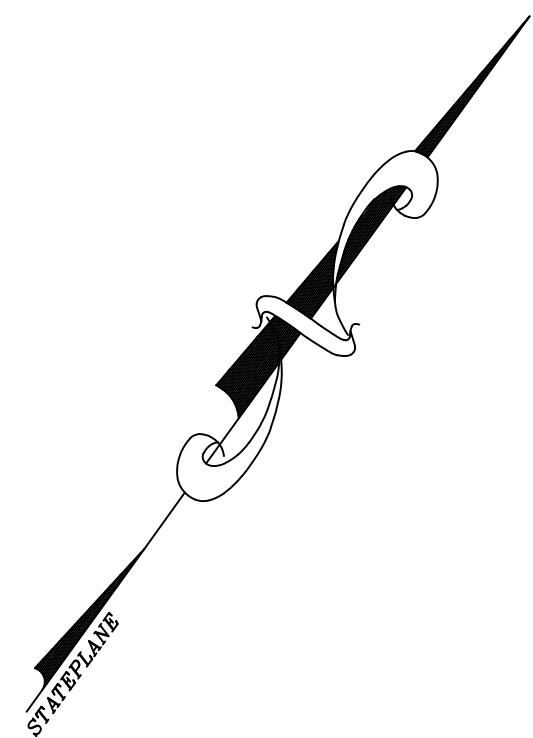
NOTES

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- 10.) THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA: ZONE "AE-11" AND "VE-13" AS PER F.I.R.M. PANEL #45019C0539K, DATED JANUARY 29, 2021.
- 11.) THIS SURVEY IS FOR CLIENT AND CURRENT LENDING INSTITUTION AND IS NOT TRANSFERABLE TO SUBSEQUENT OWNERS OR LENDING INSTITUTIONS

REFERENCES

- 1.) PLAT BY ANDREWS W. DAVIS
DATED DECEMBER 13, 2017
NOT RECORDED
- 2.) PLAT BY ELLIOTTE QUINN
DATED FEBRUARY 22, 1990
PLAT BOOK CA PAGE 045

LINE	LENGTH	BEARING
L1	9.04	N63°38'02"E
L2	23.56	S83°31'46"E
L3	32.76	S56°55'18"E
L4	35.92	N56°40'57"E
L5	32.76	N49°02'19"E
L6	42.07	N44°08'45"E
L7	30.17	N50°37'41"E
L8	24.60	N46°07'54"E
L9	32.38	N31°07'30"E
L10	21.72	N40°34'24"W
L11	35.81	N38°58'30"W
L12	43.31	N39°08'18"W
L13	41.63	N38°48'45"W
L14	12.45	N38°01'00"W
L15	31.76	N32°30'11"W
L16	13.74	N17°13'51"W
L17	11.06	N06°19'27"E
L18	11.47	N25°17'30"E
L19	5.74	N35°49'31"E
L20	48.11	N49°30'02"E
L21	4.70	S32°35'13"E
L22	3.28	N89°13'18"E



MICHAEL SHULSE SURVEYING, LLC ©

CONCH CREEK

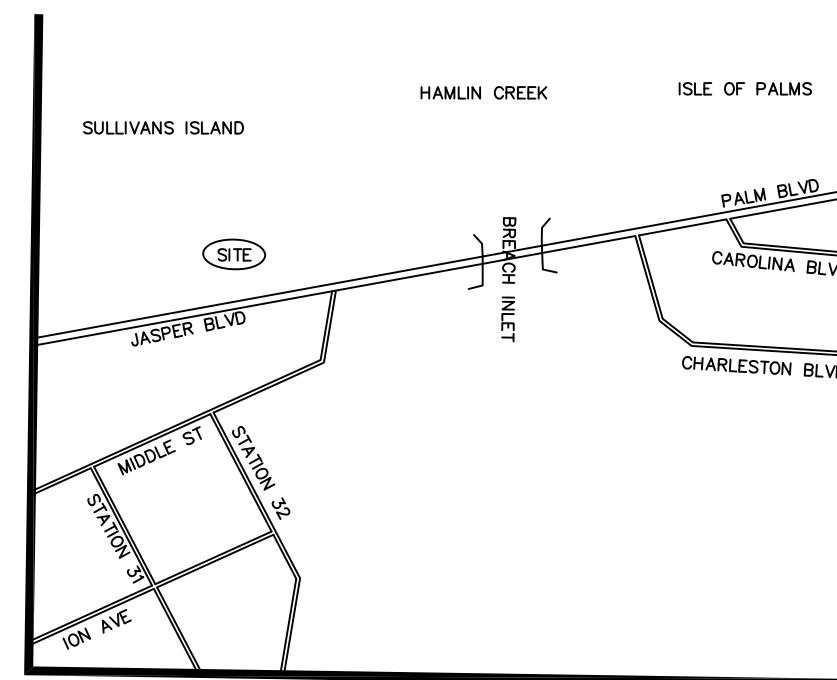
20' X 10' FLOATING DOCK

18.5' X 12.5' COVER PIERHEAD

APPROX. BOAT LIFT AREA

ZONING RS

SETBACKS
FRONT 25'
SIDE 40' COMBINED/ 15' MINIMUM
REAR 25'
CONFIRM WITH TOWN ON SETBACKS AND BUFFERS



LOCATION MAP NOT TO SCALE

N/F - 211 LLC
TMS # 529-08-00-037
MARSH LANDS

HEADWALL OCRM LINE

IPF 2" CRIMP

S 8°05'12" E L18

14.23'

L19

12.0'

IPF AXLE IRON

END OF HEADWALL

11°pdm

11°pdm

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SIGNATURE _____ DATE _____

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LEGEND

IRON PIPE SET ○
IRON PIPE FOUND ●
POWERLINE PP ○
CONTOUR
SPOT ELEVATION

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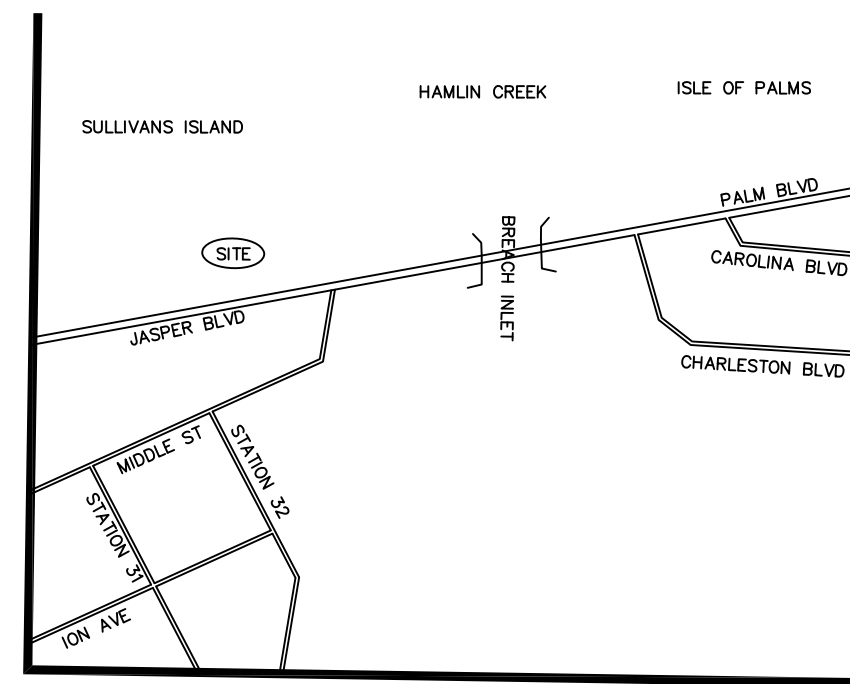
LOT COVERAGE

TOTAL HIGHLAND AREA=19,503 sq. ft.
HOUSE/STEPS/PORCHES= 3,045 sq. ft.
POOL/DECK/HOT TUB= 940 sq. ft.
CONCRETE DRIVE/SLABS/WALK=2451 sq. ft.
HVAC STAND=2451 sq. ft. 63 sq. ft.
TOTAL LOT COVERAGE AREA=6,499 sq. ft. 33.32%

TMS #529-08-00-063
LOT C
19,503 sq. ft.
0.45 acres

ZONING RS

SETBACKS
FRONT 25'
SIDE 40' COMBINED / 15' MINIMUM
REAR 25'
CONFIRM WITH TOWN ON SETBACKS AND BUFFERS



PROPOSED COVERAGE

TOTAL LOT AREA 19,503 SQFT
MAX COVERAGE @ 30% 5,851 SQFT
1ST FLOOR 1,704 SQFT
PORCHES 885 SQFT
PATHWAYS 191 SQFT
POOL 445 SQFT
POOL DECK 492 SQFT
HVAC 63 SQFT
STAIRS 281 SQFT

PROPOSED ADDITION 787 SQFT

TOTAL COVERAGE 4,848 SQFT
TOTAL COVERAGE % 24.85 %

BUILDING AREA	EXISTING	ADDITION	TOTAL
1ST FLOOR AREA	1,704 SQFT	---	---
2ND FLOOR AREA	1,590 SQFT	---	---
3RD FLOOR AREA	250 SQFT	---	---
TOTAL HEATED AREA	3,544 SQFT	---	---
ACCESSORY	---	787 SQFT	---
TOTAL HEATED AREA	---	---	4,331 SQFT

ALLOWABLE PRINCIPAL BLDG. PER FORMULA 3,850 SQFT
MAX RELIEF BY DRB 500 SQFT
REQUESTED RELIEF FROM DRB 463 SQFT OR 12.02%

PRINCIPAL BUILDING COVERAGE

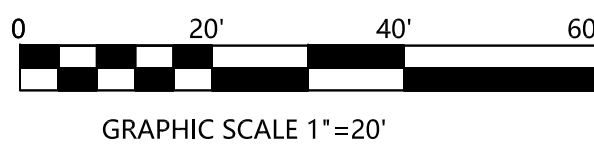
PRINCIPAL BUILDING COVERAGE = LOT AREA x .155
PRINCIPAL BUILDING COVERAGE = 19,503 x .155
PRINCIPAL BUILDING COVERAGE = 3,022 SQFT
PRINCIPAL BUILDING COVERAGE MAX RELIEF 205 - 188 SQFT

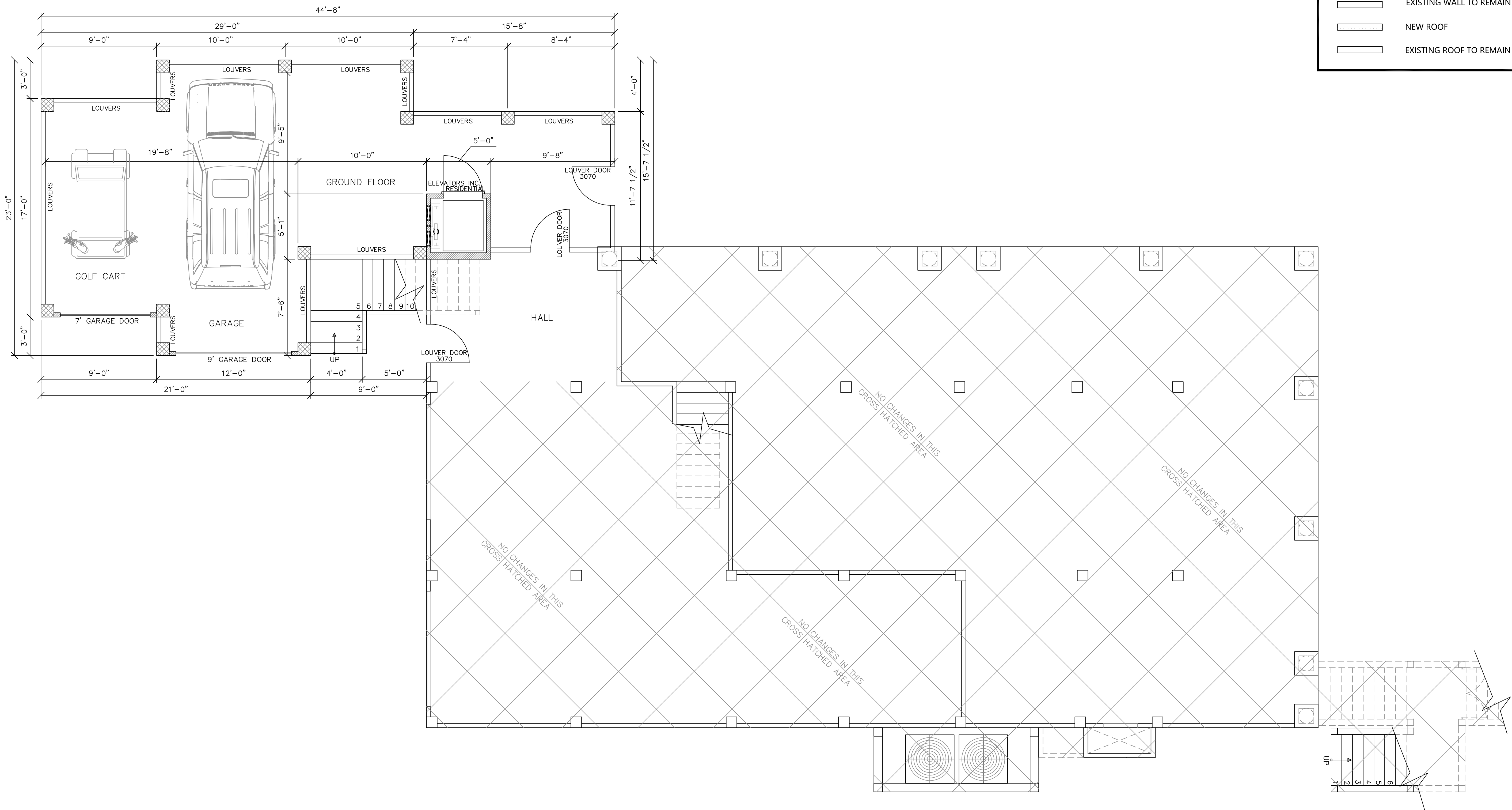
PERMITTED PRINCIPAL BUILDING AREA

TOTAL LOT AREA 19,503 SQFT
2,400 + (LOT AREA - 5,000) / 5,000 X 10
2,400 + (19,503 - 5,000) / 5,000 X 10
2,400 + (14,503 / 5,000) X 10
2,400 + 5,400 X 10
2,400 + 5,400
5,850 SQFT MAX AREA
MAX RELIEF - 500 SQFT OR 155
MAX RELIEF NO GREATER THAN 500 SQFT
MAX PRINCIPAL BUILDING AREA 4,350 SQFT

PROPOSED SITE PLAN

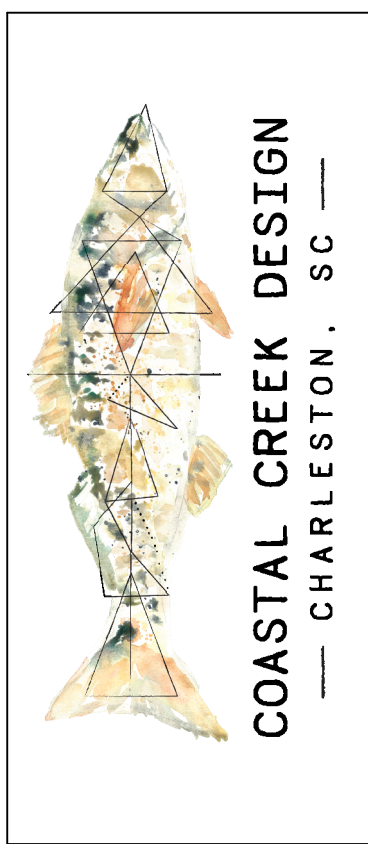
SCALE 1"=20'





GROUND FLOOR PLAN
SCALE 3/16" = 1'

LOFT AREA	787 SQFT
-----------	----------

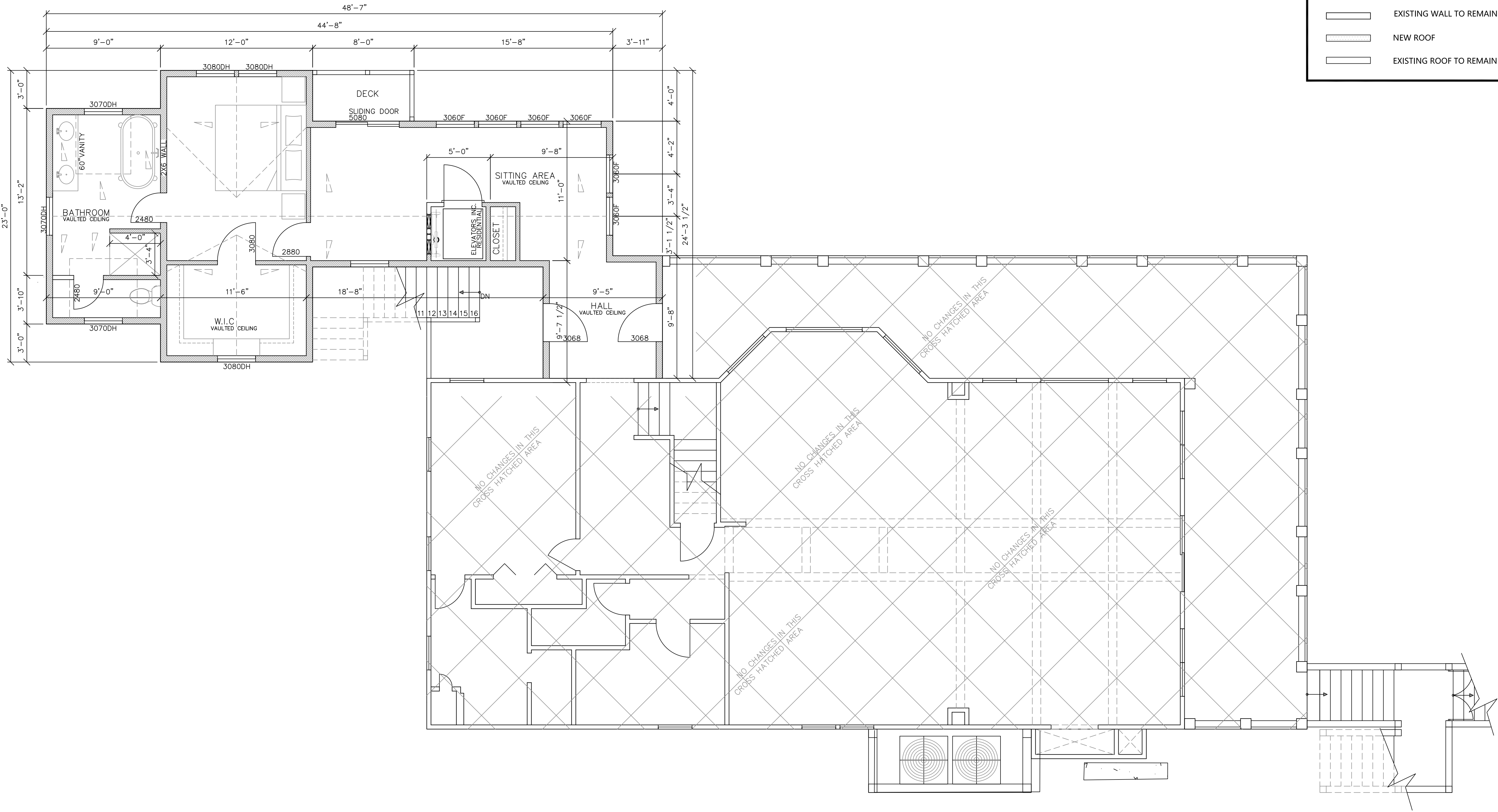


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Project RENOVATION / ADDITION 3202 JASPER BLVD.	Sheet Title CONCEPTUAL SUBMITTAL - GROUND FLOOR PLAN
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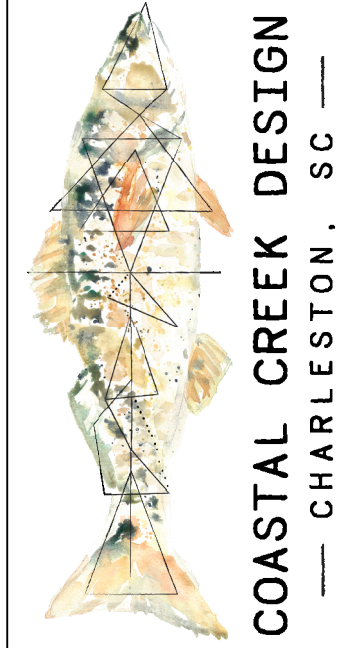


LEGEND

- NEW STUD WALL
- EXISTING WALL TO REMAIN
- NEW ROOF
- EXISTING ROOF TO REMAIN

1ST FLOOR PLAN
SCALE 3/16" = 1'

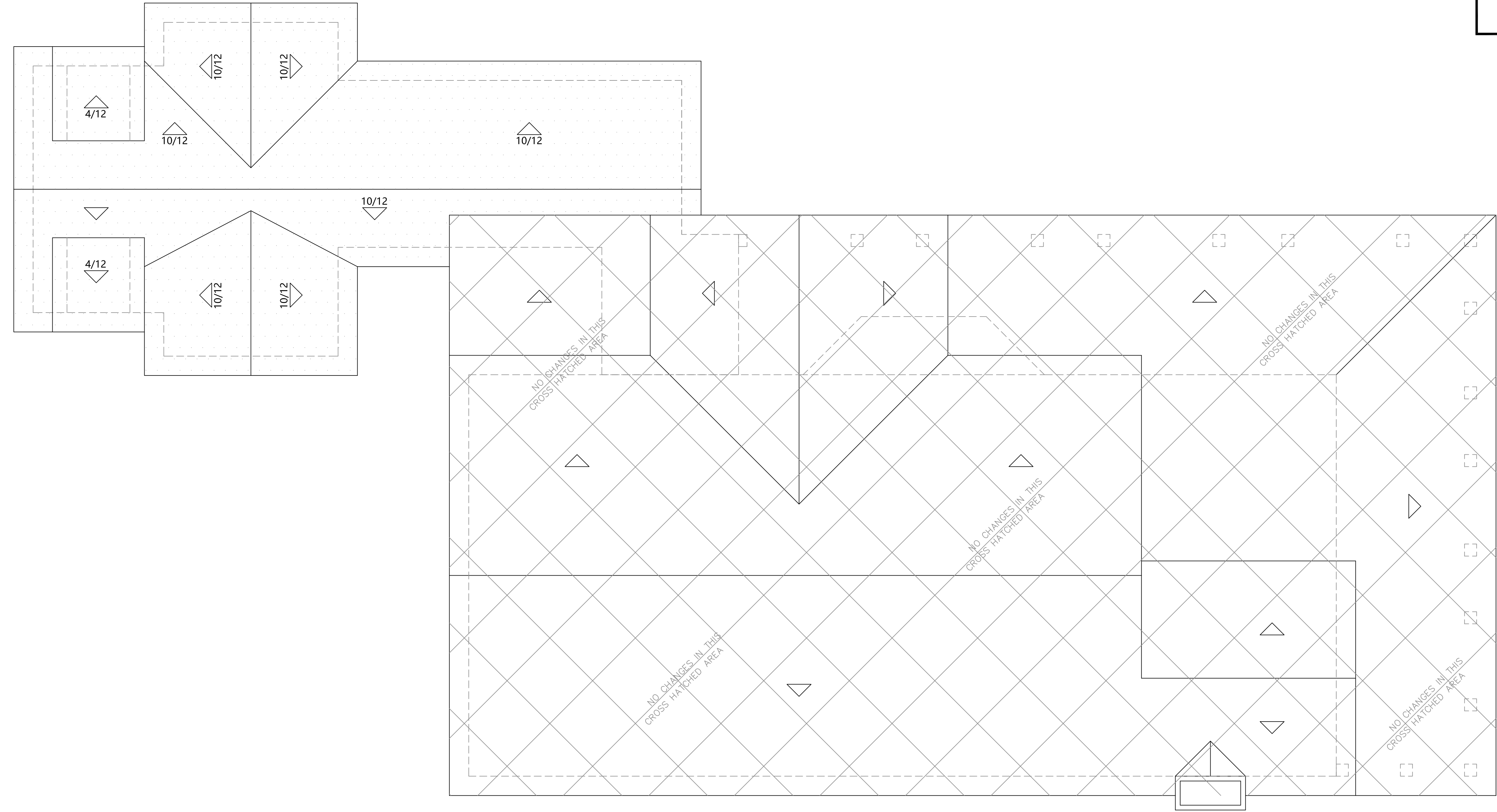
LOFT AREA 787 SQFT



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3202 JASPER BLVD.
Sheet Title
CONCEPTUAL SUBMITTAL - 1ST FLOOR PLAN



ROOF PLAN
SCALE 3/16" = 1'

LEGEND

NEW STUD WALL

EXISTING WALL TO REMAIN



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Project

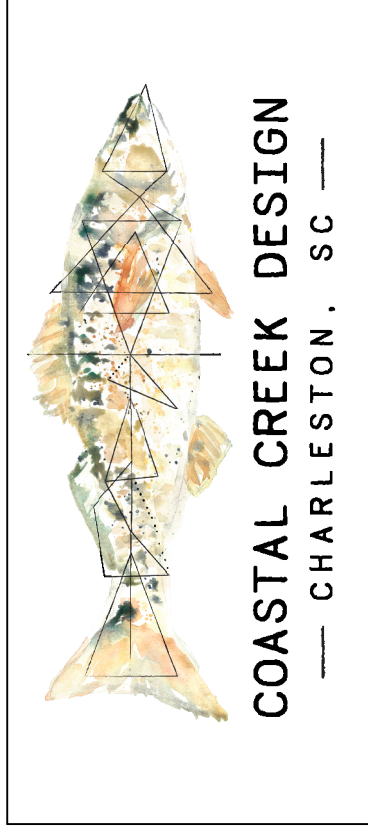
RENOVATION / ADDITION
3202 JASPER BLVD.

Sheet Title

CONCEPTUAL SUBMITTAL - ROOF PLAN



EXISTING FRONT ELEVATION
SCALE 3/16" = 1'



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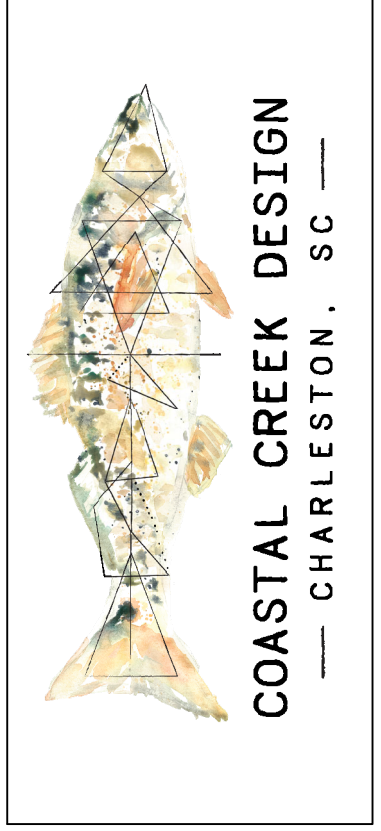
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Sheet Title
CONCEPTUAL SUBMITTAL - EXISTING FRONT ELEVATION



PROPOSED FRONT ELEVATION
SCALE 3/16" = 1'



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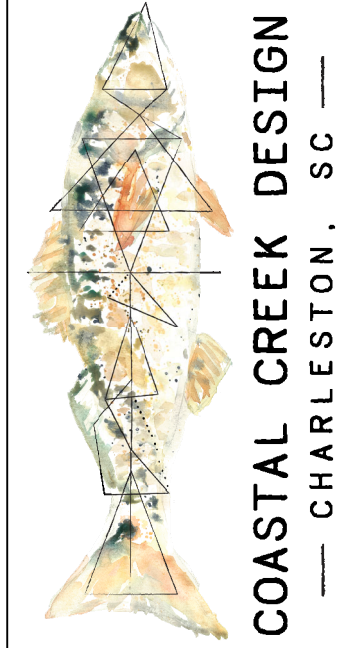
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Sheet Title
CONCEPTUAL SUBMITTAL - PROPOSED FRONT ELEVATION



EXISTING REAR ELEVATION
SCALE 3/16" = 1'



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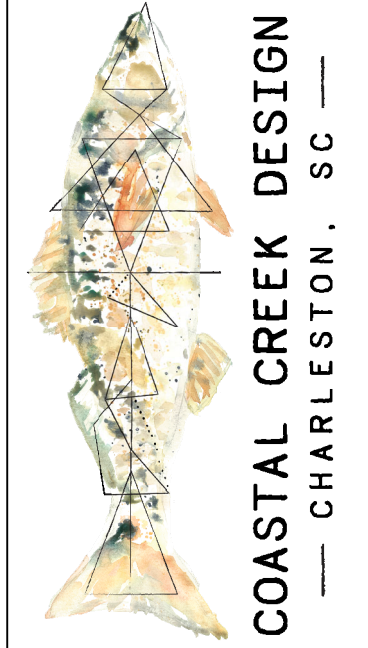
Sheet Title

CONCEPTUAL SUBMITTAL - EXISTING REAR ELEVATION

9/14



PROPOSED REAR ELEVATION
SCALE 3/16" = 1'



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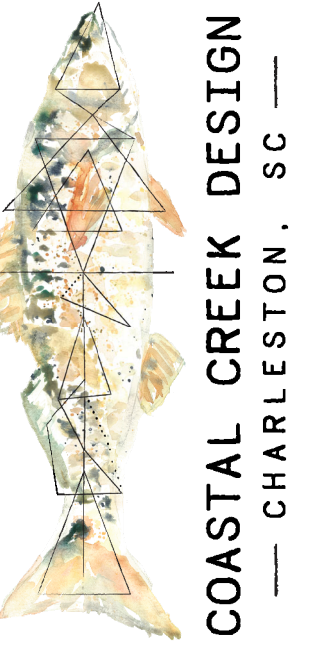
Sheet Title
CONCEPTUAL SUBMITTAL - PROPOSED REAR ELEVATION



EXISTING LEFT ELEVATION
SCALE 3/16" = 1'



PROPOSED LEFT ELEVATION
SCALE 3/16" = 1'



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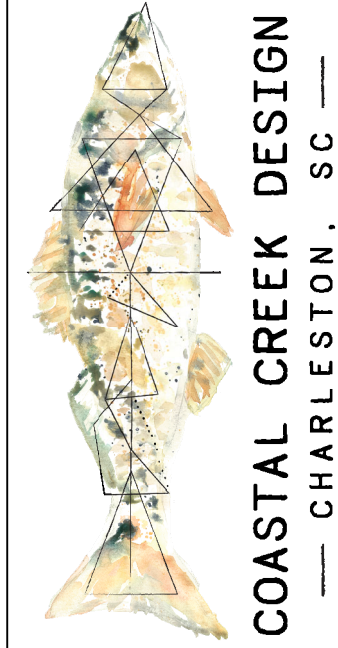
Sheet Title
CONCEPTUAL SUBMITTAL - PROPOSED LEFT ELEVATION



EXISTING RIGHT ELEVATION
SCALE 3/16" = 1'



PROPOSED RIGHT ELEVATION
SCALE 3/16" = 1'



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CONCEPTUAL SUBMITTAL - PROPOSED RIGHT ELEVATION