

SULLIVAN'S ISLAND DESIGN REVIEW BOARD

SUBMITTAL APPLICATION (PAGE 1)

PROPERTY ADDRESS: 2250 MYRTLE AVE. PARCEL ID (TMS#): 529-06-00-112SUBMITTAL DATE: 04-17-20 MEETING DATE: 05-20-20REQUEST: CONCEPTUAL REVIEW: ☒ PRELIMINARY APPROVAL: ☐ FINAL APPROVAL: ☐DESCRIPTION OF SCOPE OF WORK: RENOVATE EX ST. HISTORIC HOUSE AND BUILD A NEW HOUSE ON THIS LOT.☐ Submittal **outside** of the Historic District, not classified historic, and requests DRB relief.☐ Submittal is **outside** of the Historic District and designated as a historic resource.☐ DRB relief requests ☐ No DRB requests☐ Submittal is **within** the Historic District and is:☐ designated as Historic Resource ☒ DRB relief requests ☐ No DRB requests☐ Not designated as a Historic Resource: ☐ DRB relief requests ☐ No DRB requests

DRB SUBMITTAL CHECKLIST: The following items must be included in the submittal for placement on the DRB agenda.

☐ Application fee (Historic properties: \$116.00; New constructions: \$1,280; Addition/renovations: \$426.60)☐ Completes and signed submittal application (Page 1). (All submissions)☐ Zoning Standards Compliance Worksheet (Page 2). (All submissions with relief requests)☐ Neighborhood Compatibility Worksheet (Page 3). (All submissions with relief requests)☐ Historic Design Review Worksheet (Page 4). (All submissions involving a designated Historic Resource)☐ Online submittal through BSA; Town of Sullivan's Island online submittal portal.☐ One (1) set of drawings, no bigger than 11X17"; Drawings to include:☐ A current as-built survey, Certified by a S.C. Registered Land Surveyor [1/16" = 1'-0" OR 1" = 20'-0"

Required for all new construction and for work which expands or is outside of an existing building footprint; illustrating the following:

- All applicable Flood Zone information
- Setbacks, property lines and easements
- Spot elevations required to comply with §21-24
- OCRM Critical Lines, or Baseline and Setback if applicable
- Existing Structures, if applicable

☐ Site Plan [1/16" = 1'-0" OR 1" = 20'-0" scale], illustrating the following:

- Existing structures, if applicable
- Proposed new structures
- All applicable survey information
- Narrative for Scope of Work (all Historic projects)

☐ Floor Plans [1/8" = 1'-0" scale], with the following requirements:

- Exterior dimensions
- Graphically depict the outlines of heated space, covered porches and open decks.
- In the case of renovations and/or additions, the outlines of existing and new construction must also be shown.

☐ Exterior Elevations [1/8" = 1'-0" scale], with the following requirements:

- All exterior materials such as wood, stucco, roofing and / or masonry shall be graphically represented for intent.
- Must be rendered with shadows depicting roof and / or deck overhangs, changes in wall plane, or massing.
- Roof ridge heights to natural grade. Finished Floor Elevation (FFE), Lowest Structural Member (LSM), Base Flood Elevation (BFE) to finish grade.
- Detailed descriptions of treatment of all historic materials. (all Historic projects)

☐ Conditional/Optional:

- 3-D perspective sketches and / or models, as well as streetscape renderings that include adjacent properties are always encouraged and are **required for submissions with requests for relief, additional coverage, or additional square footage.**

- Any relevant photographs or documentation that might be descriptive (of adjacent properties).

OWNER NAME: KING & SOCIETY PHONE NUMBER: 843-478-5331ADDRESS: 1012 E. WALL ST / B / MT. PLEASANT EMAIL: candy@kingandsociety.comARCHITECT/DESIGNER: M3 DESIGNS PHONE NUMBER: 843-906-1502ADDRESS: 1228 THAMES RD EMAIL: carlmcants3@gmail.comCONTRACTOR: KING & SOCIETY PHONE NUMBER: 843-478-5331ADDRESS: 1012 E WALL ST. SUITE B, MT. PLEASANT EMAIL: candy@kingandsociety.com

(Initials): I understand that incomplete applications will be rejected.

I (we) submit that the above information is true to the best of my (our) knowledge.

CARL MCANTS

Applicant name (print)

Applicant's signature

If Owner is not the Applicant:

I (we) hereby appoint the person named as applicant as my (our) agent to represent me (us) in this application

Owner's signature

Owner's signature

ZONING STANDARDS COMPLIANCE WORKSHEET (PAGE 2)

		Zoning ordinance reference section	Zoning Standard	✓if meets standard	DRB's Max. authority for relief	applicant request for relief	Percent (%) relief requested	Total allowed + requested relief (SF)
SETBACKS	A	21-22 FRONT SETBACK	25 Feet	✓	15%			
	B	21-22 ADDITIONAL FRONT YARD SETBACK	45 above 20'	✓	15%			
	C	21-22 SIDE SETBACK	per lot: Enter result: ____ min: ____ comb:	✓	25%			
	D	21-22 SECOND STORY SIDE SETBACK	per lot: Enter result: ____ min: ____ comb:	✓	25%			
LOT COVERAGE	E	21-22 REAR SETBACK	25 feet	✓	N/A	X	X	X
	F	21-25 PRINCIPAL BUILDING COVERAGE	as per formula: enter result 2981 sf	✓	20%			
	G	21-26 IMPERVIOUS COVERAGE	as per formula: enter result 30% sf maximum	✓	N/A	X	X	X
	H	21-27 PRINCIPAL BUILDING SQUARE FOOTAGE	as per formula: enter result 3887 sf		A: New Construction / Non-historic additions: 15% _____ sf (not to exceed 500 sf) B: Historic additions: 20% _____ sf C: Historic ADU Special Exceptions:	2924	7.5%	41794
DESIGN STANDARDS	I	21-28 THIRD STORY	as per formula: enter result _____ sf	✓	15% _____ sf			
	J	21-22 PRINCIPAL BUILDING FRONT FAÇADE	50' feet or, 2/3 lot width (whichever is less)	✓	15%			
	K	21-22 PRINCIPAL BUILDING SIDE FAÇADE	38 feet (wall length) 16 feet within 15 ft x2 16-in articulations	✓	25%			
	L	21-22 2ND STORY SIDE FAÇADE SETBACK	32 feet (wall length) 6-foot (knee wall) 16-in articulations	✓	25%			
	M	21-30 BUILDING ORIENTATION	towards ocean, excluding marsh and ocean lots	✓	Adjust for Neighborhood Compatibility			
	N	21-30 BLDG. FOUNDATION HEIGHT	8" to LSM & 94" to FFE	✓	1 foot			
	O	21-32 FOUNDATION ENCLOSURE	1/2" space	✓	Adjust for Neighborhood Compatibility			
	P	21-138 ACCESSORY STRUCTURE	Height (15 to 18) Setback (20)	✓	20% Height (3 ft 6 in) 40% (4')			

REQUEST FOR HISTORIC DESIGN REVIEW (PAGE 4)

Do you propose any exterior changes to the historic structure? Yes: ☒ No: ☐
 If you answered "yes", please provide a detailed explanation and sequence of the work below:

Section 21-97. C Historic Preservation Standards:

Submit in writing and be prepared to describe how your project is consistent with the following ten preservation standards, and the most recent version of the Secretary of Interior's Guidelines for the Treatment of Historic Properties. ****On your elevation drawings show all existing conditions and proposed changes. Detail existing materials and highlight all new and preserved architectural and structural elements.**

<https://www.nps.gov/tps/standards/treatment-guidelines-2017.pdf>

- (a) Using a property as it was used historically or giving a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships;
- (b) Retaining and preserving the historic character of a property; avoidance of the removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property;
- (c) Avoiding changes that create a false sense of historical development, such as adding conjectural features or elements from other buildings;
- (d) Retaining and preserving changes to a property that have acquired historic significance in their own right;
- (e) Preserving distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property;
- (f) Repairing rather than replacing deteriorated historic features; or where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials;
- (g) Utilizing the gentlest means of chemical or physical treatments;
- (h) Protecting and preserving the archeological resources in place, and if disturbing, mitigation measures will be undertaken;
- (i) Not destroying historic materials, features, and spatial relationships that characterize the property; differentiating the new work from the old and making it compatible with the historic materials, features, size, scale, and proportion, and massing to protect the integrity of the property and its environment; and,
- (j) Undertaking new construction in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

THE ATTACHED DRAWINGS AND PHOTOS ILLUSTRATE THE NON
 HISTORIC AREAS THAT WILL BE REMOVED FROM THE HISTORIC HOUSE.
 WE PLAN TO RELOCATE THE HOUSE ON THE PROPERTY (IT IS NOT IN ITS
 ORIGINAL LOCATION) AND BRING IT BACK TO HOW IT WAS ORIGINALLY
 CONSTRUCTED.

(Please use extra sheet as needed)

1. CONTROL NUMBER: 0 / 19 / 1380 / 17500 64
county census design- site number
dated place

South Carolina Inventory of Historic Places
Survey Field Form/Data Entry Form
State Historic Preservation Office
PO Box 11,669, Columbia, SC 29211
(803) 734-8577

2. HISTORIC NAME(S):
3. OTHER NAME:
4. ADDRESS/LOCATION: 2250 Myrtle Ave.

CITY: Sullivan's Island VICINITY OF: --- COUNTY: Charleston

5. OWNERSHIP: private(P) city(M) county(C) state(S) federal(F) 6. CATEGORY: building(B) site(S) structure(U) object(O)

7. HISTORIC USE(S): single family residence

8. CURRENT USE(S): single family residence

9. POTENTIAL: NR ☒ NR historic district archaeological

10. STATUS/DATE: ☐ listed individually in National Register ☐ ☐ ☐
name:
☐ listed as part of NR historic district ☐ ☐ ☐ contributing ☐ non contributing
name of district:
☐ listed individually National Historic Landmark ☐ ☐ ☐ part of NHL district ☐ ☐ ☐
☐ determined eligible - owner objection ☐ ☐ ☐ DOE process ☐ ☐ ☐
☐ determined NOI eligible
☐ deferred by Review Board ☐ ☐ ☐ rejected by R E ☐ ☐ ☐
☐ rejected by Washington ☐ ☐ ☐ removed from NF ☐ ☐ ☐
☐ pending Federal nomination ☐ ☐ ☐ removed from survey ☐ ☐ ☐
☐ completed Preliminary Information Sheet ☐ ☐ ☐ demolished ☐ ☐ ☐
☐ nomination on file - never processed ☐ ☐ ☐

11. NUMBER OF CONTRIBUTING PROPERTIES: _____

PROPERTY DESCRIPTION

12. CONSTRUCTION DATE: 1912 13 ALTERATION DATE: 1955c

14. VERNACULAR FORM: 15. ARCHITECTURAL STYLE OR INFLUENCE:

16. DESCRIPTION:
a) construction masonry(MAS) frame(FKA) log(LOG) steel(STL) other(Z)

b) exterior wall material weatherboard(WB) leaded weatherboard(BWB) shiplap(SHP) stucco(STU) tabby(TAB)
wood shingle(WSH) brick(BRI) brick veneer(BRV) asbestos shingle(ABS) asphalt siding(ASF) flushboard(FED)
synthetic siding(SYN) other(Z)

c) shape rectangular(R) square(S) L(L) T(T) U(U) H(H) octagonal(O) irregular(I) other(Z)

d) stories 1 1 1/2 2 2 1/2 3 4+ other(Z)

e) roof shape gable(end to front)(GEF) gable(lateral)(GBL) hip(HIP) cross gable(CRG) pyramidal(PYR) flat(FLT)
truncated hip(TPH) gambrel(GAB) mansard(MAN) salt box(SEX) other(Z)

f) roof material composition shingle(COS) pressed metal shingle(PMS) wood shingle(WDS) slate(SLT) builtup(BLT)
raised seam metal(RSM) corrugated metal(CRM) tar paper(TAR) not visible(NV) other(Z)

g) # of chimneys exterior end(DEF) interior end(INE) interior(INI) central(CEN) flue(FLU)
double shouldered(DS) other(Z) 1 interior stove vent

h) chimney material brick(BK) stuccoed brick(SB) stone(ST) other(Z)

i) dormers gable(GAP) hip(HIP) pedimented(PED) swept(SWE) other(Z)

j) foundation brick pier(BP) brick pier with misc. fill(BPH) brick pier with brick fill(BPB) solid brick(BRI)
stone pier(STP) stuccoed masonry(STU) basement(BAS) raised basement(RBS) other(Z) CMU

k) porch height 1 story(1ST) 1 story with deck(1WD) 2 or more stories(2+) 2 or more with tiers(2+1) other(Z)

l) porch width entrance bay only(EOO) more than 1 bay, less than full facade(B+) full facade(F) facade and left elevation(F&L) facade and right elevation(F&R) wrap around(WTA) other(Z)

m) porch roof shed(SHD) hip(HIP) gable(GAL) pedimented gable(PDG) flat(FLT) engaged(ENG) other(Z)
shape

- n) porch details chamfered posts(CHP) turned posts(TP) posts on brick piers(PBP) columns(COL) balustrade(BAL)
freestanding posts(FSP) sawn/turned work(S/T) enclosed end bay(EEB) other(Z) 2X4 w/ screening
- o) windows single(SGL) double(DBL) paired(PRD) tripartite(TPT) grouped(GRP) decorative(DEC) display(DIS)
other(Z) _____
- p) pane configuration 1/1 2/2 3/1 4/1 6/6 9/9 9/6 other(Z) _____
- q) shutters louvered(LOU) board and batten(B&B) paneled(PAN) other(Z) _____
- r) doors single(SGL) double(DBL) transom(TRA) sidelights(SID) other(Z) _____
- s) decorative element material cast iron(CI) cast stone(CS) terra cotta(TC) granite(GR) wood(WD) pressed metal(PM)
other(Z) _____
- t) interior features: Central hall; beaded board panelling; 5-panel doors
17. OUTBUILDINGS: kitchen(KIT) slave house(SLH) tenant house(TH) other house(OH) garage(GAR) office(OFF)
barn(BRN) tobacco barn(TOB) dairy(DAI) crib(CRB) smokehouse(SMK) shed(SED) privy(PVY) well(WEL)
springhouse(SPF) none(N) none visible(NV) other(Z) _____
18. SURROUNDINGS: residential(R) residential/commercial(R/C) commercial(C) rural(RU) rural community(RCH)
industrial(IND) other(Z) _____
19. ADDITIONAL DESCRIPTIVE COMMENTS West bay of porch enclosed c. 1955; porch screened

HISTORICAL INFORMATION

20. THEME(S): _____
21. PERIOD(S): _____
22. IMPORTANT PERSON(S): _____
23. ARCHITECT(S): _____ SOURCE: _____
24. BUILDER(S): _____ SOURCE: _____
25. HISTORICAL DATA: House constructed in 1912
26. BIBLIOGRAPHY: INF: Sonny Bolick, 2250 Myrtle

PROGRAM MANAGEMENT

27. QUADRANGLE NAME: Fort Moultrie
28. PHOTOGRAPHS: (Y/N) prints 2 slides _____ negatives _____ SI R3: 20, 22
29. OTHER DOCUMENTATION: survey back-up files(SF) National Register files(NRF) tax act files(TAF) grants files(GRF)
state historical marker file(SMF) environmental review files(ERF) other(Z) _____
30. RECORDER NAME/FIRM: DBS / Preservation Consultants, Inc. SEPO _____
31. DATE RECORDED: 87 / 5 / 6
year month day
- COMMENTS:

64 Modest example of late-19th to early-20th
century island residential architecture

Tax Map Number: 529-6-0- 112

HURRICANE HUGO DAMAGE ASSESSMENT INVENTORY

ADDRESS: 2250 Myrtle Avenue

NAME:

TMS 529-6-0-112

SITE • 203

Survey/• SI 64

TYPE: SFR ☒ WITH DEPENDENCIES _ OTHER:

OWNER NAME AND ADDRESS: Ann Loftin

NATIONAL REGISTER STATUS: Potential: Contributing: Sullivans Island Historic DistrictsPREVIOUS SURVEY DATA

Construction Date: 1912

Date of Significant Alterations:

- A) Stories (not including basement): 1
 B) Foundation: CMU (raised 3')
 C) Principal Roof Shape: Cross gable
 - Other:
 - Porch Roof Shape: Shed
 D) Principal Roof Material: Raised seam metal
 - Porch Roof Material: same
 E) Dormers: -
 F) Chimneys: 1 interior stove vent
 G) Exterior Siding: Weatherboard
 H) Principal Porch: Full facade
 - Other Porch:
 I) Porch Details: 2X4 with insect screening (west bay enclosed)
 J) Historic Shutters:
 K) Other Detail/ Trim Work Noted:

ADDITIONAL DESCRIPTION: Cited as "modest example of late-nineteenth to early-twentieth century island residential architecture." Tongue-and-groove (beaded board) interiors.

Site Features: Walls _ Fences _ Gates _ Other:

Outbuildings:

FIELD ASSESSMENT

DATE: 1/30/90

Depth of Flooding Noted: 2½ feet in area: house was just above flood level.

	FACADE	RIGHT	LEFT	REAR	
A) Structural Damage	NAD	NAD	NAD		* (none noted by owner)
B) Foundation					* NV because of cinder block wall
C) Principal Roof					* new (100%)
D) Porch Roof					* new (100%)
E) Dormers					* NA
F) Chimneys					* NA
G) Exterior Siding	NAD		NAD		*
H) Porch Trim	10%	20%	NAD		*
I) Windows	NAD	NAD	NAD		*
J) Detail/Trim Work	NAD	NAD	*	NAD	* decorative shutters - 50% damage
K) Other				*	* 25% damage to deck

L) Site Features: Walls _ Fences ☒ Gates _ Other: Significant cedar lost from front yard; other trees destroyed. lost privacy fence
 M) Outbuildings:

NOTES: Wind blew roof off. Full sub-roof prevented further damage after Hugo, except that interior T&G walls split as they dried.

Town Permit (2/21/90) room addition \$11,040.00

Estimated costs: \$80,000



Immediate Damage

Total Loss/Unsalvageable

Severe
Moderate X
Slight
None Noted
Other

SITE #: 203

Location: SULLIVANS ISLAND

Category:

NR
NRHD
Pot. NR
Pot. NRHD X

Status as of : 2/12/90

Total Loss
Pre-Storm Condition
Altered X
To Be Repaired X
Unknown

Sources

Field Assessment X
Field Informant
Owner Reply X
Permit Records X
Engineering Code Red
Town Appearance Comm.

Photo: S4 : 32



SURVEY FORM

Identification

Historic Name: Bolick House

Common Name:

Address/Location:2250 Myrtle Avenue

City: Sullivan’s Island

Vicinity of

County: Charleston

Ownership: Private

Category: Building

Historical Use: Domestic

Current Use: Domestic

SHPO National Register

Determination of Eligibility: Contributes to Listed District

Property Description

Construction Date: 1912 ca.

Construction: Frame

Other:

Historic Core Shape: L-Shaped

Exterior Walls: Weatherboard

Foundation: Not visible

Commercial Form:

Roof Shape: Gable

Roof Material: Composition shingle

Other:

Stories: 1 Story

Porch Shape: Shed

Porch Width: Over 1 bay, but less than

Other:

Description /Significant Features:

Originally L-shaped 1-story frame dwelling with a cross gable V-crimped metal roof; rear addition converting it to rectangular footprint visible in 1953 imagery. Faces S, 5x1 bay core with rear 1-story gable wing on W side of rear and additions across the E side; full facade shed porch, with W bays enclosed and a shed roof extension over the porch entry steps; central entrance at facade is sliding glass doors flanked by sliding glass doors (all replacement), single 6/6 double hung sash and also modern sliding windows at side elevations; lattice hides concrete block pier foundation.

Alterations (including date(s), if known):

Architect(s)/Builder(s):

Historical Information

Historical Information:

Source(s) of Information:

- Sullivan's Island Historic Resources Survey (Quinn and Stucker 2023)
- Charleston County ROD/GIS

Digital Photo ID(s)

File Name:

00810001

00810002

00810003

View:

NE

N

NW

Other:

oblique

facade

oblique

Program Management

Recorded By:
Stucker

Organization:
New South Associates

Date Recorded:
6/12/2023 2:08:05 PM







GENERAL NOTES:	
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.	12. CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH; PREMISES TO BE SWEEPED CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.
2. CONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.	13. PATCH ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FLOORING OR CARPETING.
3. CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING AS TO HOURS OF AVAILABILITY OF LOADING DOCKS AND ELEVATORS FOR THE PURPOSES OF DELIVERY, AND ALSO AS TO THE MANNER OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATIONS.	14. TO INSURE PROPER AND ADEQUATE BLOCKING, ALL BLOCKING FOR CABINET WORK WILL BE THE RESPONSIBILITY OF THE CABINET CONTRACTOR.
4. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED, AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR.	15. UPON COMPLETION OF WORK THE CONTRACTOR SHALL WALK THROUGH WITH BUILDING MANAGER AND COMPILE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS.
5. EACH TRADE WILL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES FOLLOWING THEM.	16. ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY BUILDING MANAGER.
6. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.	17. PROVIDE COPPER FLASHING AT ALL TYPICAL FLASHING LOCATIONS, INCLUDING DOOR PANS, ROOF FLASHING TO BY SAME MATERIAL AS METAL ROOF AND PROVIDED BY ROOF MANUFACTURER.
7. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.	18. ALL WINDOWS, DOORS, & VENTS TO MEET WIND LOAD REQUIREMENTS AND BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
8. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.	19. ALL DOORS AND WINDOWS ARE TO BE INSTALLED PER MANUFACTURE SPECS. SEE MANUFACTURE'S SHOP DRAWINGS FOR INSTALLATION AND FLASHING DETAILS.
9. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.	20. ALL EXTERIOR MATERIALS- SIDING AND TRIM, STUCCO CONVENTIONAL OR SYNTHETIC, AND ROOFING - SHALL BE INSTALLED PER MANUFACTURES SPECS AND RECOMMENDATION. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SHOP DRAWINGS AND MANUFACTURE SPECIFICATION FOR INSTALLATION, AS WELL AS OVERSEEING THE INSTALLATION AND OR APPLICATION.
10. ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.	21. ALL WALLS, STEPS, AND GARAGE DOORS BELOW FLOOD LEVEL TO BE CLASS 4 OR 5.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK.	22. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS INSTALLED. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SHOP DRAWINGS FOR ALL INSTALLED ITEMS.

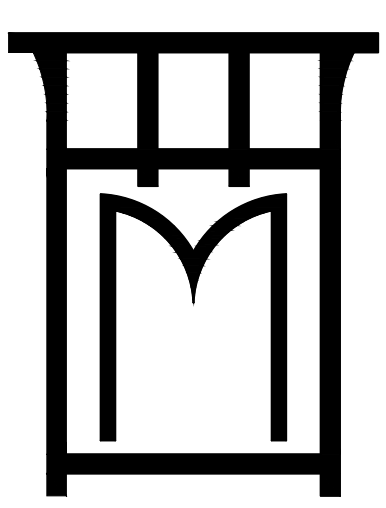
BUILDING NOTES

1. CONTRACTOR TO VERIFY ALL REVISIONS WITH OWNERS, AND SUB CONTRACTORS FOR CLARIFICATION, PRIOR TO ANY MODIFICATIONS.
2. ANY REVISIONS THAT REQUIRE "CHANGE ORDER FEES", MUST BE APPROVED IN A WRITTEN FORMAT, AND SIGNED BY BOTH OWNER AND CONTRACTOR PRIOR TO WORK. OWNERS ARE NOT RESPONSIBLE FOR CHANGE ORDER FEES THAT ARE NOT APPROVED AND SIGNED BY BOTH, OWNER AND CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE CHANGE ORDER DOCUMENTS WITHIN (1) ONE WEEK OF SUBMITTED REVISION.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY, TO PROVIDE A THOROUGH "BUILD SCHEDULE" TO THE OWNERS. THIS DOCUMENT SHALL OUTLINE - A VISUAL CALENDAR FOR EACH PHASE OF THE PROJECT: INCLUDING - CITY BUILDING INSPECTIONS, TRADE ROUGH IN AND TRIM OUT (START AND COMPETITION DATES), AND DATES FOR OWNER PROVIDED ITEMS. IT IS THE OWNER'S RESPONSIBILITY TO PROVIDE "OWNER PROVIDED ITEMS" (DOCUMENTS AND/OR ITEMS) TO THE CONTRACTOR PER THE "BUILD SCHEDULE".
4. SCHEDULING DELAYS ARE NOT THE OWNER'S RESPONSIBILITY, UNLESS "OWNER PROVIDED ITEMS" ARE NOT DELIVERED PER THE AGREED UPON "BUILD SCHEDULE".



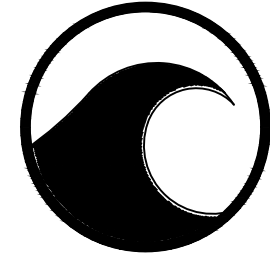
2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA

LOT COVERAGE		LOT SIZE 25,728 SQ.FT.			
ZONING ORDINANCE REFERENCE SECTION	ZONING STANDARD	DRB's MAX RELIEF	% OF RELIEF	SQ. FT. OF RELIEF	PROPOSED
21-22 FRONT SETBACK	25'	15%	N/A	N/A	N/A
21-22 SIDE SETBACK	40' COMBINED	25%	N/A	N/A	N/A
21-25 PRINCIPAL BUILDING COVERAGE	3,859 SQ. FT.	20 %	N/A	N/A	3,603 sq. ft.
21-26 IMPERVIOUS COVERAGE	7,718 SQ.FT.	N/A	N/A	N/A	5949 sq. ft.
21-27 PRINCIPAL BUILDING SQUARE FOOTAGE	4437 SQ.FT.	500SQ. FT.	10%	453 SQ. FT.	3040 sq. ft. NEW HOUSE 1139 sq. ft. HISTORIC COTTAGE
					4179 sq. ft. TOTAL
50% GREEN SPACE	12,864 SQ.FT.	N/A	N/A	N/A	17,926 sq. ft. REMAINING GREEN SPACE 7802 sq. ft. COVERED AREA



3 DESIGNS INC.
VRL MCCANTS III
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DRB
CONCEPTUAL
REVIEW



2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
COVER

REVISIONS

LEGEND:

- CMF CONCRETE MONUMENT FOUND 4"
○ IS 5/8" RBS (REBAR SET)
● IF (IRON FOUND) SIZE/TYPE NOTED
△ PK NAIL SET
▲ PK NAIL FOUND
⊗ WATER VALVE
⊗ WATER METER
⊠ ELECTRICAL TRANSFORMER
⊠ ELECTRICAL BOX
⊕ TELEPHONE BOX
+ SPOT ELEVATION
⊗ POWER POLE
⊗ SEWER CLEANOUT - SEWER TAP
FFE FINISH FLOOR ELEVATION
— LOT LINE
— SCDSES-BCM (MARSH GRASS LINE)
— ADJACENT LOT LINE
— X — FENCE
○ LO LIVE OAK
○ OAK
★ PLM PALMETTO
⊗ CED CEDAR

NOTES:

EXCEPT AS SPECIFICALLY STATED OR SHOWN ON THIS PLAT, THIS SURVEY DOES NOT PURPORT TO REFLECT ANY OF THE FOLLOWING WHICH MAY BE APPLICABLE TO THE SUBJECT REAL ESTATE: EASEMENTS, OTHER THAN POSSIBLE EASEMENTS THAT WERE VISIBLE AT THE TIME OF MAKING OF THIS SURVEY; BUILDING SETBACK LINES; RESTRICTIVE COVENANTS; SUBDIVISION RESTRICTIONS; ZONING OR OTHER LAND-USE REGULATIONS, AND ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.

THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY SURVEYOR.

THE SURVEY SHOWN HEREON REFLECTS THE ABOVE RECORDED REFERENCES.

BUILDING SETBACKS SHOULD BE VERIFIED BY THE GOVERNING BODY PRIOR TO ANY DESIGN OR CONSTRUCTION.

DATUM:

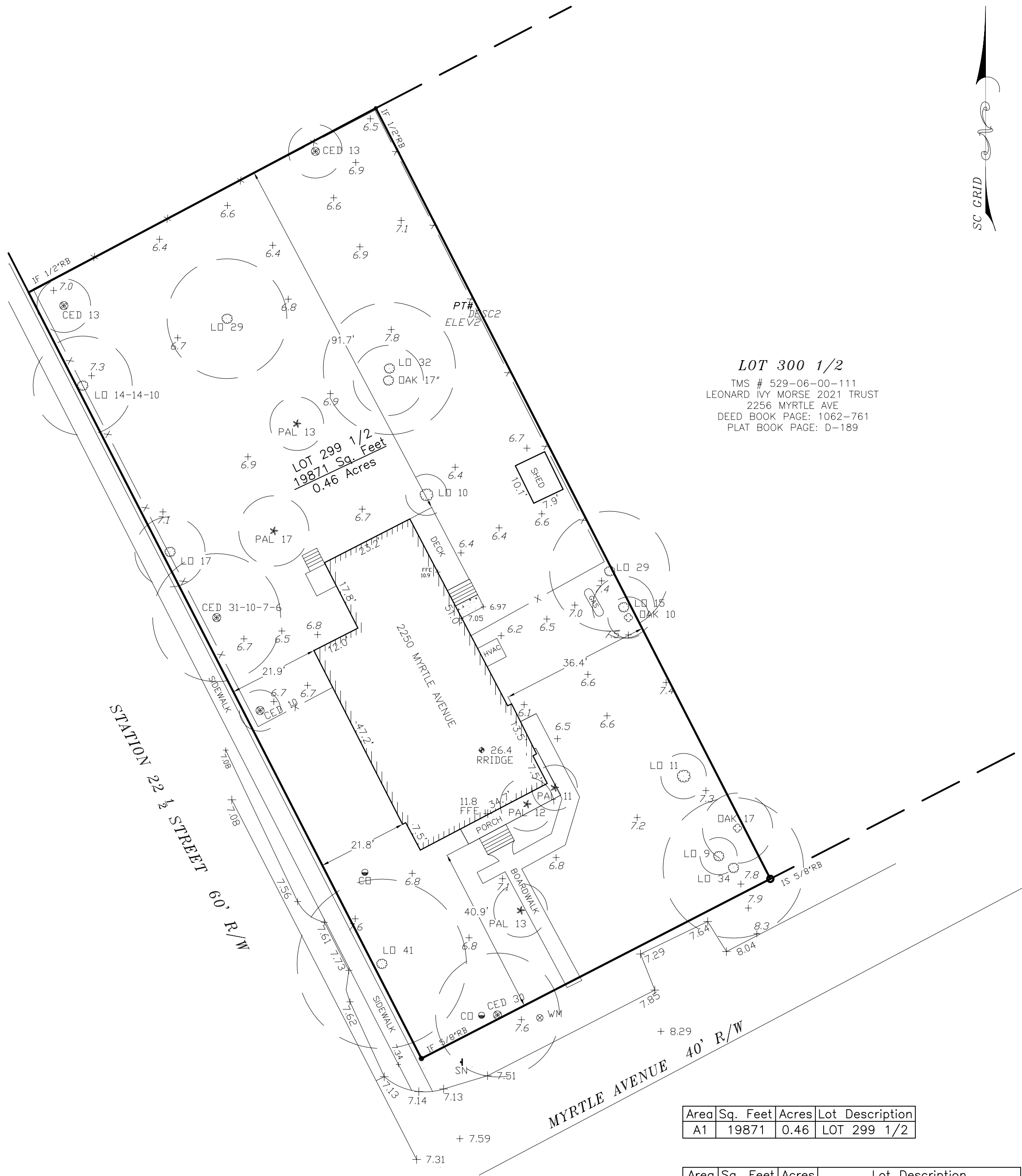
THE BEARINGS SHOWN HEREON ARE SOUTH CAROLINA GRID NAD 1983 (2011) MODEL. VERTICAL DATUM IS BASD ON NAVD 1988.

REFERENCE:

- 1) DEED BOOK U468 AT PAGE 511
2) PLAT BOOK D AT PAGE 189

FLOOD NOTE:

THIS LOT IS SITUATED IN A FLOOD ZONE AE10 AS PER SCALING FROM FEMA F.I.R.M. MAP NUMBER 45019C0539K DATED JANUARY 29, 2021.



LOT 300 1/2

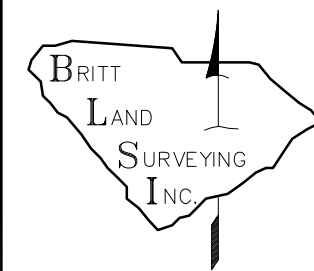
TMS # 529-06-00-111
LEONARD IVY MORSE 2021 TRUST
2256 MYRTLE AVE
DEED BOOK PAGE: 1062-761
PLAT BOOK PAGE: D-189

Area	Sq. Feet	Acres	Lot Description
A1	19871	0.46	LOT 299 1/2

Area	Sq. Feet	Acres	Lot Description
A3	116	0.00	FRONT PORCH
A7	376	0.01	FRONT STEPS AND BOARDWALK
A2	2363	0.05	HOUSE FOOTPRINT
A4	26	0.00	HVAC PLATFORM
A6	49	0.00	REAR STEPS AND DECK
A5	143	0.00	SIDE STEPS AND DECK
Total	3073	0.07	

LOT COVERAGE = 15.5%

LOCATION MAP N.T.S.



BRITT LAND SURVEYING, INC.
P.O. BOX 80333
CHARLESTON, SC 29416
843-810-6771
WWW.BRITTSURVEYINGINC.COM



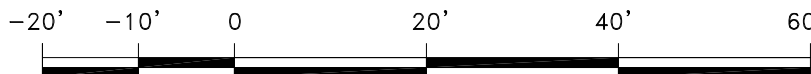
I, Dean L. Britt, A Registered Professional Land Surveyor in the State of South Carolina, certify to owner(s) shown hereon that this survey shown hereon was made in accordance with the requirements of the Minimum Standards Manual for the Practice of Land Surveying in South Carolina, and meets or exceeds the requirements for a class survey as specified therein.

Date: 11-10-2025

DEAN L. BRITT PLS S.C. REG. NO. 15792

SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.

SCALE: 1" = 20'



PLAT OF:
AS-BUILT SURVEY OF
LOT 299 1/2 MOULTRIEVILLE
#2250 MYRTLE AVENUE
PREPARED FOR:
KING & SOCIETY REAL ESTATE
AND CONSTRUCTION
LOCATED IN THE
TOWN OF SULLIVANS ISLAND
CHARLESTON COUNTY - SOUTH CAROLINA

THIS SURVEY IS THE PROPERTY OF BRITT LAND SURVEYING, INC., AND IS PROVIDED AS A SERVICE TO KING & SOCIETY. THIS SURVEY IS NOT FOR THE USE OF MARKETING, NOR IS IT TRANSFERABLE / SELLABLE, AND IS ONLY INTENDED FOR THE NAME SHOWN HEREON.

LOCATION: 2250 MYRTLE AVENUE - 29481

TAX MAP #: 529-06-00-112

DATE: OCTOBER 27, 2025

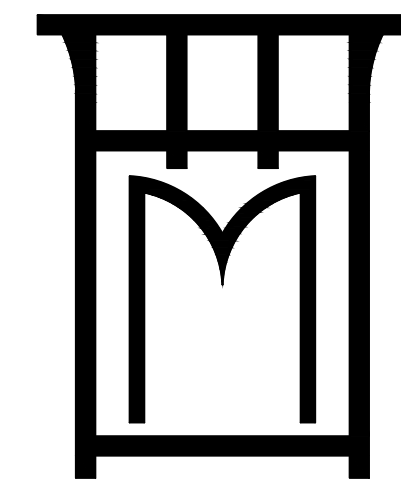
FIELD DATE: OCTOBER 22, 2025

JOB NO.: 254230

COUNTY/STATE: CHARLESTON, S.C.

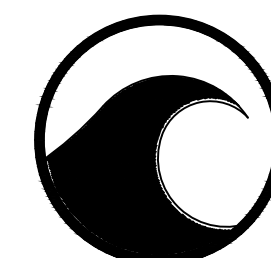
FIELD BY: DLB / SH

DRAWN BY: DLB / KF



M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

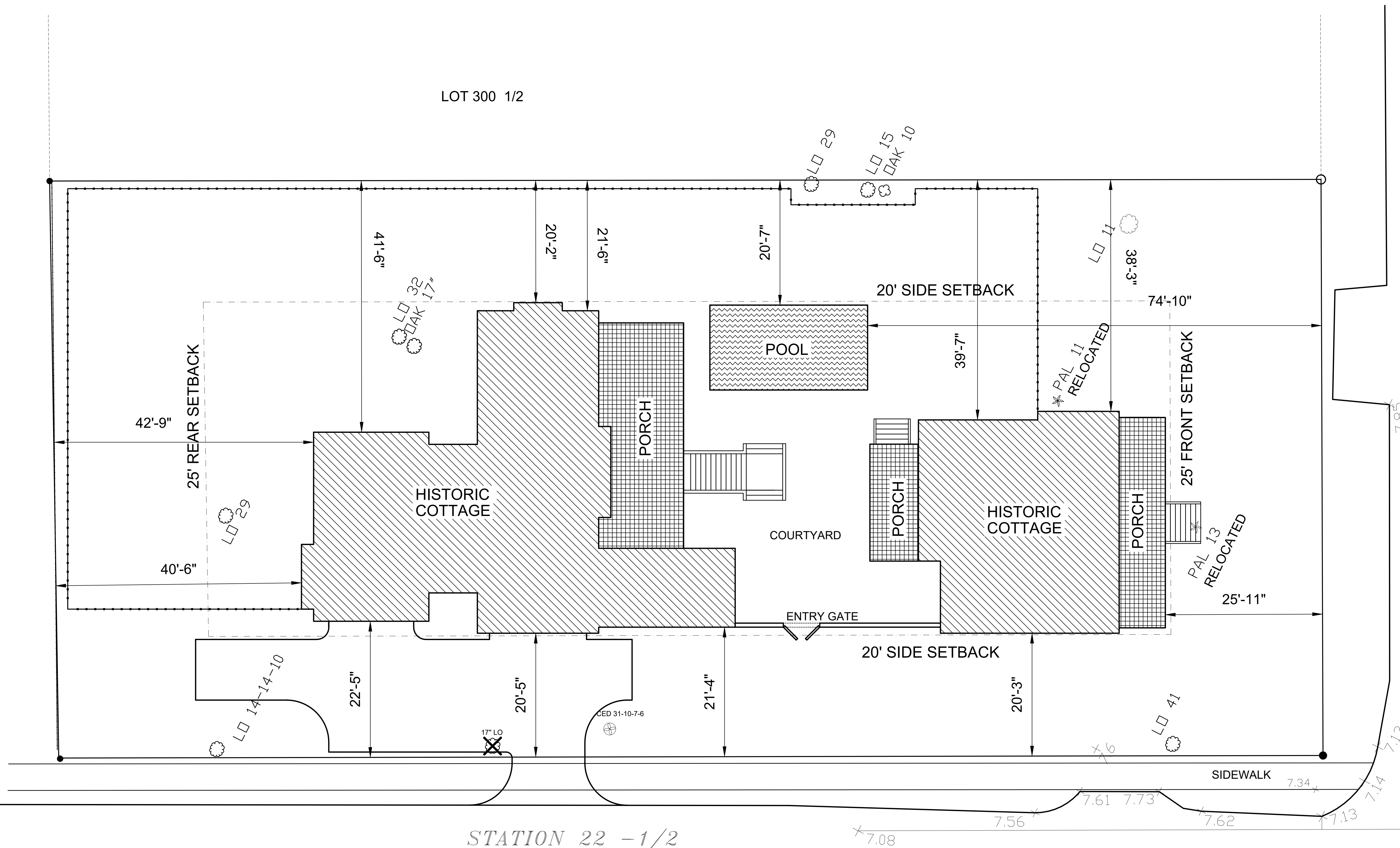
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MYRTLE AVENUE 40' R/W

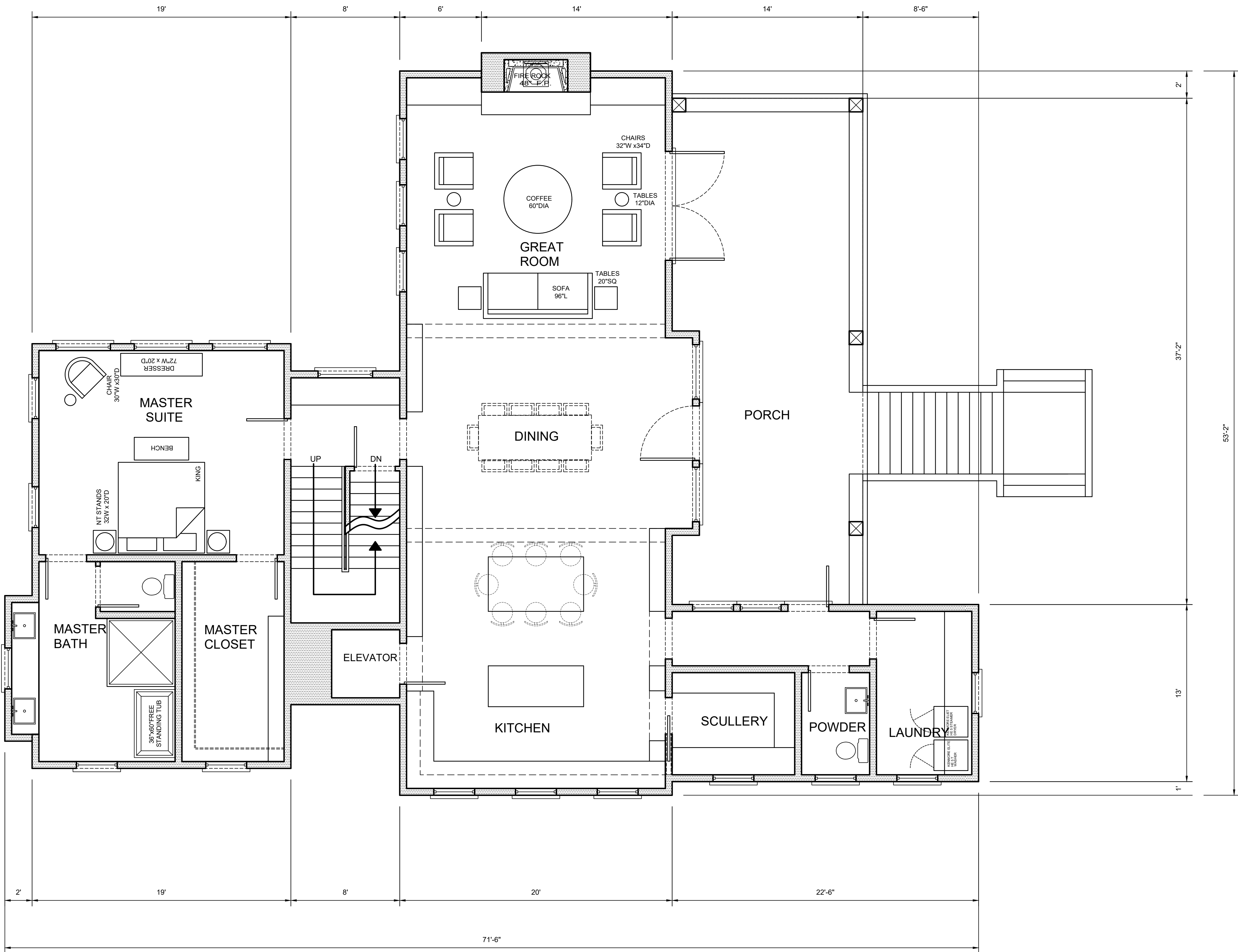
2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
SITE PLAN
REVISIONS

LOT 300 1/2



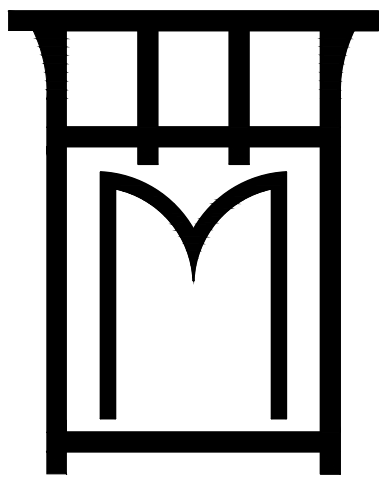
LOT COVERAGE		LOT SIZE 25,728 SQ.FT.				
ZONING ORDINANCE REFERENCE SECTION	ZONING STANDARD	DRB's MAX RELIEF	% OF RELIEF	SQ. FT. OF RELIEF	PROPOSED	
21-22 FRONT SETBACK	25'	15%	N/A	N/A	N/A	
21-22 SIDE SETBACK	40' COMBINED	25%	N/A	N/A	N/A	
21-25 PRINCIPAL BUILDING COVERAGE	3,859 SQ. FT.	20 %	N/A	N/A	3,603 sq. ft.	
21-26 IMPERVIOUS COVERAGE	7,718 SQ.FT.	N/A	N/A	N/A	5949 sq. ft.	
21-27 PRINCIPAL BUILDING SQUARE FOOTAGE	4437 SQ.FT.	500SQ. FT.	10%	453 SQ. FT.	3040 sq. ft. NEW HOUSE	
					1139 sq. ft. HISTORIC COTTAGE	
					4179 sq. ft. TOTAL	
50% GREEN SPACE	12,864 SQ.FT.	N/A	N/A	N/A	17,926 sq. ft. REMAINING GREEN SPACE	
					7802 sq. ft. COVERED AREA	

A SITE PLAN OF
2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SC
SCALE : 1/16" = 1'-0"



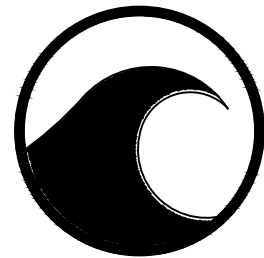
FIRST FLOOR PLAN

1/8" = 1'-0"



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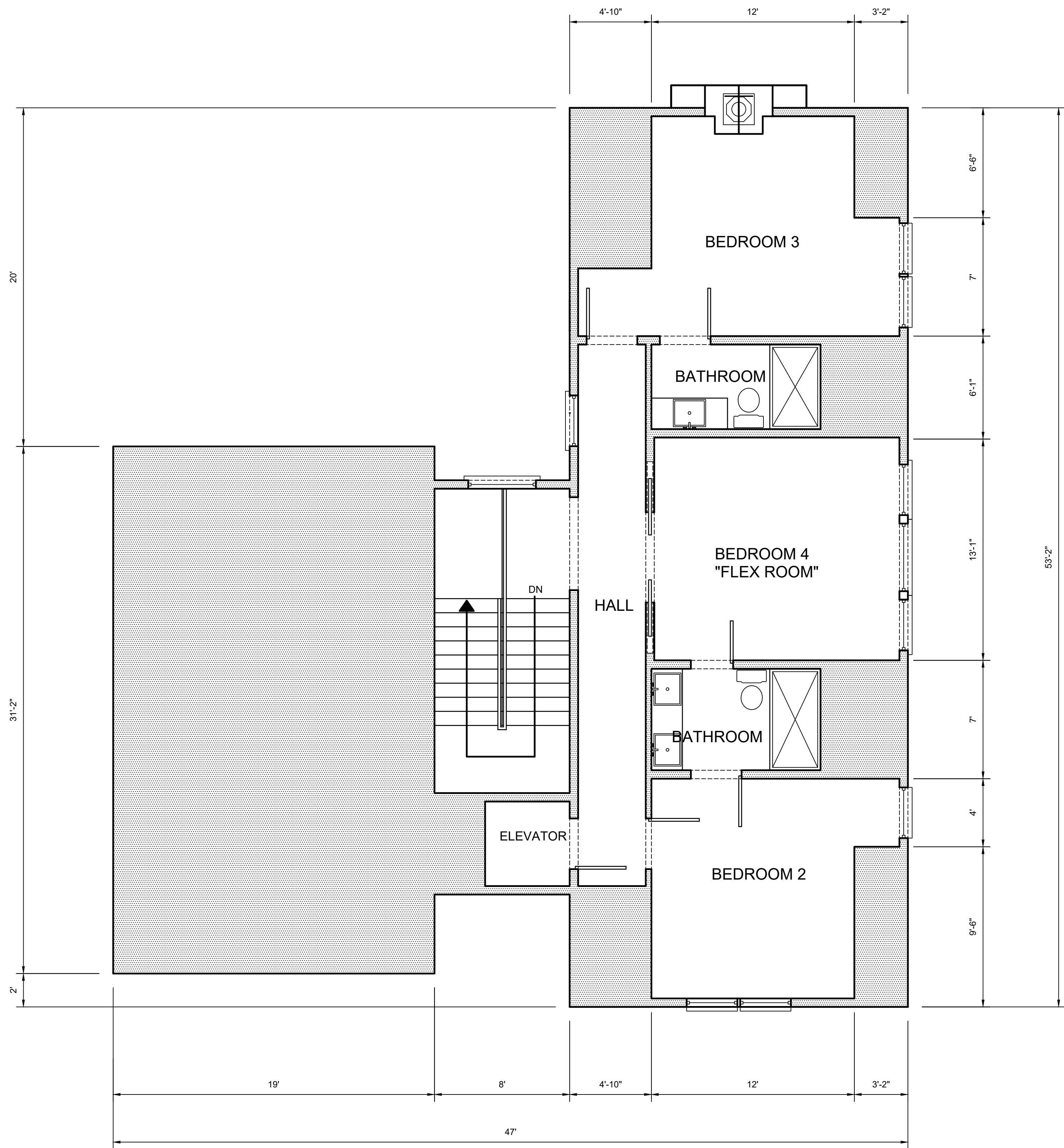
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2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
PRELIMINARY FIRST FLOOR PLAN

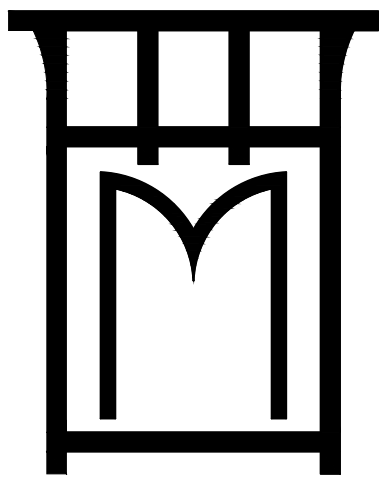
REVISIONS

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a03
DATE
04-16-26



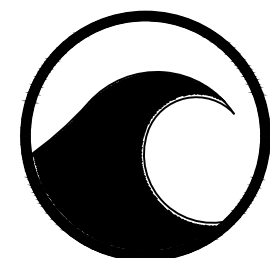
SECOND FLOOR PLAN

1/8" = 1'-0"



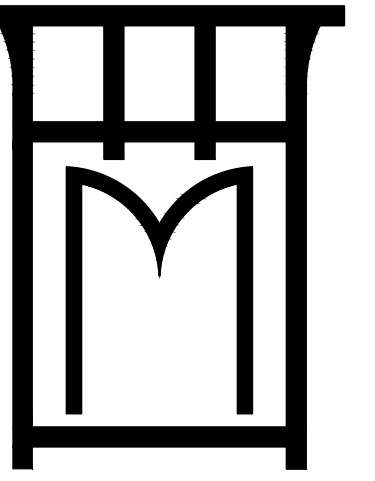
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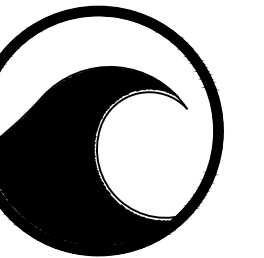
2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
PRELIMINARY SECOND FLOOR PLAN

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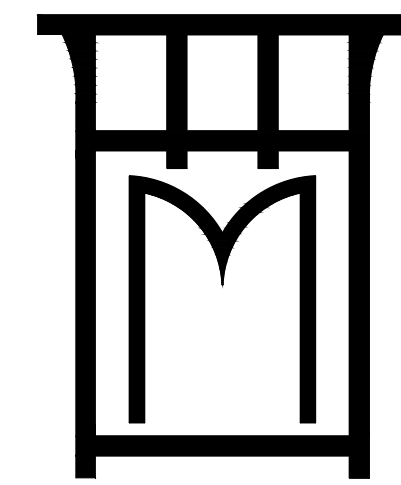
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FRONT ELEVATION
1/8" = 1'-0"

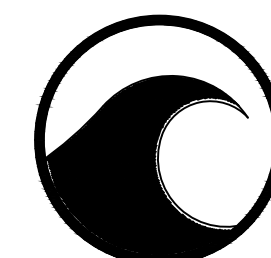
2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
NEW HOUSE - FRONT ELEVATION

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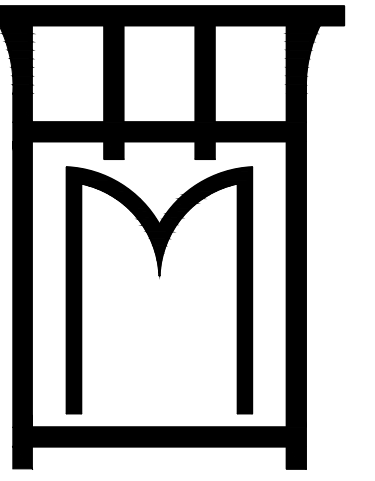


RIGHT SIDE ELEVATION
1/8" = 1'-0"

2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
NEW HOUSE -RIGHT ELEVATION

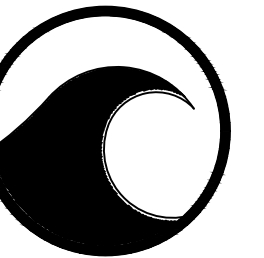
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REAR ELEVATION
1/8" = 1'-0"

2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
NEW HOUSE - REAR ELEVATION

REVISIONS



DRB CONCEPTUAL REVIEW

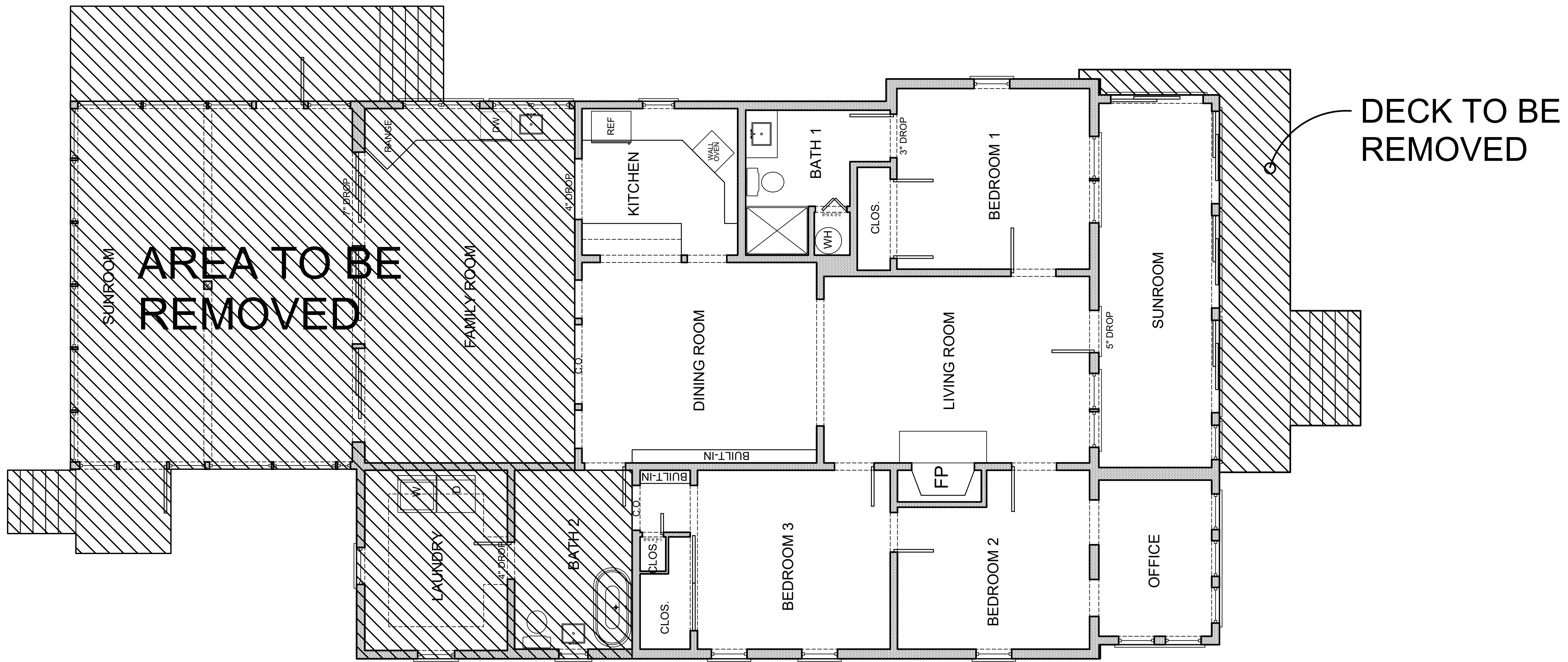


LEFT SIDE ELEVATION
1/8" = 1'-0"

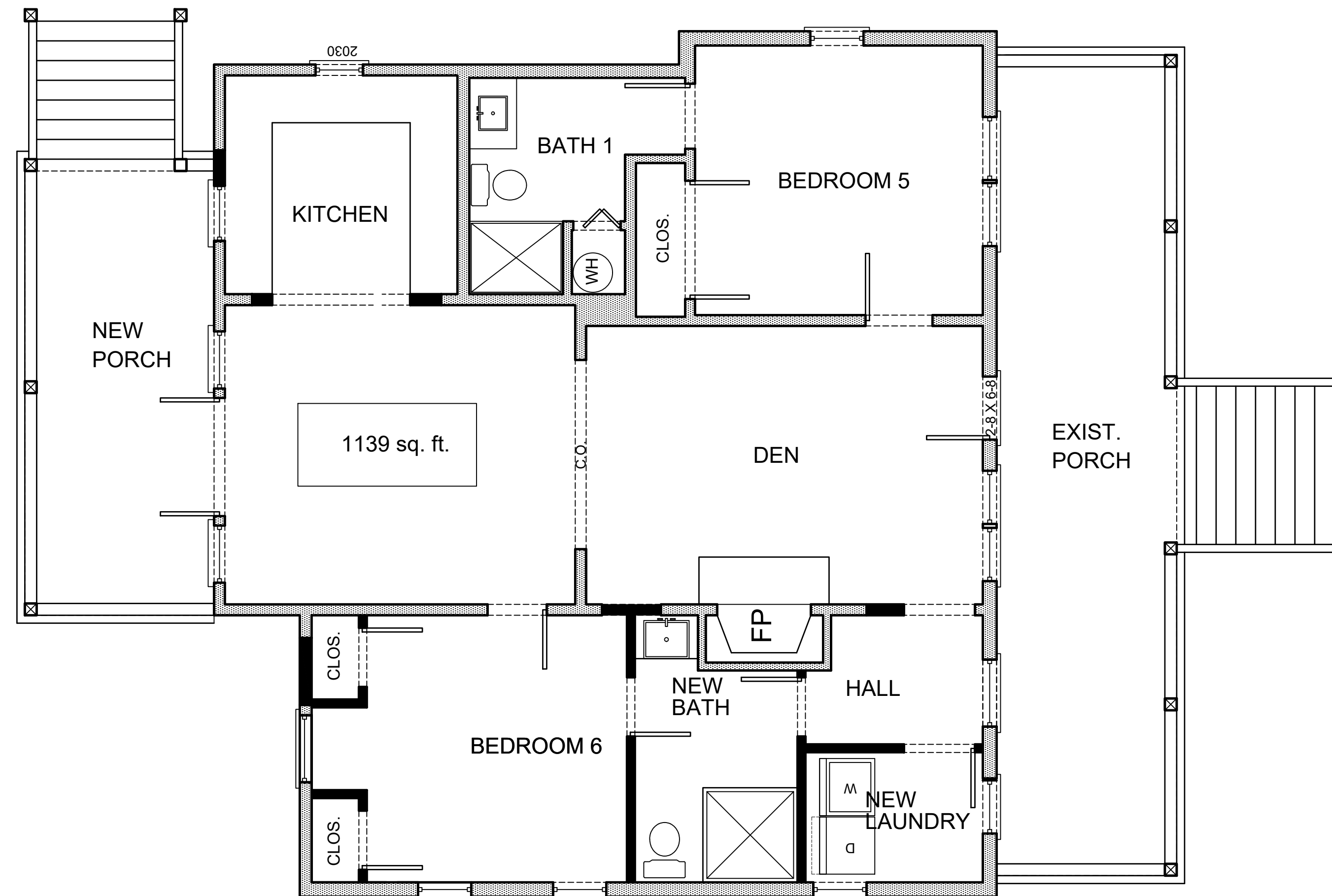
2230 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
NEW HOUSE - LEFT ELEVATION

REVISIONS

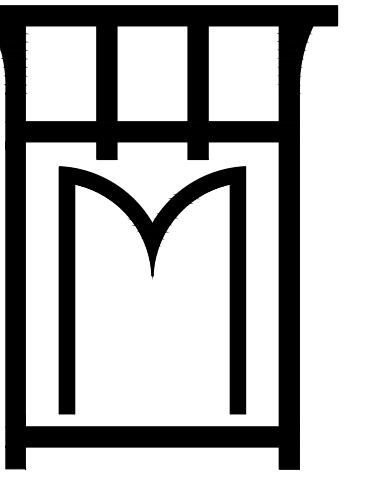
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04-16-26



FLOOR PLAN - EXISTING
1/8" = 1'-0"

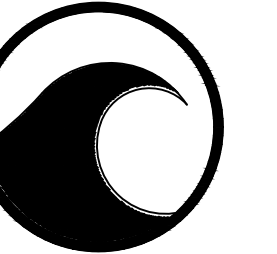


FLOOR PLAN - PROPOSED
1/8" = 1'-0"



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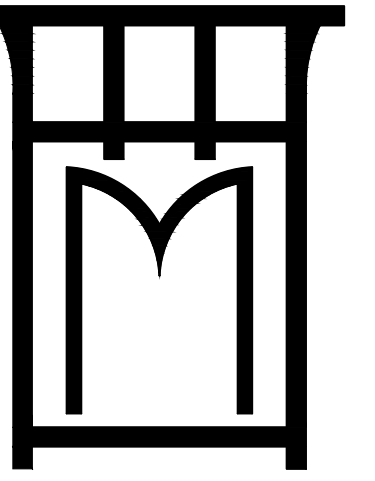
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2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
HISTORIC COTTAGE - FLOOR PLAN

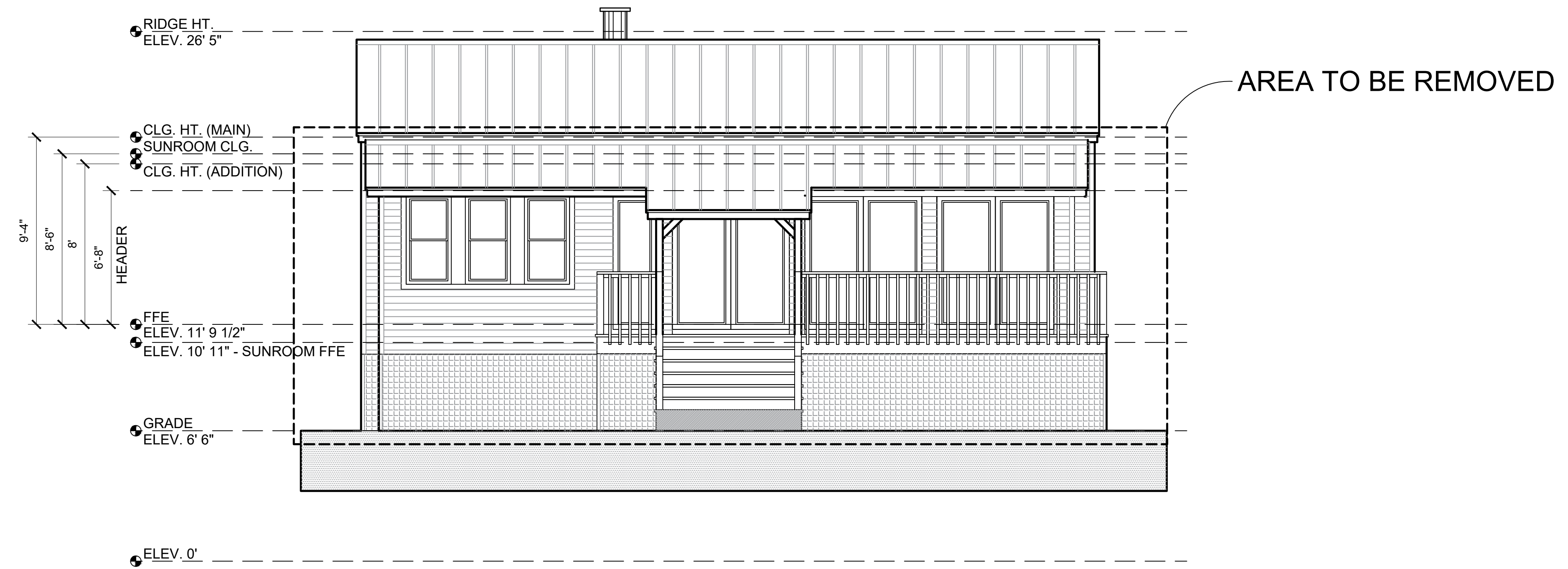
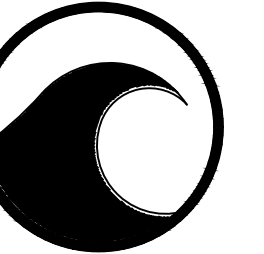
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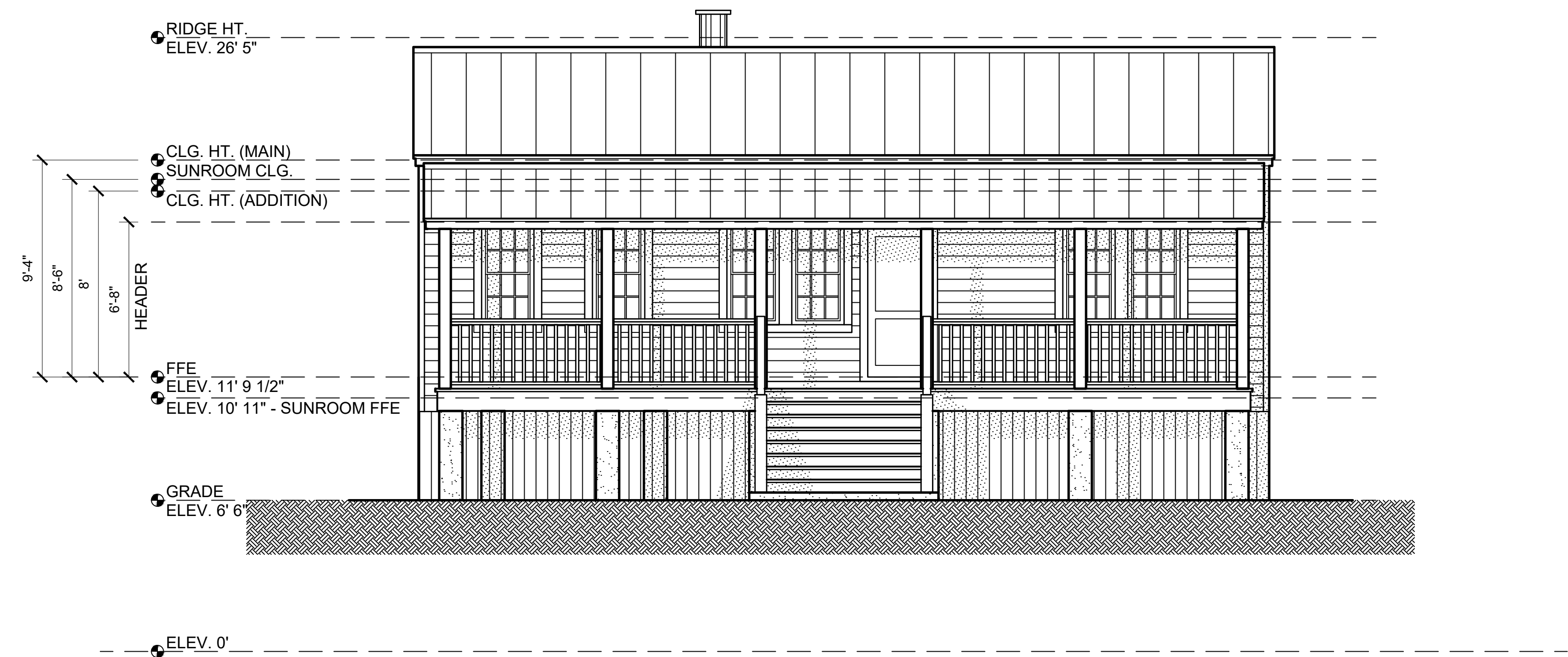


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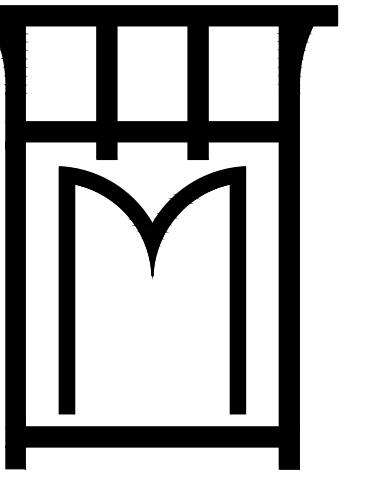
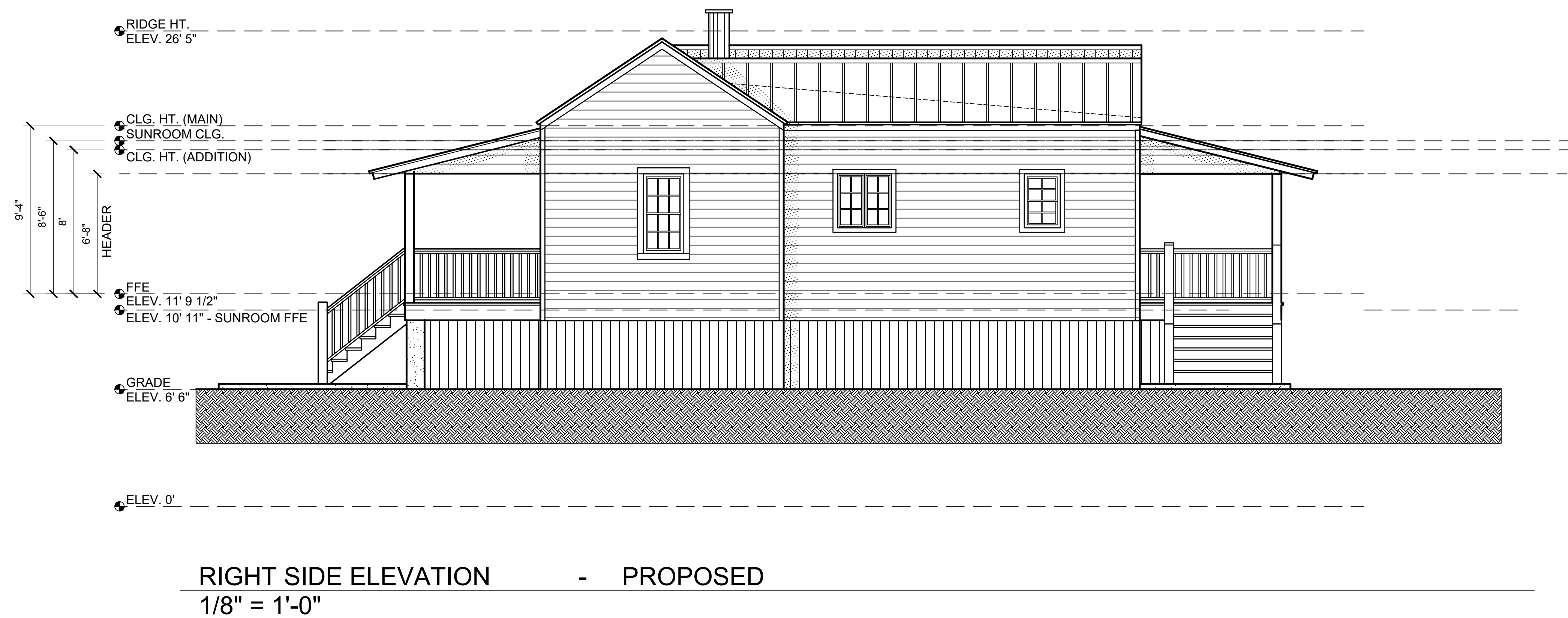
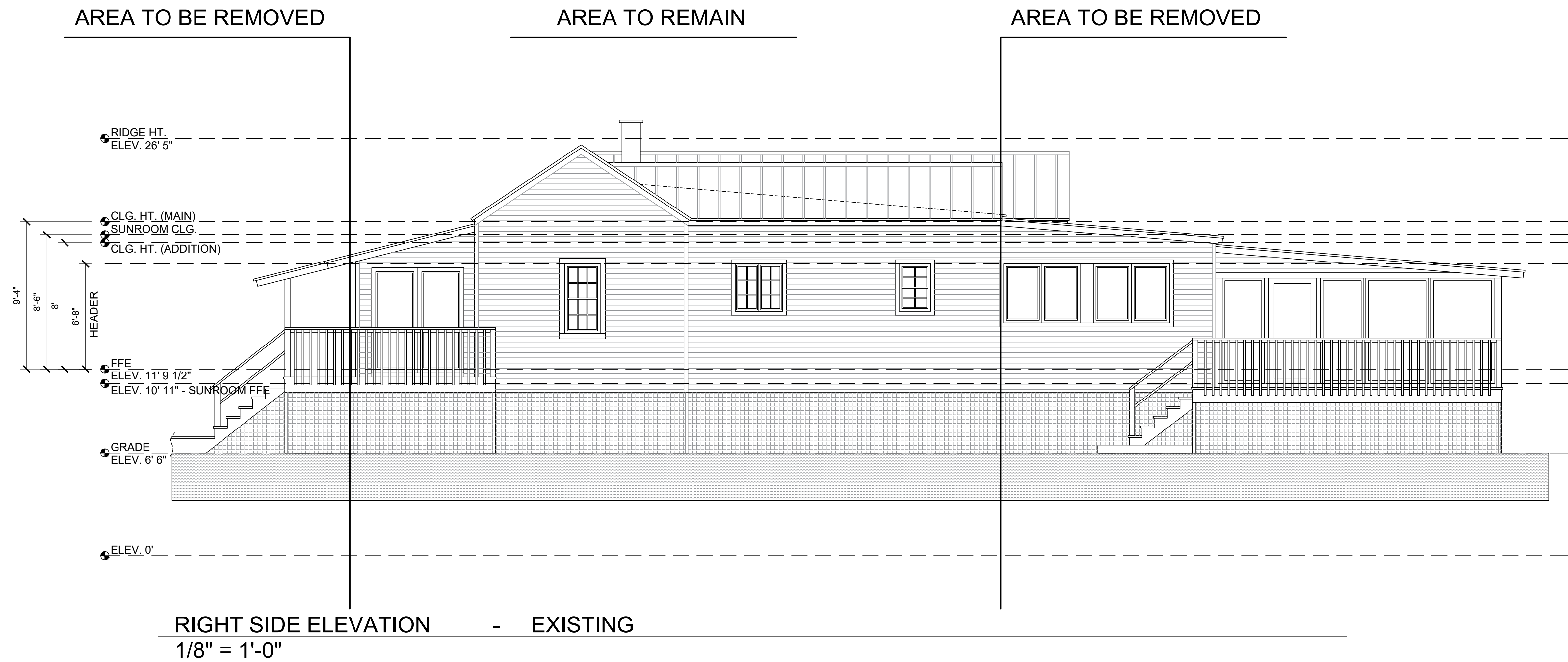
FRONT ELEVATION - EXISTING
1/8" = 1'-0"



FRONT ELEVATION - PROPOSED
1/8" = 1'-0"

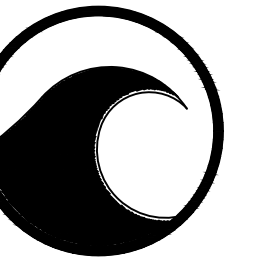
2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
HISTORIC COTTAGE - FRONT ELEVATIONS

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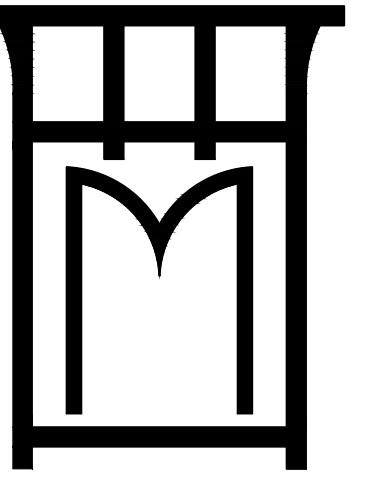
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REVIEW



2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
HISTORIC COTTAGE - RIGHT ELEVATIONS

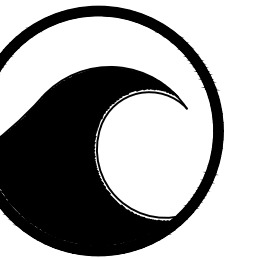
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a11
DATE
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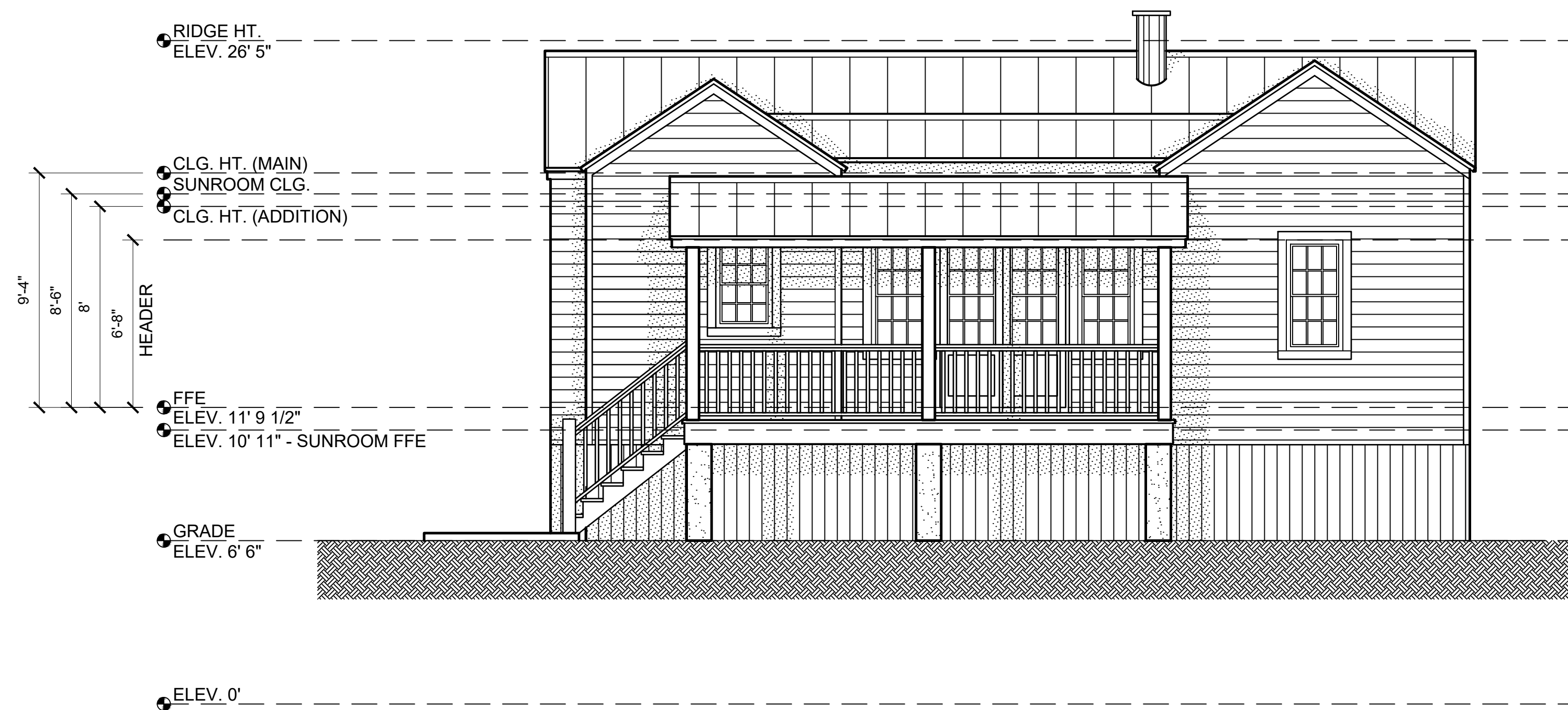


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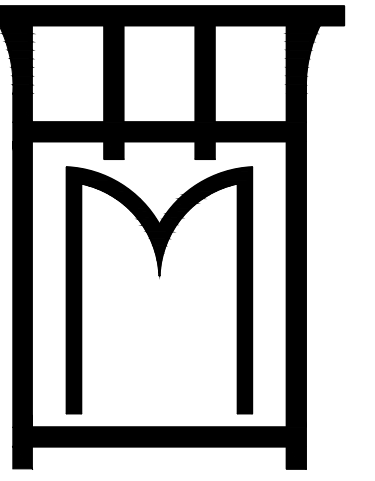
REAR ELEVATION - EXISTING
1/8" = 1'-0"



REAR ELEVATION - PROPOSED
1/8" = 1'-0"

2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
HISTORIC COTTAGE - REAR ELEVATIONS

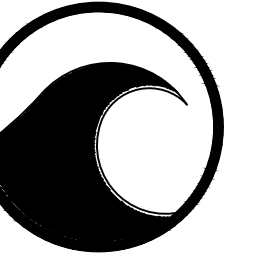
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2250 MYRTLE AVE.
SULLIVAN'S ISLAND, SOUTH CAROLINA
NEW HOUSE AND HISTORIC COTTAGE
HISTORIC COTTAGE - LEFT ELEVATIONS

REVISIONS

SHEET
a13
DATE
04-16-26

