

BUILDING NOTES

1. CONTRACTOR TO VERIFY ALL REVISIONS WITH OWNERS, AND SUB CONTRACTORS FOR CLARIFICATION, PRIOR TO ANY MODIFICATIONS.
2. ANY REVISIONS THAT REQUIRE "CHANGE ORDER FEES", MUST BE APPROVED IN A WRITTEN FORMAT, AND SIGNED BY BOTH OWNER AND CONTRACTOR PRIOR TO WORK. OWNERS ARE NOT RESPONSIBLE FOR CHANGE ORDER FEES THAT ARE NOT APPROVED AND SIGNED BY BOTH, OWNER AND CONTRACTOR. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE CHANGE ORDER DOCUMENTS WITHIN (1) ONE WEEK OF SUBMITTED REVISION.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY, TO PROVIDE A THOROUGH "BUILD SCHEDULE" TO THE OWNERS. THIS DOCUMENT SHALL OUTLINE - A VISUAL CALENDAR FOR EACH PHASE OF THE PROJECT: INCLUDING - CITY BUILDING INSPECTIONS, TRADE ROUGH IN AND TRIM OUT (START AND COMPETITION DATES), AND DATES FOR OWNER PROVIDED ITEMS. IT IS THE OWNER'S RESPONSIBILITY TO PROVIDE "OWNER PROVIDED ITEMS" (DOCUMENTS AND/OR ITEMS) TO THE CONTRACTOR PER THE "BUILD SCHEDULE".
4. SCHEDULING DELAYS ARE NOT THE OWNER'S RESPONSIBILITY, UNLESS "OWNER PROVIDED ITEMS" ARE NOT DELIVERED PER THE AGREED UPON "BUILD SCHEDULE".



GENERAL NOTES:

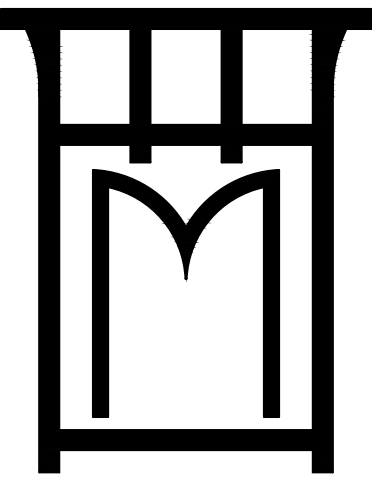
1. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.
2. CONTRACTOR MUST COMPLY WITH RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES AND ORDINANCES. ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
3. CONTRACTOR SHALL COMPLY WITH THE RULES AND REGULATIONS OF THE BUILDING AS TO HOURS OF AVAILABILITY OF LOADING DOCKS AND ELEVATORS FOR THE PURPOSES OF DELIVERY, AND ALSO AS TO THE MANNER OF HANDLING MATERIALS, EQUIPMENT AND DEBRIS TO AVOID CONFLICT AND INTERFERENCE WITH NORMAL BUILDING OPERATIONS.
4. ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE BEST PRACTICES OF THE TRADES INVOLVED, AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR.
5. EACH TRADE WILL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES FOLLOWING THEM.
6. CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
7. ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
8. ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
9. THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.
10. ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.
11. CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS WORK.
12. CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH; PREMISES TO BE SWEEPED CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.
13. PATCH ALL AREAS WHERE FLOOR IS NOT LEVEL OR TRUE PRIOR TO THE INSTALLATION OF FLOORING OR CARPETING.
14. TO INSURE PROPER AND ADEQUATE BLOCKING, ALL BLOCKING FOR CABINET WORK WILL BE THE RESPONSIBILITY OF THE CABINET CONTRACTOR.
15. UPON COMPLETION OF WORK THE CONTRACTOR SHALL WALK THROUGH WITH BUILDING MANAGER AND COMPILE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS.
16. ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY BUILDING MANAGER.
17. PROVIDE COPPER FLASHING AT ALL TYPICAL FLASHING LOCATIONS, INCLUDING DOOR PANS, ROOF FLASHING TO BY SAME MATERIAL AS METAL ROOF AND PROVIDED BY ROOF MANUFACTURER.
18. ALL WINDOWS, DOORS, & VENTS TO MEET WIND LOAD REQUIREMENTS AND BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
19. ALL DOORS AND WINDOWS ARE TO BE INSTALLED PER MANUFACTURE SPECS. SEE MANUFACTURE'S SHOP DRAWINGS FOR INSTALLATION AND FLASHING DETAILS.
20. ALL EXTERIOR MATERIALS- SIDING AND TRIM, STUCCO CONVENTIONAL OR SYNTHETIC, AND ROOFING - SHALL BE INSTALLED PER MANUFACTURE'S SPECS AND RECOMMENDATION. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SHOP DRAWINGS AND MANUFACTURE SPECIFICATION FOR INSTALLATION, AS WELL AS OVERSEEING THE INSTALLATION AND OR APPLICATION.
21. ALL WALLS, STEPS, AND GARAGE DOORS BELOW FLOOD LEVEL TO BE CLASS 4 OR 5.
22. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS INSTALLED. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SHOP DRAWINGS FOR ALL INSTALLED ITEMS.

DEATON HOUSE
2858 ION AVE. - SULLIVAN'S ISLAND, S.C.

A
SITE PLAN OF
2858 ION AVE.
SULLIVAN'S ISLAND, SC
SCALE : 1/8" = 1'0"

THIS PROPERTY IS LOCATED
IN FLOOD ZONE AE (EL. 10)
AS SHOWN FROM FEMA
FLOOD MAPS.
PANEL NO. 45019C0539 K
REVISED JANUARY 29, 2021

LOT COVERAGE		LOT SIZE 13,399 SQ.FT.				
ZONING ORDINANCE REFERENCE SECTION	ZONING STANDARD	DRB's MAX RELIEF	% RELIEF	TOTAL ALLOWED	PROPOSED	
21-22 FRONT SETBACK	25'	N/A	N/A	N/A	N/A	N/A
21-22 SIDE SETBACK	30' COMBINED	N/A	N/A	N/A	N/A	N/A
21-25 PRINCIPAL BUILDING COVERAGE	2,090 SQ. FT.	418 SQ. FT.	20 %	2508 SQ.FT.	2,504 SQ. FT.	3,812 SQ. FT.
21-26 IMPERVIOUS COVERAGE	4,200 SQ.FT.	N/A	N/A	N/A	N/A	3,654 SQ. FT.
21-27 PRINCIPAL BUILDING SQUARE FOOTAGE	3,240 SQ.FT.	500 SQ. FT.	N/A	3740 SQ. FT.	N/A	7,759 SQ. FT.
50% GREEN SPACE	6,700 SQ.FT. MIN.	N/A	N/A	N/A	N/A	N/A

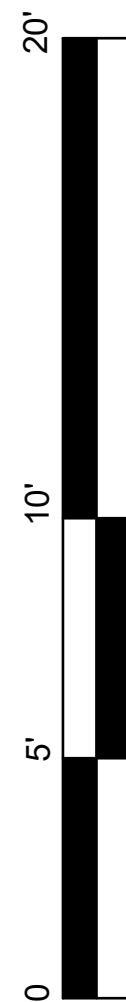
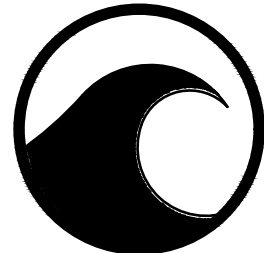


M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE

FIRST FLOOR 2504 SQ.FT.
SECOND FLOOR 1150 SQ.FT.

TOTAL HEATED 3654 SQ.FT.



PERMIT
SET

DEATON HOUSE - 2858 ION
SULLIVAN'S ISLAND, S.C.
COVER

REVISIONS
08-01-25
02-19-26

NOTES:
ELEVATIONS ARE BASED ON NAVD 1988.

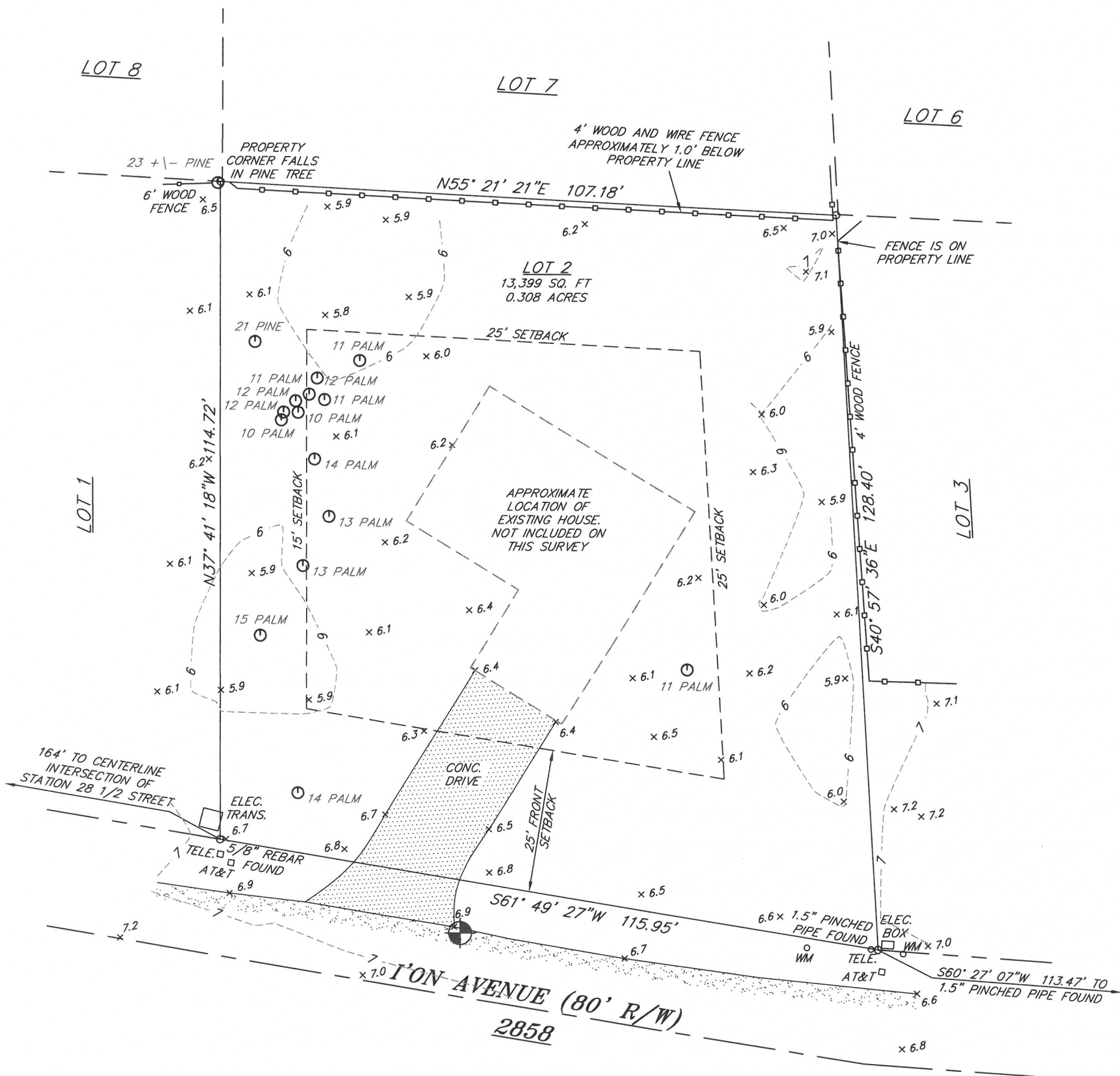
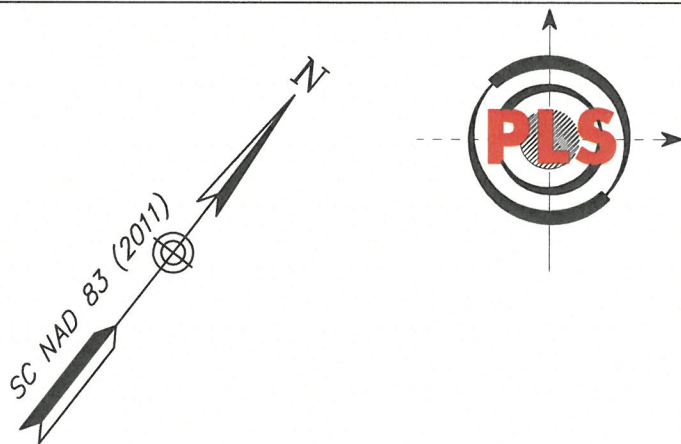
PROPERTY IS NOT LOCATED WITHIN THE LIMITS OF MODERATE WAVE ACTION.

THIS SURVEY IS BASED ON FOUND MONUMENTATION, REFERENCES, AND LINES OF OCCUPATION.

SETBACKS PER ONLINE ORDINANCES FOR "RS" AND SHOULD BE VERIFIED WITH ALL GOVERNING MUNICIPALITIES AND ASSOCIATIONS BEFORE FUTURE DESIGN OR CONSTRUCTION.

TREES SHOWN WERE MEASURED AT DIAMETER BREAST HEIGHT (DBH) WITH A FORESTRY TREE TAPE. ALL TREE SIZES AND SPECIES SHOULD BE VERIFIED BY GOVERNING MUNICIPALITY AND/OR A LICENSED ARBORIST BEFORE DESIGN OR CONSTRUCTION.

APPROVAL/PERMISSION TO REMOVE TREES IS GRANTED BY THE GOVERNING MUNICIPALITY. THIS DOCUMENT SHOULD BE VERIFIED AGAINST THE MUNICIPALITY APPROVED TREE REMOVAL PLAN. THIS DOCUMENT CANNOT BE CONSTRUED IN ANY WAY AS TO GRANT APPROVAL. PARKER LAND SURVEYING, LLC IS IN NO WAY RESPONSIBLE FOR TREES REMOVED.



SURVEYED FOR CALIBER CONSTRUCTION

**TOPOGRAPHIC AND TREE SURVEY SHOWING LOT 2, BLOCK 4
MARSHALL RESERVATION SUBDIVISION, TMS# 529-11-00-103
LOCATED IN THE TOWN OF SULLIVANS ISLAND, CHARLESTON COUNTY, SC**

SCALE: 1" = 20'

DATE: AUGUST 15, 2024

REFERENCE: PLAT RECORDED IN PLAT BOOK T, PAGE 017

LOT MAY BE SUBJECT TO EASEMENTS AND RESTRICTIONS

NOT OBVIOUS OR APPARENT TO THE SURVEYOR.

PROPERTY APPEARS TO LIE IN FLOOD ZONE

AE (ELEV. 10), 45019C 0539 K, REVISED JANUARY 29, 2021

2858-I0N-AV-tt/ KRB

FEMA REVISION CHECK: 8/20/24

RICHARD A. ALDRIDGE S.C.P.L.S. No. 20854

PARKER LAND SURVEYING, LLC

5910 GRIFFIN STREET, HANAHAN, SC 29410

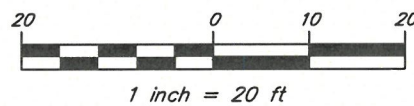
TEL: (843) 554-7777

I HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS B SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.



BENCHMARK:
ELEV. = 6.91' (NAVD 1988)
MAG NAIL EDGE OF ASPHALT
NEAR RIGHT FRONT OF DW.

PROPERTY LINE WITH
PROPERTY CORNER.
MONUMENT FOUND
AS DESCRIBED



LOT 8

LOT 7

LOT 6

PROPERTY
CORNER FALLS
IN PINE TREE

4' WOOD AND WIRE FENCE
APPROXIMATELY 1.0' BELOW
PROPERTY LINE

FENCE IS ON
PROPERTY LINE

6' WOOD
FENCE

N55° 21' 21"E 107.18'

25'-3"

40'-4"

27'-3"

25'-2"

27'-3"

LOT 2

13,399 SQ. FT
0.308 ACRES

25' SETBACK

25'-4"

16'-4"

15'-7"

22'-6"

15' SETBACK

PORCH

HVAC

HOUSE

25' SETBACK

PERVIOUS
PAVERS

PORCH

PERVIOUS PAVERS

ELEC.
TRANS.

TELE. □ 5/8" REBAR
□ FOUND
AT&T

164' TO CENTERLINE
INTERSECTION OF
STATION 28 1/2 STREET

25' SETBACK

25'-6"

30'-4"

10'

1.5" PINCHED
PIPE FOUND

ELEC.
BOX

TELE.
AT&T

S60° 27' 07"W 113.47' TO
1.5" PINCHED PIPE FOUND

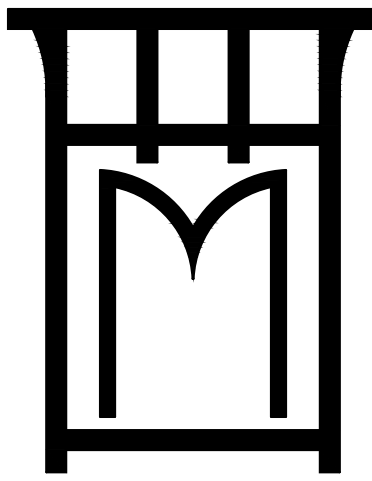
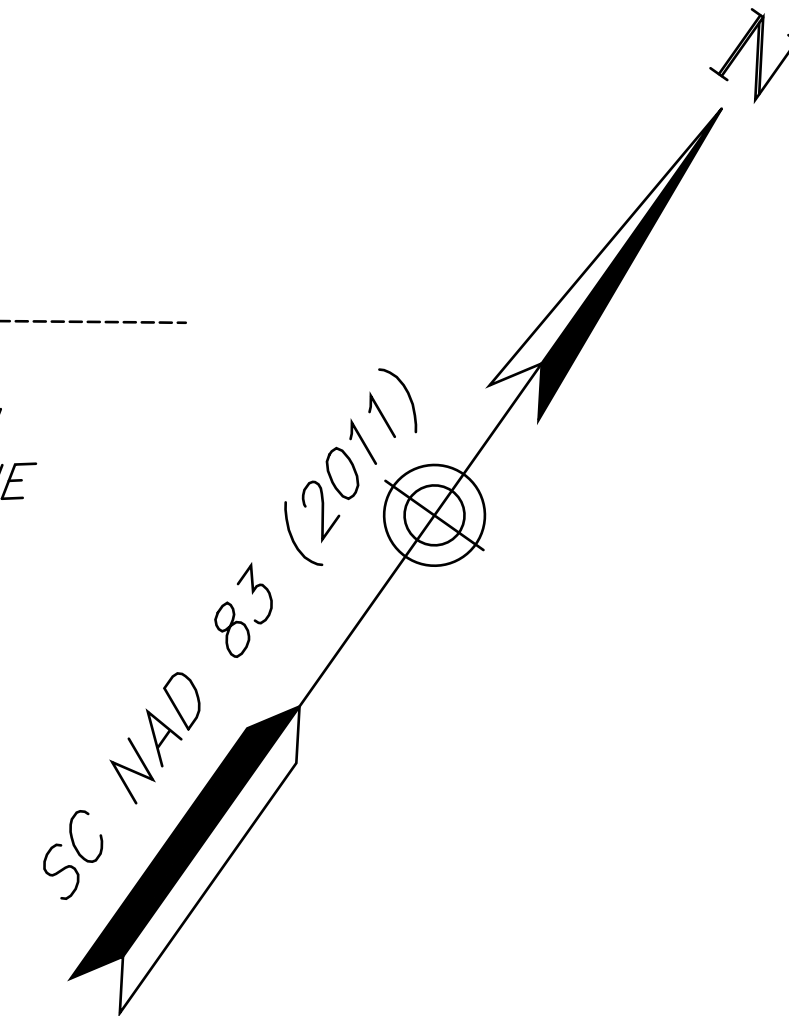
S61° 49' 27"W 115.95'

7"r
FLARE

7"r
FLARE

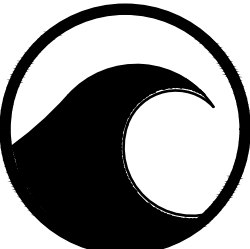
20'

I'ON AVENUE (80' R/W)
2858



M³ DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE
FIRST FLOOR 2504 SQ.FT.
SECOND FLOOR 1150 SQ.FT.
TOTAL HEATED 3654 SQ.FT.



PERMIT
SET

NOTE:
THIS PLAN IS FOR HOUSE LOCATION ONLY.
SEE LANDSCAPE ARCHITECT PLAN FOR
ELEVATIONS, DRAINAGE, AND ALL OTHER
REQUIRED INFORMATION.

DEATON HOUSE - 2858 ION AVE.
SULLIVAN'S ISLAND, S.C.
SITE PLAN

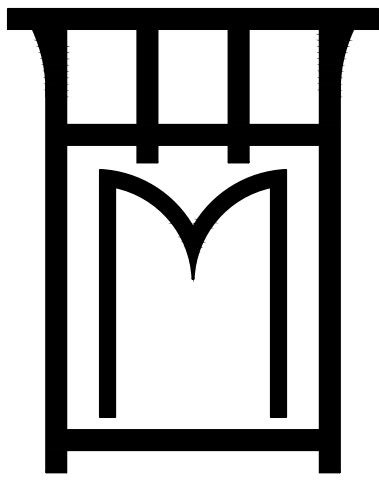
REVISIONS
08-01-25
08-06-25
02-16-26

SHEET
a02
DATE
06-26-25

A
SITE PLAN OF
2858 ION AVE.
SULLIVAN'S ISLAND, SC
SCALE : 1/8" = 1'0"

THIS PROPERTY IS LOCATED
IN FLOOD ZONE AE (EL. 10)
AS SHOWN FROM FEMA
FLOOD MAPS.
PANEL NO. 45019C0539 K
REVISED JANUARY 29, 2021

LOT COVERAGE		LOT SIZE 13,399 SQ.FT.			
ZONING ORDINANCE REFERENCE SECTION	ZONING STANDARD	DRB's MAX RELIEF	% RELIEF	TOTAL ALLOWED	PROPOSED
21-22 FRONT SETBACK	25'	N/A	N/A	N/A	N/A
21-22 SIDE SETBACK	30' COMBINED	N/A	N/A	N/A	N/A
21-25 PRINCIPAL BUILDING COVERAGE	2,090 SQ. FT.	418 SQ. FT.	20 %	2508 SQ.FT.	2,504 SQ. FT.
21-26 IMPERVIOUS COVERAGE	4,200 SQ.FT.	N/A	N/A	N/A	3,812 SQ. FT.
21-27 PRINCIPAL BUILDING SQUARE FOOTAGE	3,240 SQ.FT.	500 SQ. FT.	N/A	3740 SQ. FT.	3,654 SQ. FT.
50% GREEN SPACE	6,700 SQ.FT. MIN.	N/A	N/A	N/A	7,759 SQ. FT.

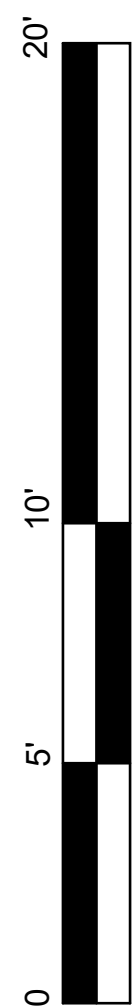
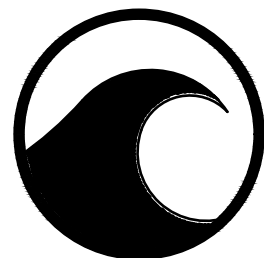


M³ DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE

FIRST FLOOR 2504 SQ.FT.
SECOND FLOOR 1150 SQ.FT.

TOTAL HEATED 3654 SQ.FT.



PERMIT
SET

DEATON HOUSE - 2858 ION
SULLIVAN'S ISLAND, S.C.
GROUND FLOOR PLAN

REVISIONS
08-01-25
08-06-25
12-30-25

SHEET

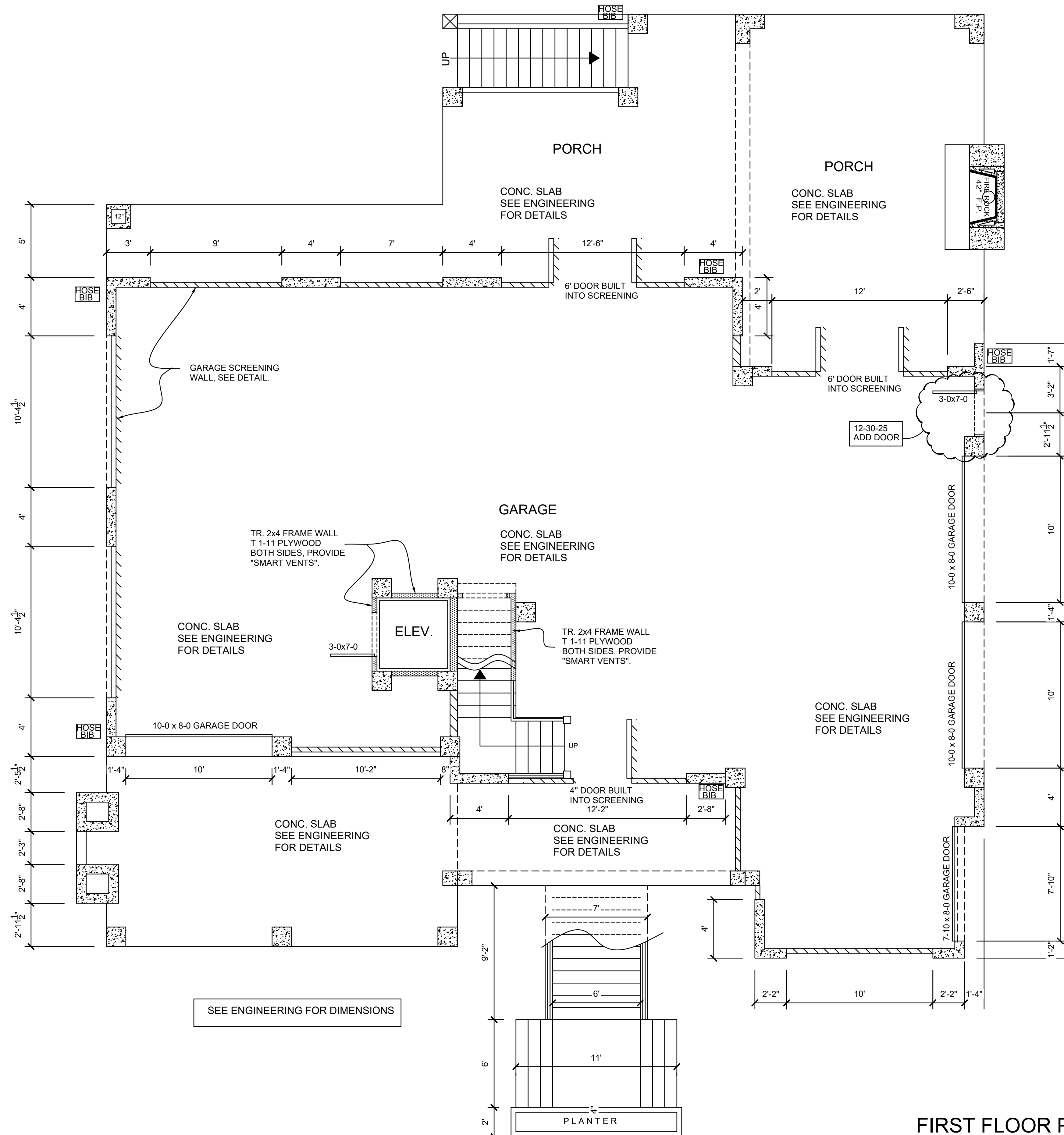
a03
DATE
07-07-25

NOTES:

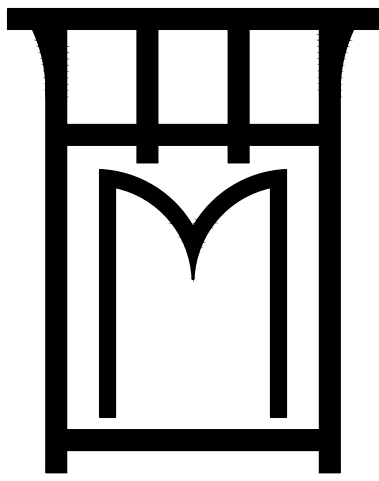
1. PROVIDE SOUND INSULATION IN ALL INTERIOR WALLS AND FLOORS. SOUND INSULATE AROUND ALL INTERIOR PLUMBING DRAIN PIPES.
2. VERIFY ALL DOOR AND WINDOW - ROUGH OPENING SIZES WITH SUPPLIER AND FRAMER PRIOR TO FRAMING.
3. PROVIDE BLOCKING FOR ANY AND ALL CABINETS, BATHROOM ACCESSORIES AND LIGHTING. VERIFY LOCATIONS WITH OWNERS.
4. INSULATION
 - ROOF - OPEN CELL SPRAY FOAM.
 - EXTERIOR WALLS - BATT INSULATION (MAXX. R-VALUE).
 - FIRST FLOOR - CLOSED CELL SPRAY FOAM INSULATION.
5. JOB VERIFY RISE AND RUN ON ALL STAIRS.
6. FIRST COURSE OF PLYWOOD SHEATHING, AND ALL AREAS THAT PORCHS AND DECK CONNECT TO BE TREATED PLYWOOD.
7. PRIOR TO FRAMING, VERIFY THAT ALL PLUMBING DROPS, PLUMBING FIXTURE LOCATIONS, ELECTRICAL FIXTURE LOCATIONS, AND HVAC COMPONENTS, ARE CLEAR OF FLOOR JOISTS, STRUCTURAL BEAMS, AND PIERS. IF ANY ARE IN CONFLICT, HAVE ENGINEER'S WRITTEN APPROVAL FOR ANY STRUCTURAL MODIFICATIONS.
8. VERIFY ALL ELECTRICAL AND PLUMBING FIXTURES LOCATIONS WITH OWNERS DURING FRAMING.
9. WINDOW AND DOOR SIZES ARE IN FEET AND INCHES.
WINDOWS - 3060 = 3'-0" x 6'-0"
DOORS - 3-0x8-0 = 3'-0" x 8'-0"

DRAWING NOTES

- Ⓐ VERIFY WINDOW HEIGHT, BOTTOM OF WINDOW TO BE AT FINISHED COUNTER TOP.



FIRST FLOOR PLAN
1/4" = 1'-0"

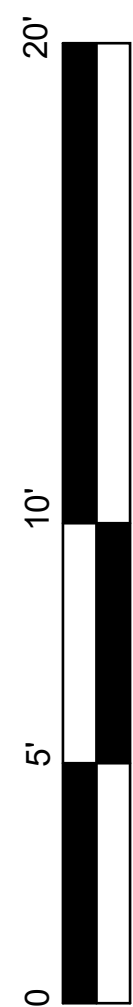
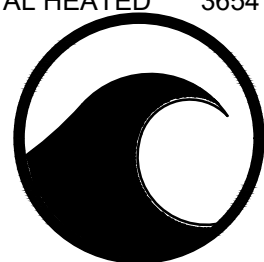


M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmcants3@gmail.com

SQUARE FOOTAGE

FIRST FLOOR 2504 SQ.FT.
SECOND FLOOR 1150 SQ.FT.

TOTAL HEATED 3654 SQ.FT.



PERMIT
SET

DEATON HOUSE - 2858 ION
SULLIVAN'S ISLAND, S.C.
FIRST FLOOR PLAN

REVISIONS
08-01-25
08-06-25
02-19-26

SHEET

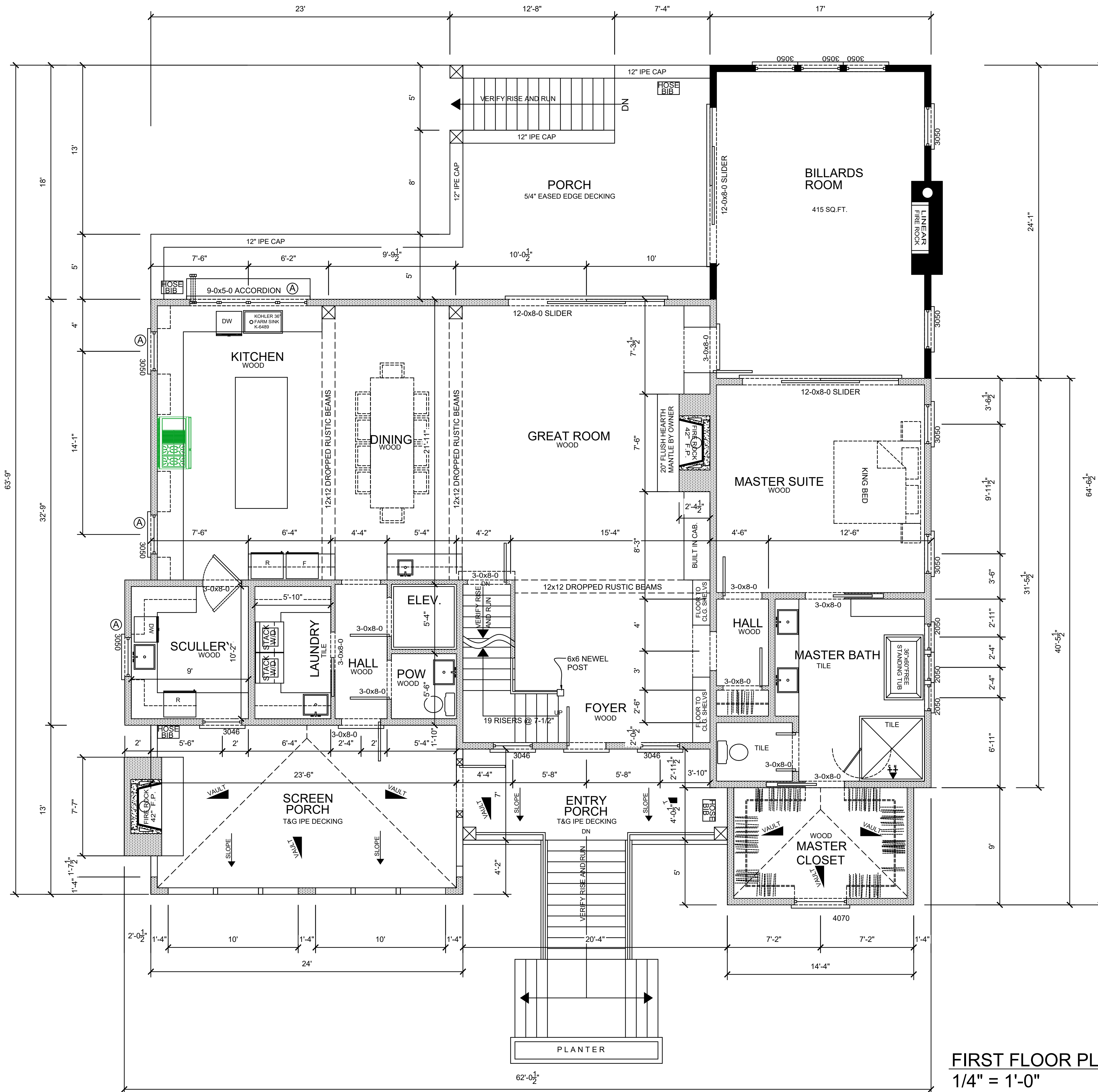
a04
DATE
07-07-25

NOTES:

1. PROVIDE SOUND INSULATION IN ALL INTERIOR WALLS AND FLOORS. SOUND INSULATE AROUND ALL INTERIOR PLUMBING DRAIN PIPES.
2. VERIFY ALL DOOR AND WINDOW - ROUGH OPENING SIZES WITH SUPPLIER AND FRAMER PRIOR TO FRAMING.
3. PROVIDE BLOCKING FOR ANY AND ALL CABINETS, BATHROOM ACCESSORIES AND LIGHTING. VERIFY LOCATIONS WITH OWNERS.
4. INSULATION
 - ROOF - OPEN CELL SPRAY FOAM.
 - EXTERIOR WALLS - BATT INSULATION (MAXX. R-VALUE).
 - FIRST FLOOR - CLOSED CELL SPRAY FOAM INSULATION.
5. JOB VERIFY RISE AND RUN ON ALL STAIRS.
6. FIRST COURSE OF PLYWOOD SHEATHING, AND ALL AREAS THAT PORCHS AND DECK CONNECT TO BE TREATED PLYWOOD.
7. PRIOR TO FRAMING, VERIFY THAT ALL PLUMBING DROPS, PLUMBING FIXTURE LOCATIONS, ELECTRICAL FIXTURE LOCATIONS, AND HVAC COMPONENTS, ARE CLEAR OF FLOOR JOISTS, STRUCTURAL BEAMS, AND PIERS. IF ANY ARE IN CONFLICT, HAVE ENGINEER'S WRITTEN APPROVAL FOR ANY STRUCTURAL MODIFICATIONS.
8. VERIFY ALL ELECTRICAL AND PLUMBING FIXTURES LOCATIONS WITH OWNERS DURING FRAMING.
9. WINDOW AND DOOR SIZES ARE IN FEET AND INCHES.
WINDOWS - 3060 = 3'-0" x 6'-0"
DOORS - 3-0x8-0 = 3'-0" x 8'-0"

DRAWING NOTES

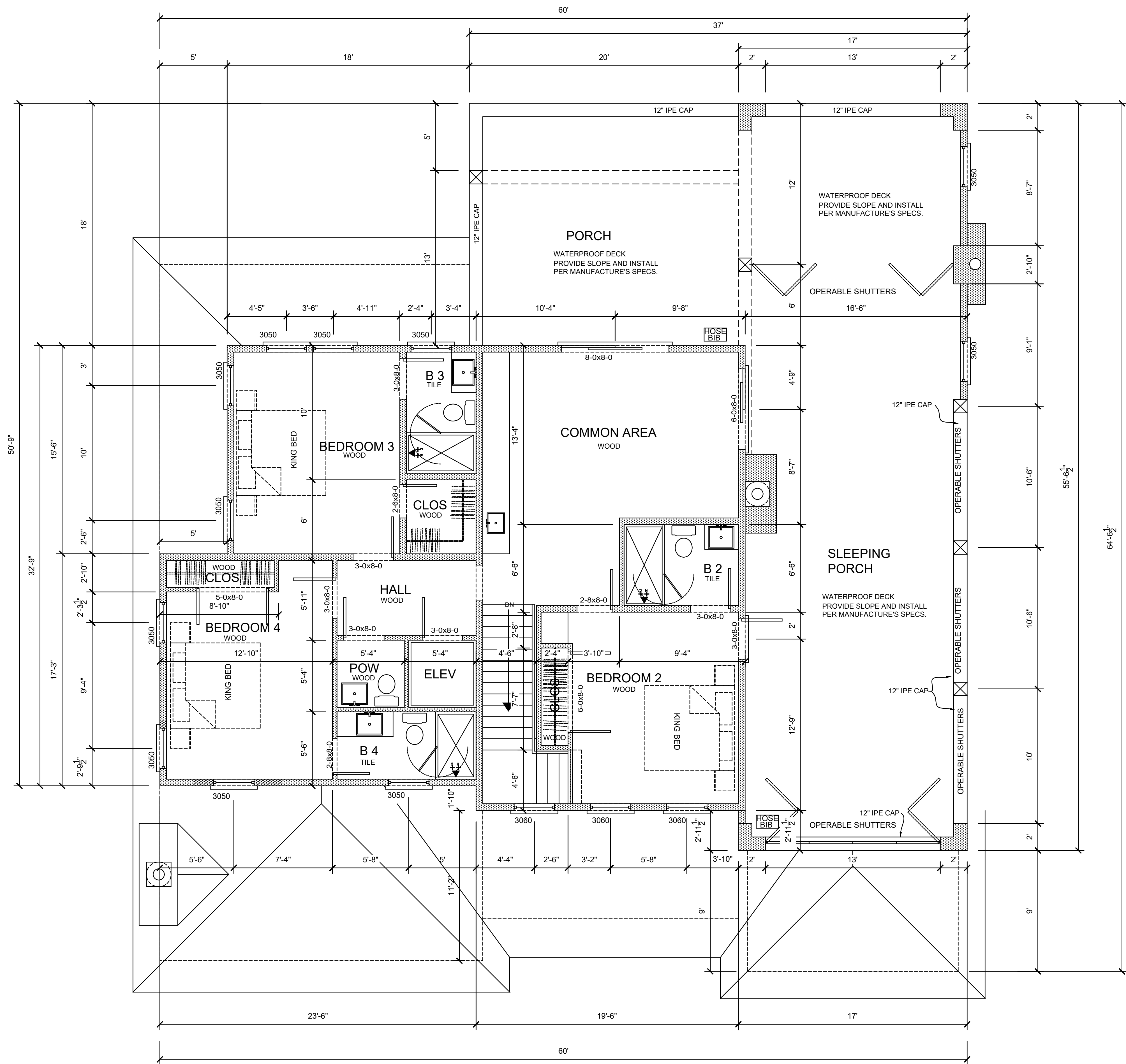
- Ⓐ VERIFY WINDOW HEIGHT, BOTTOM OF WINDOW TO BE AT FINISHED COUNTER TOP.



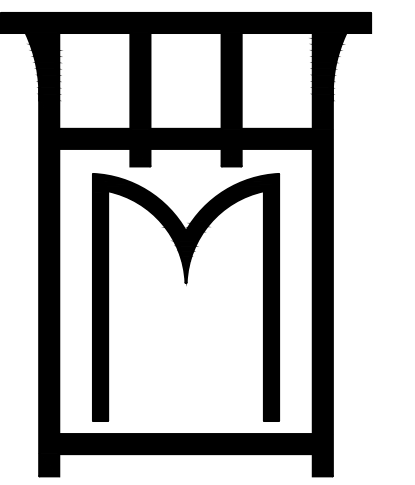
FIRST FLOOR PLAN

1/4" = 1'-0"

- NOTES:
1. PROVIDE SOUND INSULATION IN ALL INTERIOR WALLS AND FLOORS. SOUND INSULATE AROUND ALL INTERIOR PLUMBING DRAIN PIPES.
 2. VERIFY ALL DOOR AND WINDOW - ROUGH OPENING SIZES WITH SUPPLIER AND FRAMER PRIOR TO FRAMING.
 3. PROVIDE BLOCKING FOR ANY AND ALL CABINETS, BATHROOM ACCESSORIES AND LIGHTING. VERIFY LOCATIONS WITH OWNERS.
 4. INSULATION
 - ROOF - OPEN CELL SPRAY FOAM.
 - EXTERIOR WALLS - BATT INSULATION (MAXX. R-VALUE).
 - FIRST FLOOR - CLOSED CELL SPRAY FOAM INSULATION.
 5. JOB VERIFY RISE AND RUN ON ALL STAIRS.
 6. FIRST COURSE OF PLYWOOD SHEATHING, AND ALL AREAS THAT PORCHS AND DECK CONNECT TO BE TREATED PLYWOOD.
 7. PRIOR TO FRAMING, VERIFY THAT ALL PLUMBING DROPS, PLUMBING FIXTURE LOCATIONS, ELECTRICAL FIXTURE LOCATIONS, AND HVAC COMPONENTS, ARE CLEAR OF FLOOR JOISTS, STRUCTURAL BEAMS, AND PIERS. IF ANY ARE IN CONFLICT, HAVE ENGINEER'S WRITTEN APPROVAL FOR ANY STRUCTURAL MODIFICATIONS.
 8. VERIFY ALL ELECTRICAL AND PLUMBING FIXTURES LOCATIONS WITH OWNERS DURING FRAMING.
 9. WINDOW AND DOOR SIZES ARE IN FEET AND INCHES.
WINDOWS - 3060 = 3'-0" x 6'-0"
DOORS - 3-0x8-0 = 3'-0" x 8'-0"

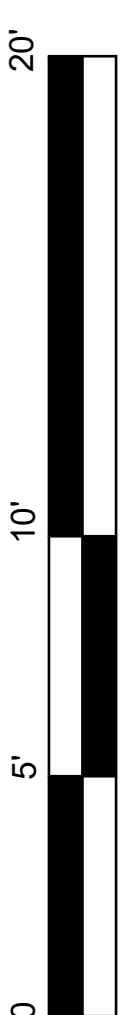
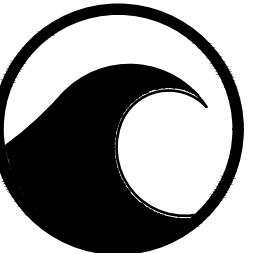


SECOND FLOOR PLAN
1/4" = 1'-0"



M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE	
FIRST FLOOR	2504 SQ. FT.
SECOND FLOOR	1150 SQ. FT.
TOTAL HEATED	3654 SQ. FT.

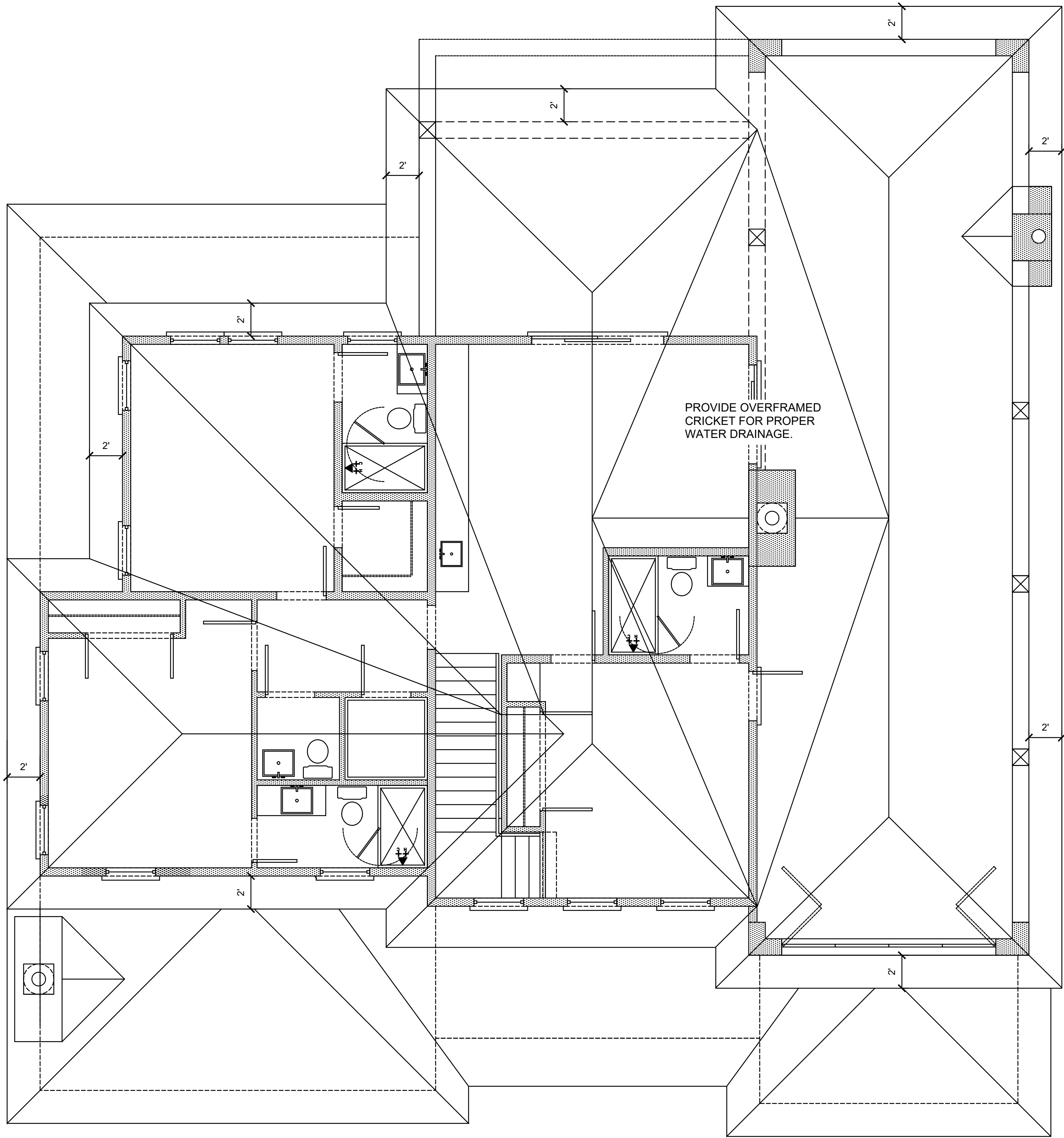


PERMIT
SET

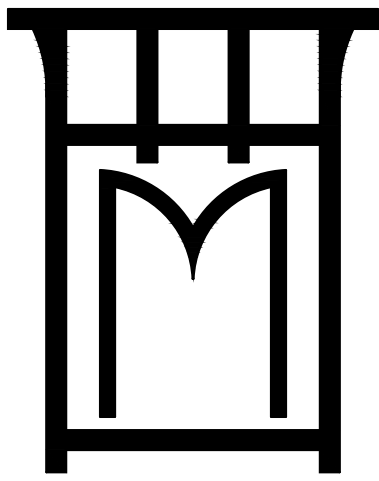
DEATON HOUSE - 2858 ION
SULLIVAN'S ISLAND, S.C.
SECOND FLOOR PLAN

REVISIONS
08-01-25
02-19-26

SHEET
a05
DATE
07-07-25



ROOF PLAN
1/4" = 1'-0"

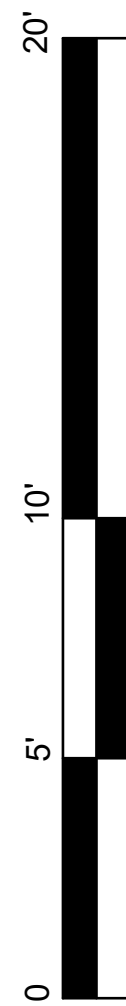
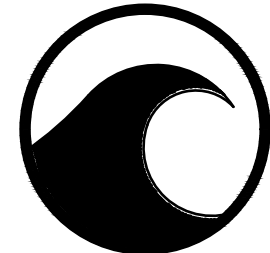


M³ DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE

FIRST FLOOR 2504 SQ.FT.
SECOND FLOOR 1150 SQ.FT.

TOTAL HEATED 3654 SQ.FT.



PERMIT
SET

DEATON HOUSE - 2858 ION
SULLIVAN'S ISLAND, S.C.
ROOF PLAN

REVISIONS
08-01-25

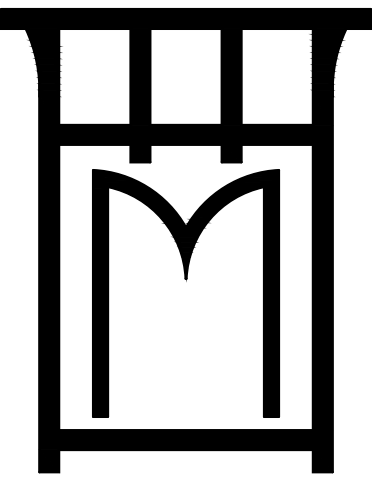
SHEET

a06

DATE
07-07-25

DRAWING NOTES

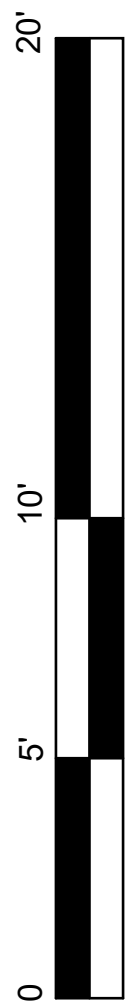
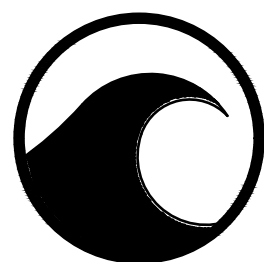
- (A) STANDING SEAM METAL ROOF OVER GRACE ICE AND WATER SHIELD.
- (B) TRUEXTERIOR 10" SHIPLAP RUN VERTICAL
- (C) TRU EXTERIOR 4" REVEAL HORIZ. LAP SIDING - MITER CORNERS
- (D) TRU EXTERIOR 6" REVEAL HORIZ. LAP SIDING - MITER CORNERS
- (E) BRICK VENEER - FLEMISH BOND
- (F) TR. 12" SQ. COLUMN
- (G) OPERABLE SHUTTERS ABOVE 36" - FIXED SHUTTERS BELOW 36"
- (H) TR. 1x6 VERTICAL SCREENING WITH 1" GAP BETWEEN 1x6.
- (I) BRACKETS FOR EYEBROW ROOF OVER GARAGE DOORS.
- (J) INSECT SCREEN
- (K) WRAP COLUMNS WITH AZEK (OR EQUAL) SHEET MATERIAL.
- (L)
- (M)



M³ DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE

FIRST FLOOR 2504 SQ.FT.
SECOND FLOOR 1150 SQ.FT.
TOTAL HEATED 3654 SQ.FT.



PERMIT
SET

DEATON HOUSE - 2858 ION
SULLIVAN'S ISLAND, S.C.
FRONT ELEVATION

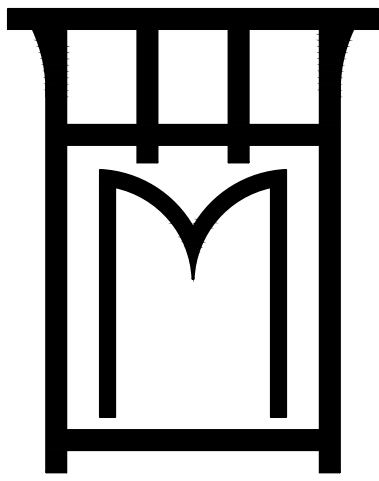
REVISIONS
08-01-25
08-06-25
02-19-26

SHEET
a07
DATE
07-07-25

FRONT ELEVATION

1/4" = 1'-0"



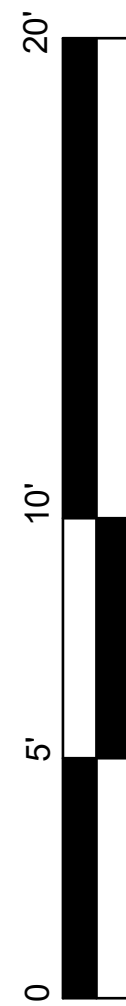
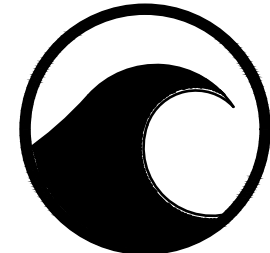


M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE

FIRST FLOOR 2504 SQ. FT.
SECOND FLOOR 1150 SQ. FT.

TOTAL HEATED 3654 SQ. FT.



PERMIT
SET

DEATON HOUSE - 2858 ION
SULLIVAN'S ISLAND, S.C.
RIGHT ELEVATION

REVISIONS
08-01-25
08-06-25
02-19-26

SHEET
a08
DATE
07-07-25

DRAWING NOTES

- (A) STANDING SEAM METAL ROOF OVER GRACE ICE AND WATER SHIELD.
- (B) TRUEXTERIOR 10" SHIPLAP RUN VERTICAL
- (C) TRU EXTERIOR 4" REVEAL HORIZ. LAP SIDING - MITER CORNERS
- (D) TRU EXTERIOR 6" REVEAL HORIZ. LAP SIDING - MITER CORNERS
- (E) BRICK VENEER - FLEMISH BOND
- (F) TR. 12" SQ. COLUMN
- (G) OPERABLE SHUTTERS ABOVE 36" - FIXED SHUTTERS BELOW 36"
- (H) TR. 1x6 SCREENING
- (I) BRACKETS FOR EYEBROW ROOF OVER GARAGE DOORS.
- (J) INSECT SCREEN
- (K)
- (L)
- (M)



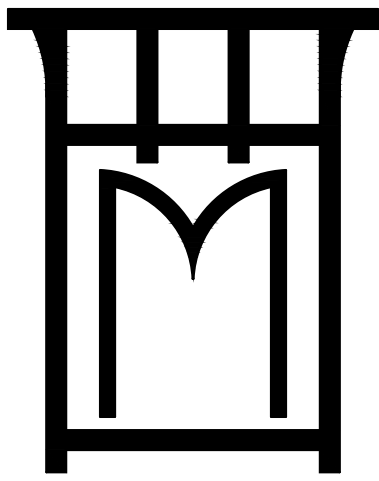
RIGHT ELEVATION

1/4" = 1'-0"



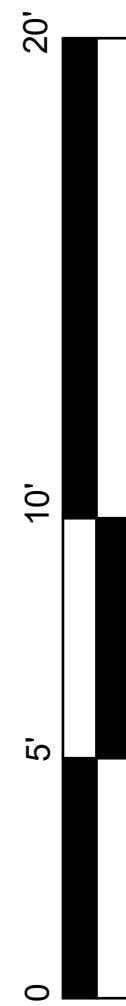
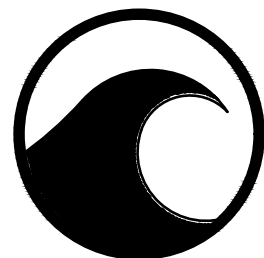
DRAWING NOTES

- (A) STANDING SEAM METAL ROOF OVER GRACE ICE AND WATER SHIELD.
- (B) TRUEXTERIOR 10" SHIPLAP RUN VERTICAL
- (C) TRU EXTERIOR 4" REVEAL HORIZ. LAP SIDING - MITER CORNERS
- (D) TRU EXTERIOR 6" REVEAL HORIZ. LAP SIDING - MITER CORNERS
- (E) BRICK VENEER - FLEMISH BOND
- (F) TR. 12" SQ. COLUMN
- (G) OPERABLE SHUTTERS ABOVE 36" - FIXED SHUTTERS BELOW 36"
- (H) TR. 1x6 SCREENING
- (I) BRACKETS FOR EYEBROW ROOF OVER GARAGE DOORS.
- (J) INSECT SCREEN
- (K) TR. 12" SQ. COLUMN
- (L) TR. 1x6 SCREENING
- (M) INSECT SCREEN



M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE
FIRST FLOOR 2504 SQ.FT.
SECOND FLOOR 1150 SQ.FT.
TOTAL HEATED 3654 SQ.FT.



PERMIT
SET

DEATON HOUSE - 2858 ION
SULLIVAN'S ISLAND, S.C.
REAR ELEVATION

REVISIONS
08-01-25
08-06-25
09-02-25
02-16-26

SHEET

a09
DATE
07-07-25

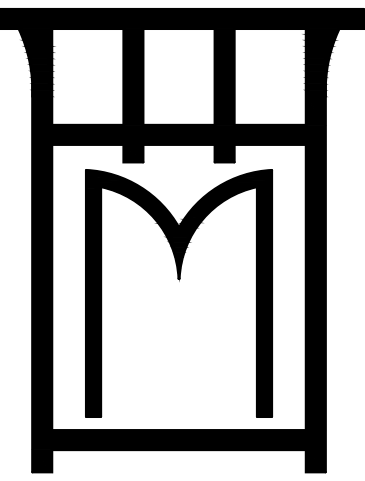
REAR ELEVATION

1/4" = 1'-0"



DRAWING NOTES

- (A) STANDING SEAM METAL ROOF OVER GRACE ICE AND WATER SHIELD.
- (B) TRUEXTERIOR 10" SHIPLAP RUN VERTICAL
- (C) TRU EXTERIOR 4" REVEAL HORIZ. LAP SIDING - MITER CORNERS
- (D) TRU EXTERIOR 6" REVEAL HORIZ. LAP SIDING - MITER CORNERS
- (E) BRICK VENEER - FLEMISH BOND
- (F) TR. 12" SQ. COLUMN
- (G) OPERABLE SHUTTERS ABOVE 36" - FIXED SHUTTERS BELOW 36"
- (H) TR. 1x6 SCREENING
- (I) BRACKETS FOR EYEBROW ROOF OVER GARAGE DOORS.
- (J) INSECT SCREEN
- (K)
- (L)
- (M)

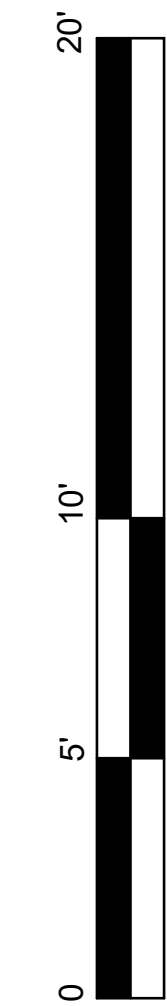
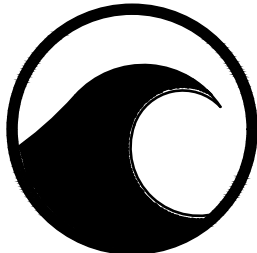


M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE

FIRST FLOOR	2504 SQ. FT.
SECOND FLOOR	1150 SQ. FT.

TOTAL HEATED 3654 SQ. FT.



PERMIT
SET

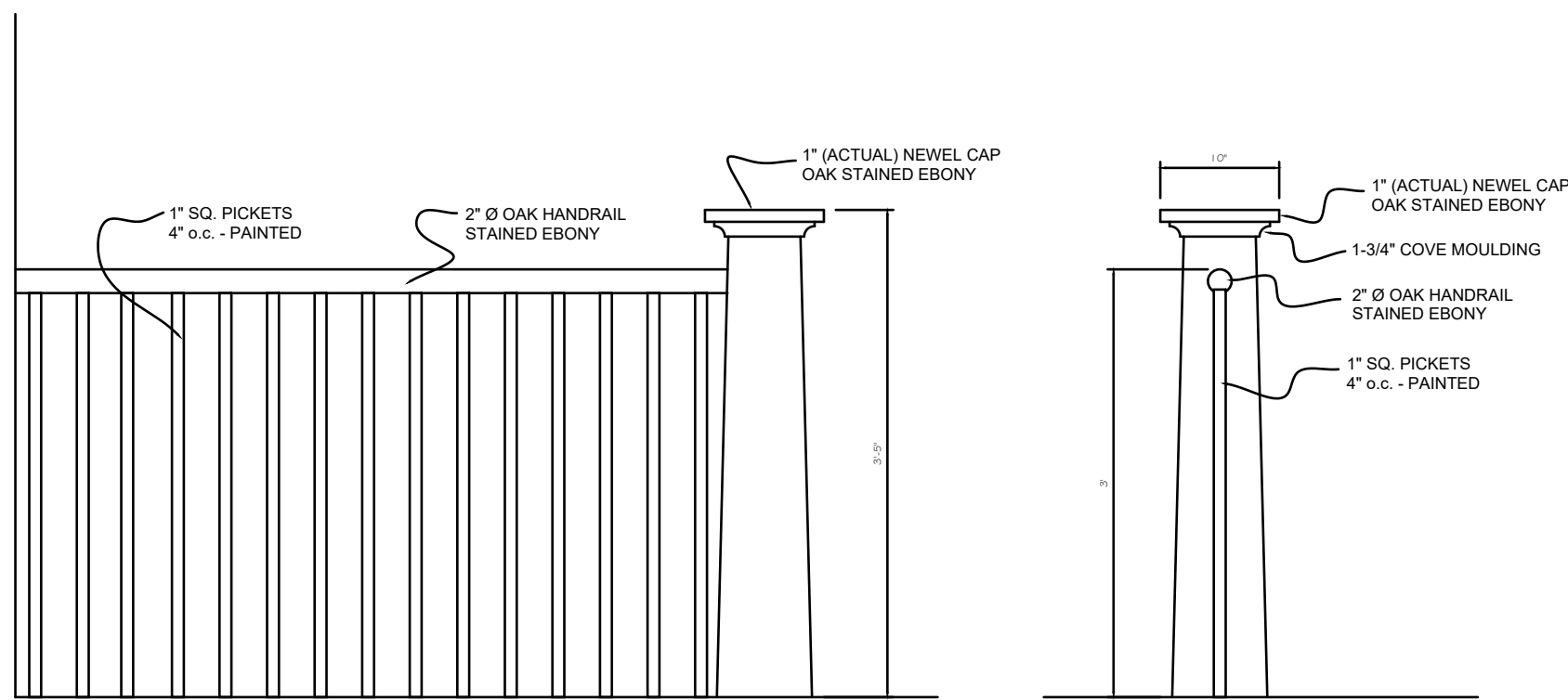
DEATON HOUSE - 2858 ION
SULLIVAN'S ISLAND, S.C.
LEFT ELEVATION

REVISIONS
08-01-25
08-06-25
09-02-25
02-16-26

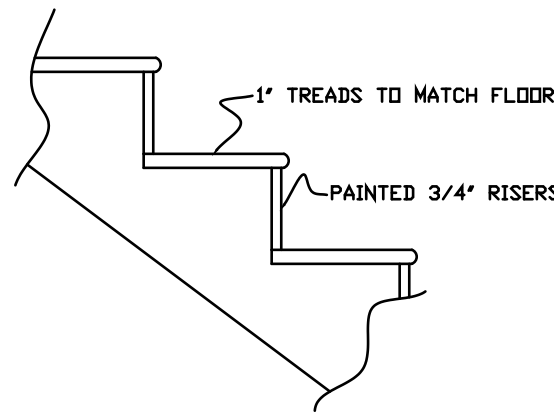
SHEET
a10
DATE
07-07-25

LEFT ELEVATION

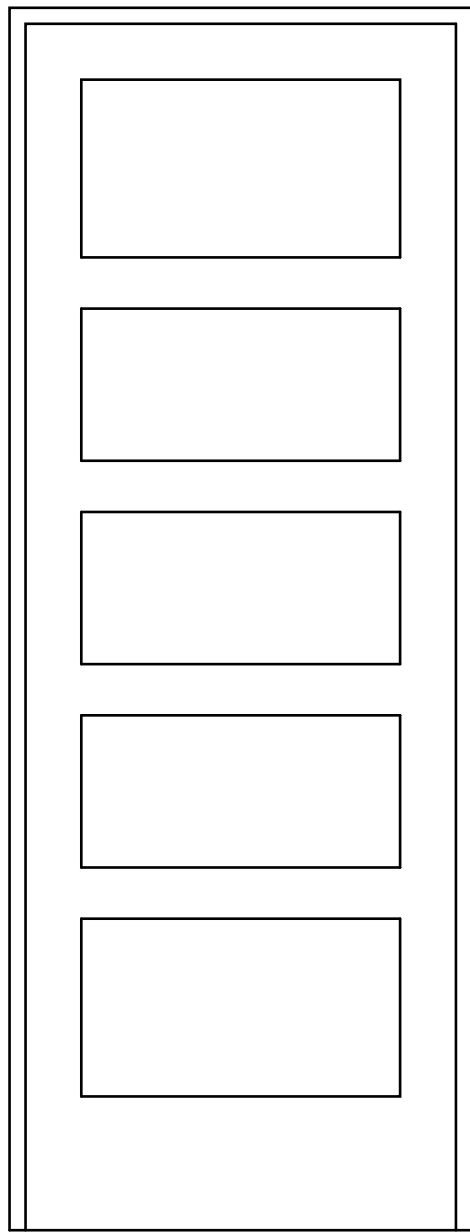
1/4" = 1'-0"



INTERIOR HANDRAIL



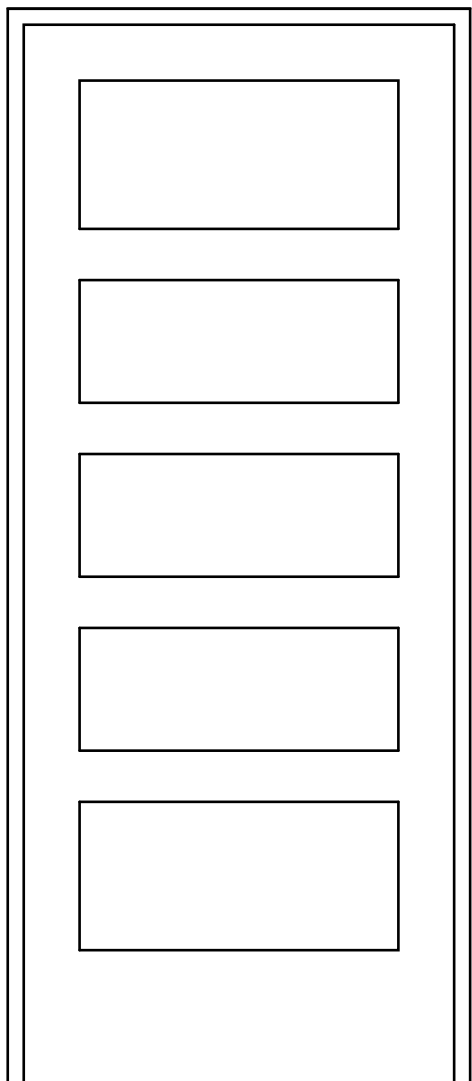
INTERIOR STAIR DETAIL



FIRST FLOOR DOORS

5 PANEL-
FLAT PANEL
NO STICKING
1 - 3/4" THICK DOORS

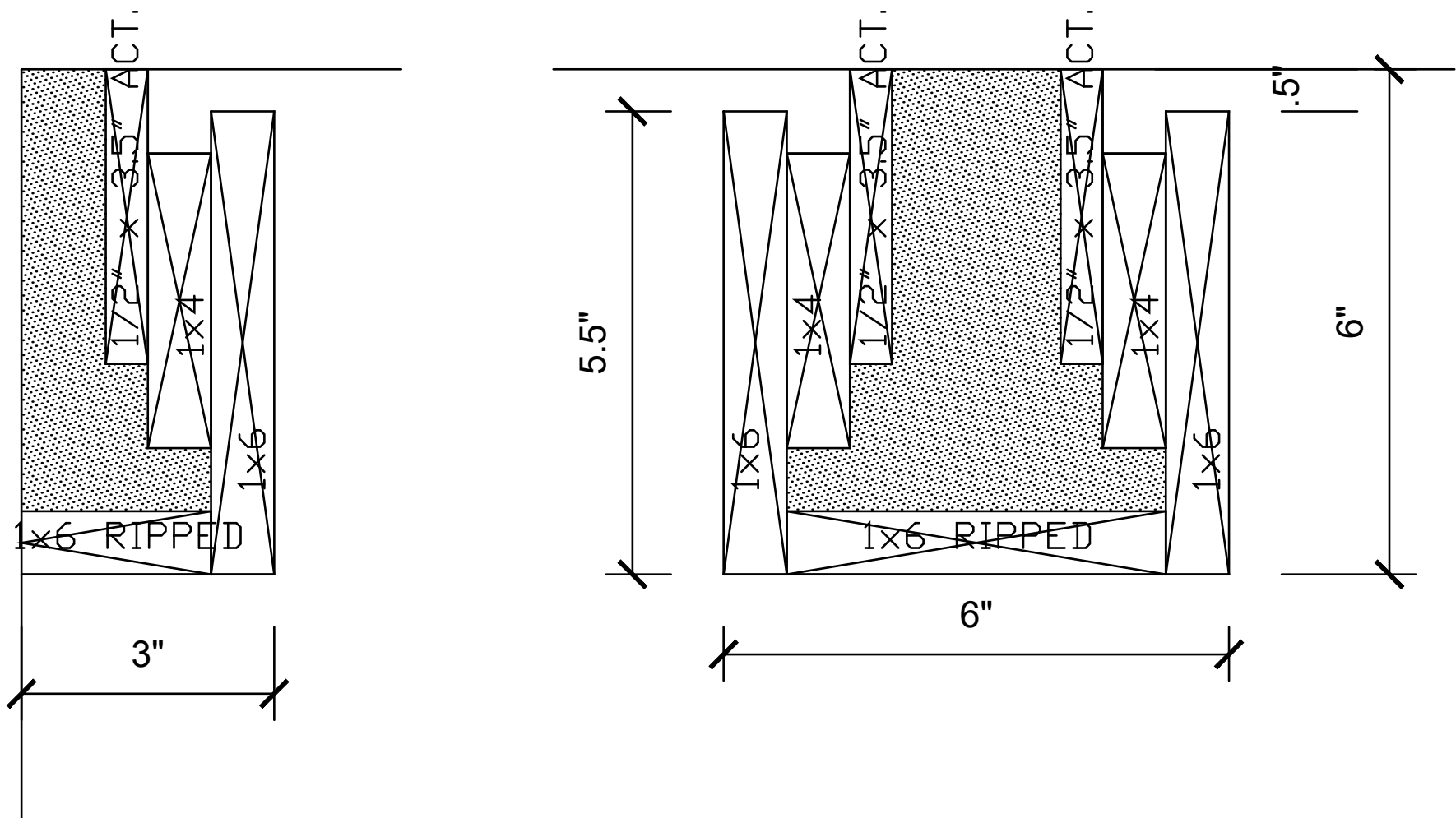
1 - 1/2" THICK DOORS AT POCKET DOORS



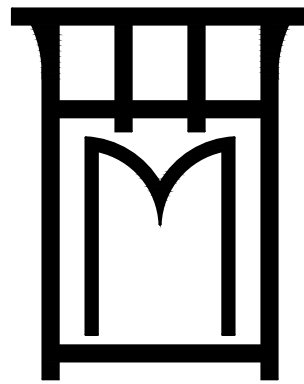
GROUND FLOOR DOORS

5 PANEL-
FLAT PANEL
NO STICKING
1 - 3/4" THICK DOORS

1 - 1/2" THICK DOORS AT POCKET DOORS



2ND FLOOR DROPPED BEAM WITH LED TAPE COVE LIGHT
NTS



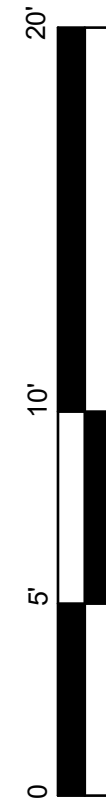
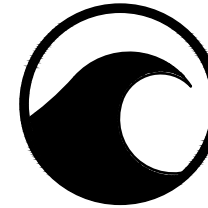
M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE
MAIN HOUSE

FIRST FLOOR 2233 SQ. FT.
SECOND FLOOR 1297 SQ. FT.
TOTAL HEATED 3490 SQ. FT.

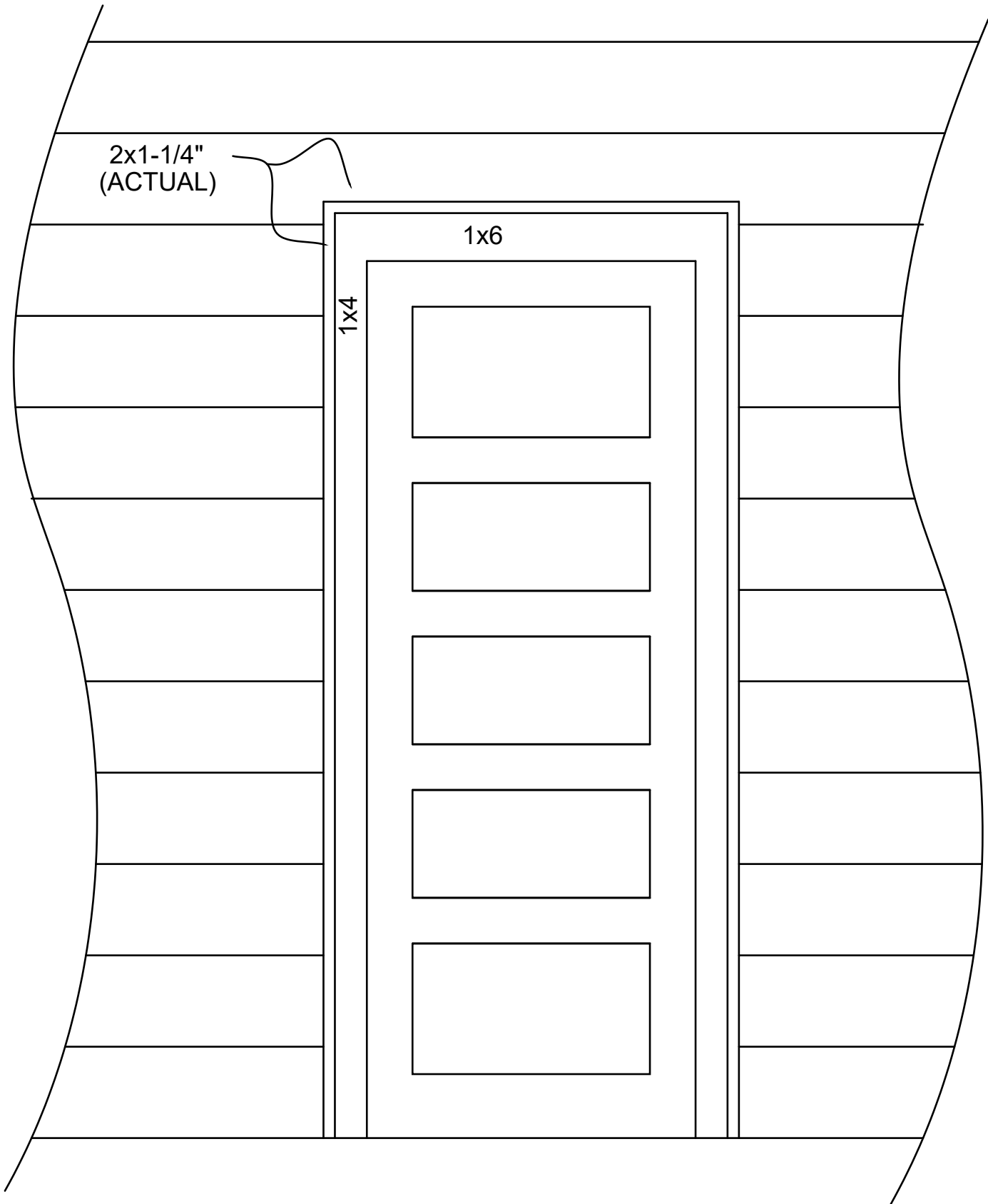
SQUARE FOOTAGE
GARAGE

GROUND FLOOR 648 SQ. FT.
FIRST FLOOR 648 SQ. FT.

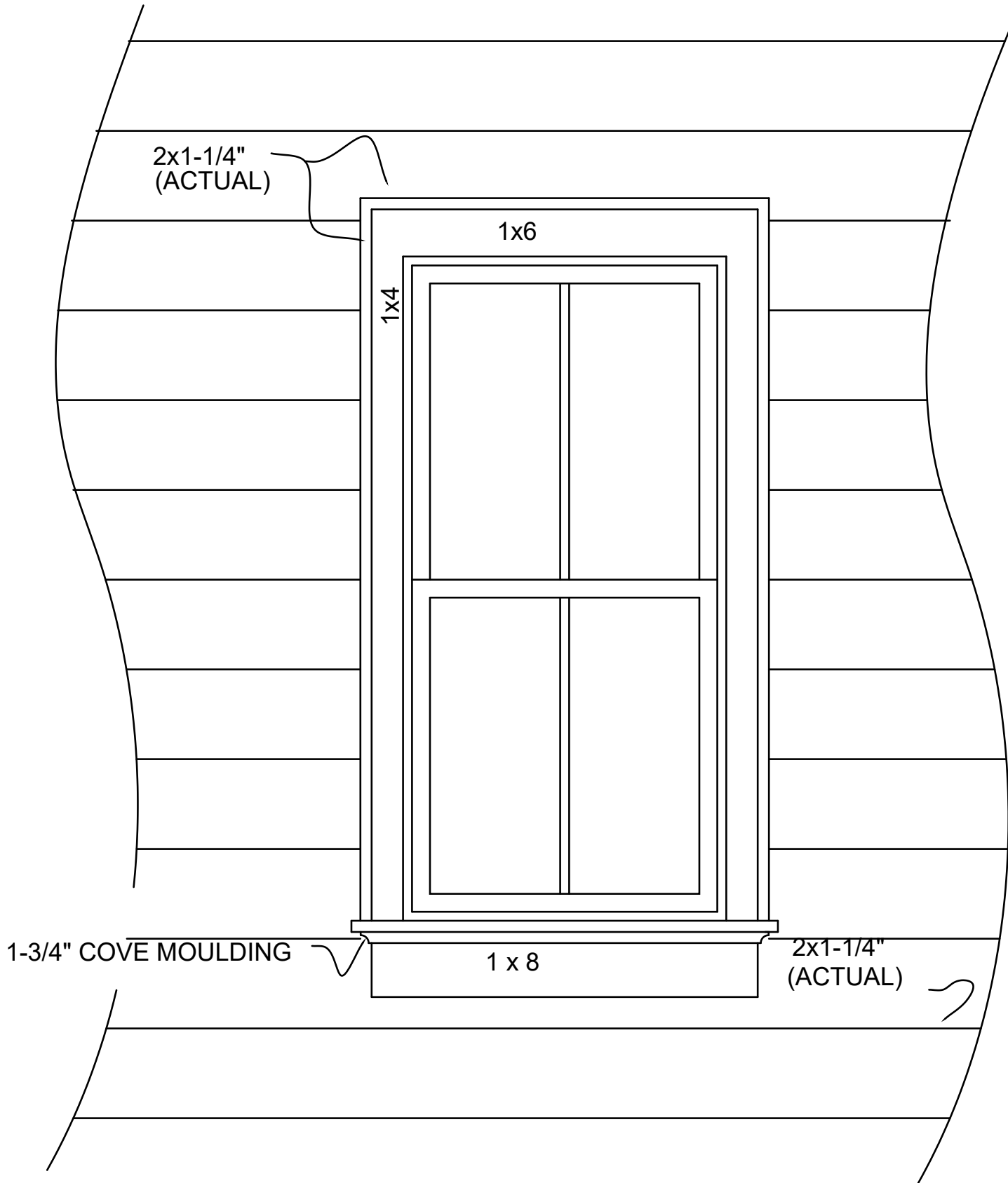


DEATON HOUSE
2858 ION AVE. SULLIVAN'S ISLAND, SC
DETAILS

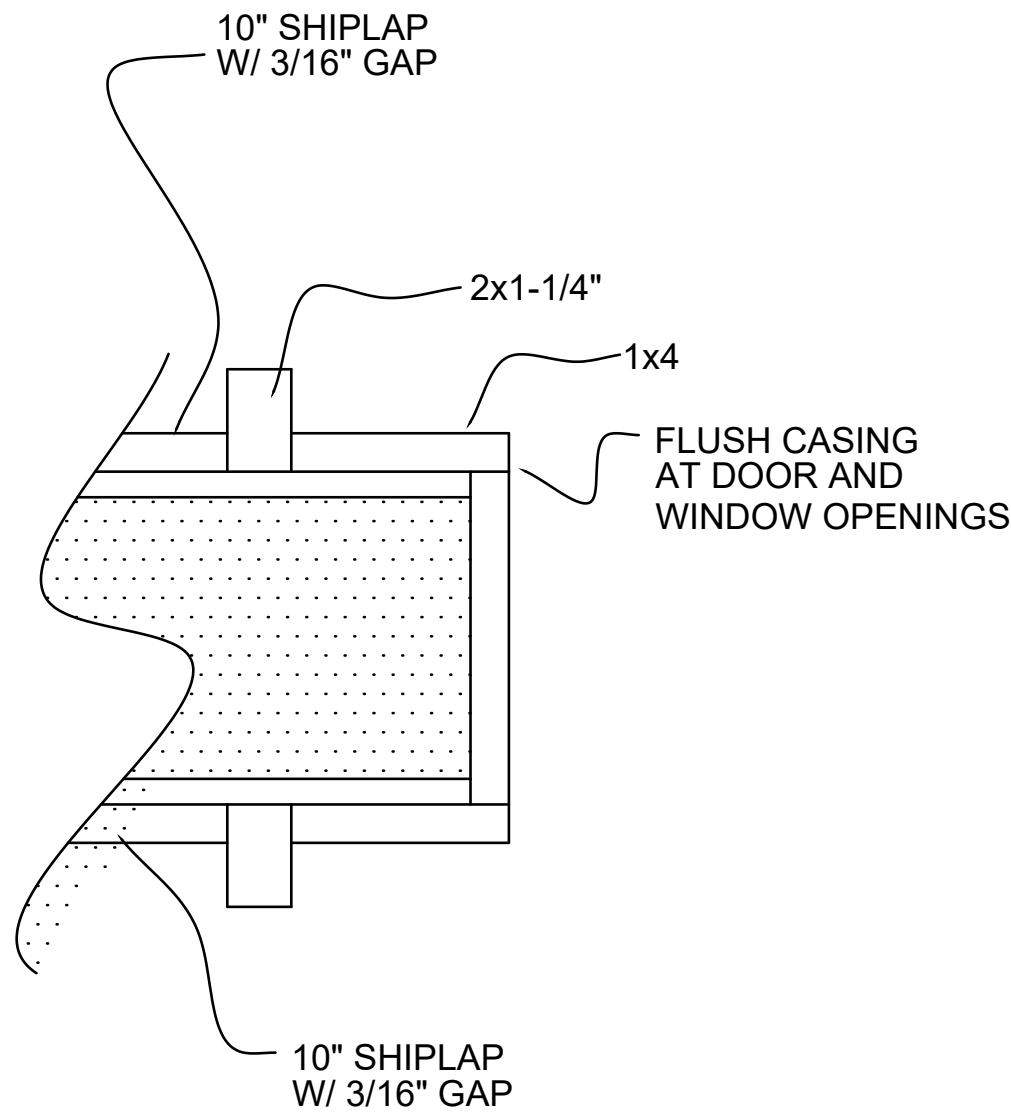
REVISIONS



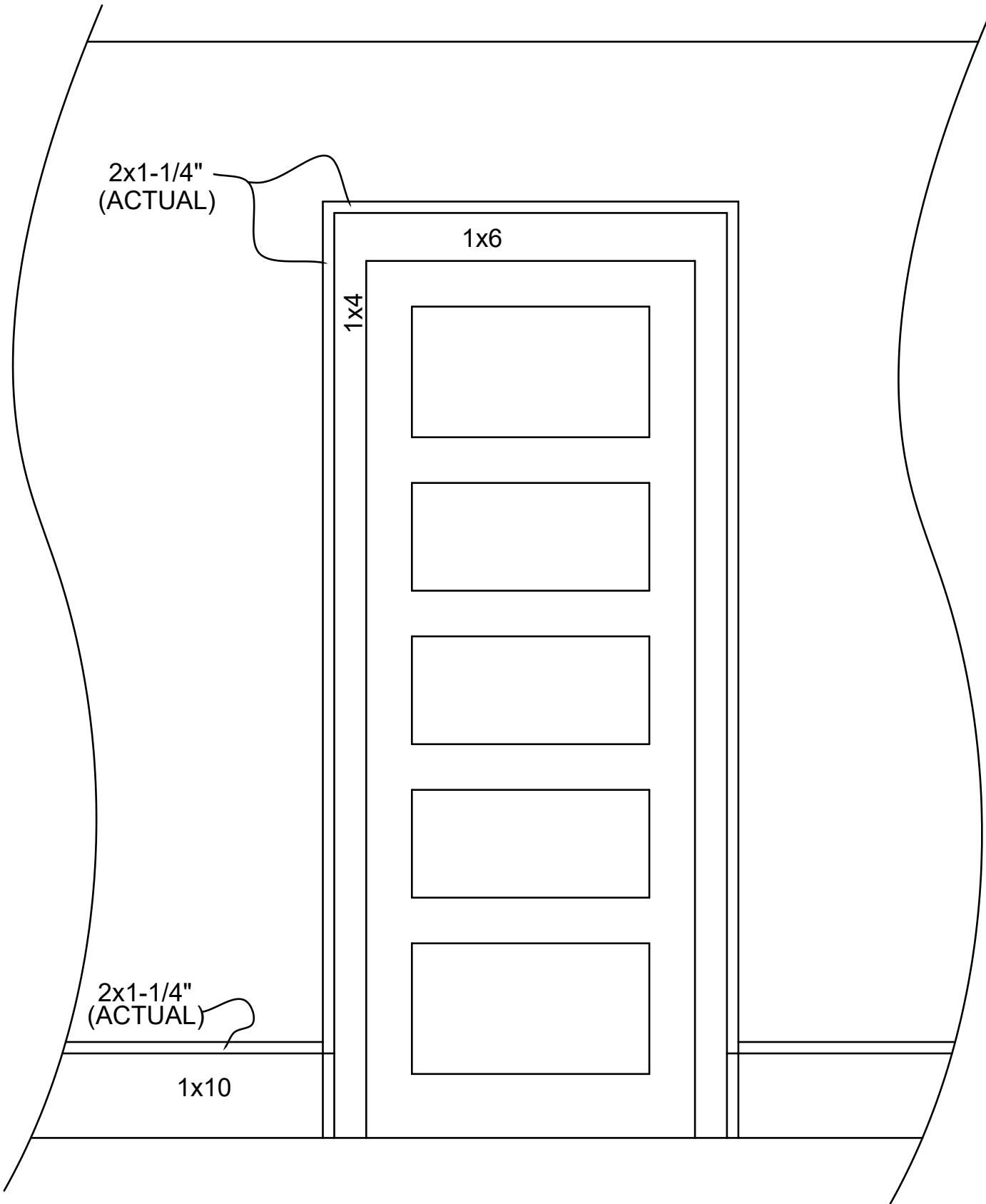
INTERIOR DOOR TRIM



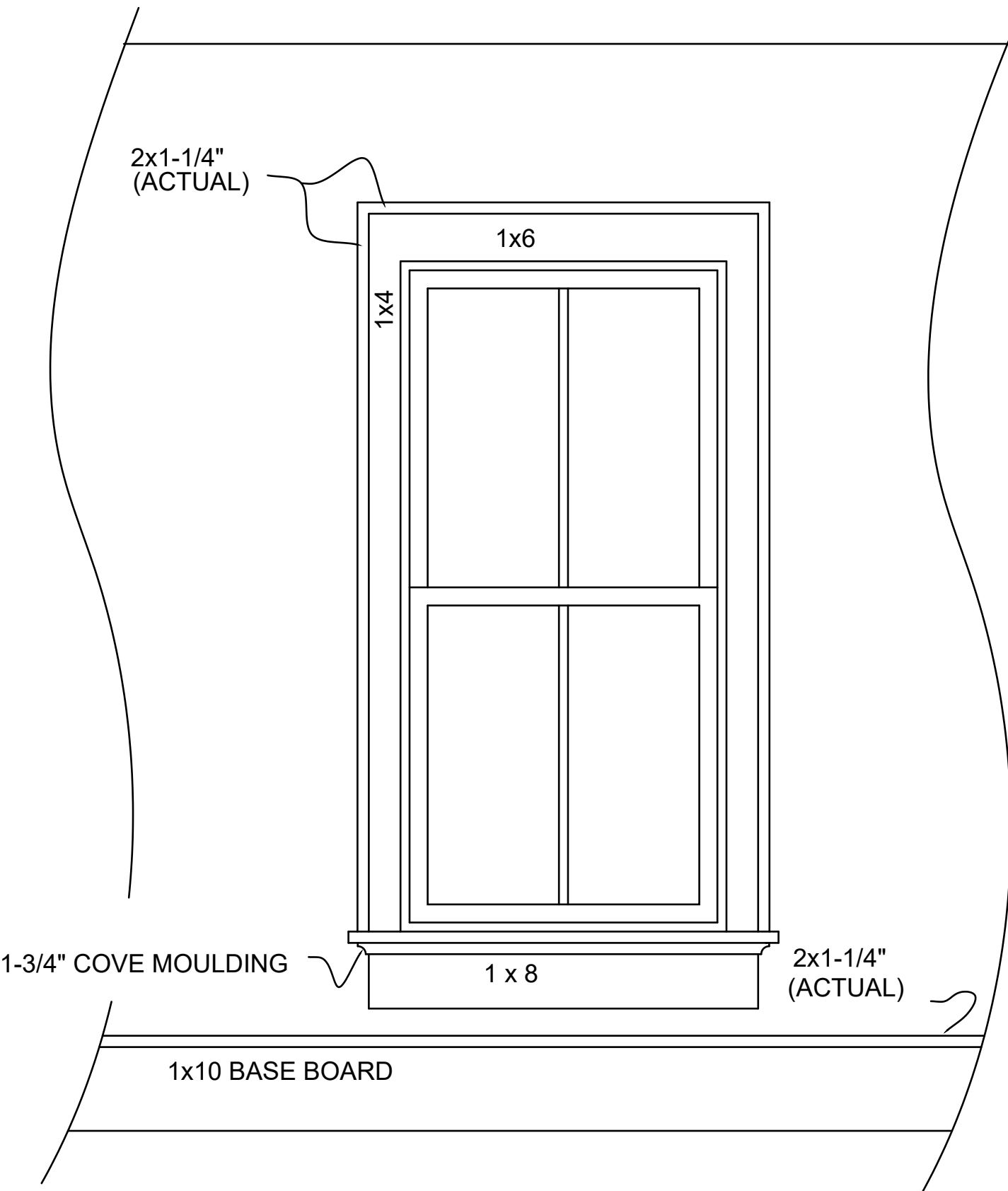
INTERIOR WINDOW TRIM



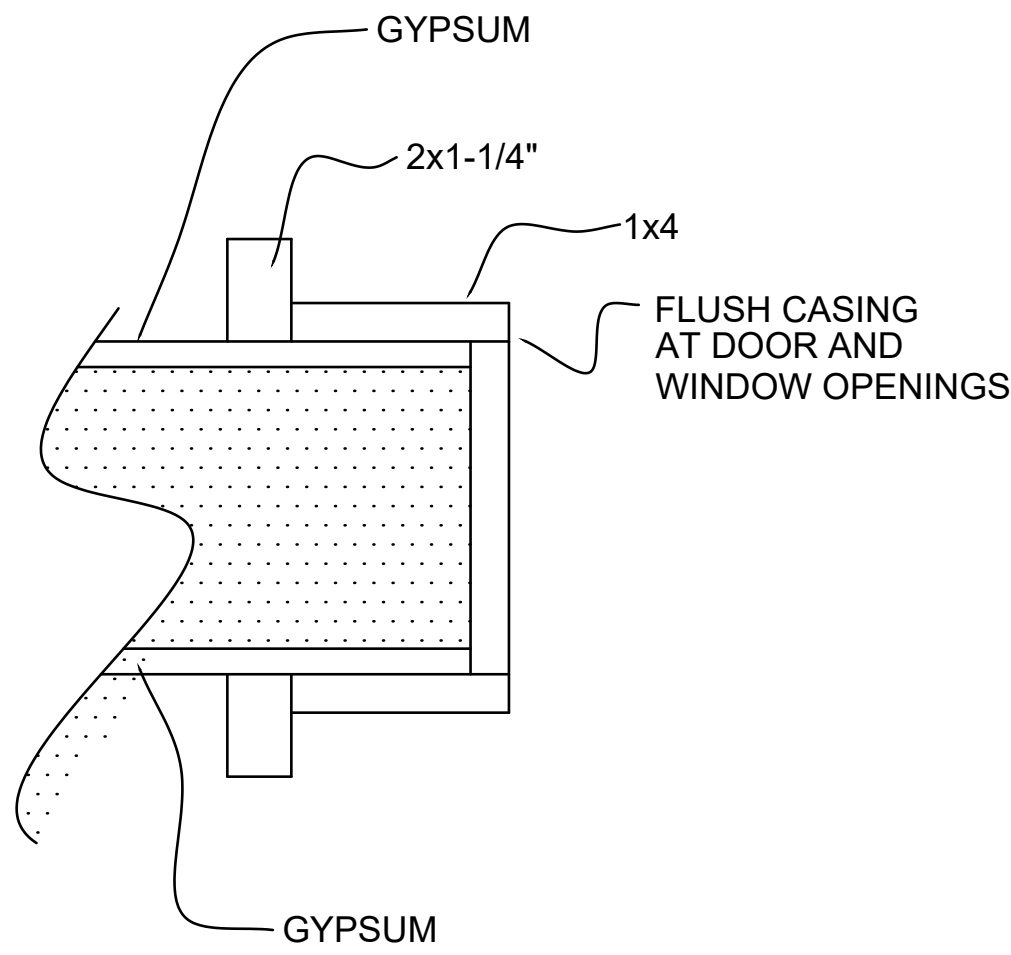
JAMB SECTION



INTERIOR DOOR TRIM



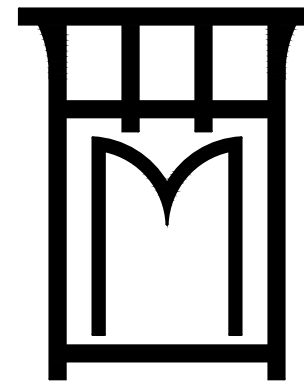
INTERIOR WINDOW TRIM



JAMB SECTION

INTERIOR TRIM ON SHIPLAP WALLS
NO BASE BOARD OR SHOE MLDG.

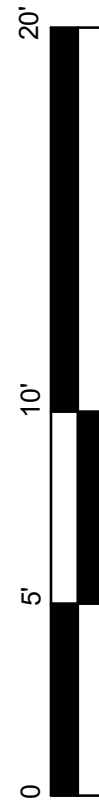
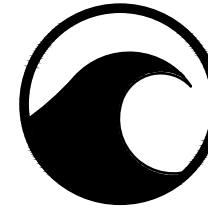
INTERIOR TRIM ON GYPSUM WALLS



M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE
MAIN HOUSE
FIRST FLOOR 2233 SQ. FT.
SECOND FLOOR 1297 SQ. FT.
TOTAL HEATED 3490 SQ. FT.

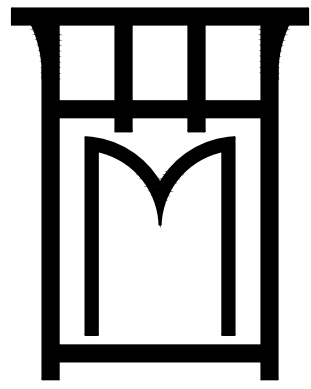
SQUARE FOOTAGE
GARAGE
GROUND FLOOR 648 SQ. FT.
FIRST FLOOR 648 SQ. FT.



DEATON HOUSE
2858 ION AVE. SULLIVAN'S ISLAND, SC
DETAILS

REVISIONS

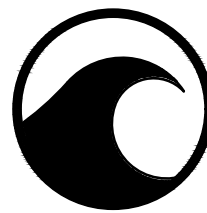
SHEET
a12
DATE



M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE			
MAIN HOUSE			
FIRST FLOOR	2233 SQ. FT.		
SECOND FLOOR	1297 SQ. FT.		
TOTAL HEATED	3490 SQ. FT.		

SQUARE FOOTAGE			
GARAGE			
GROUND FLOOR	648 SQ. FT.		
FIRST FLOOR	648 SQ. FT.		



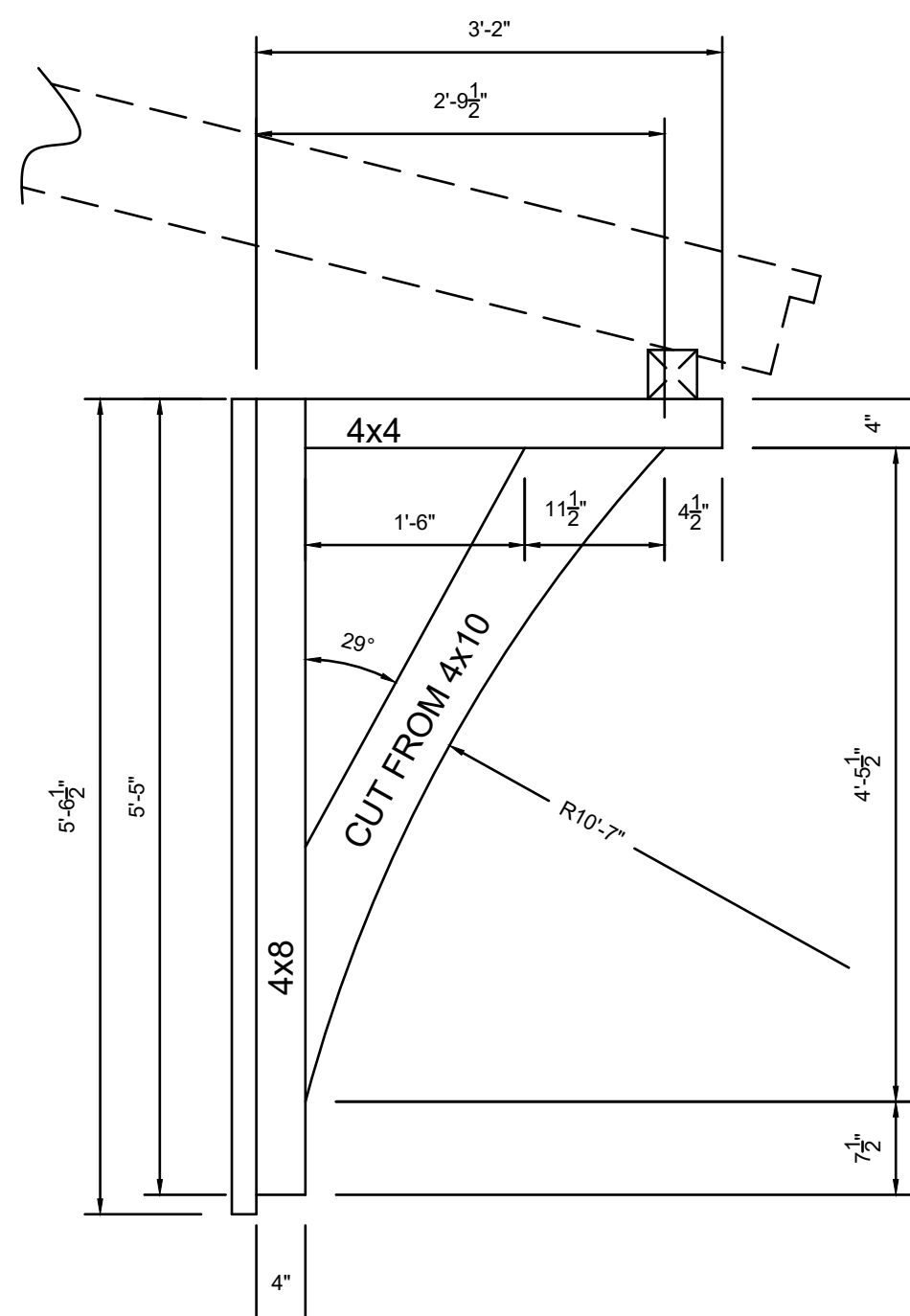
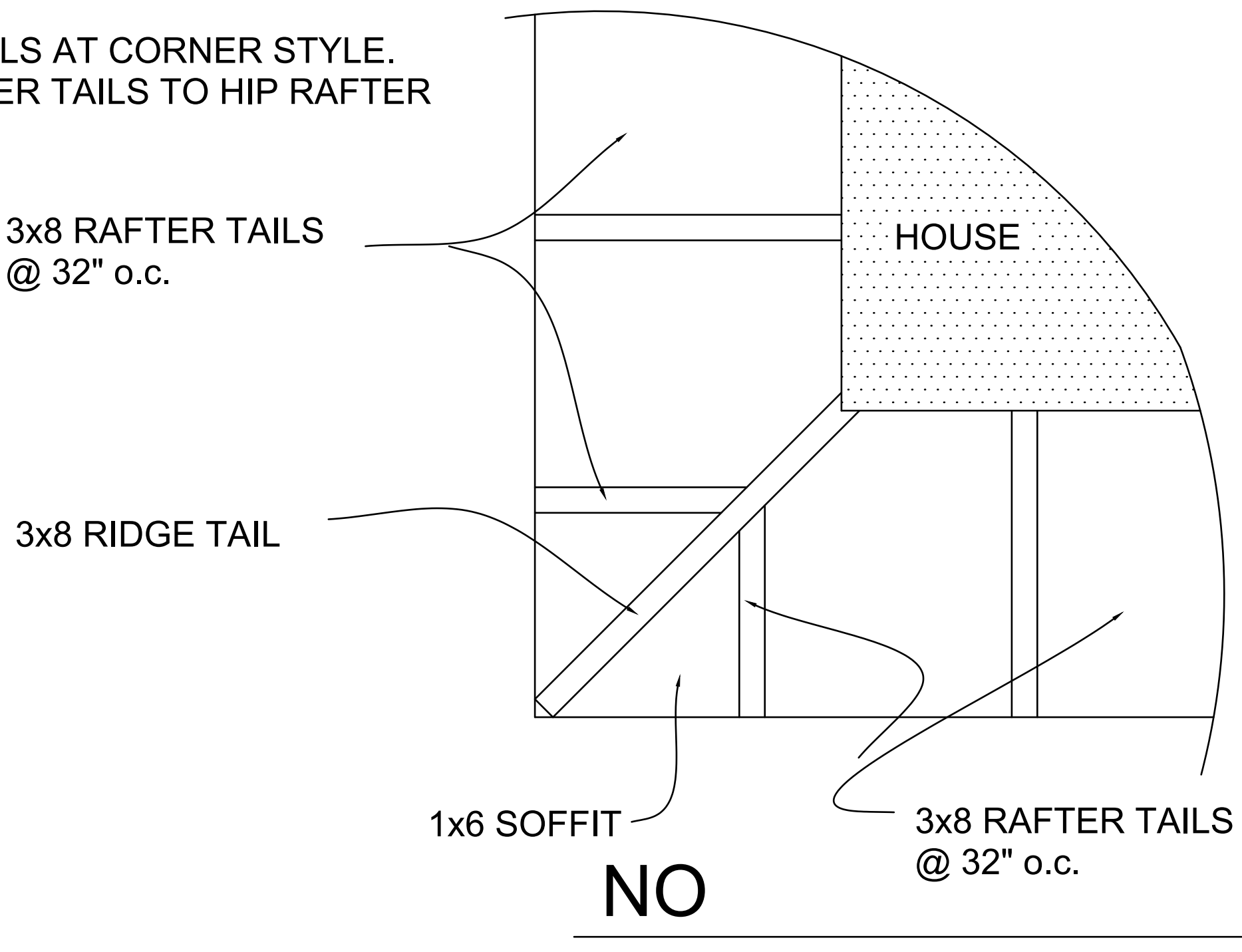
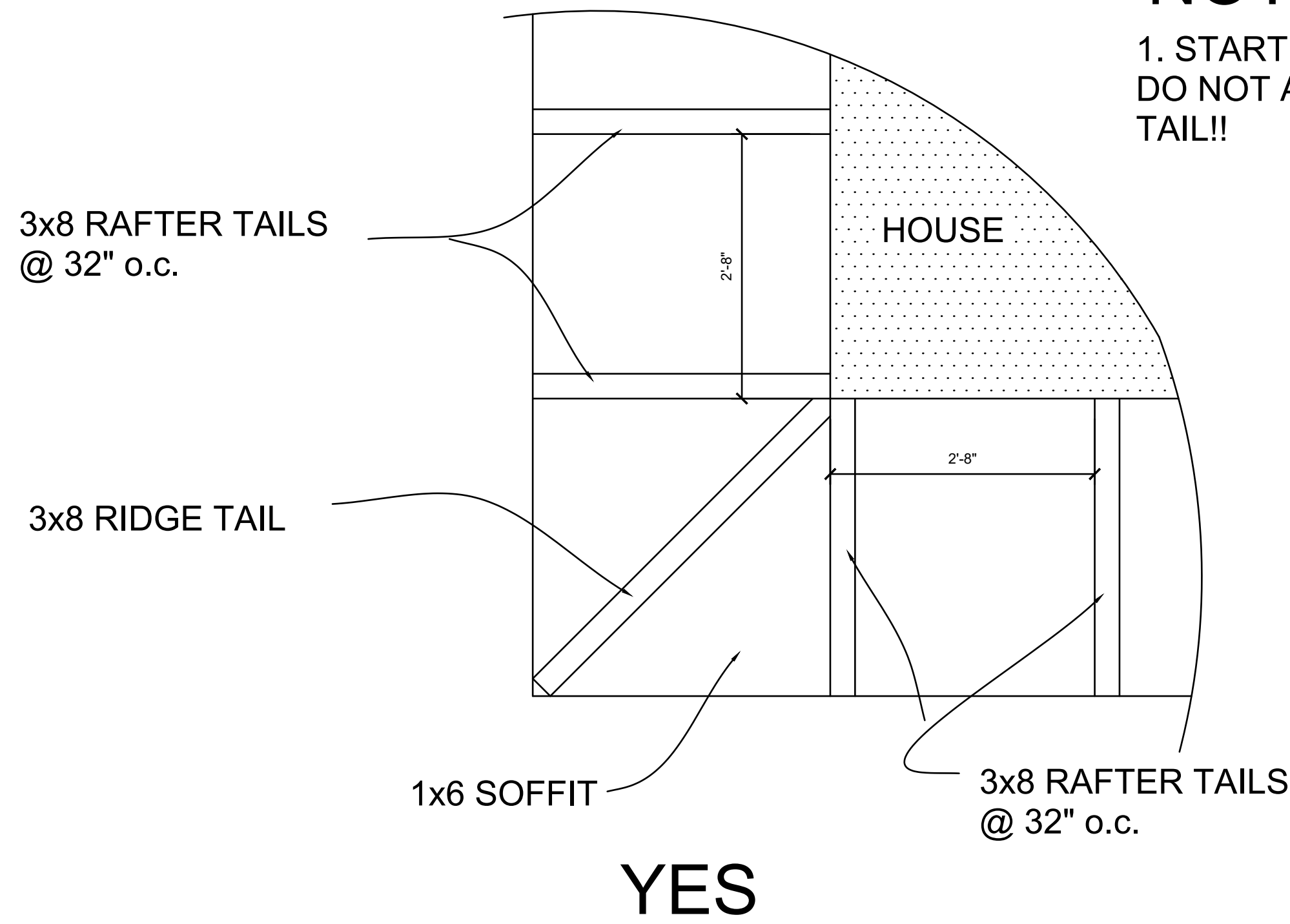
DEATON HOUSE
2858 10N AVE. SULLIVAN'S ISLAND, SC

REVISIONS

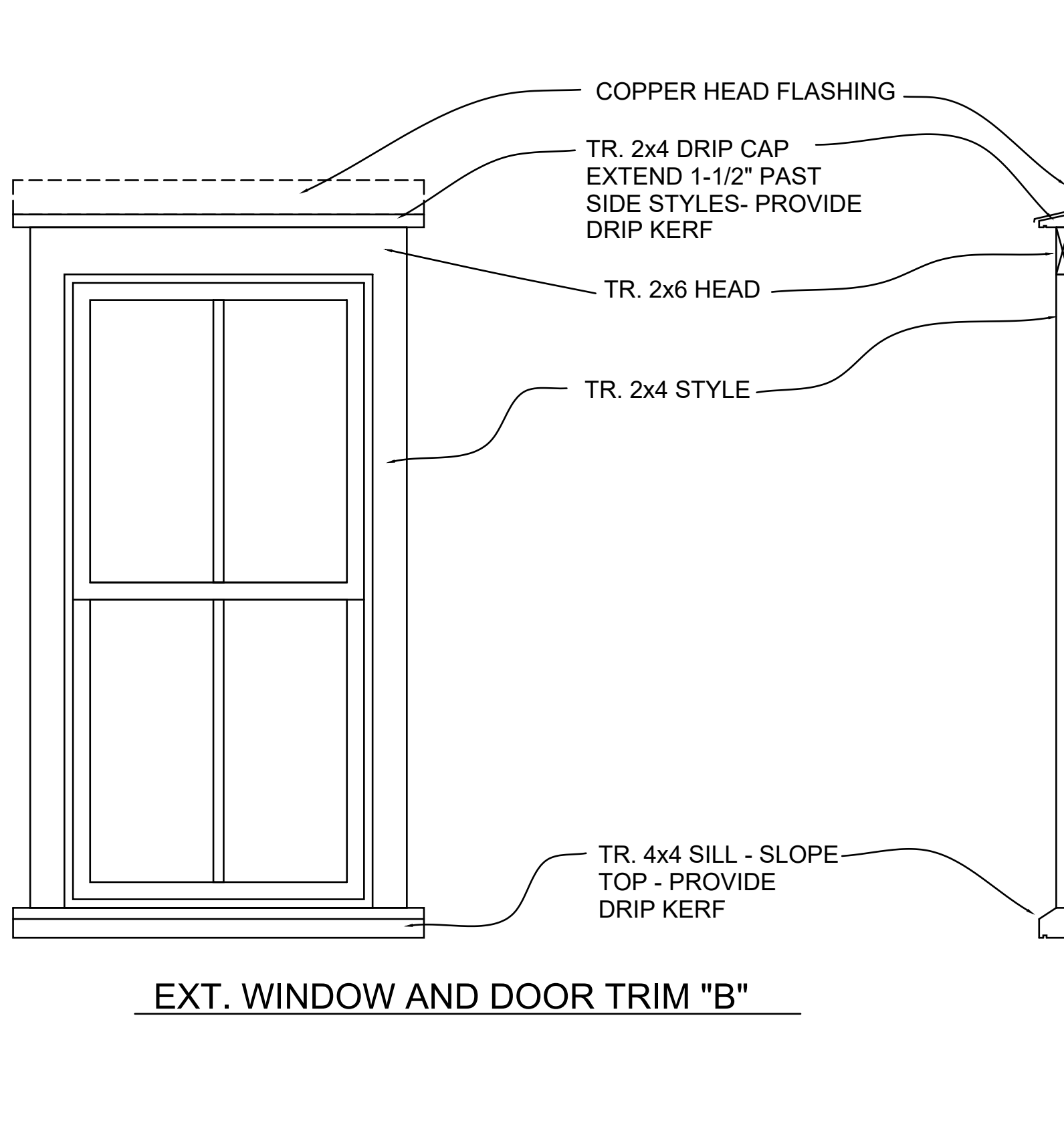
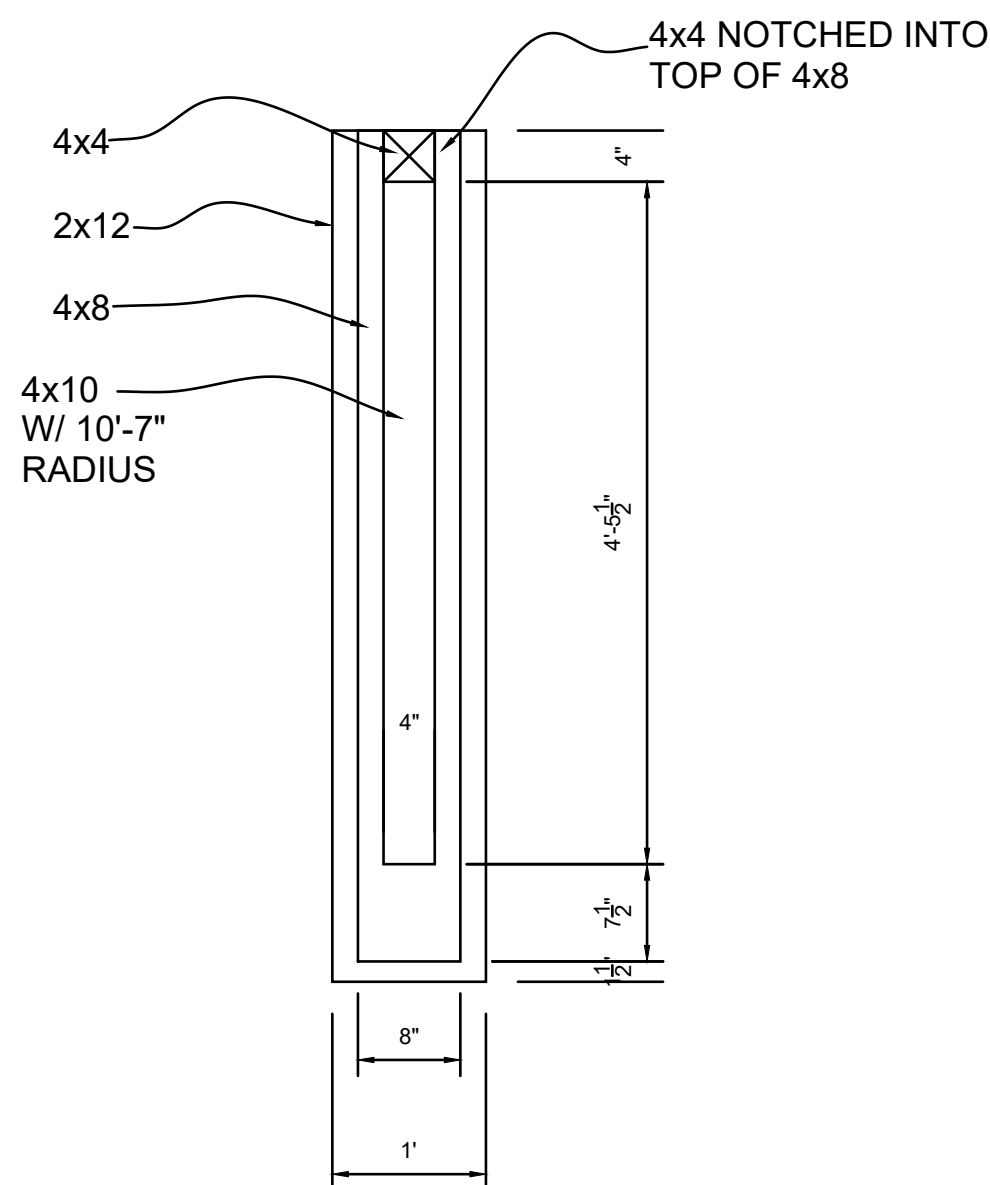
SHEET
a13
DATE

NOTE:

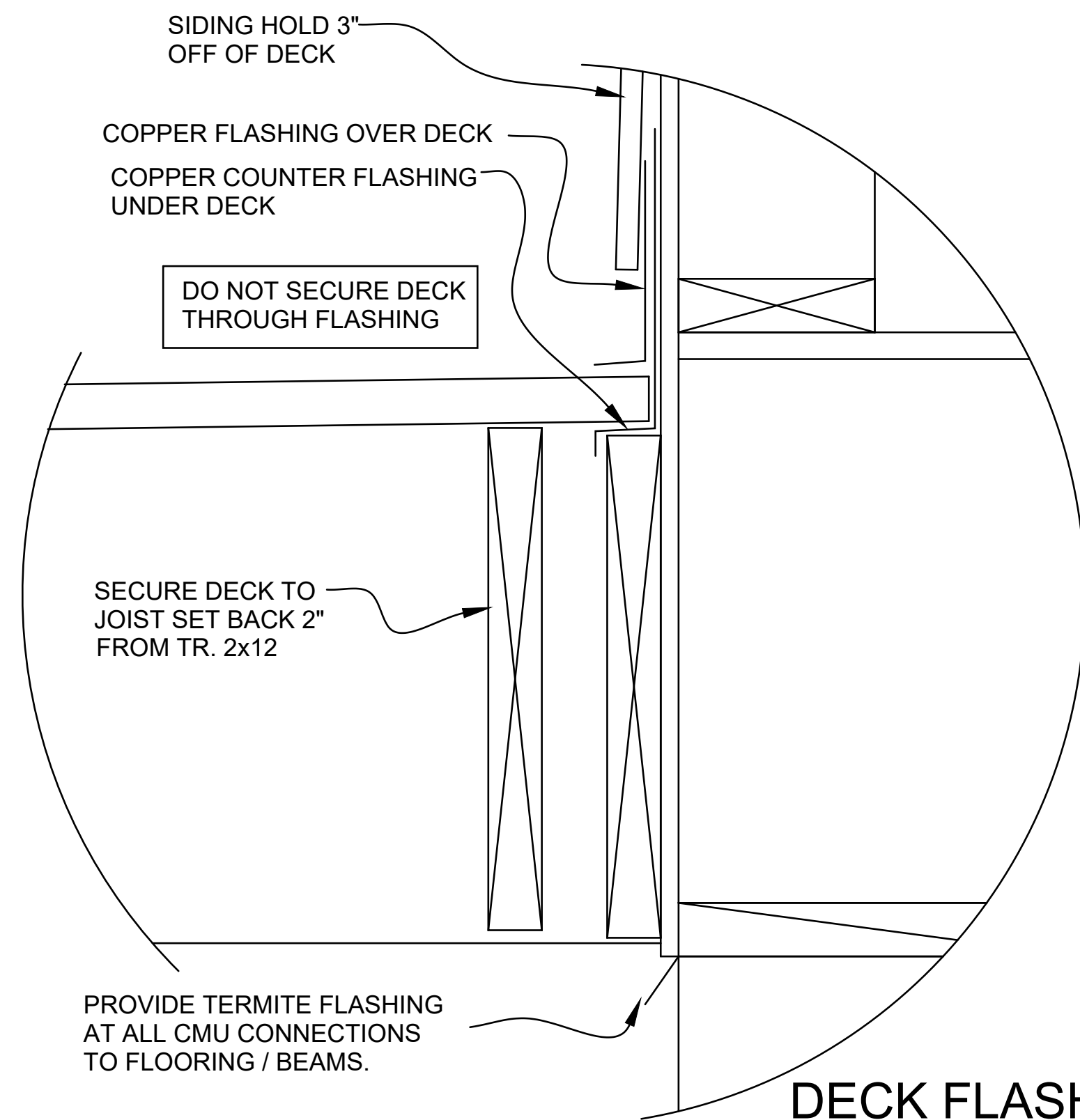
1. START RAFTER TAILS AT CORNER STYLE.
DO NOT APPLY RAFTER TAILS TO HIP RAFTER
TAIL!!



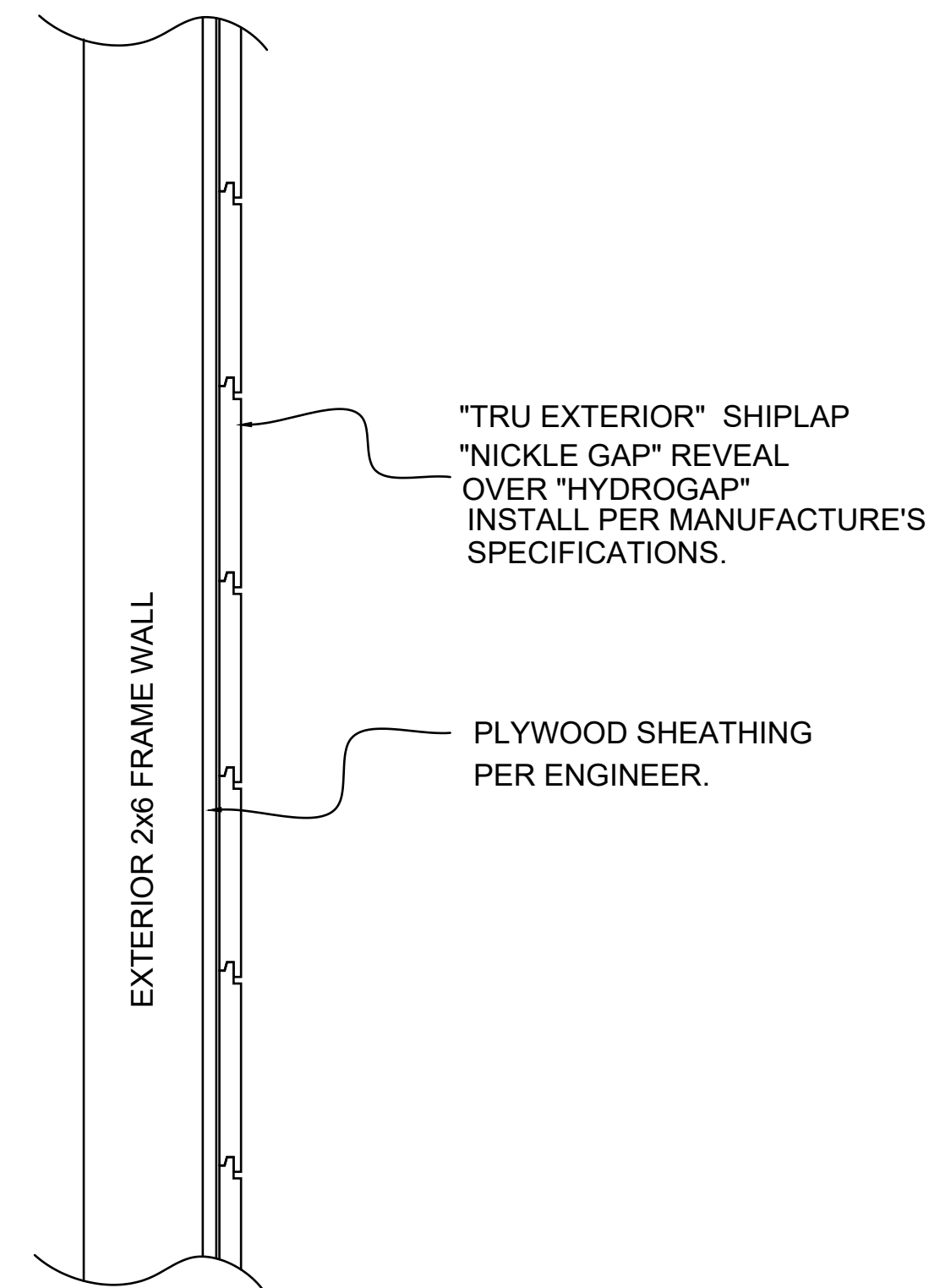
GARAGE DOOR BRACKET DETAIL



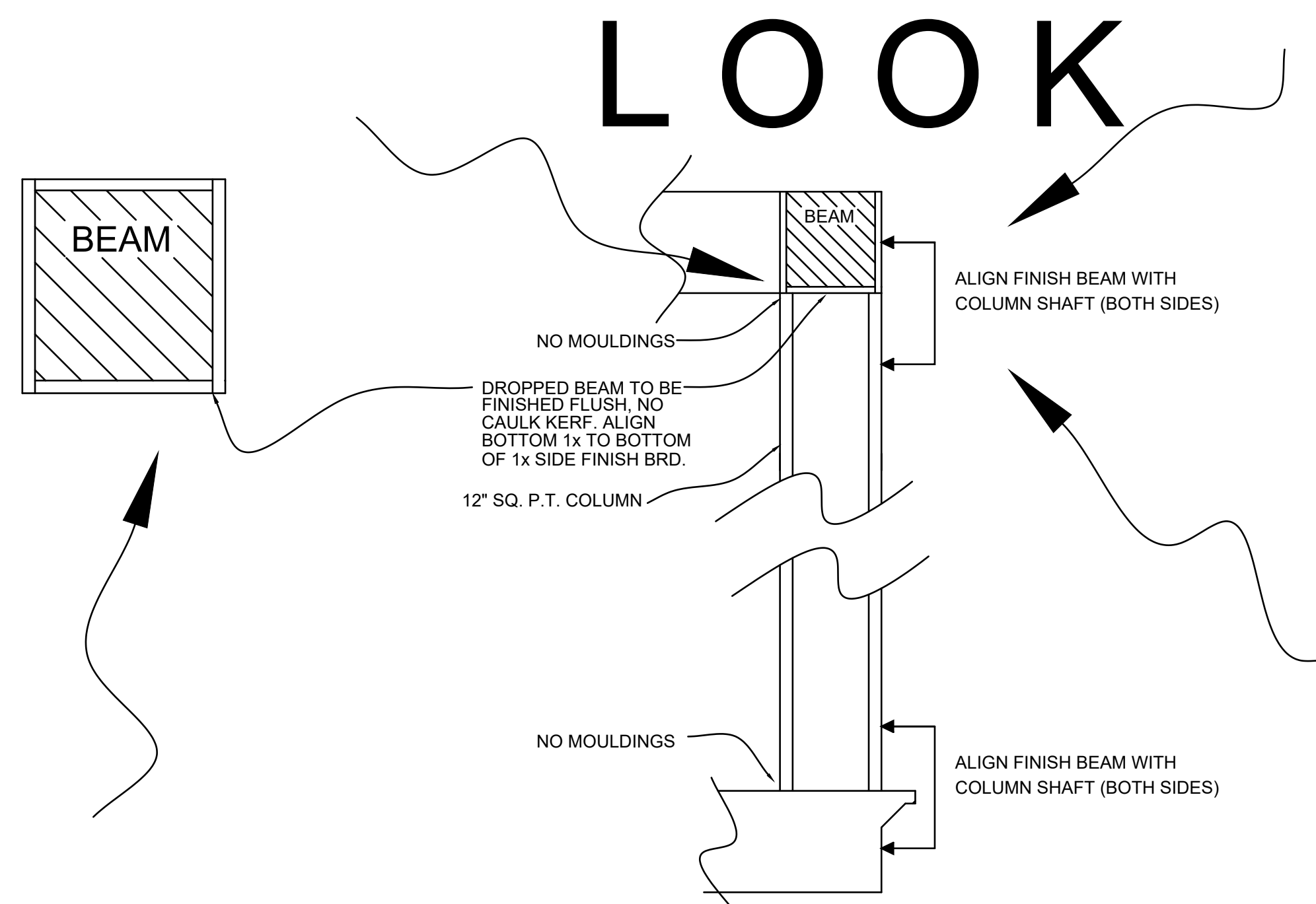
EXT. WINDOW AND DOOR TRIM "B"



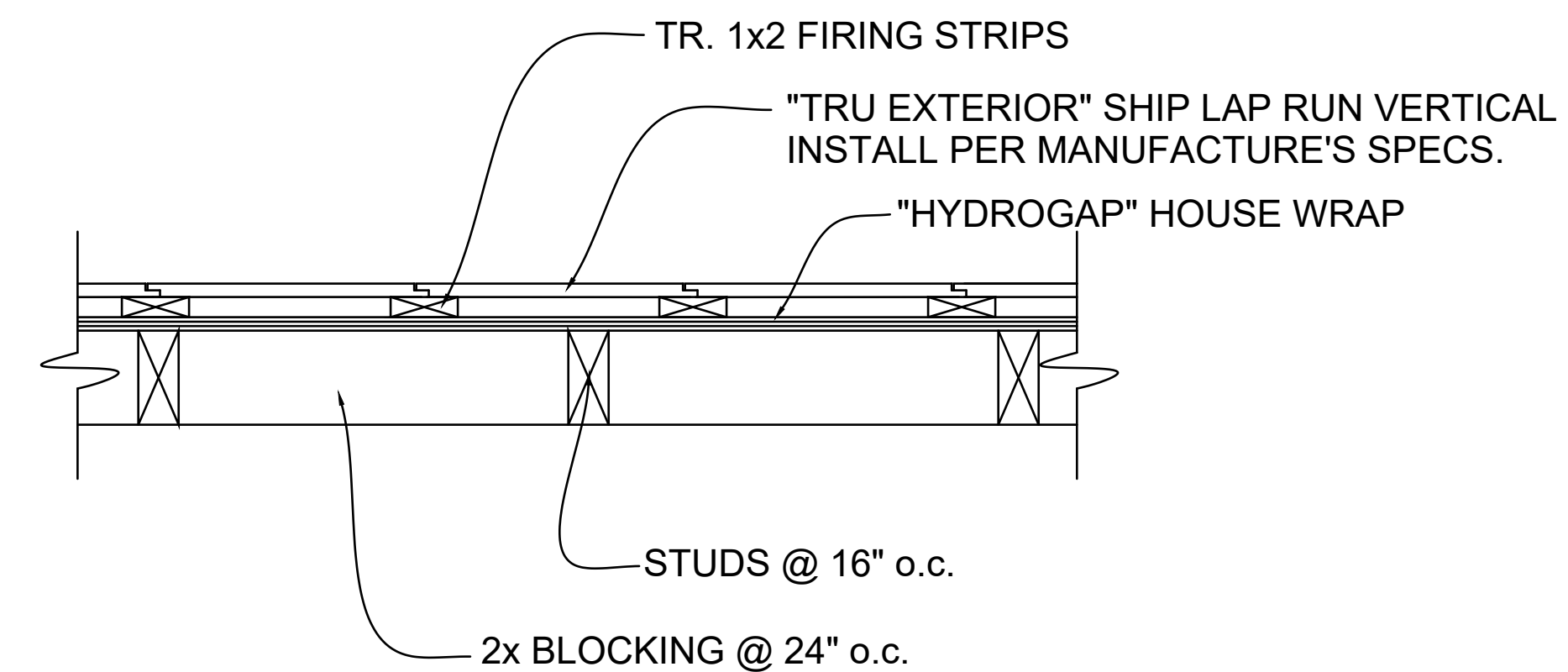
DECK FLASHING DETAIL



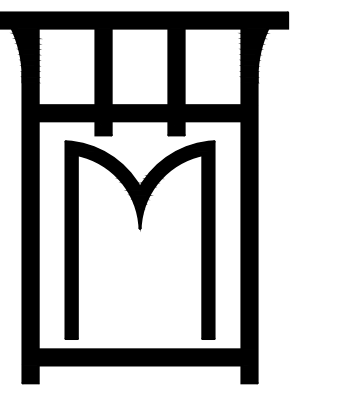
SHIPLAP SIDING
NTS



COLUMN DETAIL
NTS



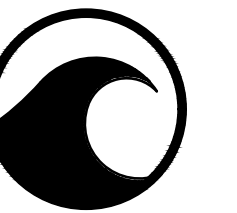
REVERSE BOARD & BATTON WALL SECTION
NTS



M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

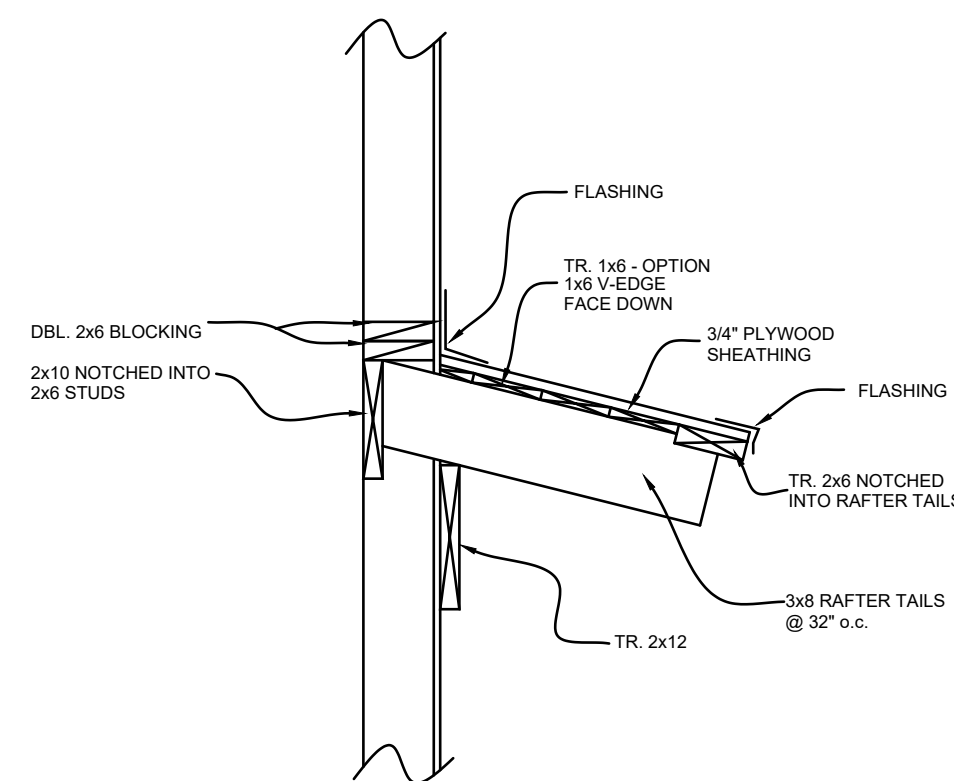
SQUARE FOOTAGE
MAIN HOUSE
FIRST FLOOR 2233 SQ.FT.
SECOND FLOOR 1257 SQ.FT.
TOTAL HEATED 3490 SQ.FT.

SQUARE FOOTAGE
GARAGE
GROUND FLOOR 648 SQ.FT.
FIRST FLOOR 648 SQ.FT.

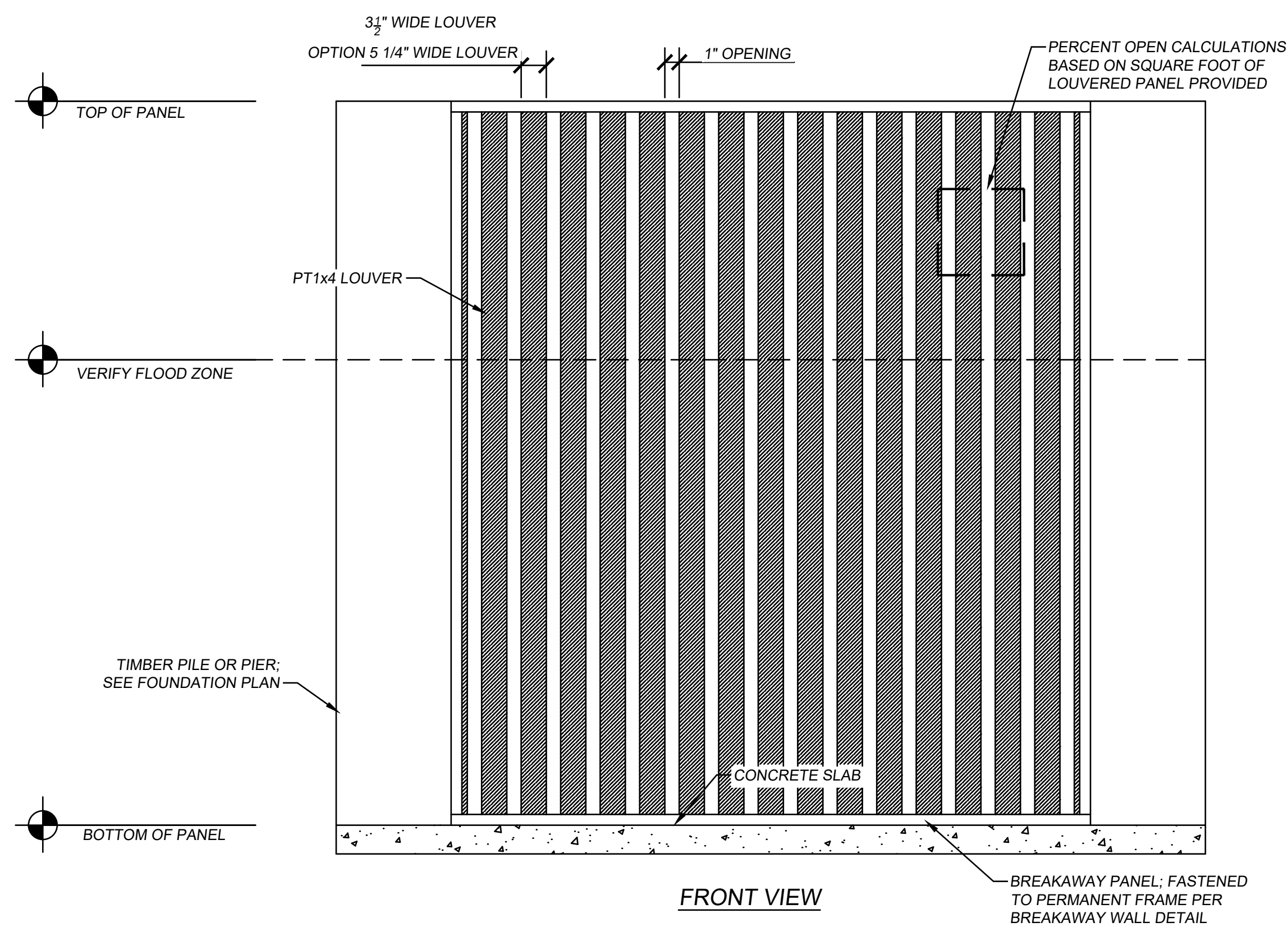


DEATON HOUSE
2858 ION AVE. SULLIVAN'S ISLAND, SC
DETAILS

REVISIONS



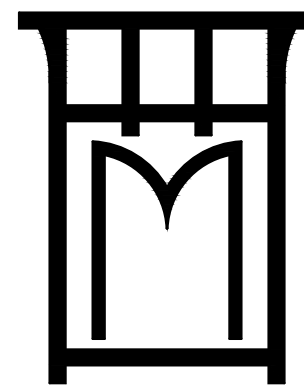
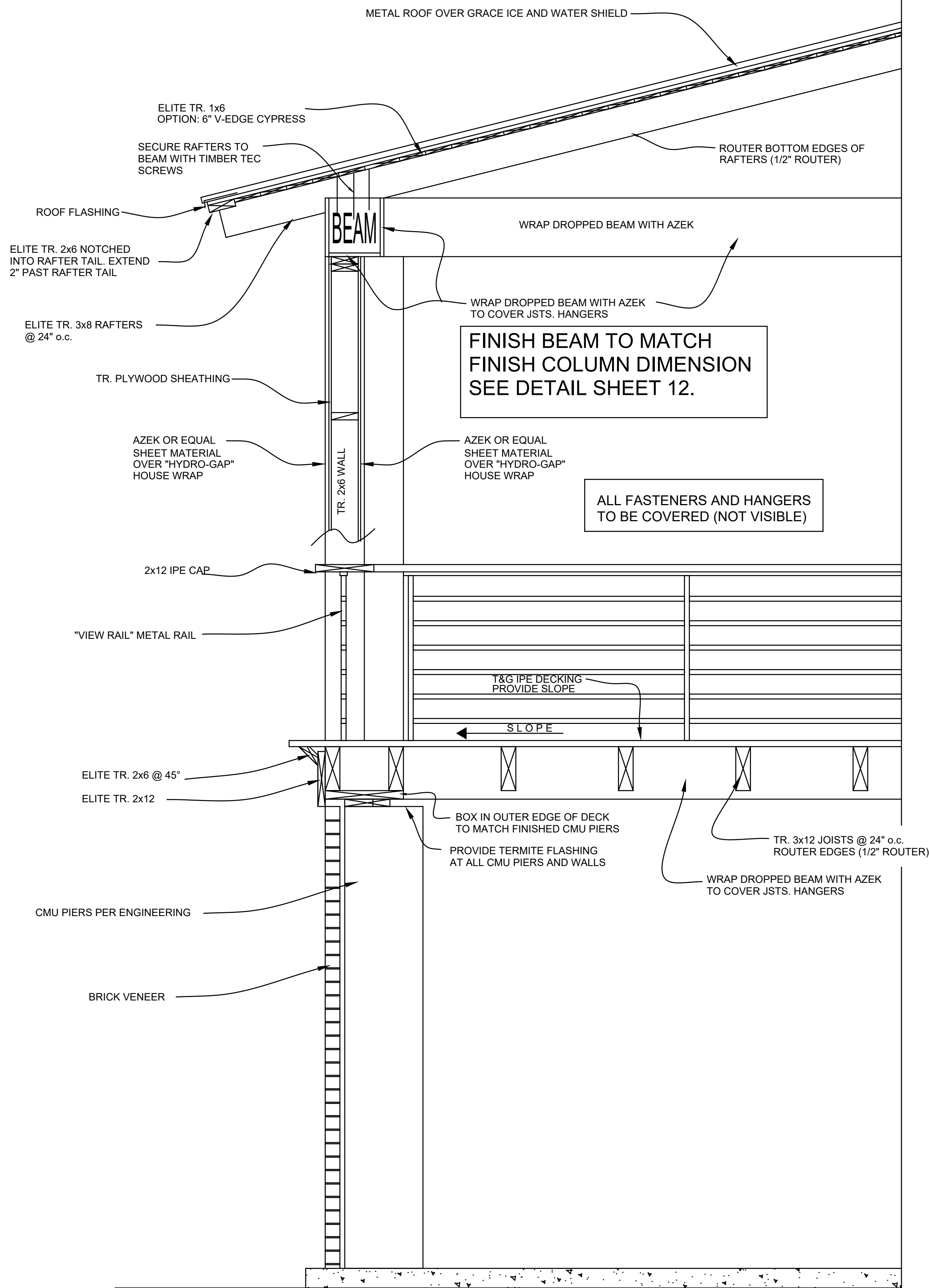
EYBROW DETAIL
NTS



PERCENT OPEN PROVIDED WITH VERTICAL LOUVERED PANEL:

60 SQUARE INCHES OPEN PER 144 SQUARE INCHES OF PANEL PROVIDED
60 SQUARE INCHES OPEN / 144 SQUARE INCHES OF PANEL x 100 = 41% OPEN PER SQUARE FOOT OF PANEL

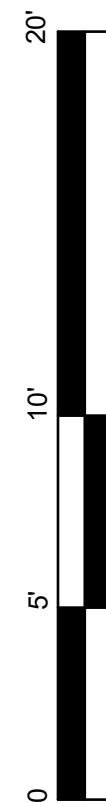
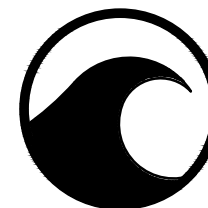
LOUVER WALL DETAIL
SCALE: NO SCALE



M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

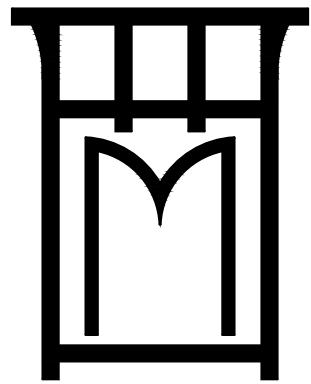
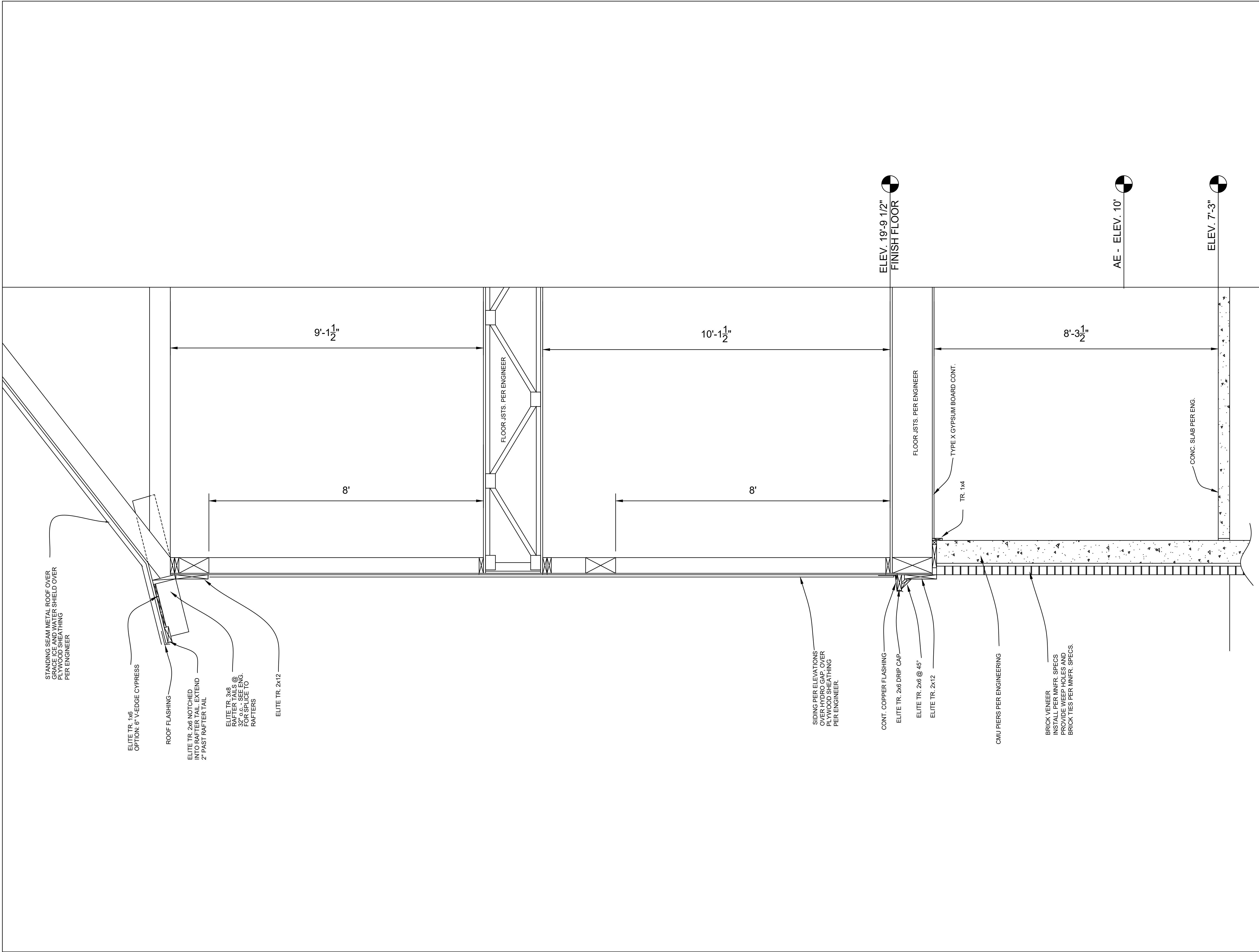
SQUARE FOOTAGE
MAIN HOUSE
FIRST FLOOR 2233 SQ. FT.
SECOND FLOOR 1297 SQ. FT.
TOTAL HEATED 3490 SQ. FT.

SQUARE FOOTAGE
GARAGE
GROUND FLOOR 648 SQ. FT.
FIRST FLOOR 648 SQ. FT.



DEATON HOUSE
2858 ION AVE. SULLIVAN'S ISLAND, SC
PORCH SECTION

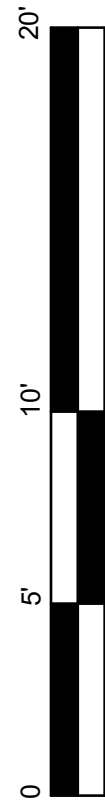
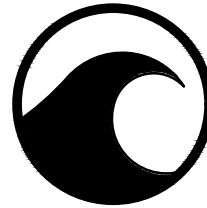
REVISIONS
08-01-25



M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

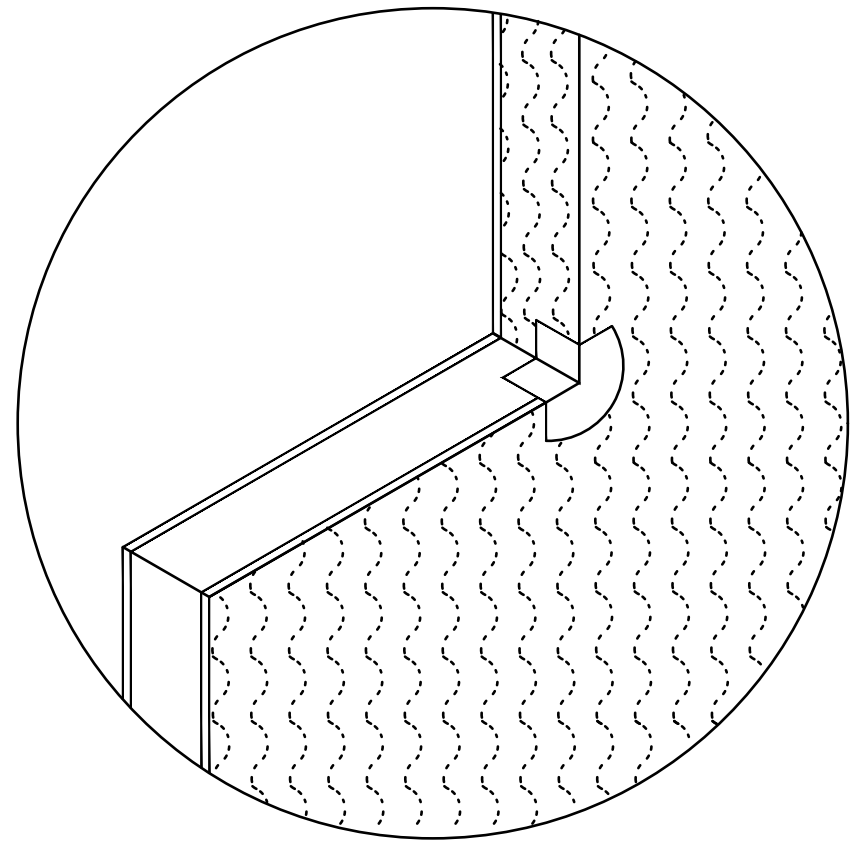
SQUARE FOOTAGE MAIN HOUSE	
FIRST FLOOR	2233 SQ. FT.
SECOND FLOOR	1297 SQ. FT.
TOTAL HEATED	3490 SQ. FT.

SQUARE FOOTAGE GARAGE	
GROUND FLOOR	648 SQ. FT.
FIRST FLOOR	648 SQ. FT.

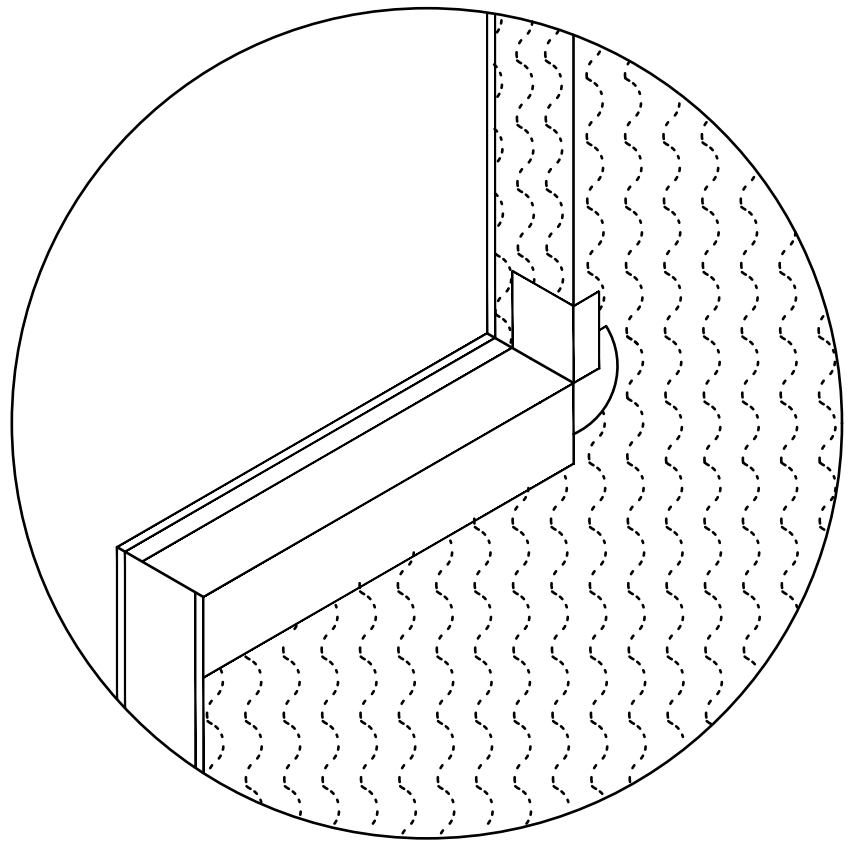


DEATON HOUSE
2858 ION AVE., SULLIVAN'S ISLAND, SC
GARAGE SECTION

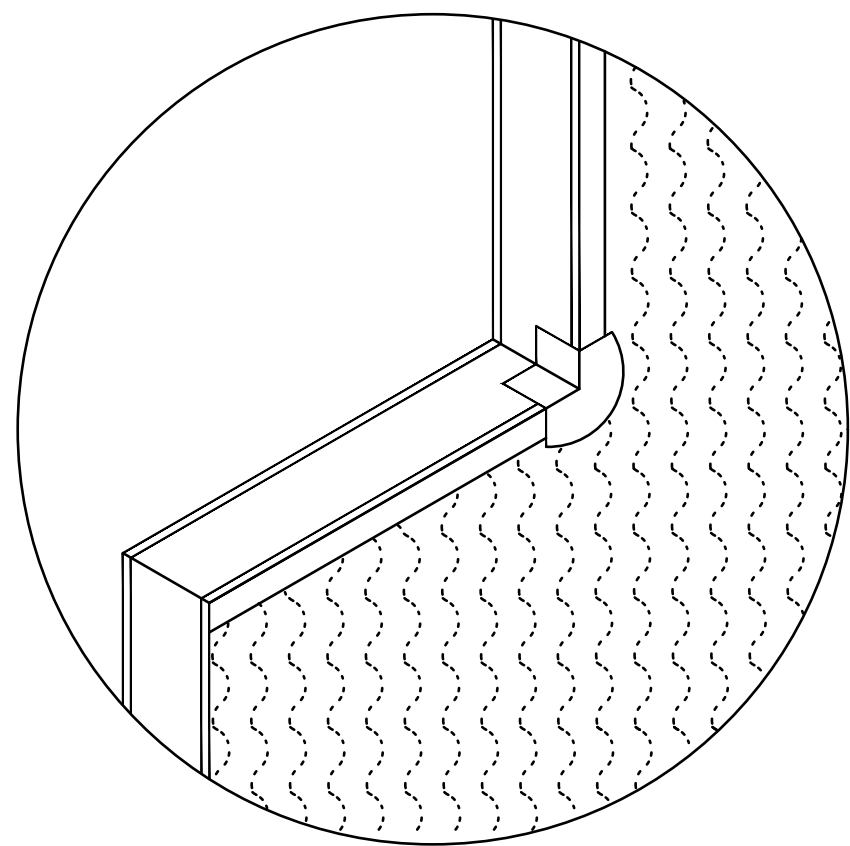
REVISIONS



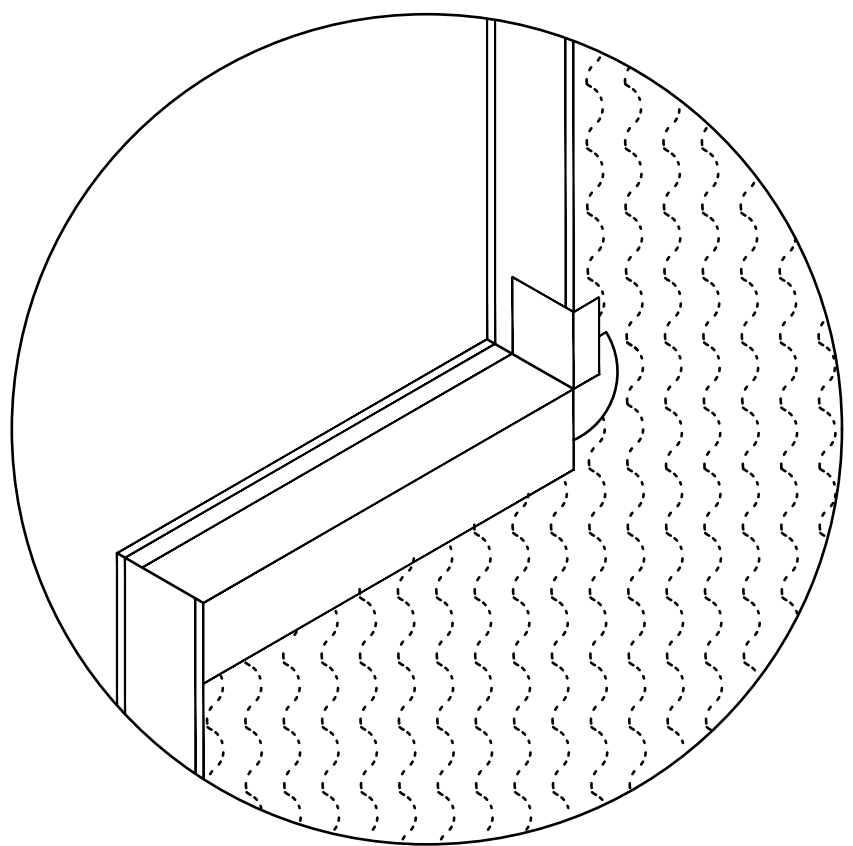
METHOD 2 - FOLD IN
STEP 1



METHOD 2 - FOLD IN
STEP 2

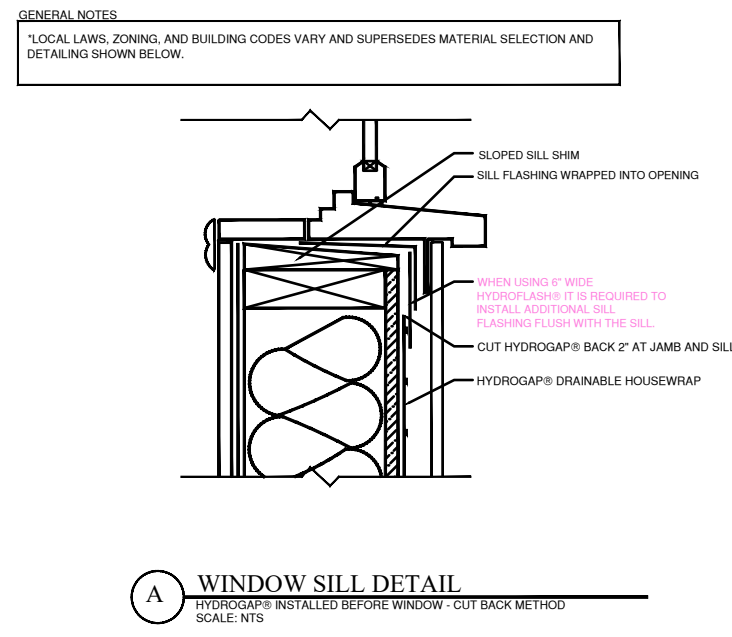


METHOD 1 - CUT BACK
STEP 1

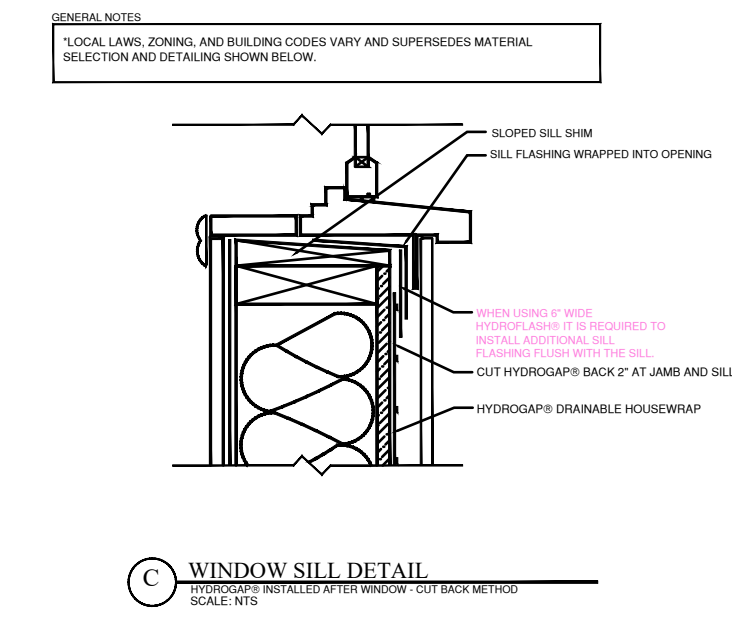


METHOD 1 - CUT BACK
STEP 2

HYDRO CORNER INSTALLATION

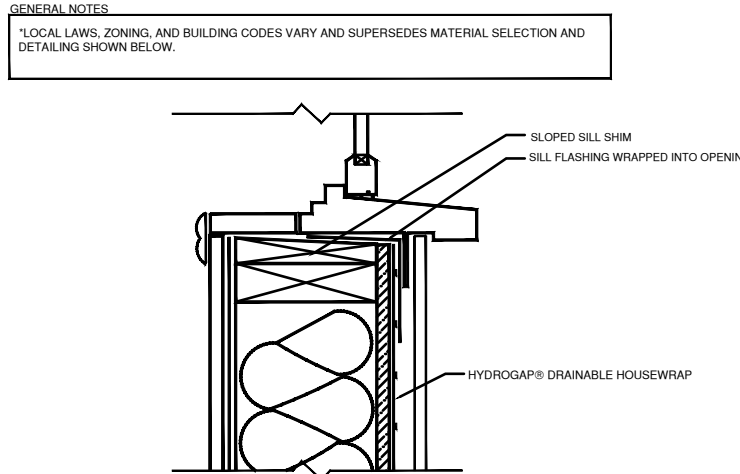


A WINDOW SILL DETAIL
HYDROGAP® INSTALLATION BEFORE WINDOW
SCALE: NTS

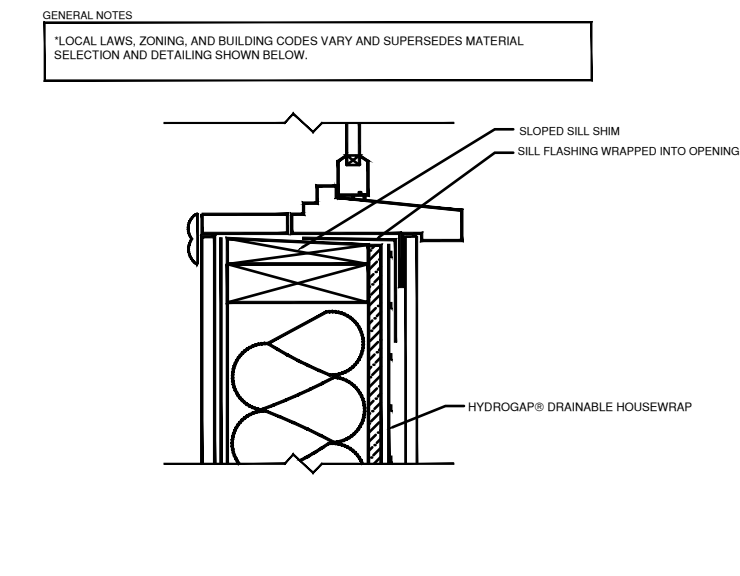


C WINDOW SILL DETAIL
HYDROGAP® INSTALLATION BEFORE WINDOW
SCALE: NTS

HYDROGAP WINDOW SILL DETAILS
CUT BACK INSTALLATION METHOD

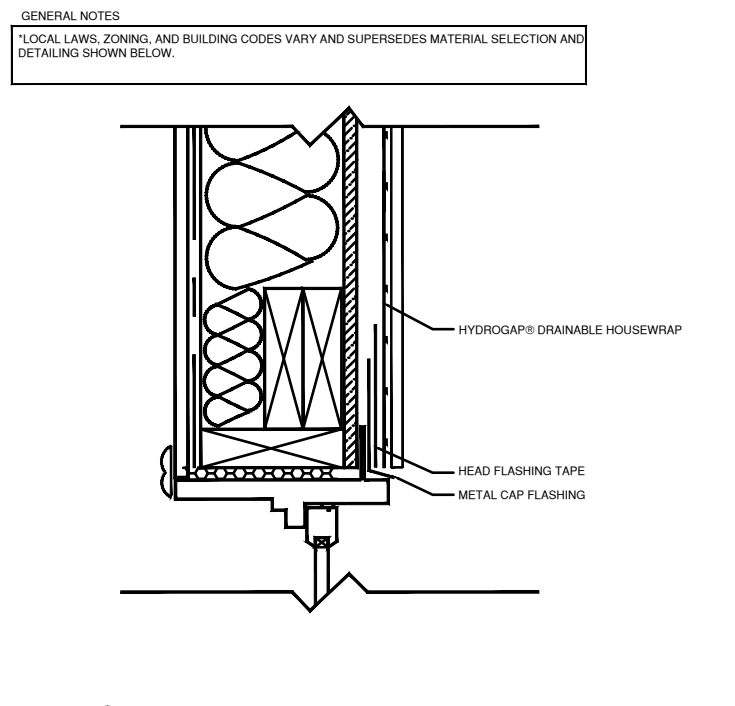


A WINDOW SILL DETAIL
HYDROGAP® INSTALLATION BEFORE WINDOW
SCALE: 3/4" = 1'-0"

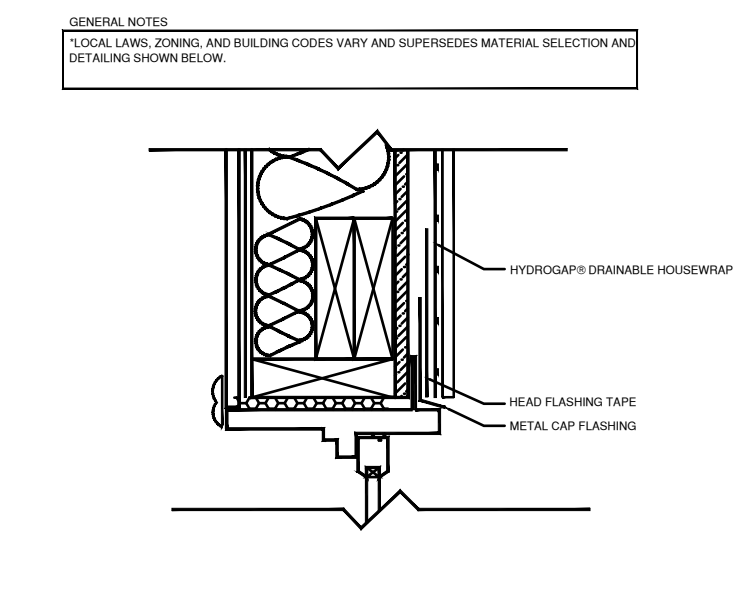


C WINDOW SILL DETAIL
HYDROGAP® INSTALLATION BEFORE WINDOW
SCALE: 3/4" = 1'-0"

HYDROGAP WINDOW SILL DETAILS
STANDARD INSTALLATION METHOD

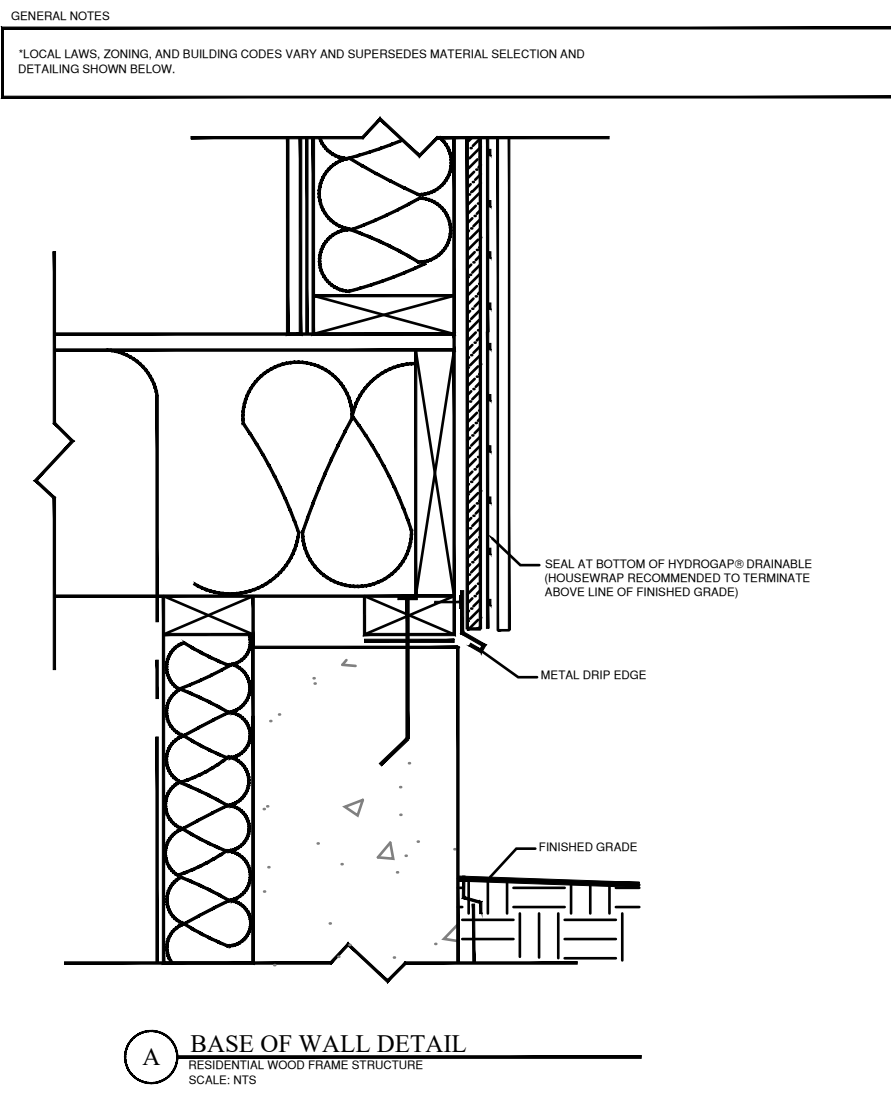


A WINDOW HEAD DETAIL
HYDROGAP® INSTALLATION BEFORE WINDOW
SCALE: NTS

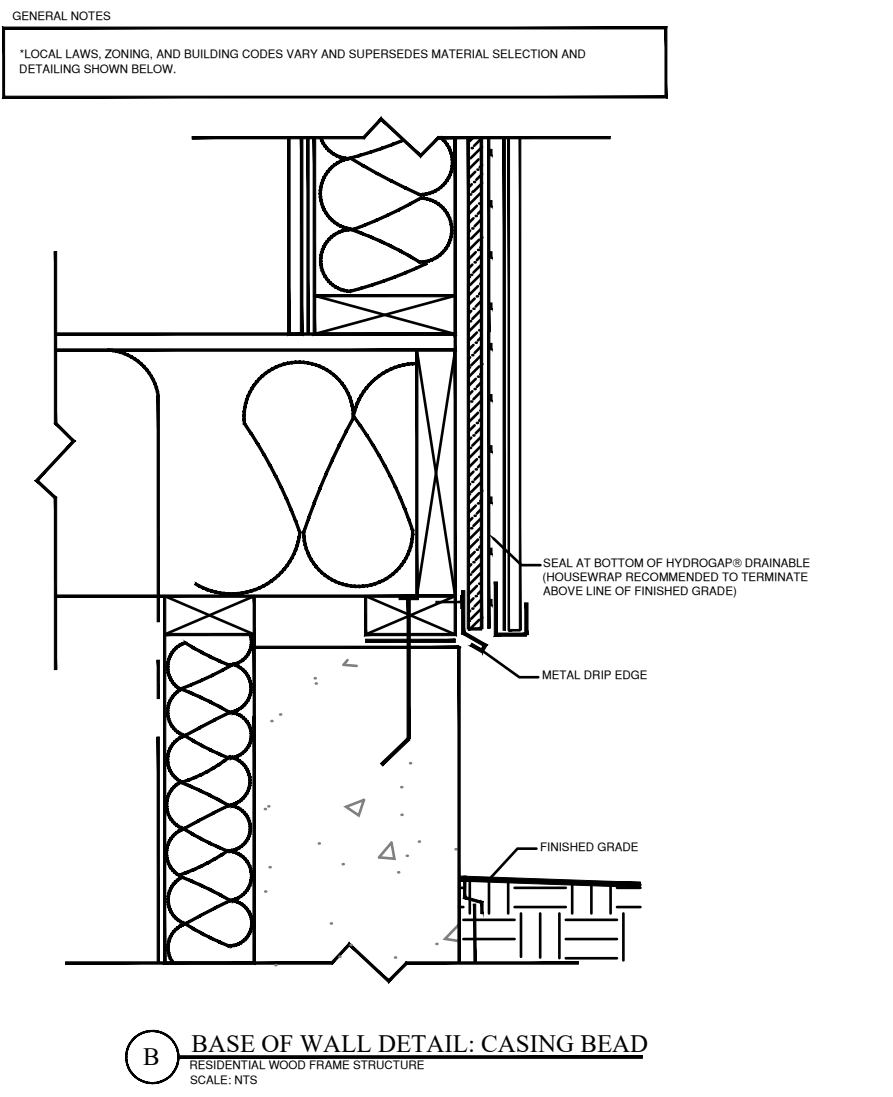


C WINDOW HEAD DETAIL
HYDROGAP® INSTALLATION BEFORE WINDOW
SCALE: NTS

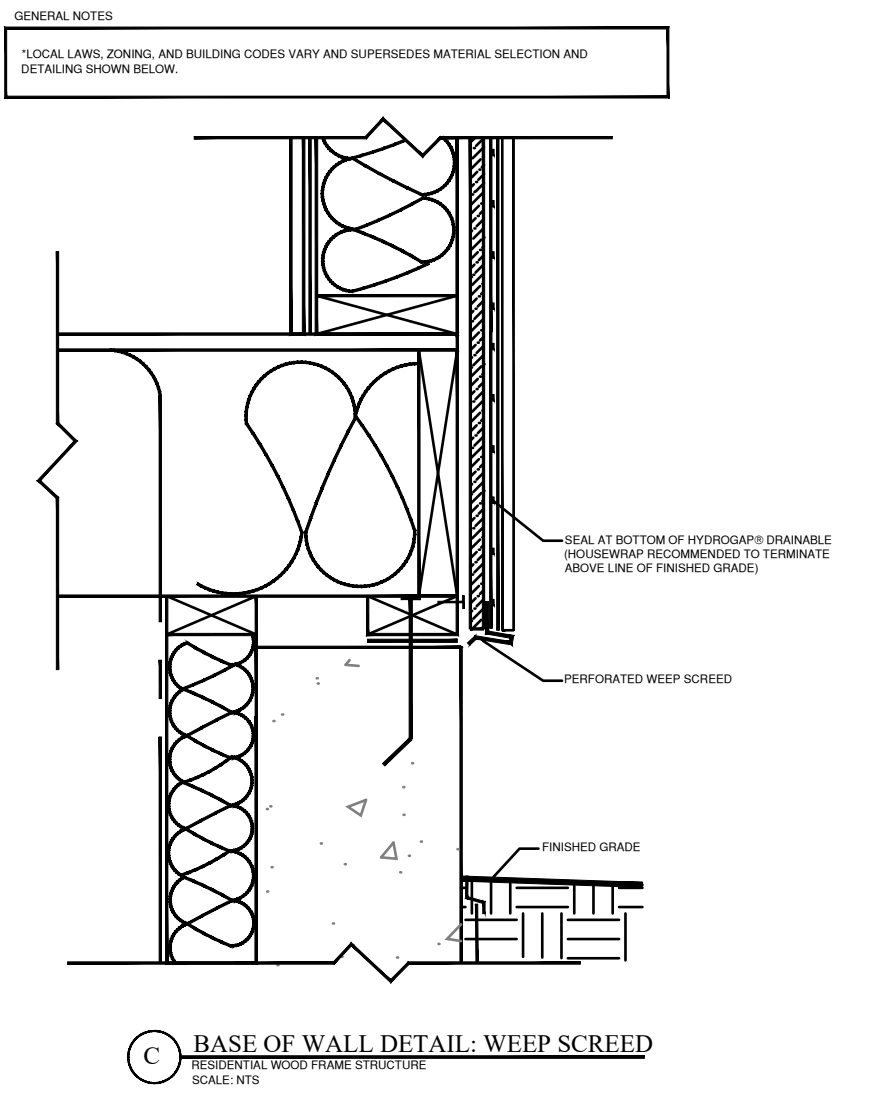
HYDROGAP WINDOW HEAD DETAILS
STANDARD INSTALLATION METHOD



A BASE OF WALL DETAIL
RESIDENTIAL WOOD FRAME STRUCTURE
SCALE: NTS

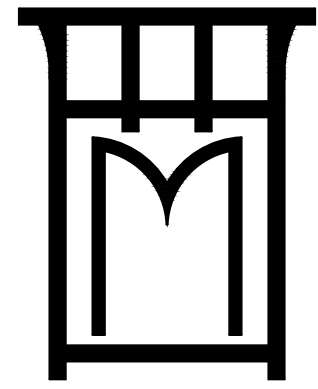


B BASE OF WALL DETAIL: CASING BEAD
RESIDENTIAL WOOD FRAME STRUCTURE
SCALE: NTS



C BASE OF WALL DETAIL: WEEP SCREED
RESIDENTIAL WOOD FRAME STRUCTURE
SCALE: NTS

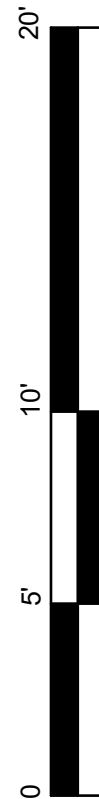
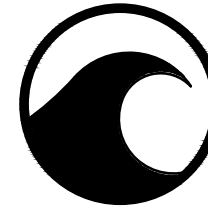
HYDROGAP BASE OF WALL DETAILS



M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

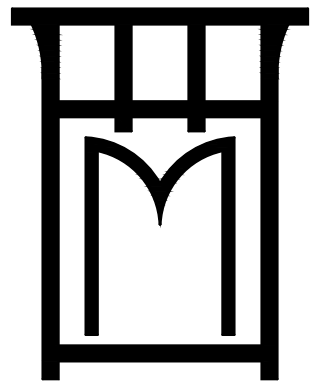
SQUARE FOOTAGE
MAIN HOUSE
FIRST FLOOR 2233 SQ. FT.
SECOND FLOOR 1297 SQ. FT.
TOTAL HEATED 3490 SQ. FT.

SQUARE FOOTAGE
GARAGE
GROUND FLOOR 648 SQ. FT.
FIRST FLOOR 648 SQ. FT.



DEATON HOUSE
2858 10N AVE. SULLIVAN'S ISLAND, SC
HYDRO GAP DETAILS / OPTIONS

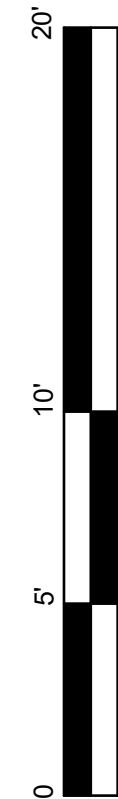
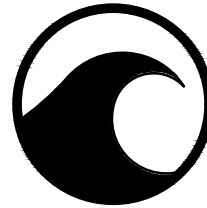
REVISIONS



M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

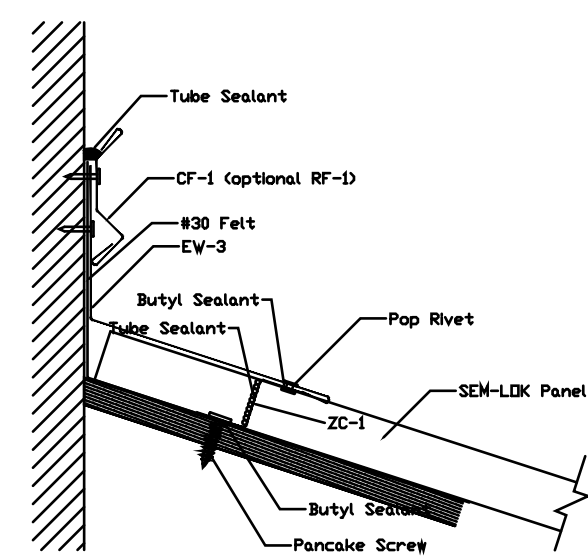
SQUARE FOOTAGE MAIN HOUSE	
FIRST FLOOR	2233 SQ.FT.
SECOND FLOOR	1297 SQ.FT.
TOTAL HEATED	3490 SQ.FT.

SQUARE FOOTAGE GARAGE	
GROUND FLOOR	648 SQ.FT.
FIRST FLOOR	648 SQ.FT.

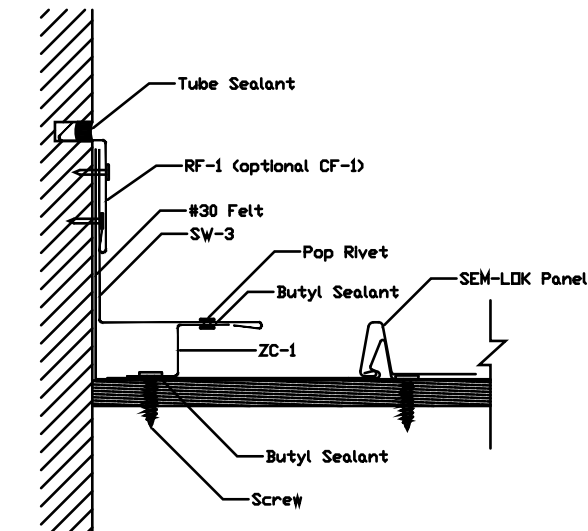


DEATON HOUSE
2858 ION AVE. SULLIVAN'S ISLAND, SC
ROOFING DETAILS

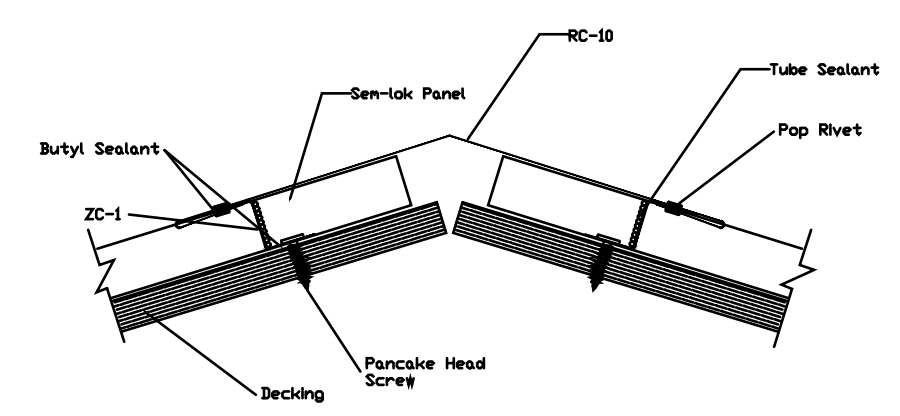
REVISIONS



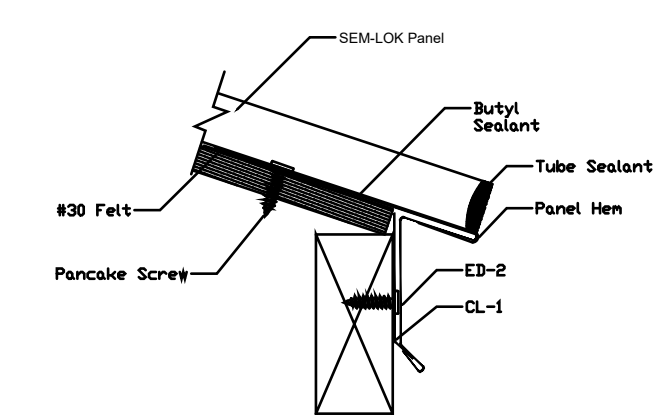
EndWall Flashing



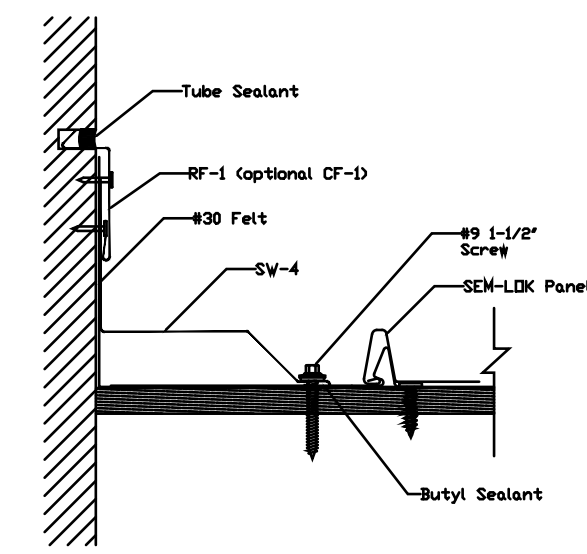
SideWall Flashing



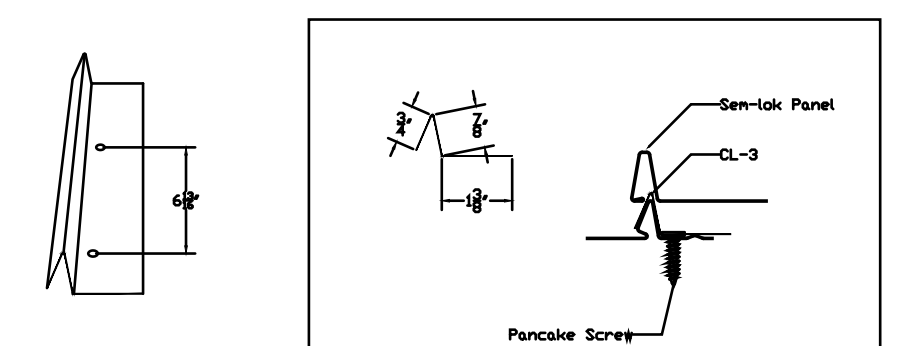
Hip / Ridge



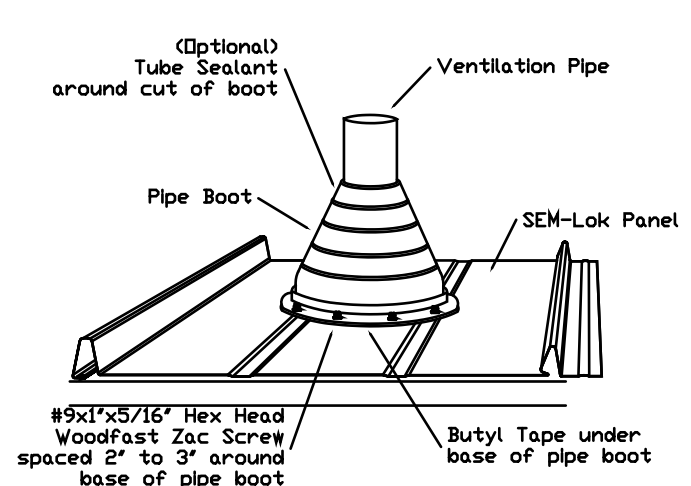
Eave Flashing



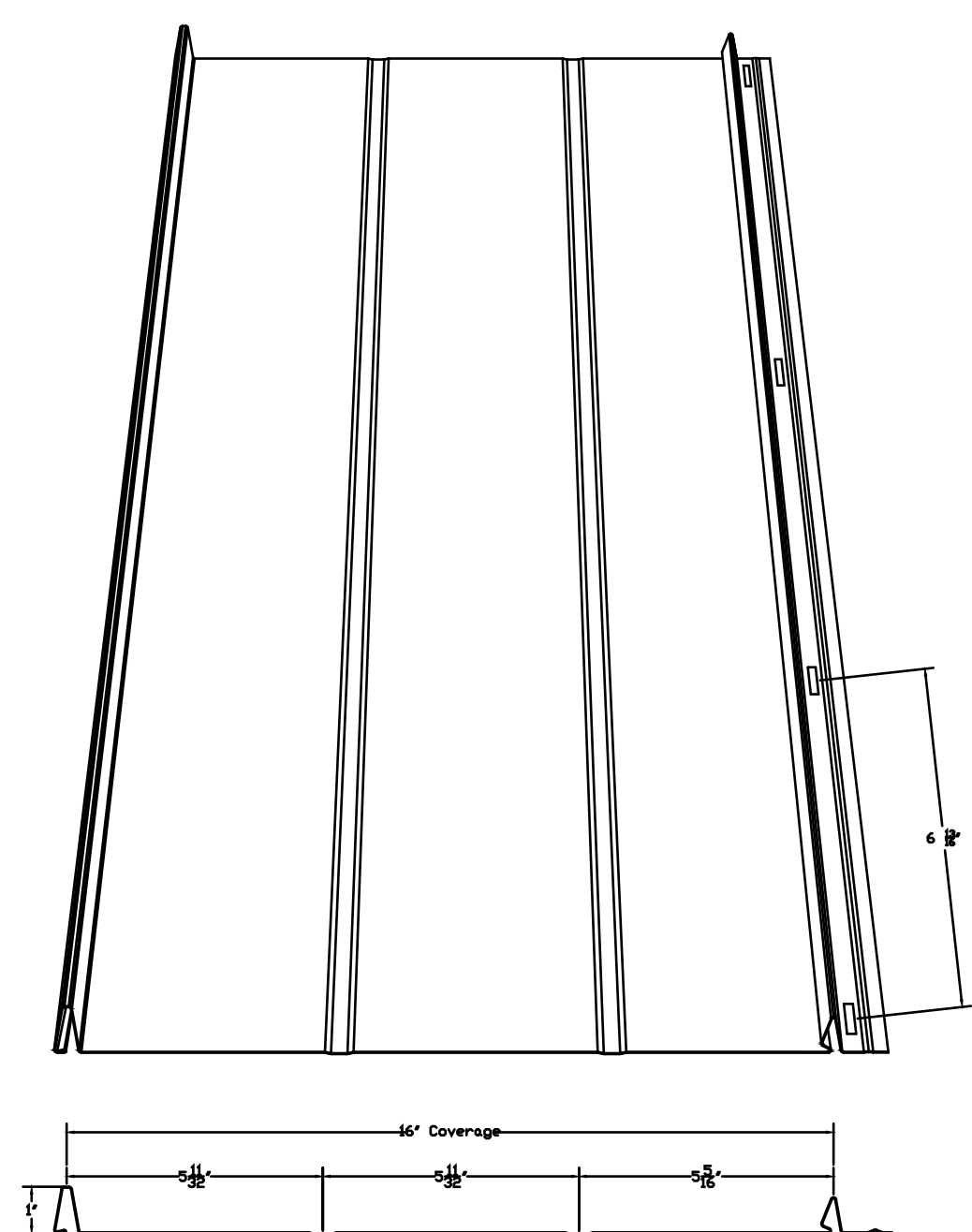
SideWall Flashing
(Option 2)



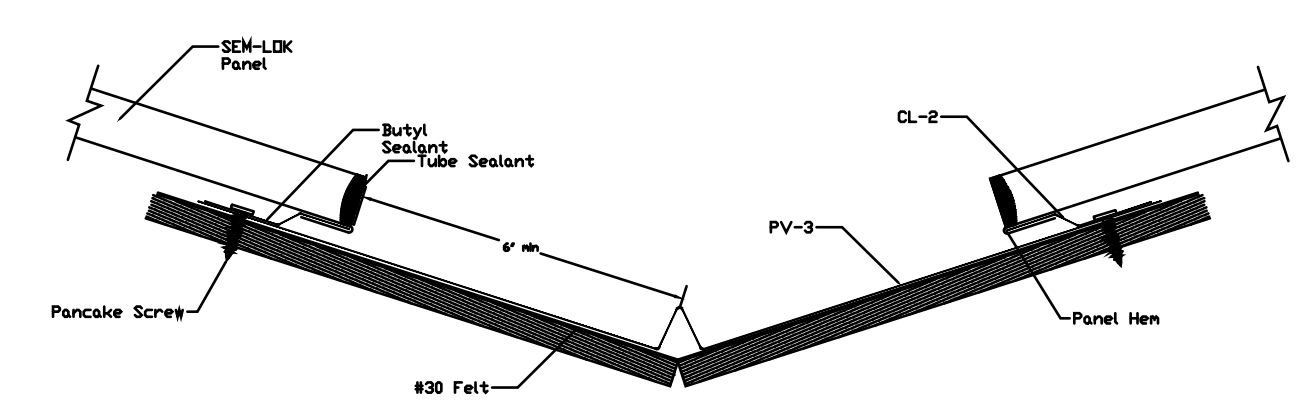
HVHZ Zone Cleat (CL-3)



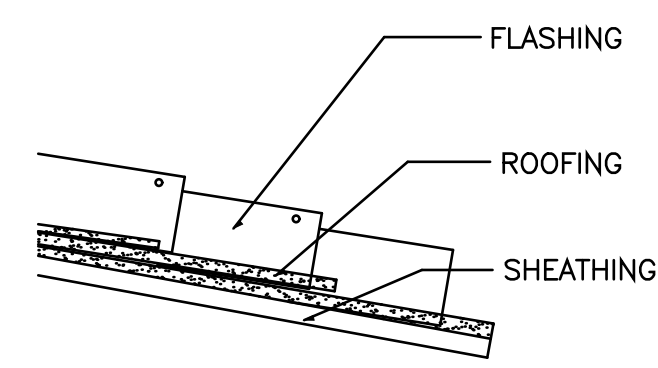
Pipe Boot Installation



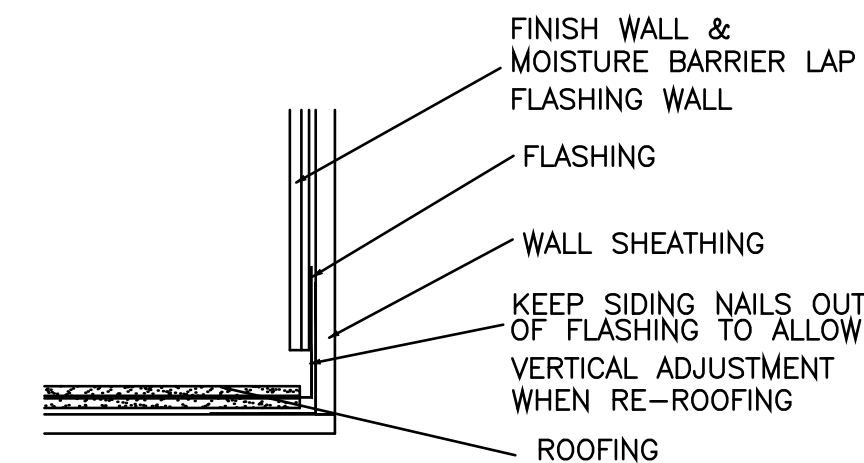
Sem-lok Panel



Valley

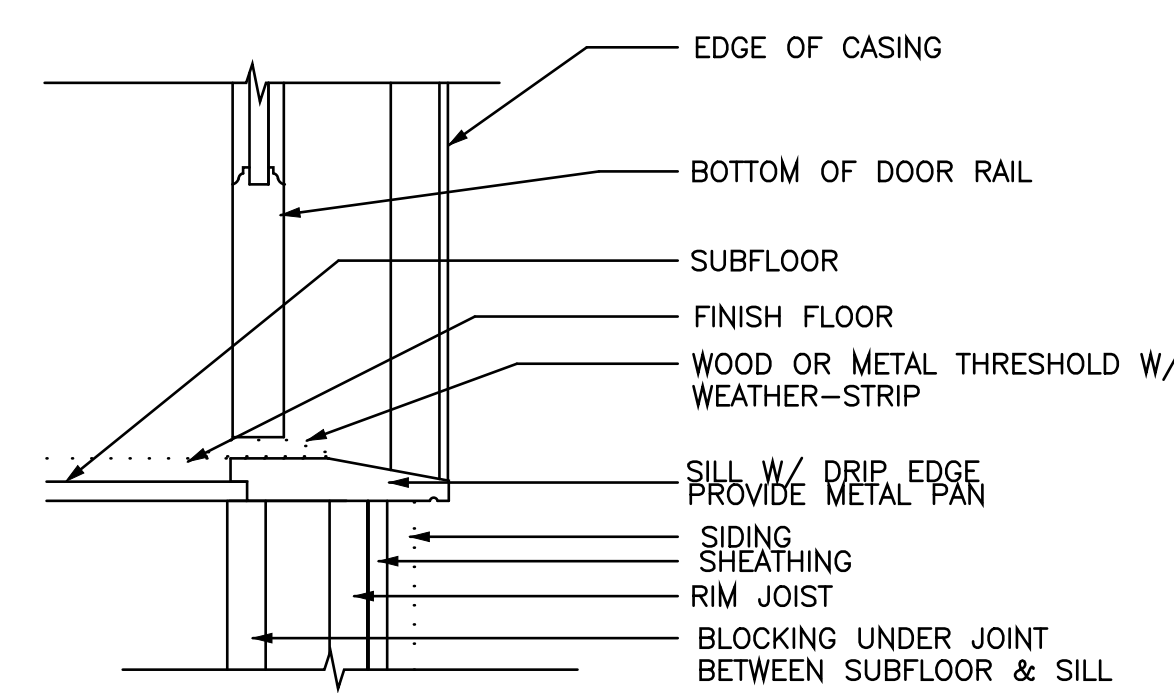


ELEVATION



SECTION

SIDEWALL FLASHING



SILL

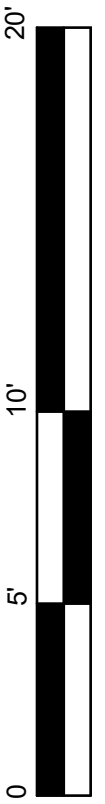
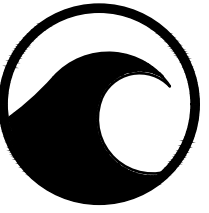
NOTE:
FINISH ALL EDGES OF
EXTERIOR DOORS TO
PREVENT SWELLING



SQUARE FOOTAGE	
MAIN HOUSE	
FIRST FLOOR	2233 SQ.FT.
SECOND FLOOR	1257 SQ.FT.
TOTAL HEATED	3490 SQ.FT.

SQUARE FOOTAGE
GARAGE

GROUND FLOOR	648 SQ.FT.
FIRST FLOOR	648 SQ.FT.

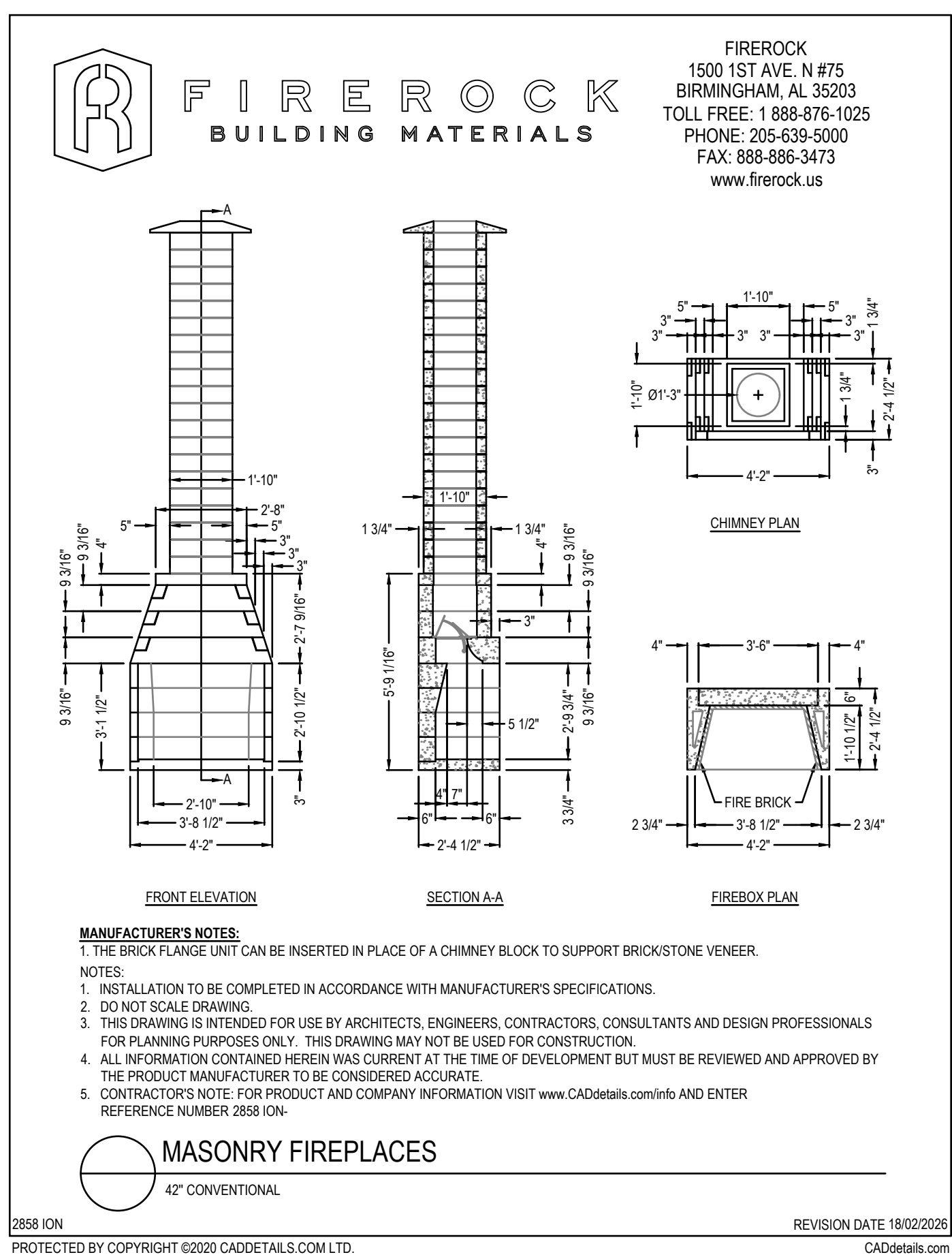


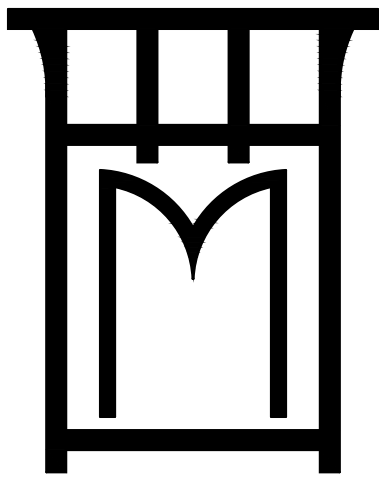
DEATON HOUSE
2858 ION AVE. SULLIVAN'S ISLAND, SC
DETAILS

REVISIONS

SHEET
a19
DATE
07.07.25

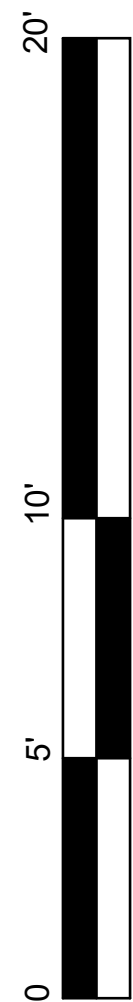
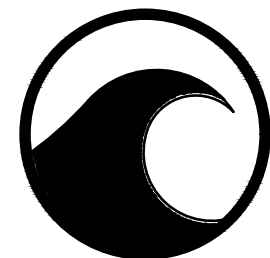
- GENERAL NOTES:
1. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS PRIOR TO START OF WORK
 2. USE OF SAFE METHODS OF CONSTRUCTION AND ERECTION OF STRUCTURAL MATERIALS IS CONTRACTORS RESPONSIBILITY.
 3. PROVIDE COPPER FLASHING AT ALL TYPICAL FLASHING LOCATIONS, INCLUDING DOOR PANS, ROOF FLASHING TO BY SAME MATERIAL AS METAL ROOF AND PROVIDED BY ROOF MANUFACTURER.
 4. ALL WINDOWS, DOORS, & VENTS TO MEET WIND LOAD REQUIREMENTS AND BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS.
 5. ALL DOORS AND WINDOWS ARE TO BE INSTALLED PER MANUFACTURE SPECS. SEE MANUFACTURE'S SHOP DRAWINGS FOR INSTALLATION AND FLASHING DETAILS.
 6. ALL EXTERIOR MATERIALS- SIDING AND TRIM, STUCCO CONVENTIONAL OR SYNTHETIC, AND ROOFING - SHALL BE INSTALLED PER MANUFACTURE'S SPECS AND RECOMMENDATION.
IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SHOP DRAWINGS AND MANUFACTURE SPECIFICATION FOR INSTALLATION, AS WELL AS OVERSEEING THE INSTALLATION AND OR APPLICATION.
 7. ALL WALLS, STEPS, AND GARAGE DOORS BELOW FLOOD LEVEL TO BE CLASS 4 OR 5.
 8. CONTRACTOR IS RESPONSIBLE FOR ALL MATERIALS INSTALLED. IT IS THE CONTRACTORS RESPONSIBILITY TO PROVIDE SHOP DRAWINGS FOR ALL INSTALLED ITEMS.





M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE



PERMIT
SET

DEATON HOUSE - 2858 ION
SULLIVAN'S ISLAND, S.C.
GROUND FLOOR ELECT. PLAN

REVISIONS

SHEET
e01
DATE
07-07-25

LEGEND

	CABLE SATELLITE TV COORDINATE W/ AV CONSULTANT		EX. FAN/LIGHT
	PHONE		CLG. MOUNTED LIGHT
	RECEPT.		RECESSED LIGHT
	220V RECEPT.		WALL MOUNTED LIGHT
	SWITCH		FLUORESCENT LIGHT
	DOOR CHIME		FUSE BOX
	LOW VOLTAGE LIGHT		CLG. FAN
	FLOOD LIGHTS		
	LOW VOLTAGE COVE LIGHTING		

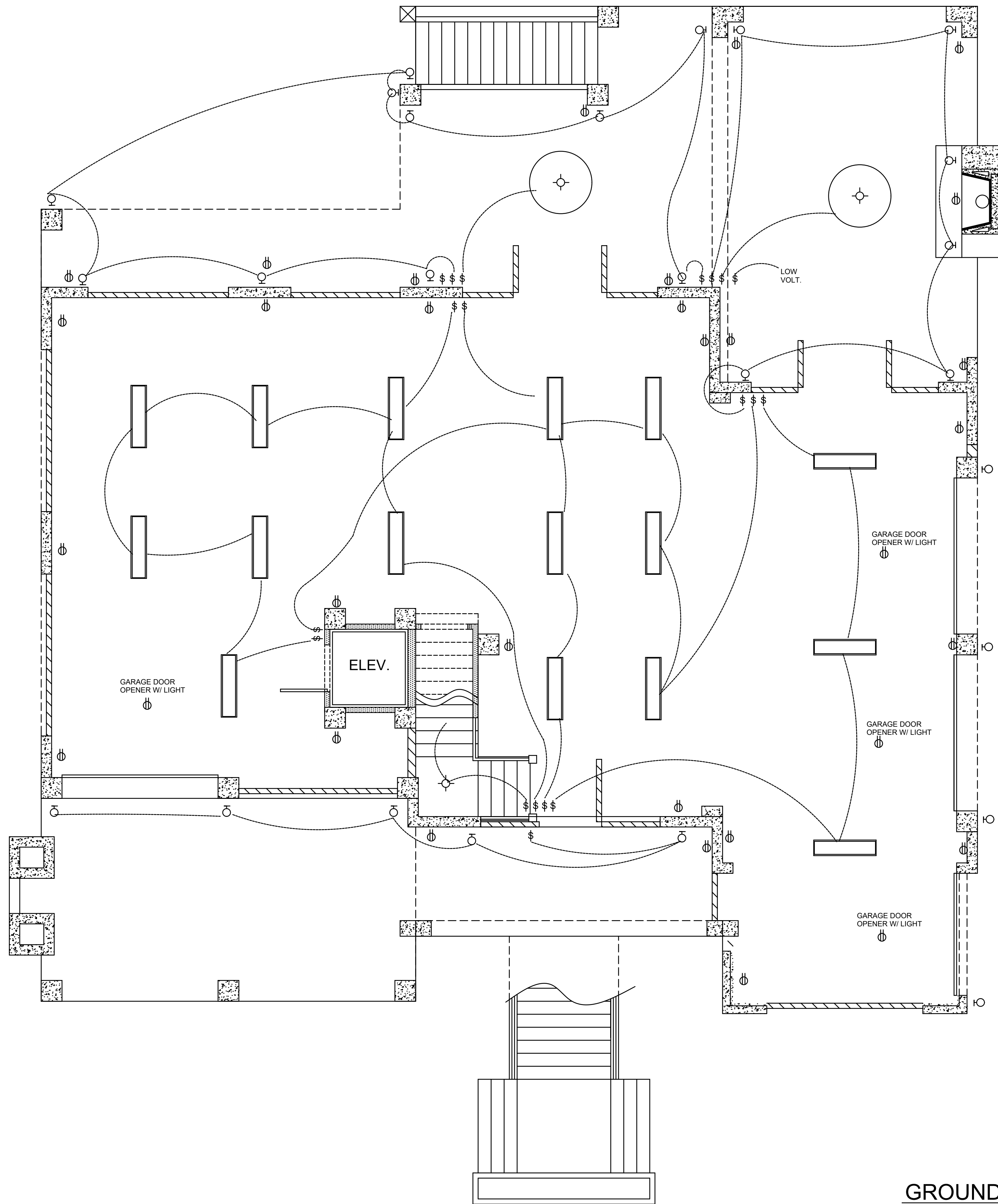
NOTE:

1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL AND LOCAL CODES AND ORDINANCES.
2. PROVIDE SMOKE DETECTORS WITH BATTERY BACKUP FOR EACH ROOM.
3. SMOKE DETECTORS AND SECURITY SYSTEM SHALL HAVE AN AUTOMATIC NOTIFICATION SYSTEM TO LOCAL FIRE AND SAFETY OFFICIALS.
4. PROVIDE SECURITY SYSTEM.
5. PROVIDE CENTRAL VACUUM.
6. ALL LIGHTS TO BE EQUIPPED WITH DIMMER UNLESS NOTED OTHERWISE.
7. COORDINATE ALL OUTLETS WITH BUILT-INS.
8. VERIFY LANDSCAPE LIGHTING WITH LANDSCAPE ARCHITECT.
9. ALL EXTERIOR FIXTURES MUST BE RATED FOR EXTERIOR USE.
10. ALL EXTERIOR OUTLETS TO BE WATERPROOF.
11. ALL ELECTRICAL OUTLETS AND MULTIMEDIA PORTS TO BE LOCATED IN CENTER OF BASEBOARD UNLESS OTHERWISE NOTED.
12. EXTERIOR RISER LIGHTS TO BE LOW VOLTAGE.
13. ALL ELECTRICAL TO BE LOCATED ABOVE BFE.
14. COORDINATE FRAMING WITH ELECTRICAL LAYOUT.
15. PROVIDE RISER LIGHTS FOR ALL EXTERIOR STAIRS.
16. ALL FIXTURE LOCATION TO BE FIELD VERIFIED WITH OWNER PRIOR TO INSTALLATION.
17. PROVIDE RECEPT. IN ALL BATHROOM VANITY DRAWERS
18. PROVIDE ELECTRICAL FOR POOL. VERIFY WITH POOL CONTRACTOR WHAT NEEDS TO BE INSTALLED.
19. PROVIDE FLOOD LIGHTS, LOCATIONS PROVIDED BY OWNERS.
20. PROVIDE ELECTRICAL FOR WINDOW BLINDS, SEE PLANS FOR LOCATIONS.
21. PROVIDE FLOOD LIGHTS, QUANTITY AND LOCATIONS PER OWNERS.

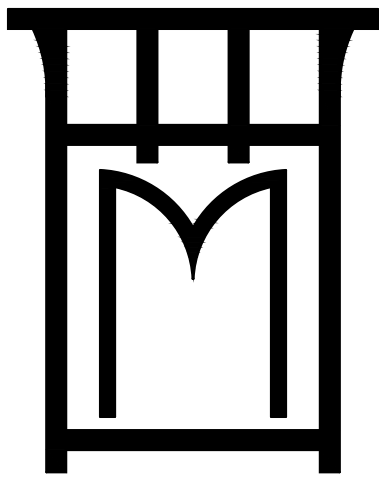
(EB) ELECTRICALLY OPERATED WINDOW BLINDS.

NOTE:

THIS IS A SCHEMATIC ELECTRICAL PLAN. DUE TO FRAMING AND ENGINEERING CONSTRAINTS, SOME LOCATIONS WILL NEED TO BE ADJUSTED IN THE FIELD. THIS PLAN DOES NOT SHOW THE EXACT LOCATION OF EACH FIXTURE. CONTRACTOR IS TO FIELD VERIFY EACH LOCATION WITH THE OWNERS PRIOR ROUGH IN. PLEASE REVIEW NOTE: IN ELECTRICAL LEGEND FOR SPECIFICS INSTRUCTIONS RELATING TO FIXTURE LOCATIONS NOT SHOWN ON PLAN.

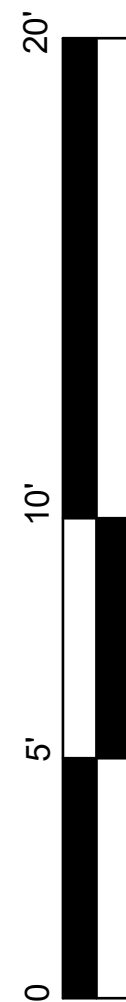
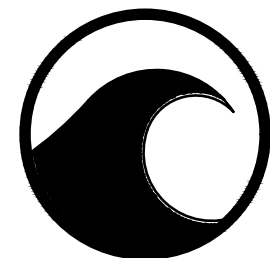


GROUND FLOOR ELECT. PLAN
1/4" = 1'-0"



M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE



PERMIT
SET

DEATON HOUSE - 2858 ION
SULLIVAN'S ISLAND, S.C.
FIRST FLOOR ELECT. PLAN

REVISIONS

SHEET
e02
DATE
07-07-25

LEGEND

CABLE SATELLITE TV
COORDINATE W/ AV
CONSULTANT

PHONE
RECEPT.

220V
RECEPT.

SWITCH

DOOR CHIME

LOW VOLTAGE
LIGHT

FLOOD LIGHTS

LOW VOLTAGE
COVE LIGHTING

EX. FAN/LIGHT

CLG. MOUNTED
LIGHT

RECESSED
LIGHT

WALL MOUNTED
LIGHT

FLUORESCENT
LIGHT

FUSE BOX

CLG. FAN

NOTE:

1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH
CURRENT NATIONAL AND LOCAL CODES AND ORDINANCES.

2. PROVIDE SMOKE DETECTORS WITH BATTERY BACKUP FOR EACH ROOM.

3. SMOKE DETECTORS AND SECURITY SYSTEM SHALL HAVE AN AUTOMATIC
NOTIFICATION SYSTEM TO LOCAL FIRE AND SAFETY OFFICIALS.

4. PROVIDE SECURITY SYSTEM.

5. PROVIDE CENTRAL VACUUM.

6. ALL LIGHTS TO BE EQUIPPED WITH DIMMER UNLESS NOTED OTHERWISE.

7. COORDINATE ALL OUTLETS WITH BUILT-INS.

8. VERIFY LANDSCAPE LIGHTING WITH LANDSCAPE ARCHITECT.

9. ALL EXTERIOR FIXTURES MUST BE RATED FOR EXTERIOR USE.

10. ALL EXTERIOR OUTLETS TO BE WATERPROOF.

11. ALL ELECTRICAL OUTLETS AND MULTIMEDIA PORTS TO BE LOCATED
IN CENTER OF BASEBOARD UNLESS OTHERWISE NOTED.

12. EXTERIOR RISER LIGHTS TO BE LOW VOLTAGE.

13. ALL ELECTRICAL TO BE LOCATED ABOVE BFE.

14. COORDINATE FRAMING WITH ELECTRICAL LAYOUT.

15. PROVIDE RISER LIGHTS FOR ALL EXTERIOR STAIRS.

16. ALL FIXTURE LOCATION TO BE FIELD VERIFIED WITH OWNER PRIOR
TO INSTALLATION.

17. PROVIDE RECEPT. IN ALL BATHROOM VANITY DRAWERS

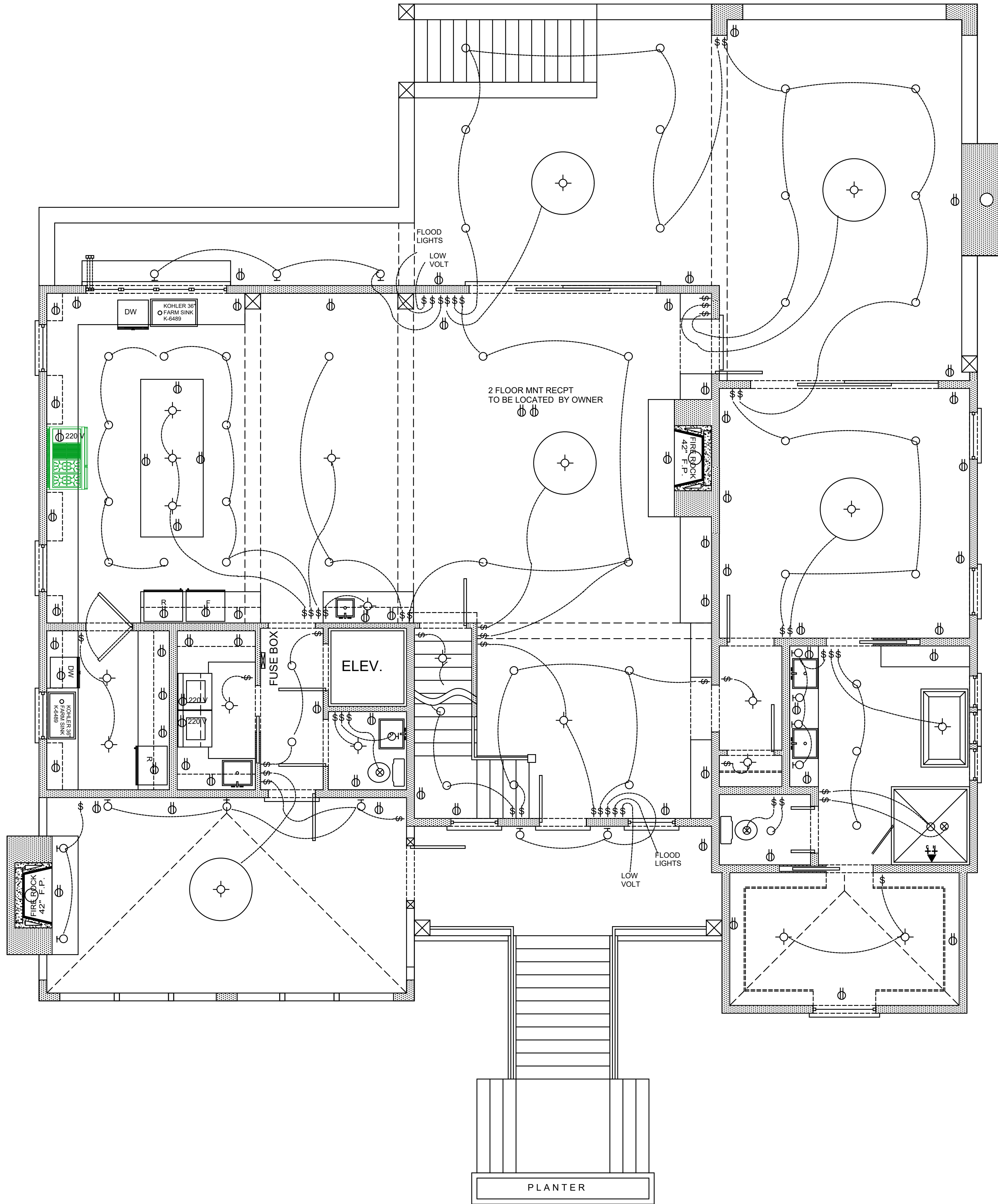
18. PROVIDE ELECTRICAL FOR POOL. VERIFY WITH POOL CONTRACTOR
WHAT NEEDS TO BE INSTALLED.

19. PROVIDE FLOOD LIGHTS, LOCATIONS PROVIDED BY OWNERS.

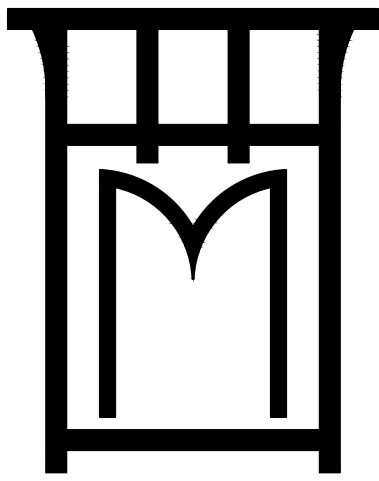
20. PROVIDE ELECTRICAL FOR WINDOW BLINDS. SEE PLANS FOR LOCATIONS.

21. PROVIDE FLOOD LIGHTS, QUANTITY AND LOCATIONS PER OWNERS.

NOTE:
THIS IS A SCHEMATIC ELECTRICAL PLAN. DUE TO FRAMING AND ENGINEERING CONSTRAINTS,
SOME LOCATIONS WILL NEED TO BE ADJUSTED IN THE FIELD. THIS PLAN DOES NOT SHOW THE
EXACT LOCATION OF EACH FIXTURE. CONTRACTOR IS TO FIELD VERIFY EACH LOCATION WITH
THE OWNERS PRIOR ROUGH IN. PLEASE REVIEW NOTE: IN ELECTRICAL LEGEND FOR SPECIFICS
INSTRUCTIONS RELATING TO FIXTURE LOCATIONS NOT SHOWN ON PLAN.

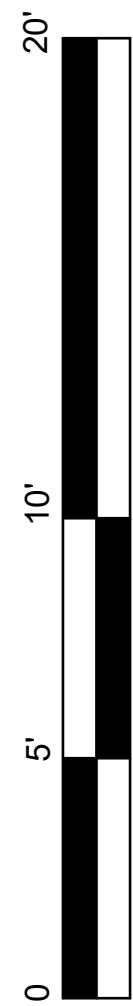
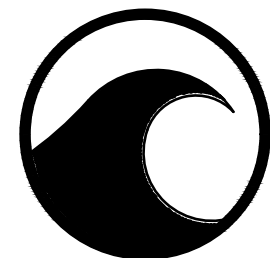


FIRST FLOOR ELECT. PLAN
1/4" = 1'-0"



M3 DESIGNS INC.
CARL MCCANTS III
843 - 906-1502
carlmccants3@gmail.com

SQUARE FOOTAGE



PERMIT
SET

DEATON HOUSE - 2858 ION
SULLIVAN'S ISLAND, S.C.
SECOND FLOOR ELECT. PLAN

REVISIONS

SHEET
e03
DATE
07-07-25

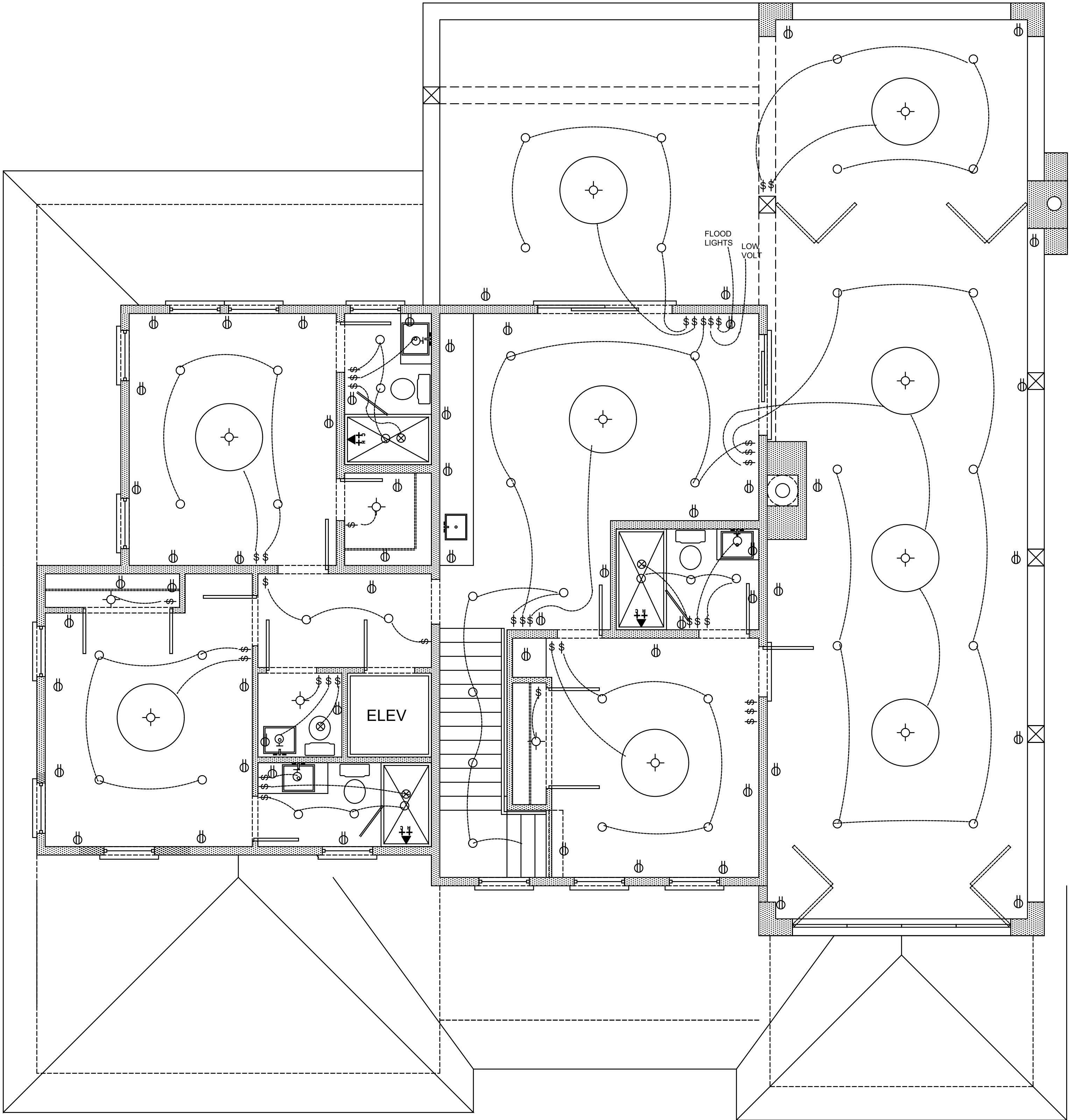
LEGEND

CABLE SATELLITE TV COORDINATE W/ AV CONSULTANT	EX. FAN/LIGHT
PHONE RECEPT.	CLG. MOUNTED LIGHT
220V RECEPT.	RECESSED LIGHT
SWITCH	WALL MOUNTED LIGHT
DOOR CHIME	FLUORESCENT LIGHT
LOW VOLTAGE LIGHT	FUSE BOX
FLOOD LIGHTS	CLG. FAN
LOW VOLTAGE COVE LIGHTING	

- NOTE:
1. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL AND LOCAL CODES AND ORDINANCES.
 2. PROVIDE SMOKE DETECTORS WITH BATTERY BACKUP FOR EACH ROOM.
 3. SMOKE DETECTORS AND SECURITY SYSTEM SHALL HAVE AN AUTOMATIC NOTIFICATION SYSTEM TO LOCAL FIRE AND SAFETY OFFICIALS.
 4. PROVIDE SECURITY SYSTEM.
 5. PROVIDE CENTRAL VACUUM.
 6. ALL LIGHTS TO BE EQUIPPED WITH DIMMER UNLESS NOTED OTHERWISE.
 7. COORDINATE ALL OUTLETS WITH BUILT-INS.
 8. VERIFY LANDSCAPE LIGHTING WITH LANDSCAPE ARCHITECT.
 9. ALL EXTERIOR FIXTURES MUST BE RATED FOR EXTERIOR USE.
 10. ALL EXTERIOR OUTLETS TO BE WATERPROOF.
 11. ALL ELECTRICAL OUTLETS AND MULTIMEDIA PORTS TO BE LOCATED IN CENTER OF BASEBOARD UNLESS OTHERWISE NOTED.
 12. EXTERIOR RISER LIGHTS TO BE LOW VOLTAGE.
 13. ALL ELECTRICAL TO BE LOCATED ABOVE BFE.
 14. COORDINATE FRAMING WITH ELECTRICAL LAYOUT.
 15. PROVIDE RISER LIGHTS FOR ALL EXTERIOR STAIRS.
 16. ALL FIXTURE LOCATION TO BE FIELD VERIFIED WITH OWNER PRIOR TO INSTALLATION.
 17. PROVIDE RECP.T. IN ALL BATHROOM VANITY DRAWERS
 18. PROVIDE ELECTRICAL FOR POOL. VERIFY WITH POOL CONTRACTOR WHAT NEEDS TO BE INSTALLED.
 19. PROVIDE FLOOD LIGHTS, LOCATIONS PROVIDED BY OWNERS.
 20. PROVIDE ELECTRICAL FOR WINDOW BLINDS, SEE PLANS FOR LOCATIONS.
 21. PROVIDE FLOOD LIGHTS, QUANTITY AND LOCATIONS PER OWNERS.
- (EB) ELECTRICALLY OPERATED WINDOW BLINDS.

NOTE:

THIS IS A SCHEMATIC ELECTRICAL PLAN. DUE TO FRAMING AND ENGINEERING CONSTRAINTS, SOME LOCATIONS WILL NEED TO BE ADJUSTED IN THE FIELD. THIS PLAN DOES NOT SHOW THE EXACT LOCATION OF EACH FIXTURE. CONTRACTOR IS TO FIELD VERIFY EACH LOCATION WITH THE OWNERS PRIOR ROUGH IN. PLEASE REVIEW NOTE: IN ELECTRICAL LEGEND FOR SPECIFICS INSTRUCTIONS RELATING TO FIXTURE LOCATIONS NOT SHOWN ON PLAN.



SECOND FLOOR ELECT. PLAN
1/4" = 1'-0"