

CONCEPTUAL REVIEW COMMENT RESPONSES:

- The flow of the house (vertical circulation) and exterior look/massing was reworked completely to better align with the Board comments and create a more Sullivan's Island home.
- The overall height of the house was lowered by removing height from the garage, 1st, and 2nd floors.
- The roof form was dramatically simplified and pitches reduced.
- Per a Board suggestion, we moved more SF to the first floor and reduced the SF on the second floor to less the impact of the house. In doing so, we reduced the overall S.F. of the house, but slightly increased the principal building footprint request.
- Changed the pool location and size to keep it more internal to allow for more open space on the Station 28 side. Yard/lawn space is important to the Owners given they currently have a nonconforming pool and pool deck on the Brooks Street side. Utilizing an elevated house design that doesn't take advantage of the accessory building (garage) footprint exception for principal building coverage allows for more green space on the property and works better with the existing trees.
- An additional overlay drawing was added on Sheet A0.0b to show the proposed footprint in relation to the other adjacent properties and provide better context supporting proposed that this design solution fits within the neighborhood context.
- Conducted alternate studies based on various board comments. Those studies ultimately were none starters for the Owners. (lowering the historic cottage, abandoning space below the new house, adding a separate accessory garage)
- The proposed design works to meet the clients programmatic needs, while maintaining all of the trees on the lot and creating as much distance between the historic cottage and the new addition as possible.



The Spencer Residence

2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB Submission

DRB Drawing Index	
Number	Title
A0	Cover
Survey	Survey
A0.0a	Site Context
A0.0b	Site Context
A0.0c	Site Context
A0.0d	Site Context
A0.0e	Historic Research
A0.1	Site Plan Diagram
A0.1e	Site Plan - Existing
A0.1p	Site Plan - Proposed
A1.0	Overall Ground Floor Plans
A1.1	Overall First Floor Plans
A1.2	Overall Second Floor Plans
A1.3	Overall Roof Plans
A1.4	HS Ground Floor Plan - Proposed
A1.5	HS First Floor Plan - Proposed
A1.6	HS - Enlarged Roof Plans
A1.7	NS Ground Floor Plan - Proposed
A1.8	NS First Floor Plan - Proposed
A1.9	NS - Second Floor Plan - Proposed
A1.10	NS - Enlarged Roof Plan
A2.0a	Perspectives
A2.0b	Streetscape Renderings
A2.1	Overall Elevations
A2.2	Overall Elevations
A2.3	Historic Structure Elevations
A2.4	New Structure Front Elevation
A2.5	New Structure Rear Elevation
A2.6	New Structure Left Elevation
A2.7	New Structure Right Elevation

2730 Brooks Street
Sullivan's Island, SC

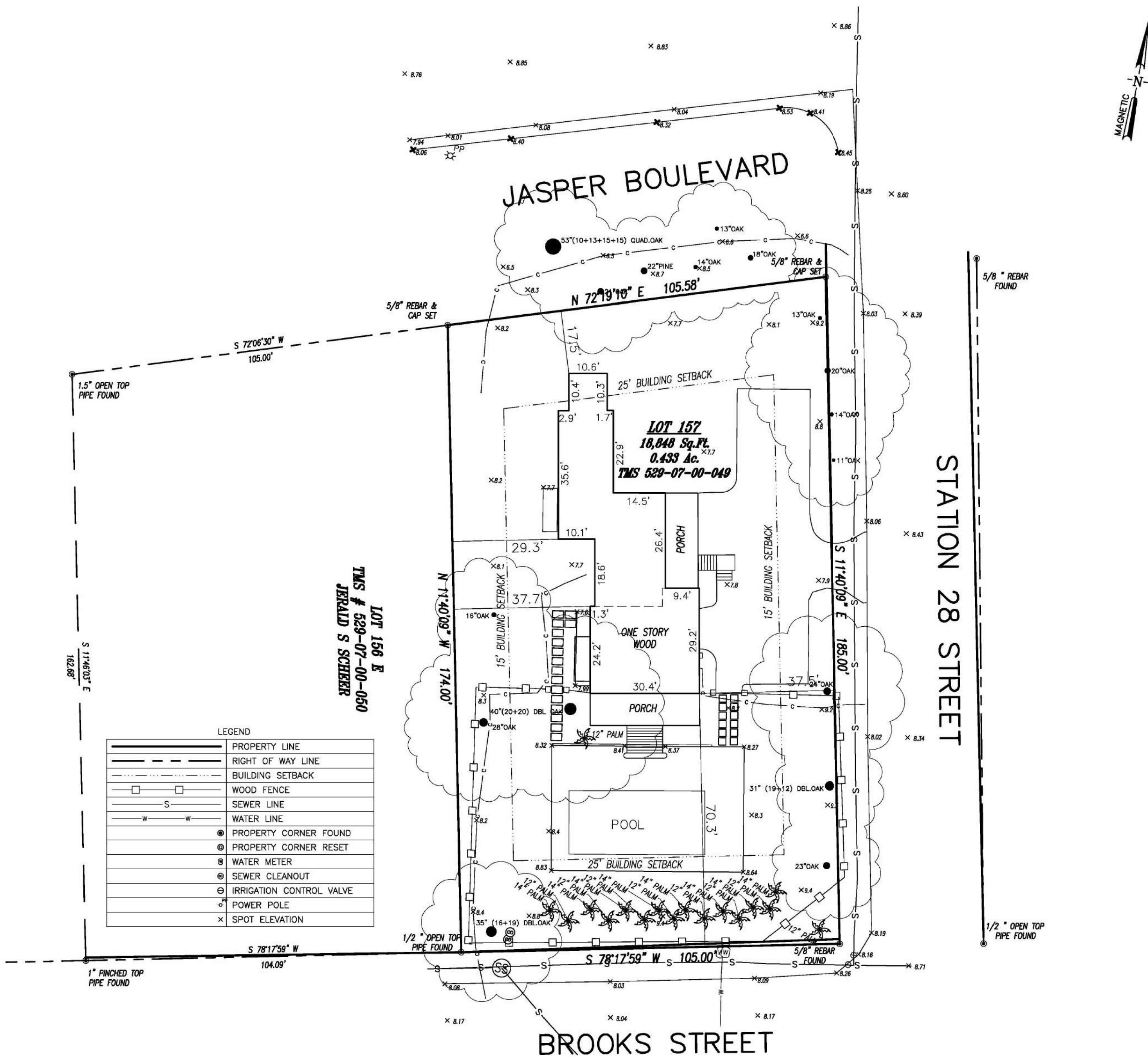
Conceptual DRB
Submission

Cover

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A0

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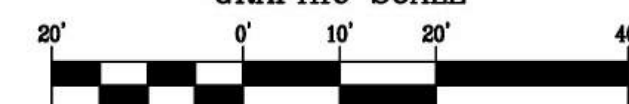
NOTES:

1. THIS SURVEY DOES NOT REFLECT A TITLE SEARCH AND IS BASED ENTIRELY ON THE ABOVE REFERENCED DOCUMENT(S) AND FIELD EVIDENCE. THIS SURVEY DOES NOT GUARANTEE TITLE NOR DEPICT ANY ENCUMBRANCES NOT SHOWN ON THE REFERENCE PLAT.
2. CERTIFICATION IS TO THE PARTIES FOR WHOM THIS SURVEY WAS PREPARED AND IS NOT TRANSFERABLE TO ANY OTHER INSTITUTION OR INDIVIDUALS.
3. FLOOD ZONES ARE SUBJECT TO CHANGE AND MUST BE VERIFIED BY THE FLOOD PLAIN MANAGER OF THE GOVERNING JURISDICTION.
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6. USES OF THIS SURVEY BY ANYONE OTHER THAN THOSE WHOM THIS SURVEY IS CERTIFIED TO IS PROHIBITED UNLESS AUTHORIZED IN WRITING BY THIS SURVEYOR.
7. PUPS TICKET NUMBER: 2507230478

REFERENCES:

1. PB. R, PG. 094 DATED MAY, 1964

GRAPHIC SCALE



(IN FEET)
1 in. = 20 ft.
VERTICAL DATUM: NAVD 88

I HEREBY STATE THAT TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREON WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR THE SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN; ALSO THERE ARE NO VISIBLE ENCROACHMENTS OR PROJECTIONS OTHER THAN SHOWN.

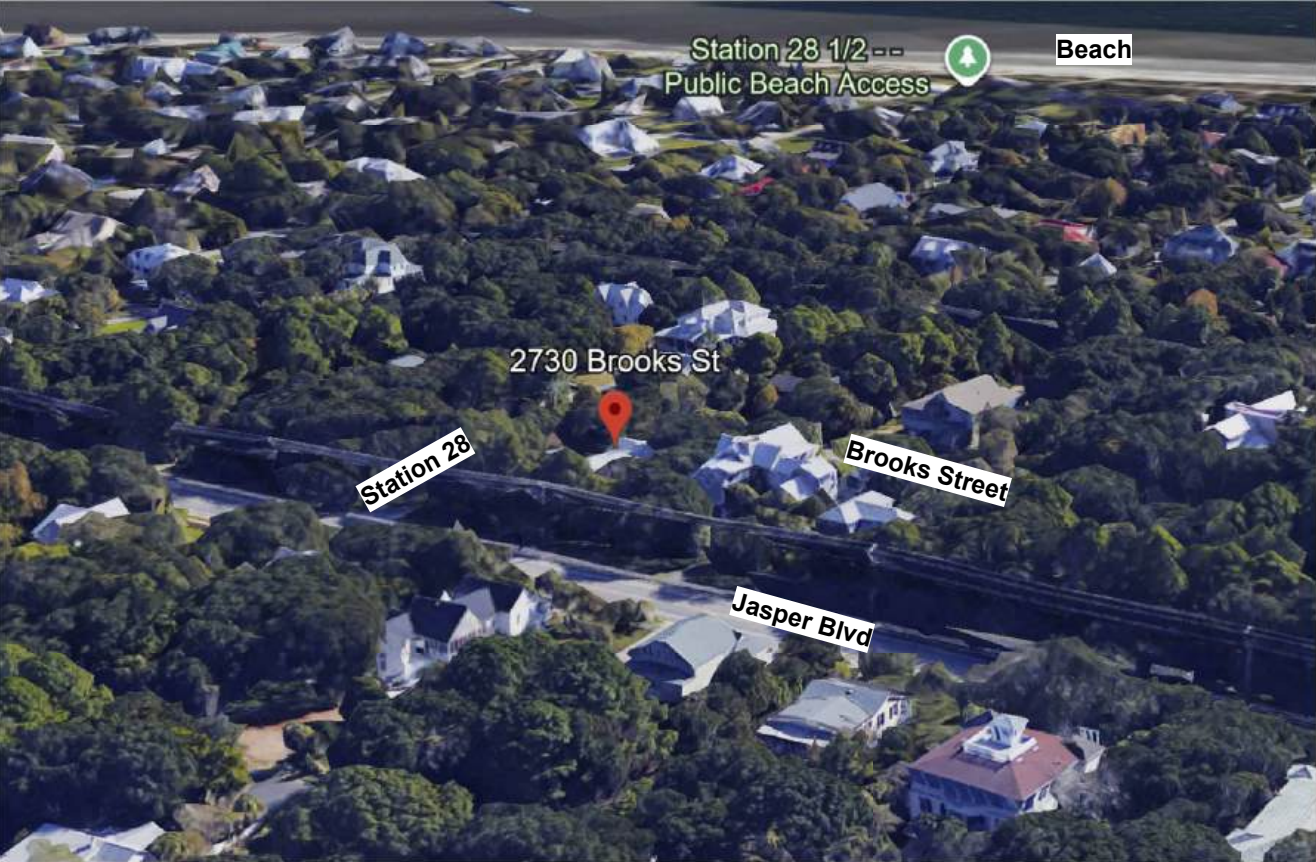


A GENERAL PROPERTY SURVEY OF LOT 157
2730 BROOKS STREET
SULLIVANS ISLAND, CHARLESTON COUNTY, SC.

TMS # 529-07-00-049
PREPARED FOR:
DANIEL BECK

NO.	REVISION	DATE	COMMENTS
1	ISSUED	07/25/2025	PER CLIENT COMMENTS
2	CHECKED	08/12/2025	
3	APPROVED	08/12/2025	
4	DRAWN	08/12/2025	
5	BY	08/12/2025	
6	DATE	08/12/2025	
7	SCALE	1" = 20'	
8	JOB NO.	25-10871	
9	SURVEY DATE	08/12/2025	
10	DRAWING DATE	08/12/2025	
11	BY	JND	
12	DATE	08/12/2025	

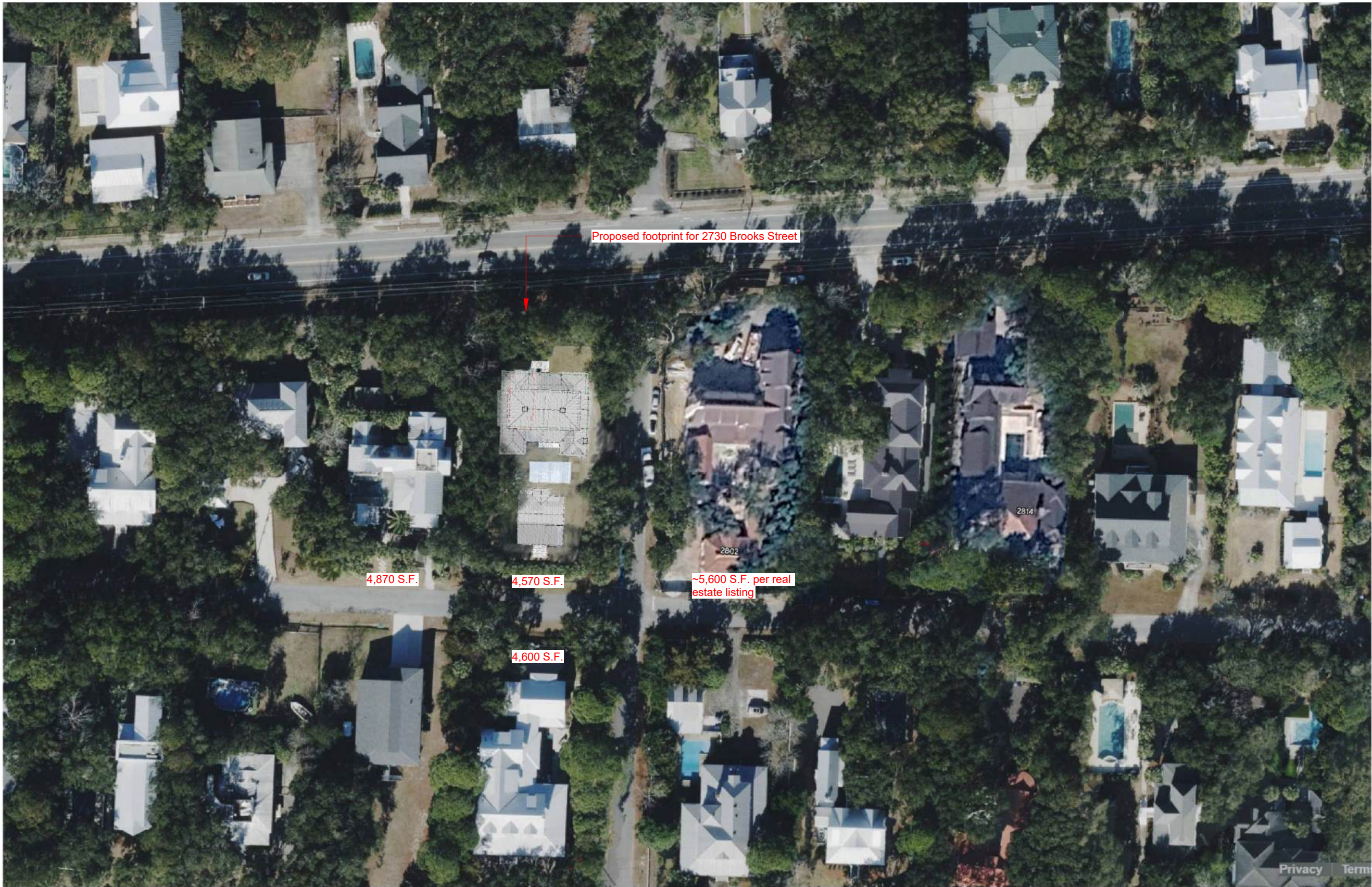
CHARLESTON, SOUTH CAROLINA 29417
PHONE (843)763-6669 FAX (843)766-7411



View from North



View from South



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Site Context Overlay showing the
proposed footprint

2730 Brooks Street
Sullivan's Island, SC

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Site Context

Scale:

A0.0b

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2720 Brooks Street - Existing View from Brooks Street



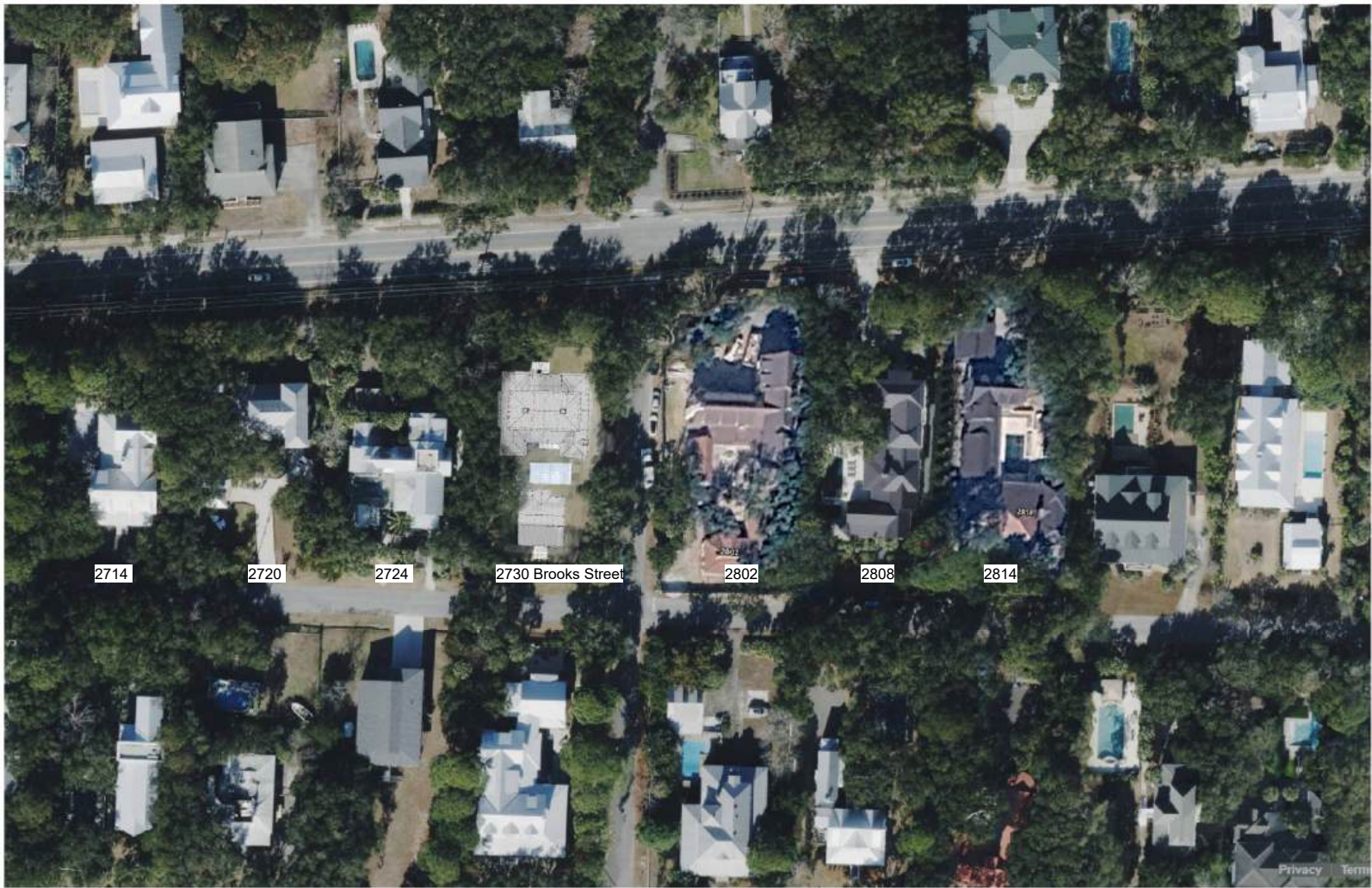
2724 Brooks Street - Existing View from Brooks Street



2802 Brooks Street (Under Construction) - Existing View from Brooks Street



2802 Brooks Street (Under Construction) - Existing View from Jasper Boulevard



2730 Brooks Street
Sullivan's Island, SC

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Site Context

Scale:

A0.0c

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2730 Brooks Street - Existing View from Brooks Street



2730 Brooks Street - Existing View from Station 28 Street



2730 Brooks Street - Existing View from Jasper Boulevard



2730 Brooks Street
Historic Structure Front Facade



2730 Brooks Street
Existing Foundation Screening



2730 Brooks Street
Detail image of intersection with addition on west facade



2730 Brooks Street
Historic Structure East Facade



1917 Census Map, 2730 Brooks Street Outlined. Census map appears to show simplified building footprints, perhaps not including porches.



1957 Aerial View, 2730 Brooks Street Outlined.



1971 Aerial, 2730 Brooks Street Outlined.



Timber posts below existing structure - indicative of original footprint.

2730 Brooks Street - Historic Narrative

2730 Brooks Street was constructed in 1902, and historical records reference it as "The Walker House".

It has been modified over the years, but what we know for certain is that the structure received an addition in 2006. In 2016, a portion of one of the addition's porches was enclosed adjacent to the historic structure.

After looking at historic photographs as well as the foundation and attic framing, we believe that the original footprint had a rear gable. A remaining timber post below the house supports this theory, as we believe it once supported one side of the rear center gable.

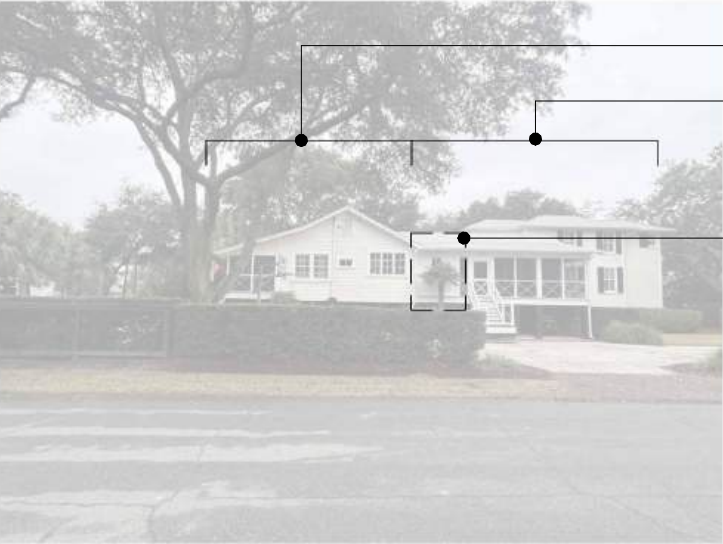
This project proposes rehabilitation of the historic structure in alignment with the Secretary of the Interiors Standards. The historic envelope of the structure will be preserved, and the original footprint of the structure will be restored by removal of the structure's non-historic additions and reconstruction of what is believed to be its original rear center gable, based on historic research and analysis of the structure. The structure is proposed to be relocated closer to Brooks Street, where it can have greater alignment with the historic structure across Station 28 Street.

The property will maintain its historic residential use, which requires minimal change to its exterior distinctive materials, features, spaces, and spatial relationships. No removal of distinctive materials or alteration of exterior features that characterize the historic property are proposed. No changes are proposed that create a false sense of historical development - the addition of the rear gable is based on site findings and historical research. The existing materials, features, finishes, and construction techniques and craftsmanship that characterize the property are proposed to be protected, preserved, and restored.

When the structure is relocated, all care is to be taken to protect and salvage all historic materials. Where exterior repairs are needed, all historic materials are to be repaired and not replaced, unless replacement is deemed absolutely necessary. In that case, the new will match the old in design, color, texture, and, where possible, materials. Where applicable, the gentlest means of chemical or physical treatment shall be utilized.

2730 Brooks Street Historic Timeline

- 1902 - Original Footprint constructed.
- 2006 - Addition constructed on north end.
- 2016 - Porch enclosure constructed within 2006 addition.



1902 Historic Structure

2006 Rear Addition

2016 Porch Enclosure within Rear Addition

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Sullivan's Island, SC

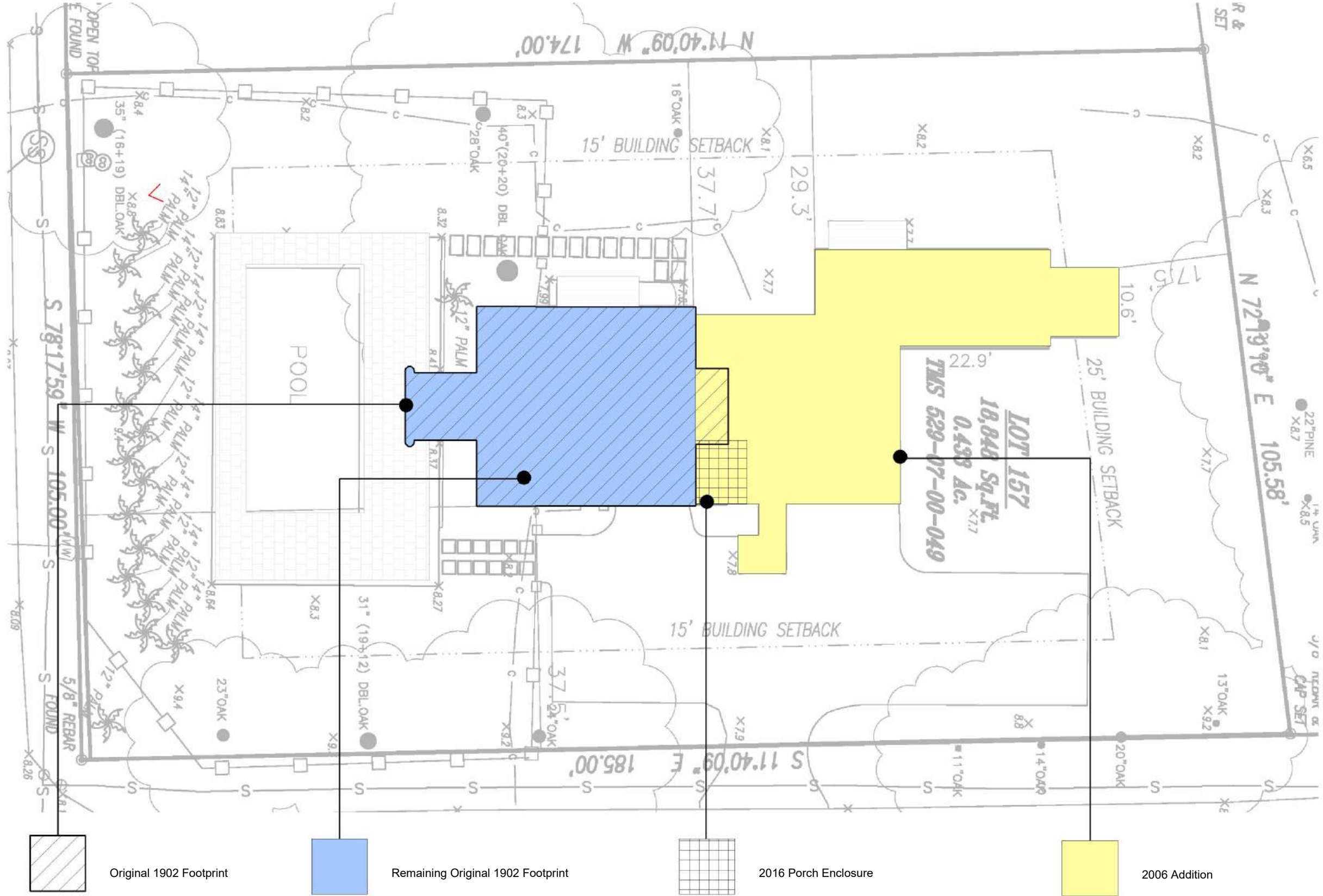
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Historic Research

Scale: 12" = 1'-0"

A0.0e

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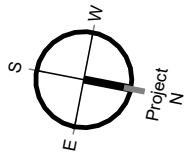
Original 1902 Footprint

Remaining Original 1902 Footprint

2016 Porch Enclosure

2006 Addition

1
A0.1
Site Plan - Footprint Evolution Diagram
1/16" = 1'-0"



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2730 Brooks Street
Sullivan's Island, SC

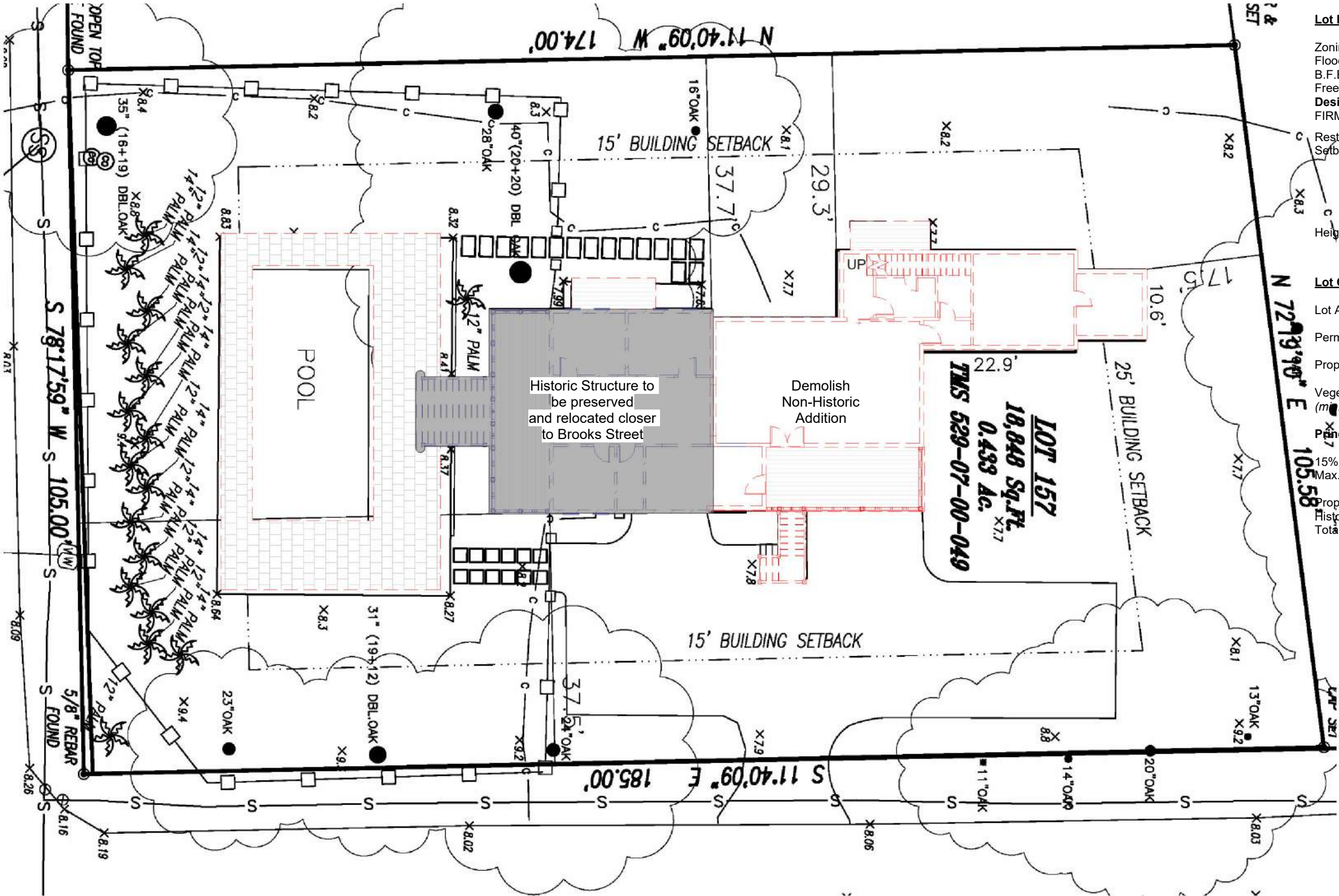
Conceptual DRB
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Site Plan Diagram

Scale: 1/16" = 1'-0"

A0.1

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Lot Information:

Zoning Classification: Sullivan's Island - Single Family
Flood Zone: AE
B.F.E.: 10' M.S.L.
Freeboard Amount: +1' (M.S.L. +11')
Design Flood Elevation: +12 M.S.L.
FIRM COMMUNITY-PANEL NUMBER :

Restrictions:
Setbacks
Front: 25'
Side Setback #1: 25'
Side Setback #2: 15'
Rear Setbacks: 25'

Height Restriction - Natural grade +38' (not to exceed center of road +40')

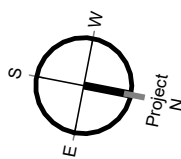
Lot Occupancy Information:

Lot Area - Highground S.F.: 18,848 S.F.
Permitted Impervious Coverage Area = 30% 5,654.4 S.F.
Proposed Impervious Coverage 5,420 S.F. (28.7%)
Vegetated Coverage: 18,848 - 8,670 = 10,178 S.F. (54%)
(min. requirement: 50% of Highland area i.e. 9,424 S.F.)

Principal Building Coverage:

15% of Lot Area: 2,827.2 S.F.
Max. Potential with 20% relief: 3,392.6 S.F. (565.4 S.F.)
Proposed Coverage (Second Structure) 2,627 S.F.
Historic Structure ADU 747 S.F.
Total 3,339 S.F. (512 S.F. requested)

1 Site Plan - Existing/ Proposed Demolition
A0.1e 1/16" = 1'-0"



2730 Brooks Street
Sullivan's Island, SC

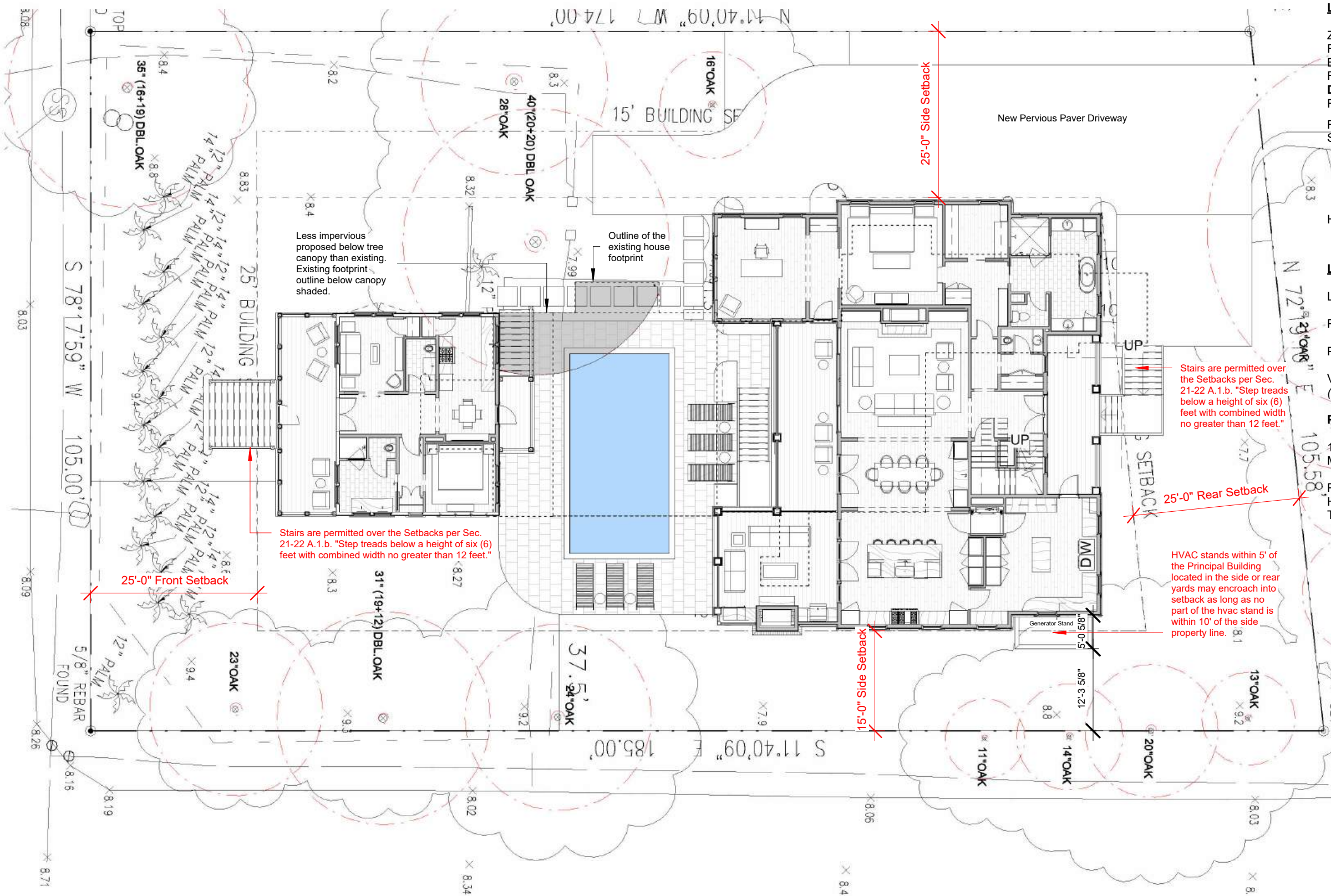
Conceptual DRB
Submission

Site Plan - Existing

Scale: 1/16" = 1'-0"

A0.1e

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Lot Information:

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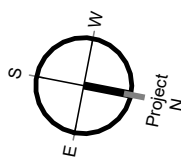
2730 Brooks Street - Historic Structure Scope of Work

This submission proposes to remove the non-historic additions from this historic structure and restore it to its original footprint, including the rear center gable. See sheet A0.0d for historic research and documentation.

The historic structure is proposed to be relocated closer to Brooks Street, which will achieve greater alignment with the historic structure across Station 28 Street. All care is to be taken to protect and salvage all historic materials. Where repairs are needed, all historic materials are to be repaired and not replaced, unless replacement is deemed absolutely necessary. In that case, the new will match the old in design, color, texture, and, where possible, materials.

The new gable will be constructed with details in keeping with the original historic structure.

1 Site Plan - Proposed
A0.1p 1/16" = 1'-0"



2730 Brooks Street
Sullivan's Island, SC

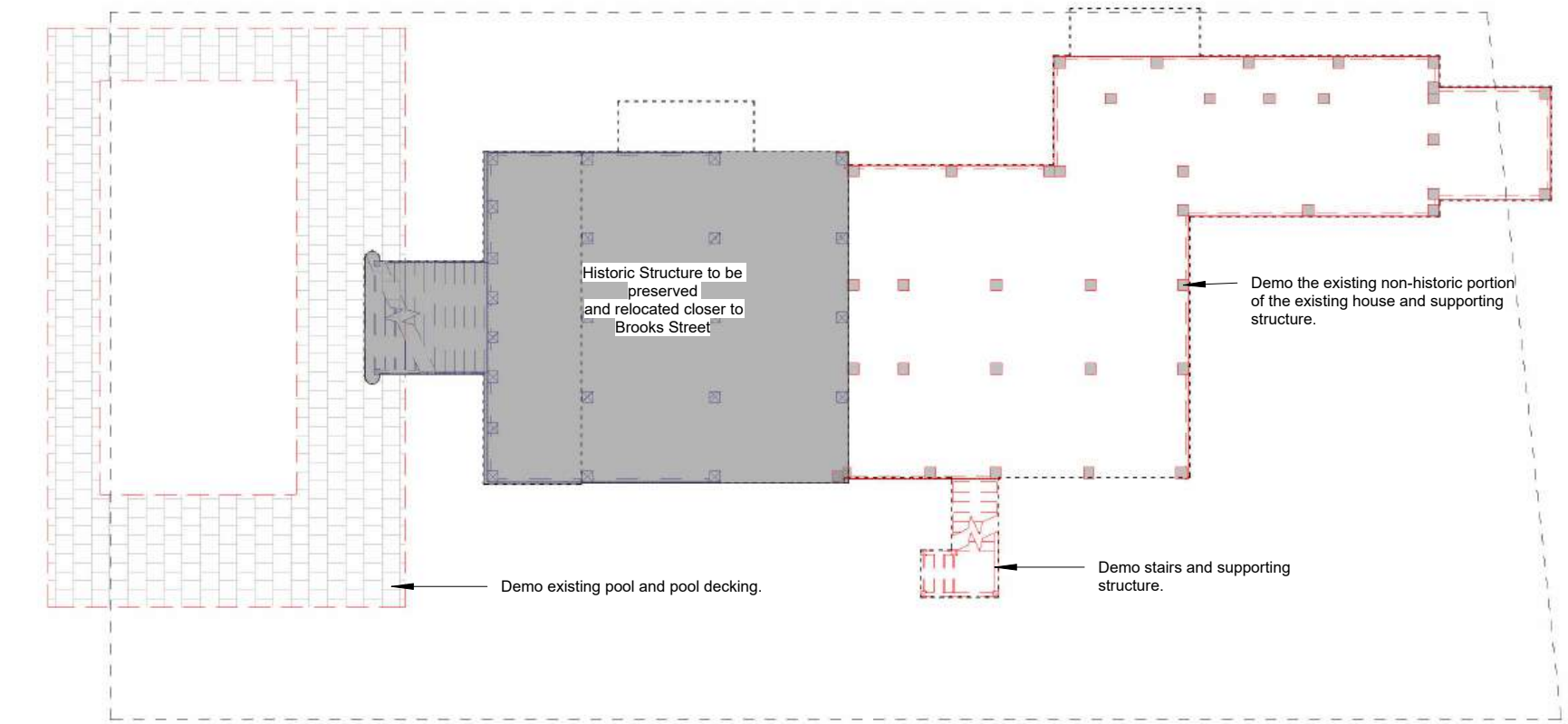
Conceptual DRB
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Site Plan - Proposed

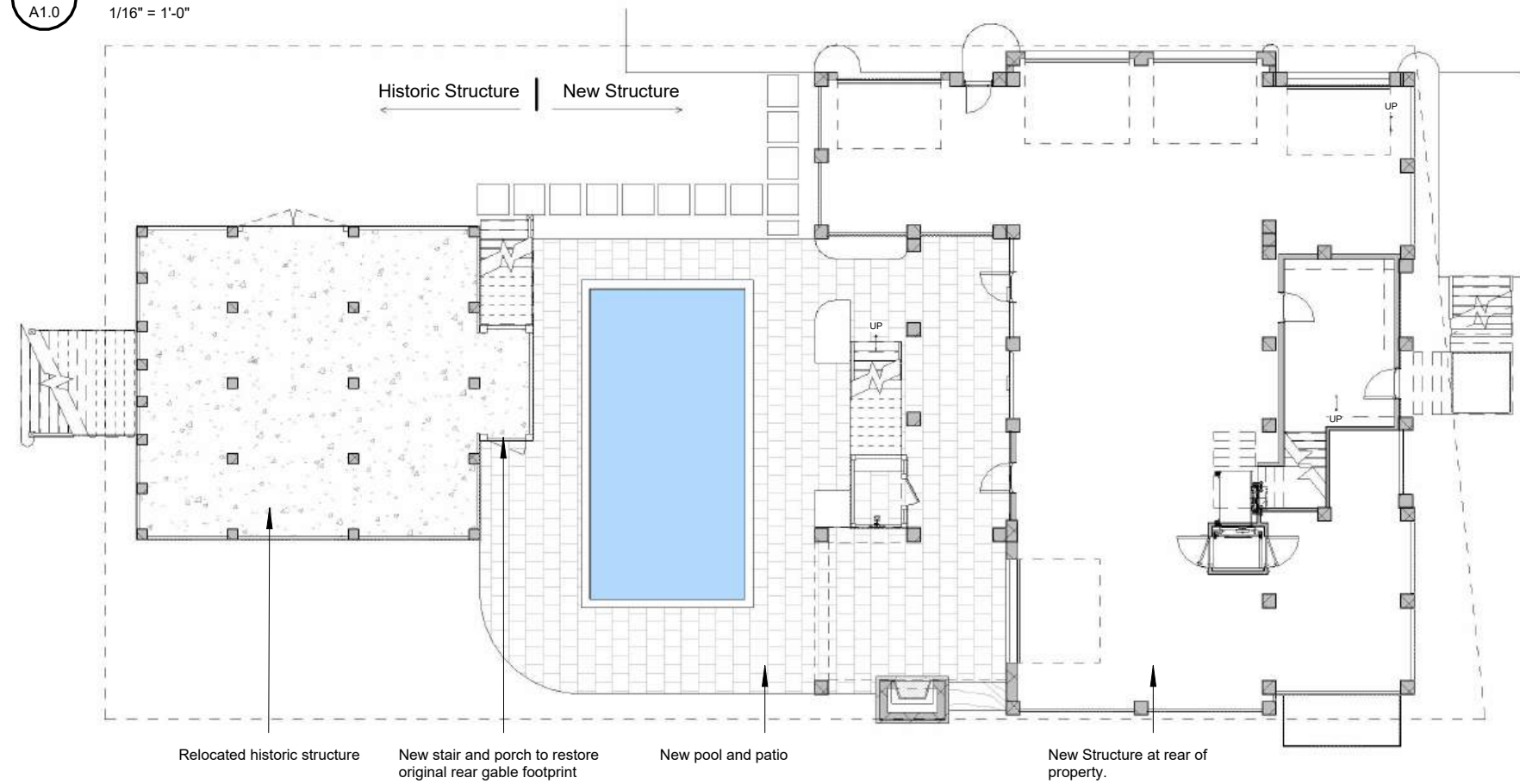
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A0.1p

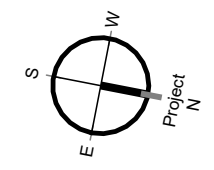
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A1.0
Ground Floor Plan - Demo
1/16" = 1'-0"

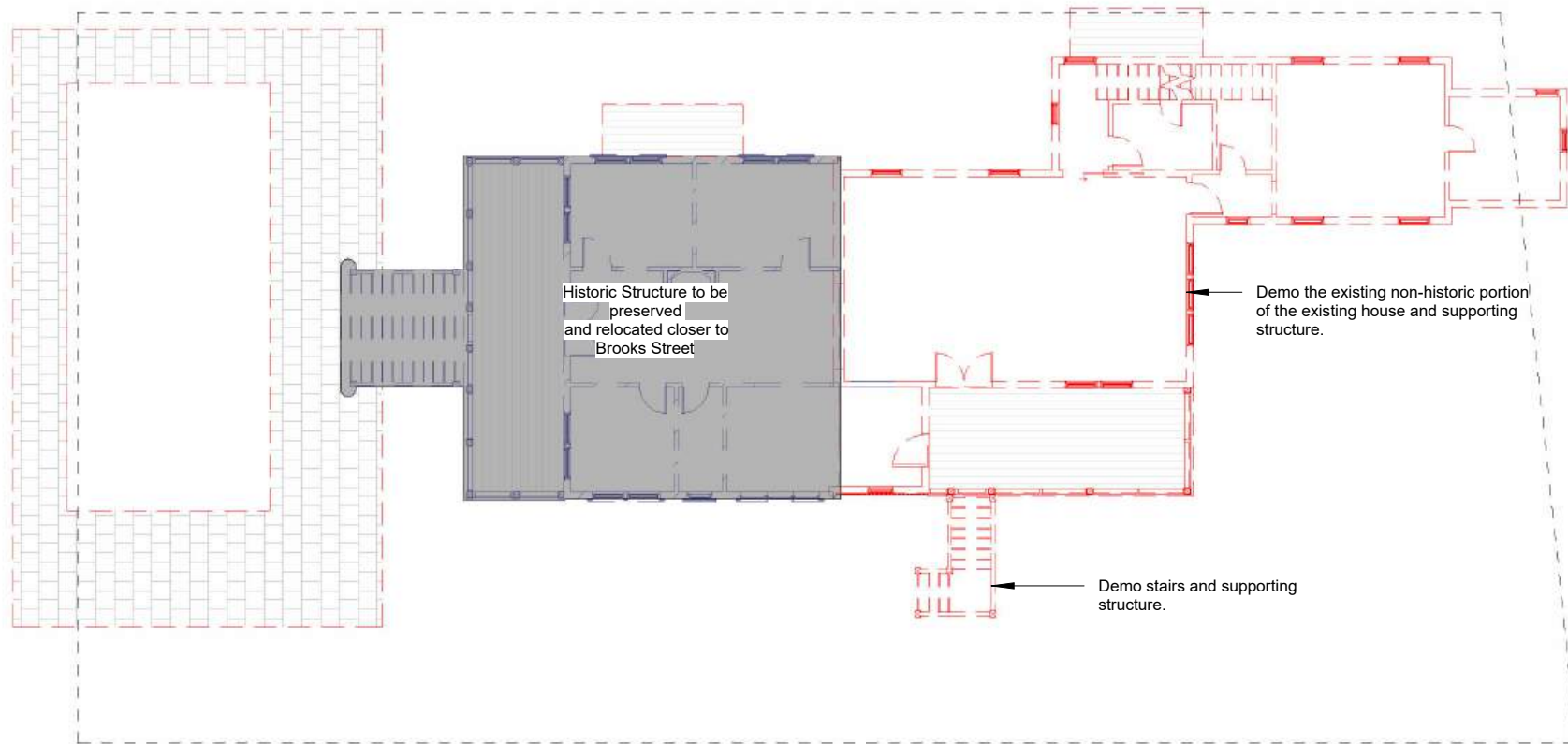


2
A1.0
Ground Floor Plan - Proposed
1/16" = 1'-0"

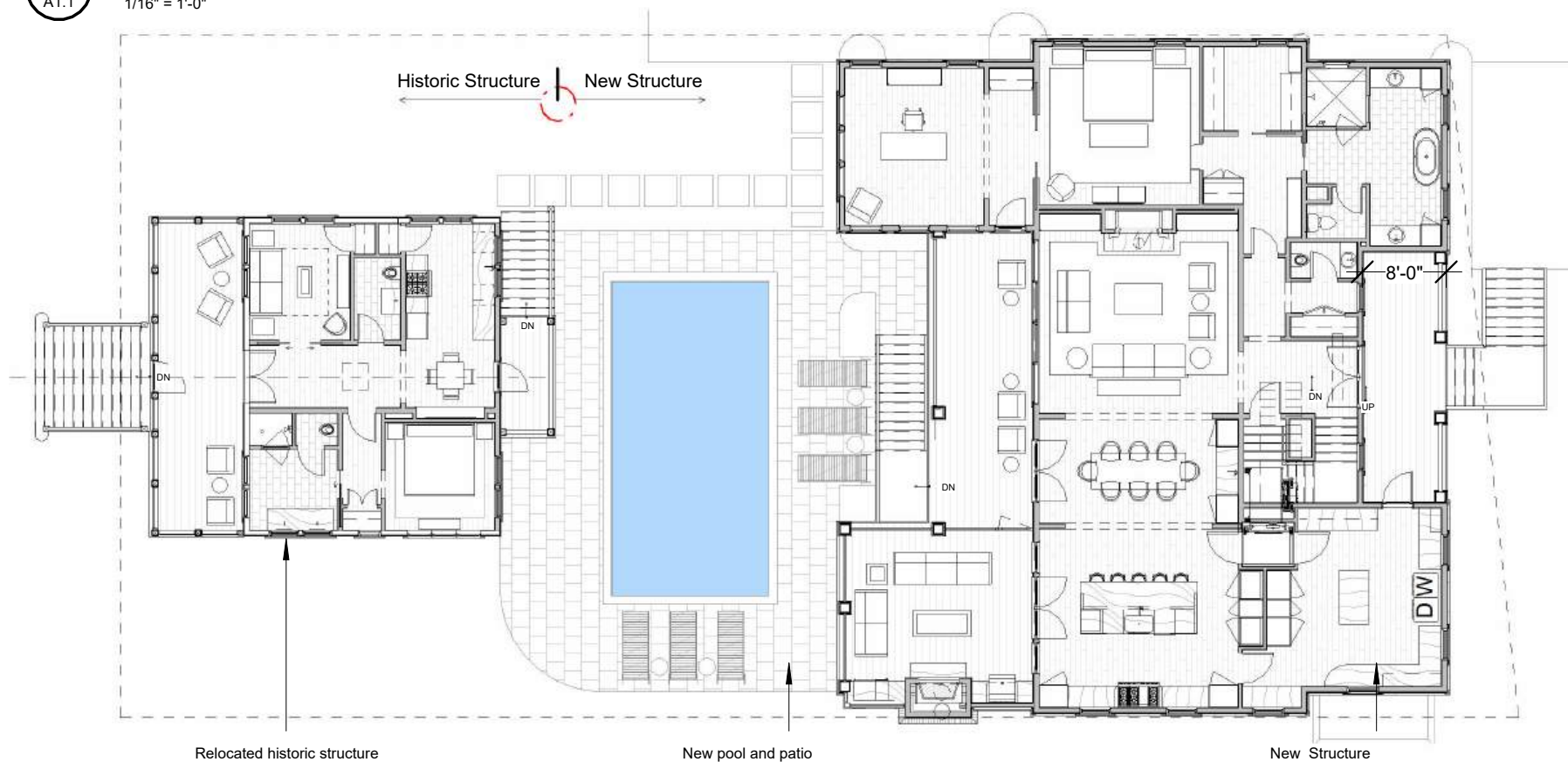


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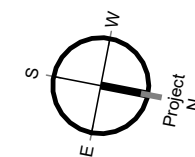
2730 Brooks Street Sullivan's Island, SC Conceptual DRB Submission
Overall Ground Floor Plans Scale: 1/16" = 1'-0"
A1.0 2/19/2026 2:42:54 PM



1
A1.1
First Floor Plan - Demo
1/16" = 1'-0"



2
A1.1
First Floor Plan - Proposed
1/16" = 1'-0"



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Sullivan's Island, SC

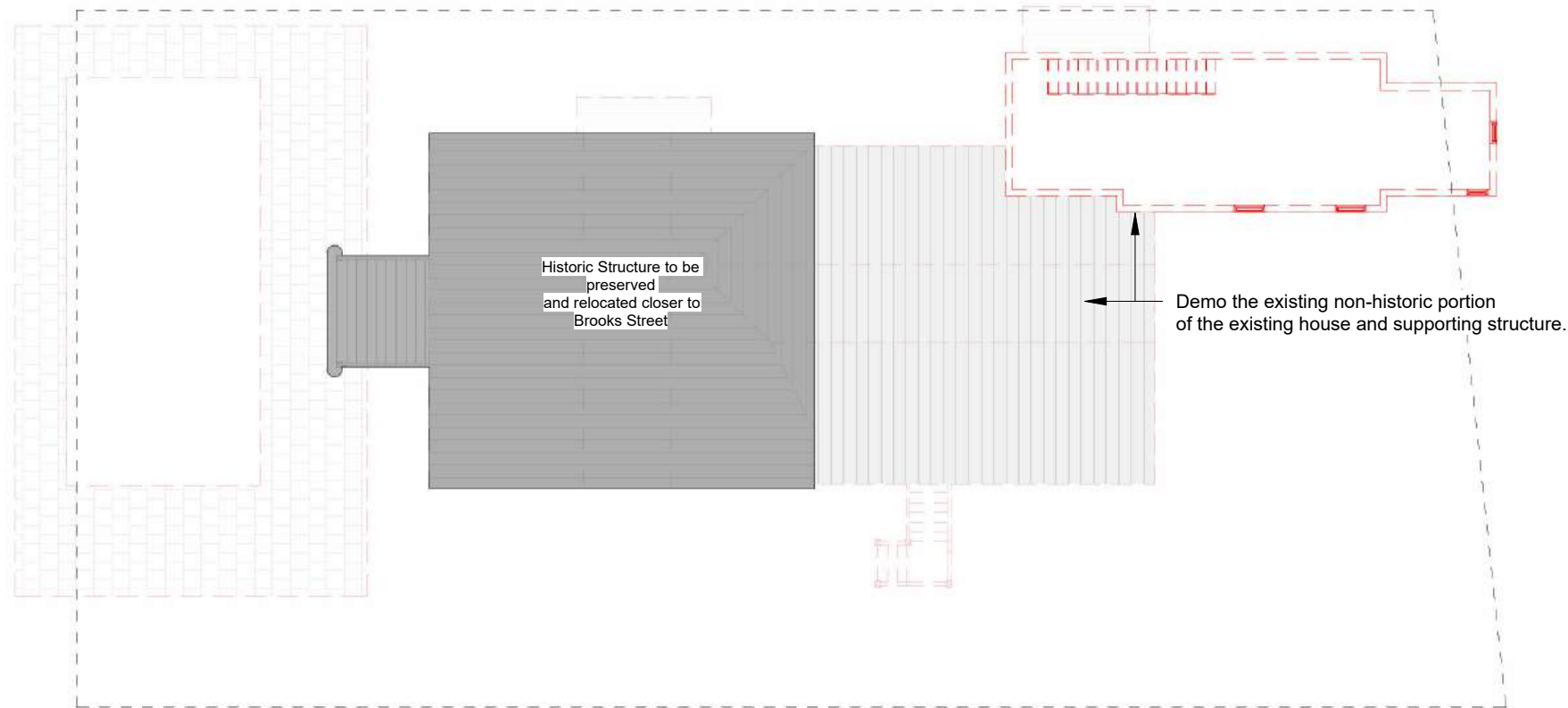
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Overall First Floor
Plans

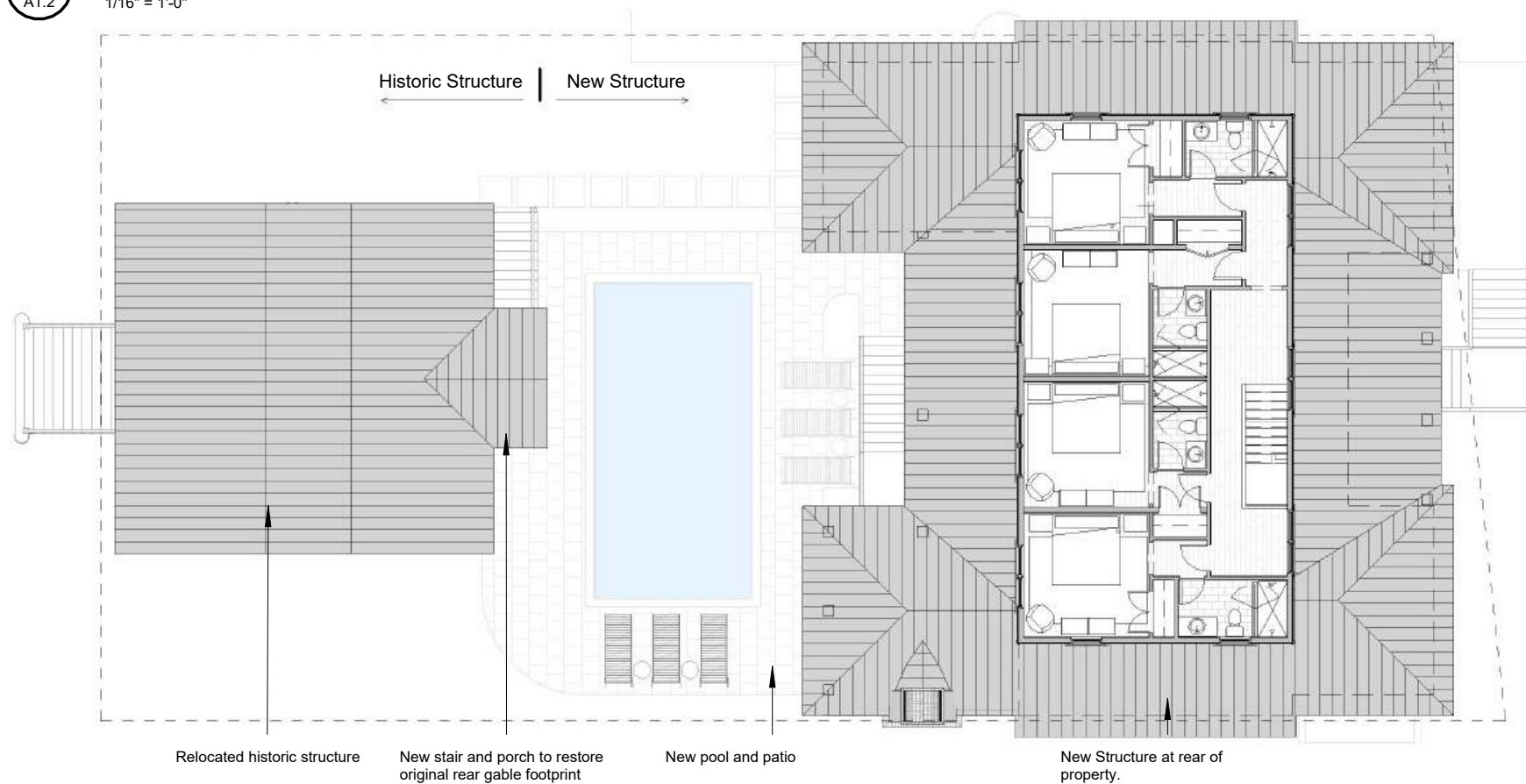
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A1.1

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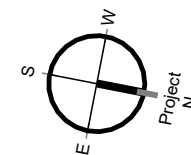


1
A1.2
Second Floor Plan - Demo
1/16" = 1'-0"



2
A1.2
Second Floor Plan - Proposed
1/16" = 1'-0"

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2730 Brooks Street
Sullivan's Island, SC

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Overall Second
Floor Plans

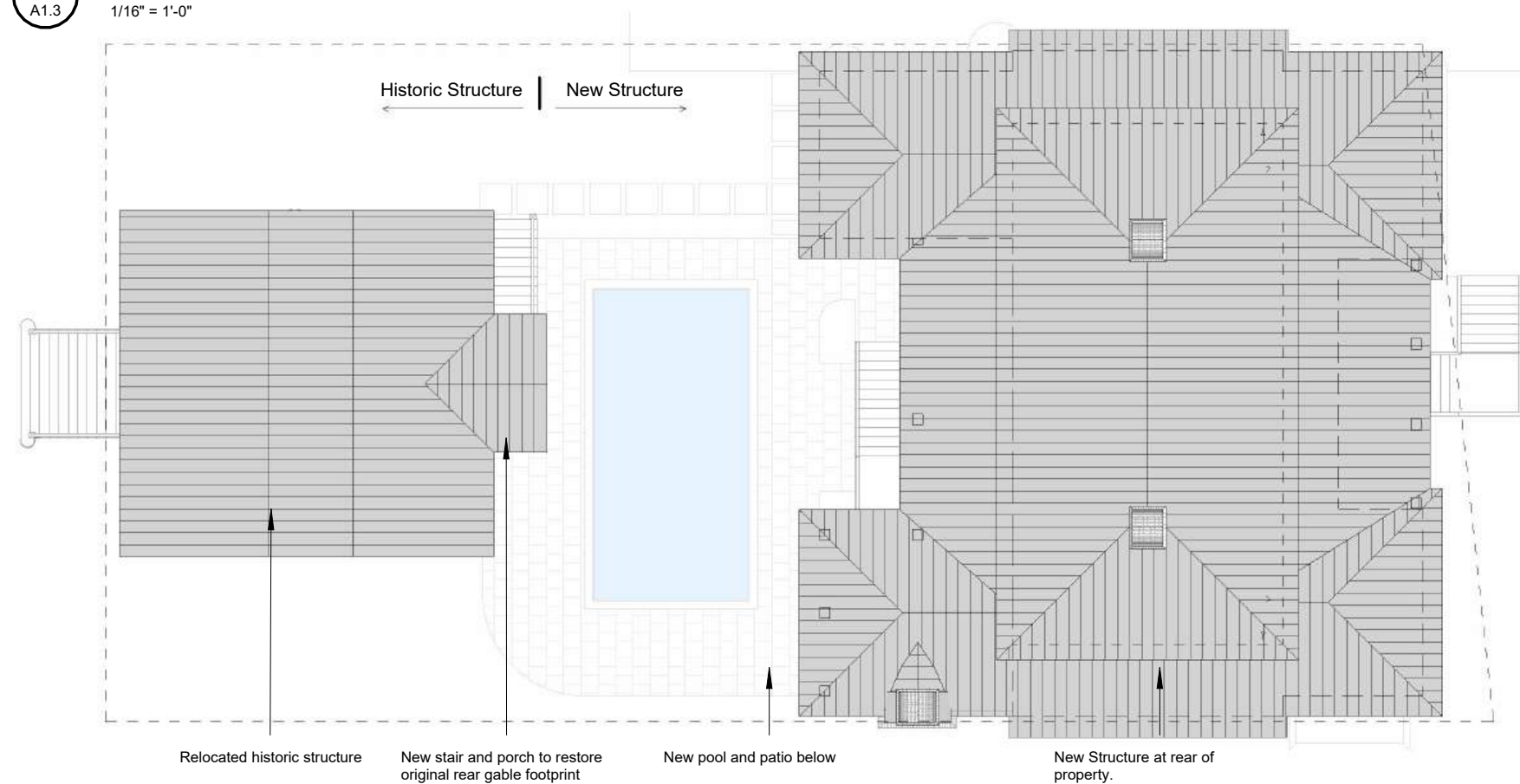
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A1.2

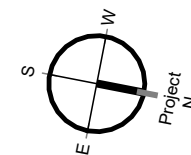
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1
A1.3
Overall Roof Plan - Demo
1/16" = 1'-0"



2
A1.3
Overall Roof Plan - Proposed
1/16" = 1'-0"



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Sullivan's Island, SC

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Overall Roof Plans

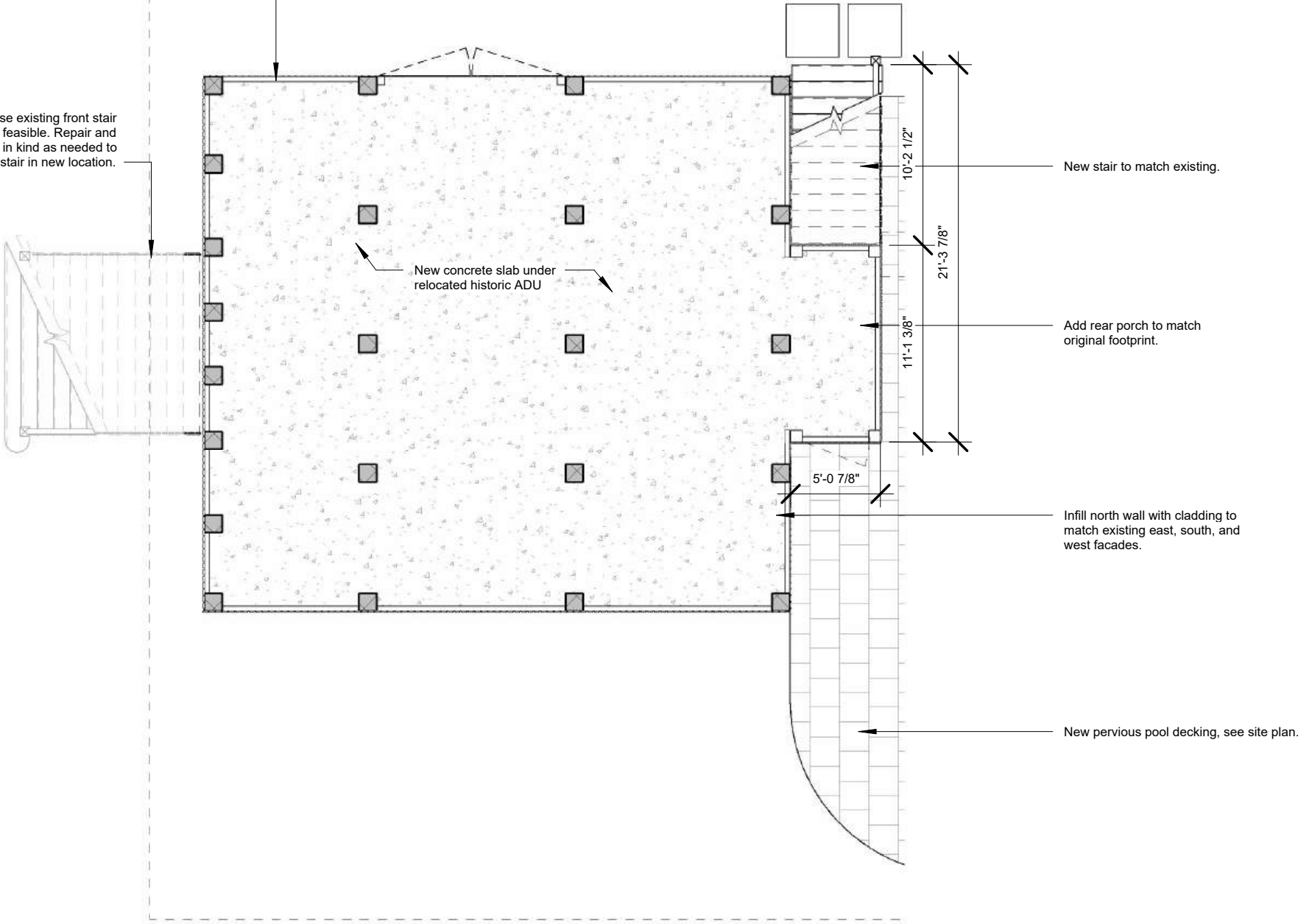
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A1.3

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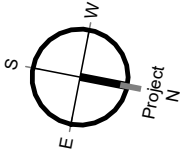
Relocated Existing Historic Structure will sit on new CMU pier foundation. If foundation screening is unable to be salvaged, replace screening in kind to match existing.

Salvage and reuse existing front stair components as much as is feasible. Repair and replace stair components in kind as needed to match existing stair in new location.



1
A1.4
Historic Structure Ground Floor Plan - Proposed
1/8" = 1'-0"

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2730 Brooks Street
Sullivan's Island, SC

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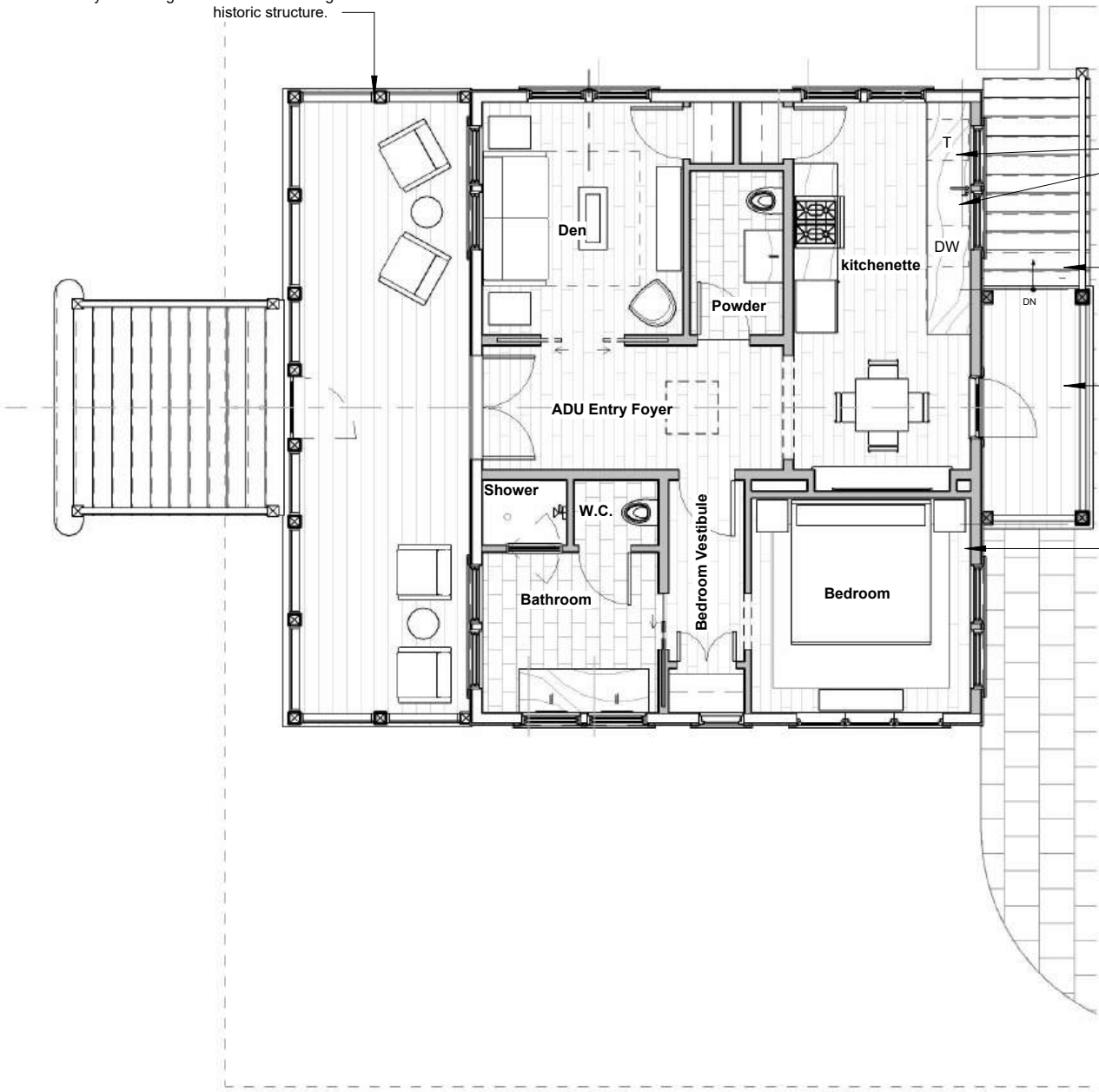
HS Ground Floor
Plan - Proposed

Scale: 1/8" = 1'-0"

A1.4

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Relocated Existing Historic Structure half-toned for clarity. No changes to exterior of existing historic structure.



New windows to match historic windows size, head height, divided lite pattern, and sticking profiles. Blank out lower portion of windows as needed below countertop.

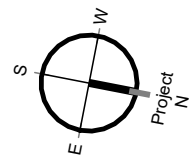
New stair to match existing front stair.

Add rear porch to match original footprint.

Infill north wall with cladding to match existing east, south, and west facades.

1
A1.5
Historic Structure First Floor Plan - Proposed
1/8" = 1'-0"

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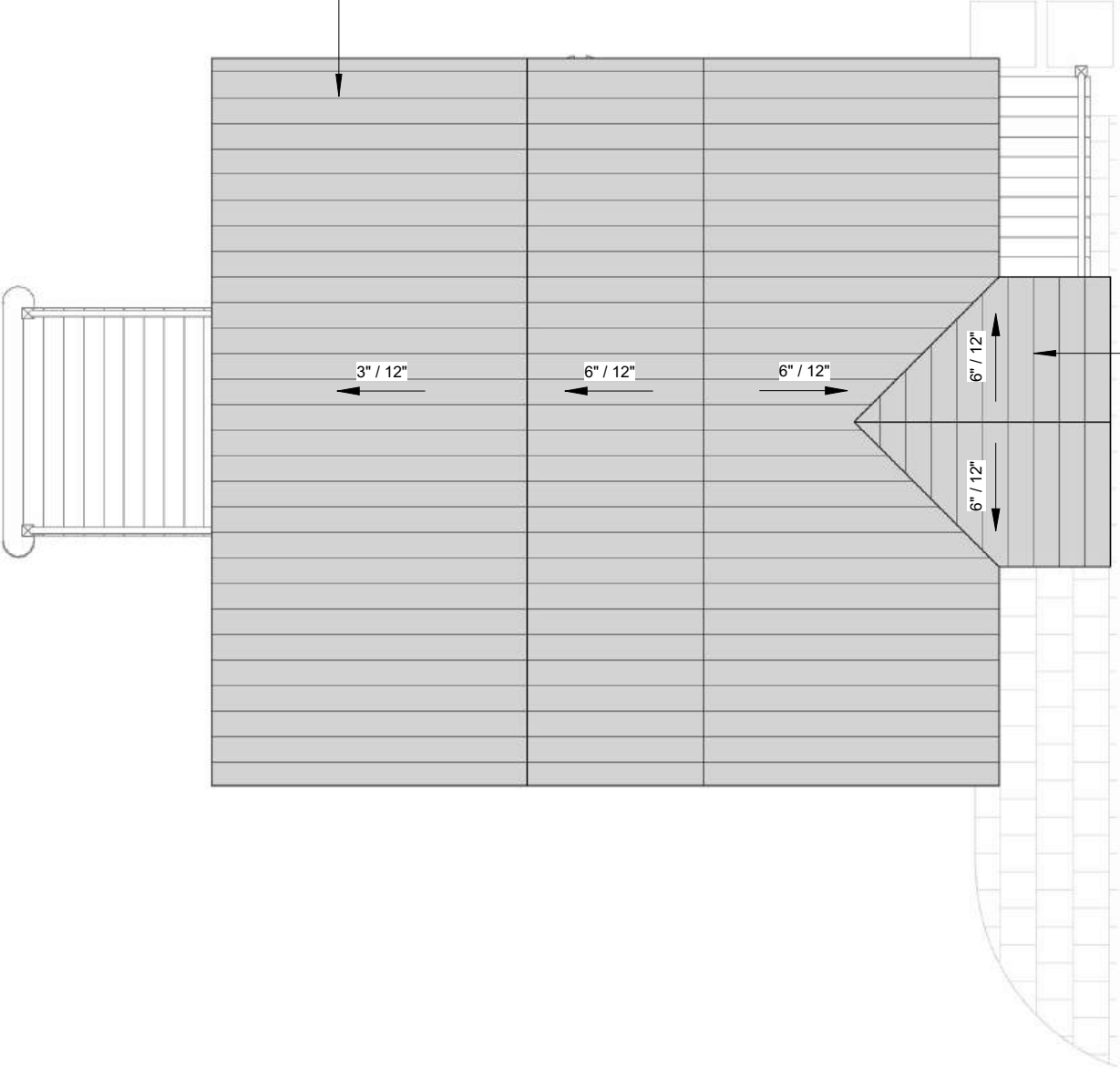


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Sullivan's Island, SC
Conceptual DRB
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HS First Floor Plan -
Proposed
Scale: 1/8" = 1'-0"

A1.5
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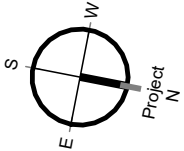
Relocated Existing Historic Structure half-toned for clarity. No changes to exterior of existing historic structure.



Add new gable roof to match and restore original footprint of historic structure. New roof to match and tie into existing.

1
A1.6 Historic Structure Roof Plan - Proposed
1/8" = 1'-0"

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Sullivan's Island, SC

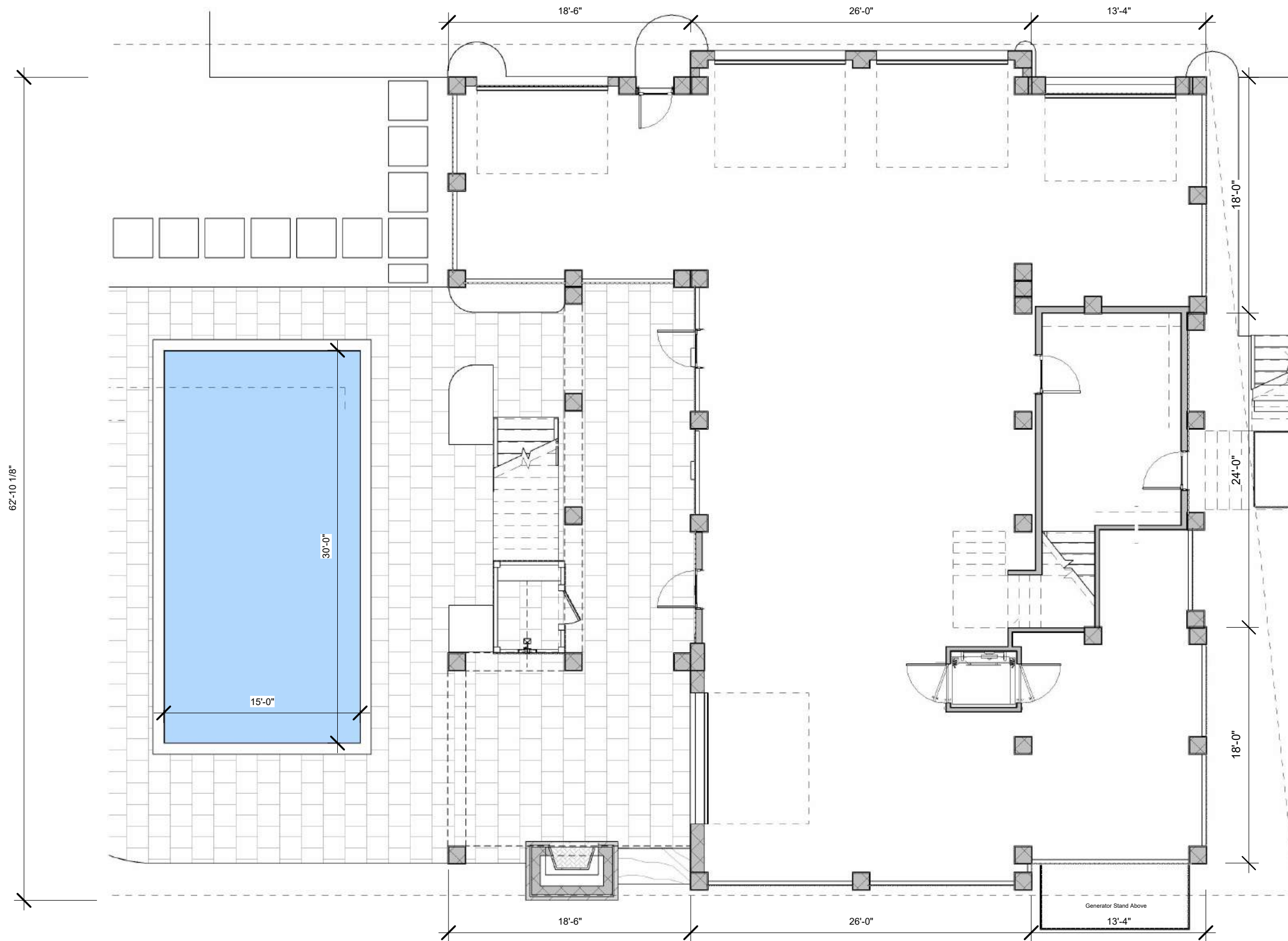
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HS - Enlarged Roof
Plans

Scale: 1/8" = 1'-0"

A1.6

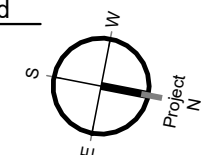
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New Structure Ground Floor Plan - Proposed
1/8" = 1'-0"



2730 Brooks Street
Sullivan's Island, SC

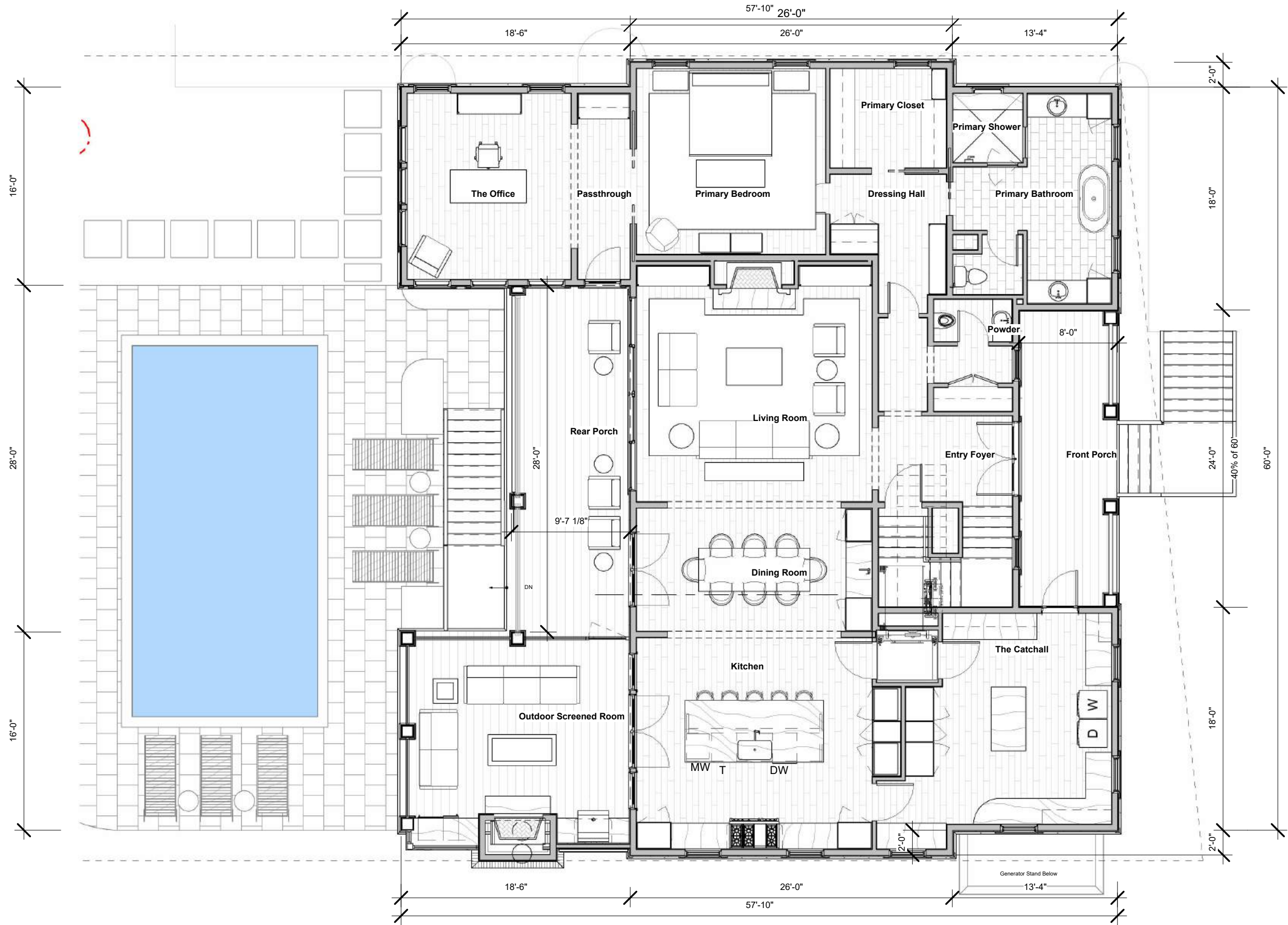
Conceptual DRB
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NS Ground Floor
Plan - Proposed

Scale: 1/8" = 1'-0"

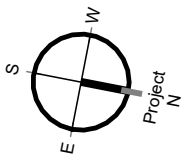
A1.7

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1
A1.8
New Structure First Floor Plan - Proposed
1/8" = 1'-0"



2730 Brooks Street
Sullivan's Island, SC

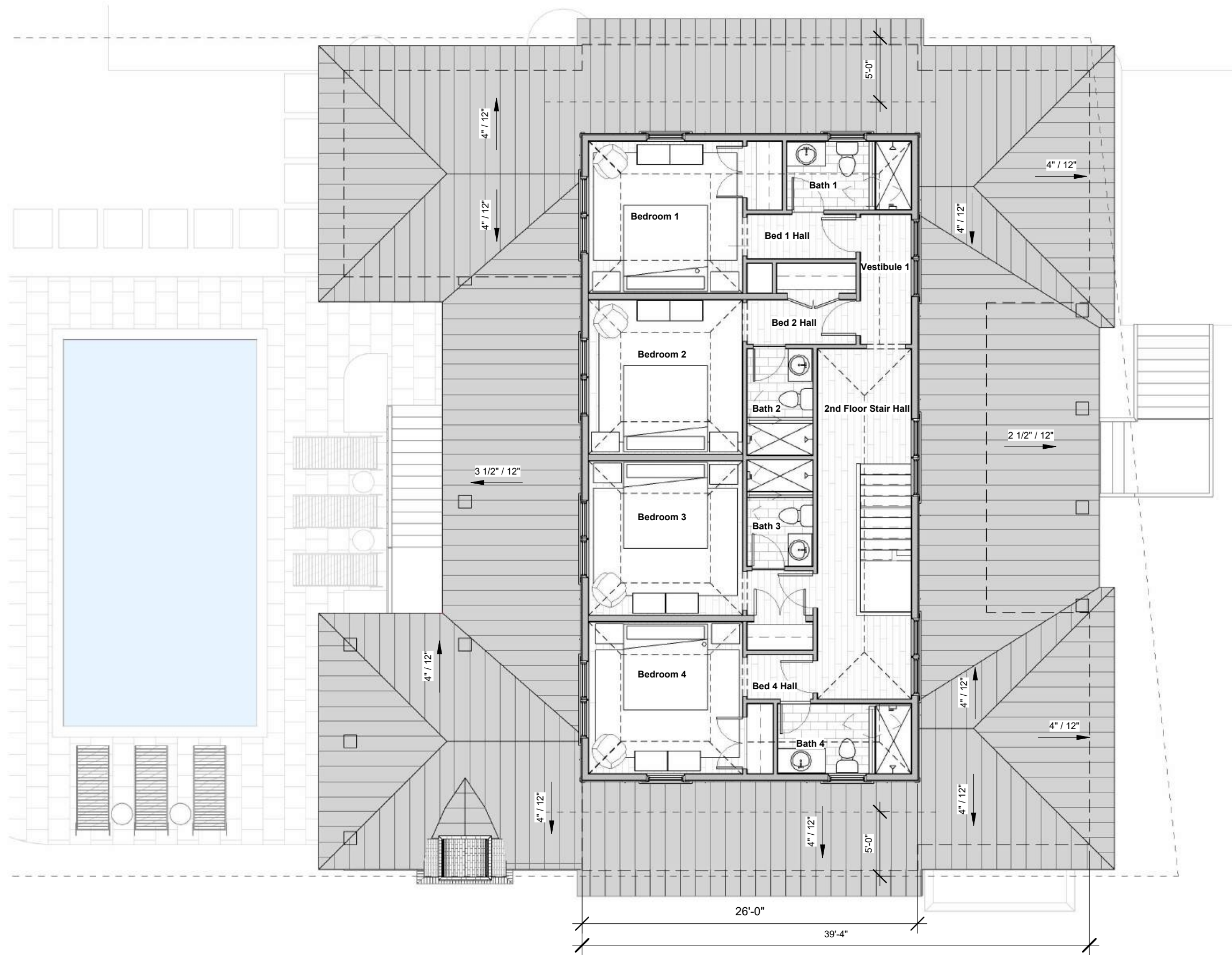
Conceptual DRB
Submission

NS First Floor Plan -
Proposed

Scale: 1/8" = 1'-0"

A1.8

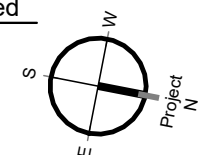
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1
A1.9

New Structure - Second Floor Plan - Proposed
1/8" = 1'-0"



2730 Brooks Street
Sullivan's Island, SC

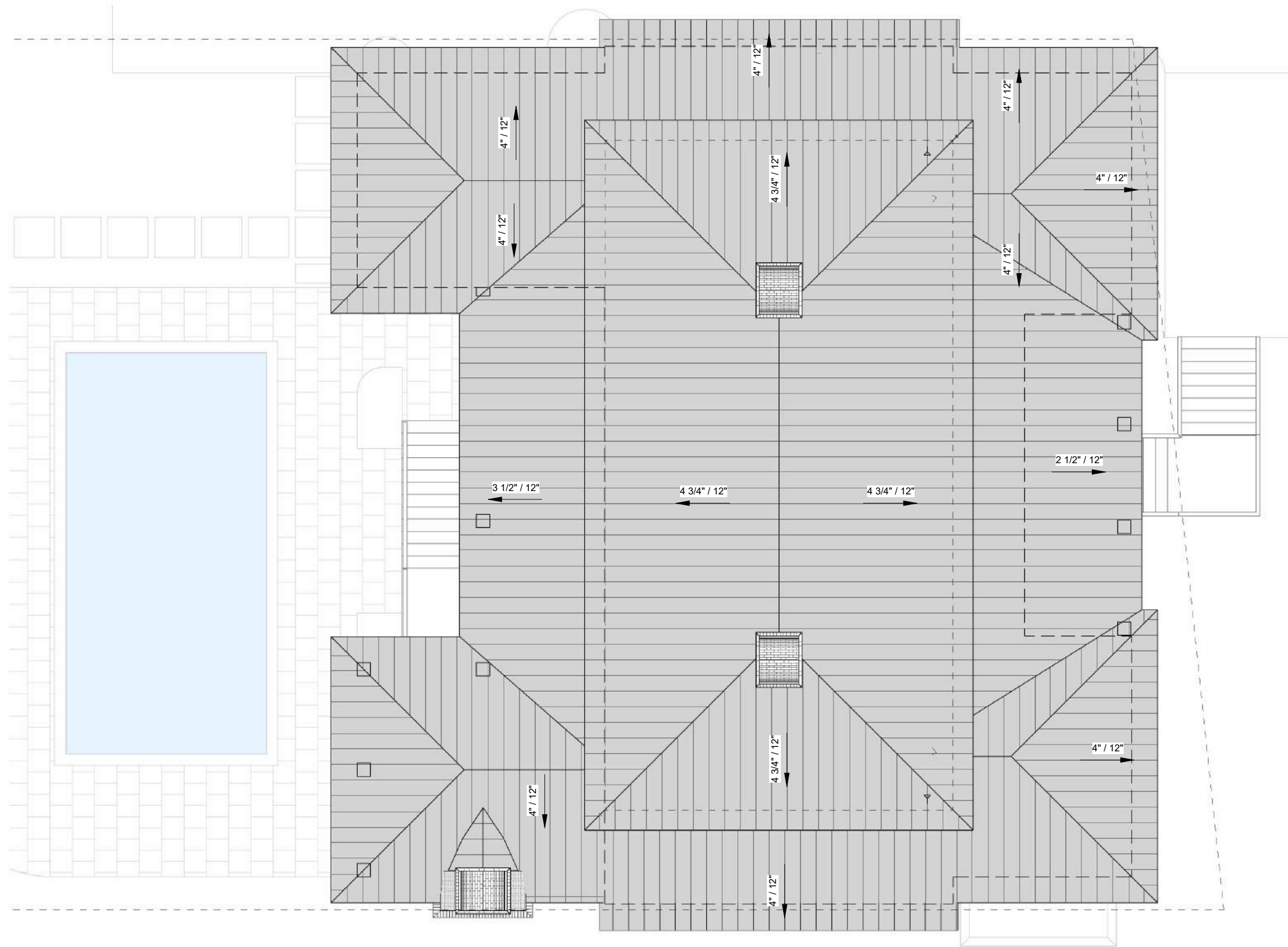
Conceptual DRB
Submission

NS - Second Floor
Plan - Proposed

Scale: 1/8" = 1'-0"

A1.9

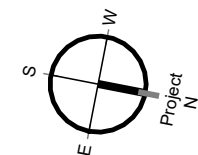
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1
A1.10

Overall Roof Plan - Proposed
1/8" = 1'-0"



2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
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NS - Enlarged Roof
Plan

Scale: 1/8" = 1'-0"

A1.10

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1 Northeast Perspective - Proposed
A2.0a



2 North Perspective - Proposed
A2.0a



3 East Perspective - Proposed
A2.0a



4 South Perspective - Proposed
A2.0a

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2730 Brooks Street
Sullivan's Island, SC

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Perspectives

Scale:

A2.0a

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Previous Submittal

Previous Submittal



2724 Brooks Street
Approximate Massing

2730 Brooks Street
Proposed

Station 28 Street

2802 Brooks Street
Under Construction
Approximate Massing



2802 Brooks Street
Under Construction
Approximate Massing

Station 28 Street

2730 Brooks Street
Proposed

2724 Brooks Street
Concealed by Vegetation
Dashed lines show
approximate height and width

Previous Submittal

Previous Submittal

2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
Submission

Streetscape
Renderings

Scale:

A2.0b

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Brooks Street Streetscape

2724 Brooks Street
Approximate Massing

2730 Brooks Street
Proposed

Station 28 Street

2802 Brooks Street
Under Construction
Approximate Massing



Jasper Boulevard Streetscape

2802 Brooks Street
Under Construction
Approximate Massing

Station 28 Street

2730 Brooks Street
Proposed

2724 Brooks Street
Concealed by Vegetation
Dashed lines show
approximate height and width

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These drawings are approximate depictions of Brooks Street and Jasper Boulevard to show general height, mass, and scale of properties adjacent to 2730 Brooks Street. These drawings are not to scale.

2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
Submission

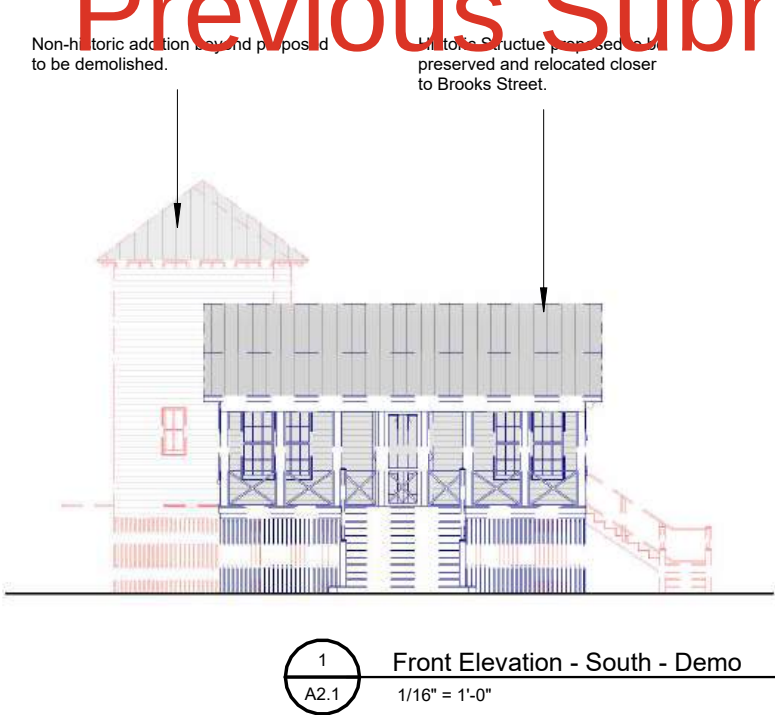
Streetscape
Renderings

Scale:

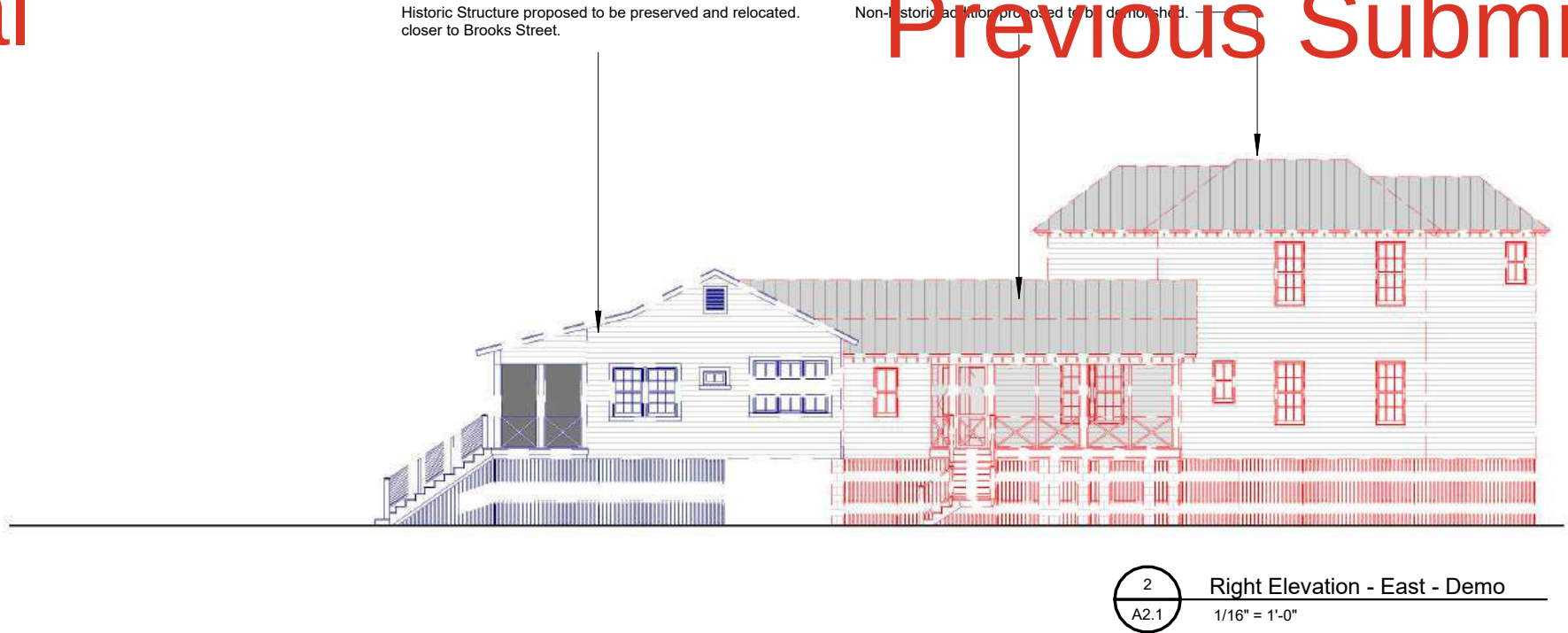
A2.0b

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Previous Submittal



Previous Submittal



Previous Submittal

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Previous Submittal

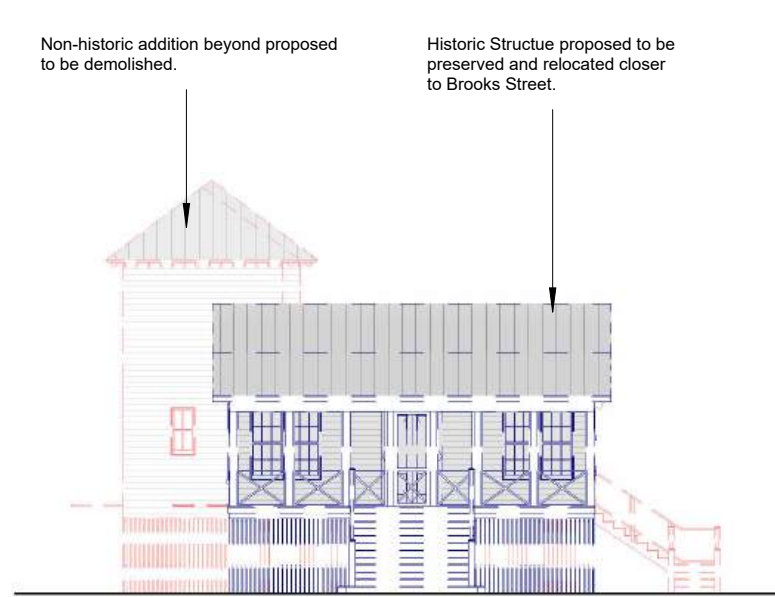
2730 Brooks Street
Sullivan's Island, SC
Conceptual DRB
Submission

Overall Elevations

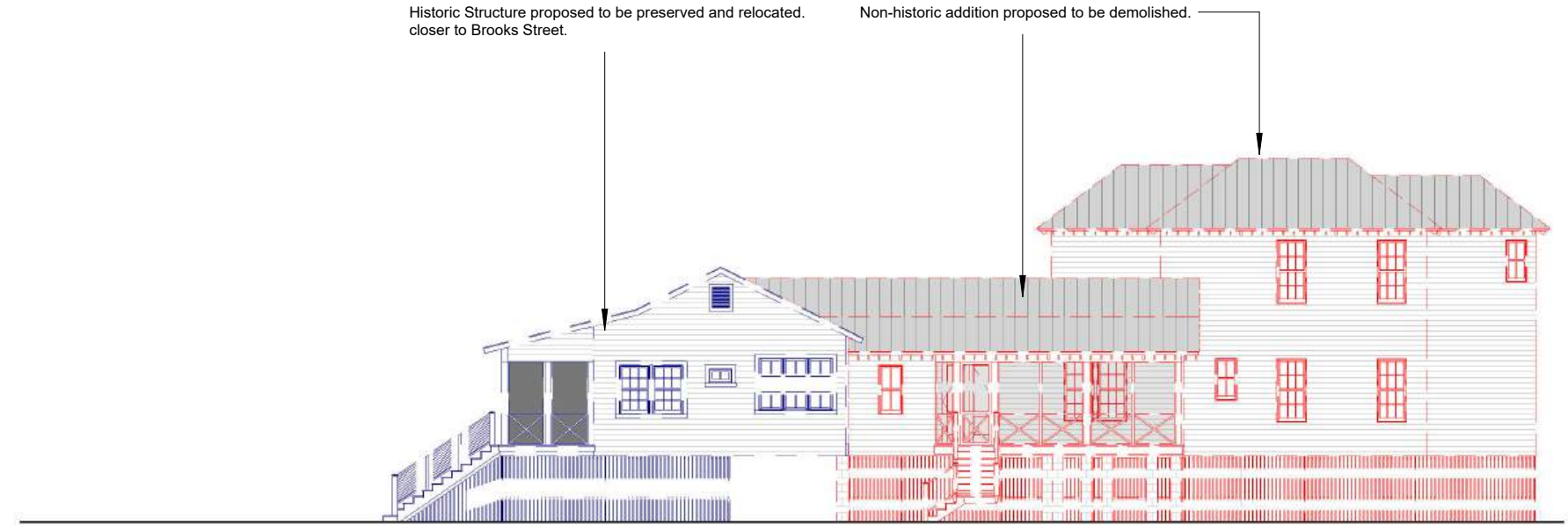
Scale: 1/16" = 1'-0"

A2.1

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1
A2.1
Front Elevation - South - Demo
1/16" = 1'-0"



2
A2.1
Right Elevation - East - Demo
1/16" = 1'-0"



3
A2.1
Front Elevation - South - Proposed Brooks Street
1/16" = 1'-0"



4
A2.1
Right Elevation - East - Proposed
1/16" = 1'-0"

Previous Submittal

Non-historic addition proposed to be demolished.

Historic Structure beyond, proposed to be preserved and relocated, closer to Brooks Street.



1
A2.2
Rear Elevation - North - Demo
1/16" = 1'-0"

Non-historic addition proposed to be demolished.

Historic Structure proposed to be preserved and relocated, closer to Brooks Street.



2
A2.2
Left Elevation - West - Demo
1/16" = 1'-0"

Previous Submittal



Proposed new structure at rear of property.

4
A2.2
Rear Elevation - North - Proposed
1/16" = 1'-0"



Proposed new structure at rear of property

Proposed new porch to restore original center gable footprint

Relocated historic structure

3
A2.2
Left Elevation - West - Proposed
1/16" = 1'-0"

Previous Submittal

Previous Submittal

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ARCHITECTURE

2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
Submission

Overall Elevations

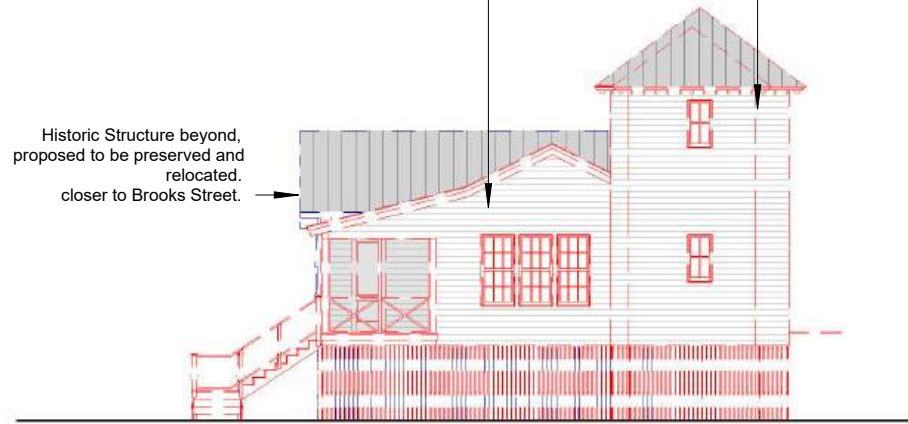
Scale: 1/16" = 1'-0"

A2.2

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Non-historic addition proposed to be demolished.

Historic Structure beyond,
proposed to be preserved and
relocated.
closer to Brooks Street.



Rear Elevation - North - Demo

1/16" = 1'-0"

Non-historic addition proposed to be demolished.

Historic Structure proposed to be preserved and relocated.
closer to Brooks Street.



Left Elevation - West - Demo

1/16" = 1'-0"



Proposed new structure at rear of property.



Rear Elevation - North - Proposed

1/16" = 1'-0"



Proposed new structure at rear of property

Proposed new porch to restore original center
gable footprint

Relocated historic structure



Left Elevation - West - Proposed

1/16" = 1'-0"

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ARCHITECTURE

2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
Submission

Overall Elevations

Scale: 1/16" = 1'-0"

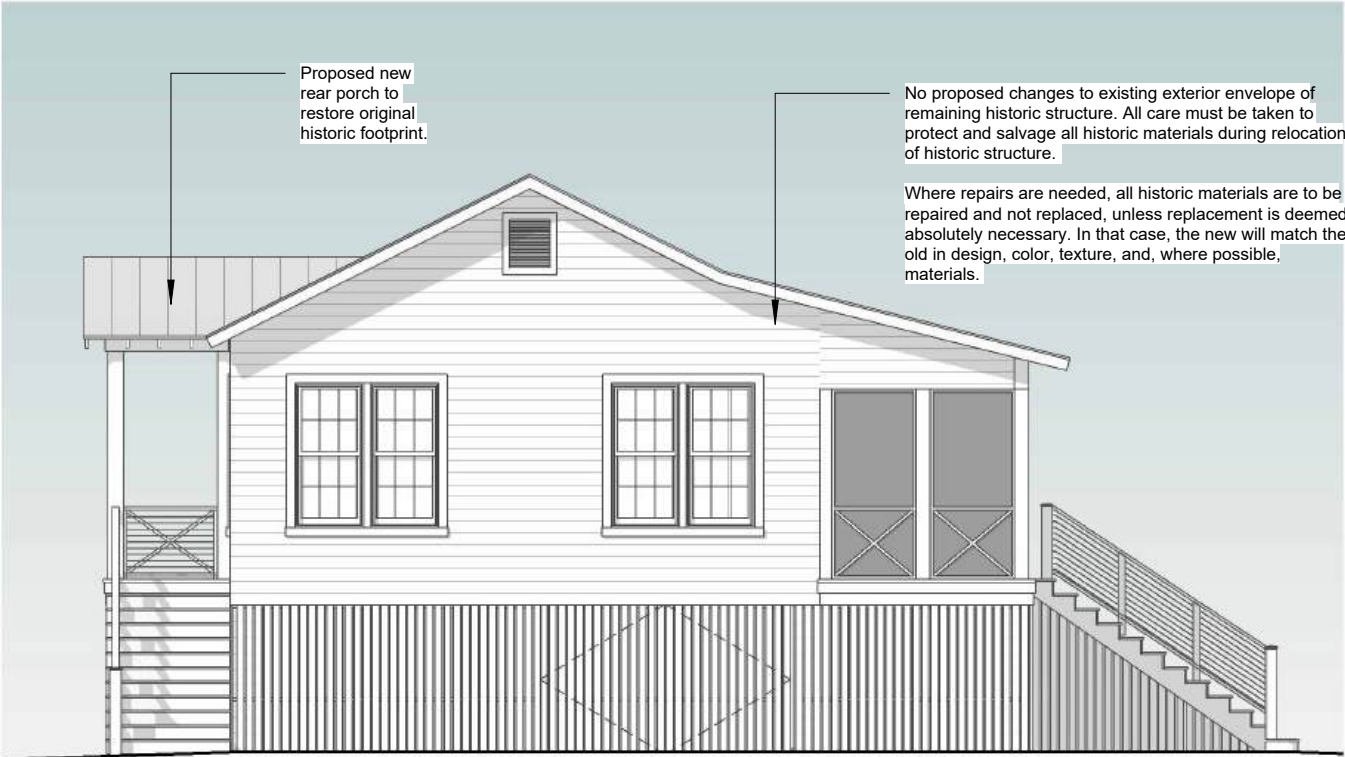
A2.2

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1
A2.3
Front Elevation - South - Proposed Brooks Street
1/8" = 1'-0"

Relocated Existing Historic Structure will sit on new CMU pier foundation. If foundation screening is unable to be salvaged, replace screening in kind to match existing.



2
A2.3
Left Elevation - West - Proposed
1/8" = 1'-0"



3
A2.3
Rear Elevation - North - Proposed
1/8" = 1'-0"



4
A2.3
Right Elevation - East - Proposed
1/8" = 1'-0"

2730 Brooks Street - Historic Narrative

2730 Brooks Street was constructed in 1902, and historical records reference it as "The Walker House".

It has been modified over the years, but what we know for certain is that the structure received an addition in 2006. In 2016, a portion of one of the addition's porches was enclosed adjacent to the historic structure.

After looking at historic photographs as well as the foundation and attic framing, we believe that the original footprint had a rear gable. A remaining timber post below the house supports this theory, as we believe it once supported one side of the rear center gable.

This project proposes rehabilitation of the historic structure in alignment with the Secretary of the Interiors Standards. The historic envelope of the structure will be preserved, and the original footprint of the structure will be restored by removal of the structure's non-historic additions and reconstruction of what is believed to be its original rear center gable, based on historic research and analysis of the structure. The structure is proposed to be relocated closer to Brooks Street, where it can have greater alignment with the historic structure across Station 28 Street.

The property will maintain its historic residential use, which requires minimal change to its exterior distinctive materials, features, spaces, and spatial relationships. No removal of distinctive materials or alteration of exterior features that characterize the historic property are proposed. No changes are proposed that create a false sense of historical development - the addition of the rear gable is based on site findings and historical research. The existing materials, features, finishes, and construction techniques and craftsmanship that characterize the property are proposed to be protected, preserved, and restored.

When the structure is relocated, all care is to be taken to protect and salvage all historic materials. Where exterior repairs are needed, all historic materials are to be repaired and not replaced, unless replacement is deemed absolutely necessary. In that case, the new will match the old in design, color, texture, and, where possible, materials. Where applicable, the gentlest means of chemical or physical treatment shall be utilized.

First Floor Top Plate - Existing 25'-10 1/4"
First Floor Finish - Existing 15'-9 1/2"
First Floor Subfloor - Existing 15'-8 3/4"
Top of Block - Existing 14'-6"

2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
Submission

Historic Structure
Elevations

Scale: 1/8" = 1'-0"

A2.3

2/19/2026 2:28:43 PM



1
A2.4
Front Elevation - South - Main House
1/8" = 1'-0"

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2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
Submission

New Structure
Front Elevation

Scale: 1/8" = 1'-0"

A2.4

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1
A2.5
Rear Elevation - North - Proposed
1/8" = 1'-0"



1
A2.6
Left Elevation - West - Proposed
1/8" = 1'-0"

Height Restriction
46'-4 1/2"

New - Second Floor Top Plate
37'-4 5/8"

New - Second Floor Subfloor
28'-3 1/8"

Second Floor - Top of Truss
28'-2"

New - First Floor Top Plate
26'-8"

New - First Floor Subfloor
17'-0 1/2"

New - First Floor Top of Structure
16'-11 3/8"

Top of Sill Plate
15'-11 1/2"

Top of Block
15'-10"

Top of Freeboard
11'-0"

AE 10'
10'-0"

New Garage Slab
8'-3 1/2"

1'-6"

1'-7 1/8"

1'-0" 1 1/2"

1'-8 1/2"

9'-1 1/2"

9'-7 1/2"

4'-10"

5 1/2"

8'-10" FFE

7'-3 1/2" LSM

Rear facade designed to follow front facade setback ordinances for neighborhood compatibility:

21-22.B.4.a: For any portion of a Principal Building's height exceeding (20) feet, that portion in excess of 20 feet shall be set back from the Front Yard Setback an additional 1 foot for every 1 foot of increased height above 20 feet as measured at the Front Yard Setback.

Top of Footing
7'-10"

1
A2.7

Right Elevation - East - Proposed

1/8" = 1'-0"

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2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
Submission

New Structure Right
Elevation

Scale: 1/8" = 1'-0"

A2.7

2/19/2026 2:28:51 PM