



The Spencer Residence

2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB Submission

DANIEL BECK
ARCHITECTURE

DRB Drawing Index	
Number	Title
A0	Cover
Survey	Survey
A0.0a	Site Context
A0.0b	Site Context
A0.0c	Site Context
A0.0d	Historic Research
A0.1	Site Plan Diagram
A0.1e	Site Plan - Existing
A0.1p	Site Plan - Proposed
A1.0	Overall Ground Floor Plans
A1.1	Overall First Floor Plans
A1.2	Overall Second Floor Plans
A1.3	Overall Roof Plans
A1.4	HS Ground Floor Plan - Proposed
A1.5	HS First Floor Plan - Proposed
A1.6	HS - Enlarged Roof Plans
A1.7	NS Ground Floor Plan - Proposed
A1.8	NS First Floor Plan - Proposed
A1.9	NS - Second Floor Plan - Proposed
A1.10	NS - Enlarged Roof Plan
A2.0a	Perspectives
A2.0b	Streetscape Renderings
A2.1	Overall Elevations
A2.2	Overall Elevations
A2.3	Historic Structure Elevations
A2.4	New Structure Front Elevation
A2.5	New Structure Rear Elevation
A2.6	New Structure Left Elevation
A2.7	New Structure Right Elevation

2730 Brooks Street
Sullivan's Island, SC

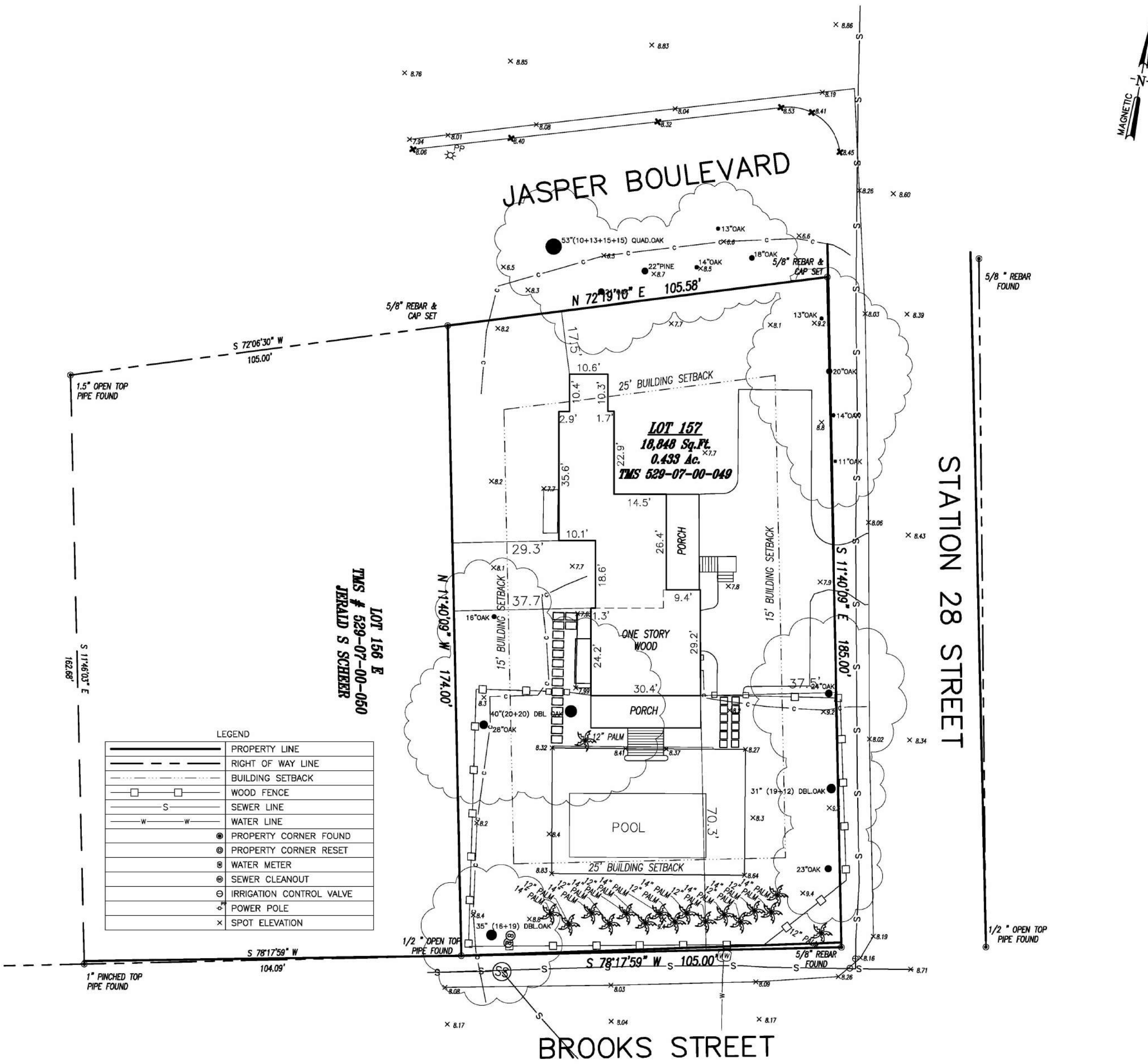
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Cover

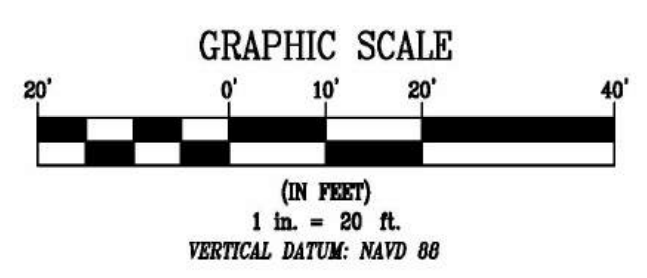
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- REFERENCES:
1. PB. R, PG. 094 DATED MAY, 1964



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Atlantic
surveying, inc.
ATLANTIC SURVEYING, INC.
1723 SAVANNAH HIGHWAY
CHARLESTON, SOUTH CAROLINA 29417
PHONE (843)763-6669 FAX (843)766-7411

CERTIFICATE OF
ATLANTIC SURVEYING, INC.
COA NO. 3421
H. L. HOS

A GENERAL PROPERTY SURVEY OF LOT 157
2730 BROOKS STREET
SULLIVANS ISLAND, CHARLESTON COUNTY, SC.

TMS # 529-07-00-049
PREPARED FOR: DANIEL BECK

NO.	REVISION	DATE	COMMENTS
1	ISSUED PER CLIENT COMMENTS	07/26/23	

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1	ISSUED PER CLIENT COMMENTS	07/26/23	

NO.	REVISION	DATE	COMMENTS
1	ISSUED PER CLIENT COMMENTS	07/26/23	



View from North



View from South



2720 Brooks Street - Existing View from Brooks Street



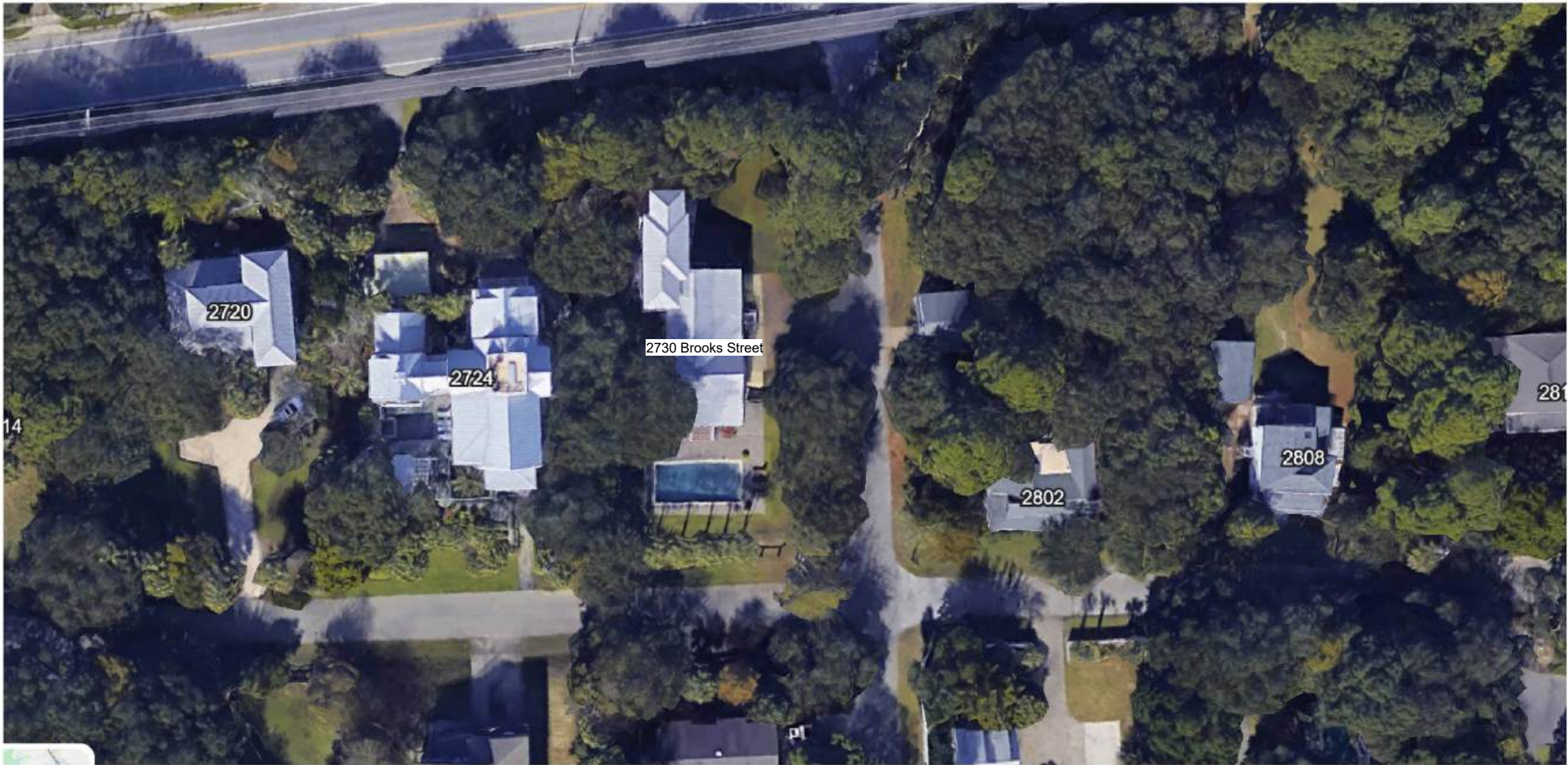
2724 Brooks Street - Existing View from Brooks Street



2802 Brooks Street (Under Construction) - Existing View from Brooks Street



2802 Brooks Street (Under Construction) - Existing View from Jasper Boulevard



Aerial View from Google Earth, taken prior to start of construction at neighboring 2802 Brooks Street.



2730 Brooks Street - Existing View from Brooks Street



2730 Brooks Street - Existing View from Station 28 Street



2730 Brooks Street - Existing View from Jasper Boulevard



2730 Brooks Street
Historic Structure Front Facade



2730 Brooks Street
Existing Foundation Screening



2730 Brooks Street
Detail image of intersection with addition on west facade



2730 Brooks Street
Historic Structure East Facade



1917 Census Map, 2730 Brooks Street Outlined. Census map appears to show simplified building footprints, perhaps not including porches.



1957 Aerial View, 2730 Brooks Street Outlined.



1971 Aerial, 2730 Brooks Street Outlined.



Timber posts below existing structure - indicative of original footprint.

2730 Brooks Street - Historic Narrative

2730 Brooks Street was constructed in 1902, and historical records reference it as "The Walker House".

It has been modified over the years, but what we know for certain is that the structure received an addition in 2006. In 2016, a portion of one of the addition's porches was enclosed adjacent to the historic structure.

After looking at historic photographs as well as the foundation and attic framing, we believe that the original footprint had a rear gable. A remaining timber post below the house supports this theory, as we believe it once supported one side of the rear center gable.

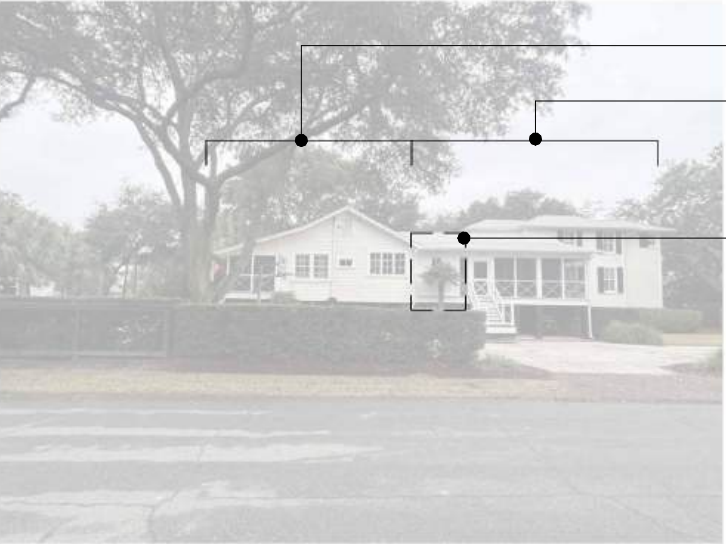
This project proposes rehabilitation of the historic structure in alignment with the Secretary of the Interiors Standards. The historic envelope of the structure will be preserved, and the original footprint of the structure will be restored by removal of the structure's non-historic additions and reconstruction of what is believed to be its original rear center gable, based on historic research and analysis of the structure. The structure is proposed to be relocated closer to Brooks Street, where it can have greater alignment with the historic structure across Station 28 Street.

The property will maintain its historic residential use, which requires minimal change to its exterior distinctive materials, features, spaces, and spatial relationships. No removal of distinctive materials or alteration of exterior features that characterize the historic property are proposed. No changes are proposed that create a false sense of historical development - the addition of the rear gable is based on site findings and historical research. The existing materials, features, finishes, and construction techniques and craftsmanship that characterize the property are proposed to be protected, preserved, and restored.

When the structure is relocated, all care is to be taken to protect and salvage all historic materials. Where exterior repairs are needed, all historic materials are to be repaired and not replaced, unless replacement is deemed absolutely necessary. In that case, the new will match the old in design, color, texture, and, where possible, materials. Where applicable, the gentlest means of chemical or physical treatment shall be utilized.

2730 Brooks Street Historic Timeline

- 1902 - Original Footprint constructed.
- 2006 - Addition constructed on north end.
- 2016 - Porch enclosure constructed within 2006 addition.



- 1902 Historic Structure
- 2006 Rear Addition
- 2016 Porch Enclosure within Rear Addition

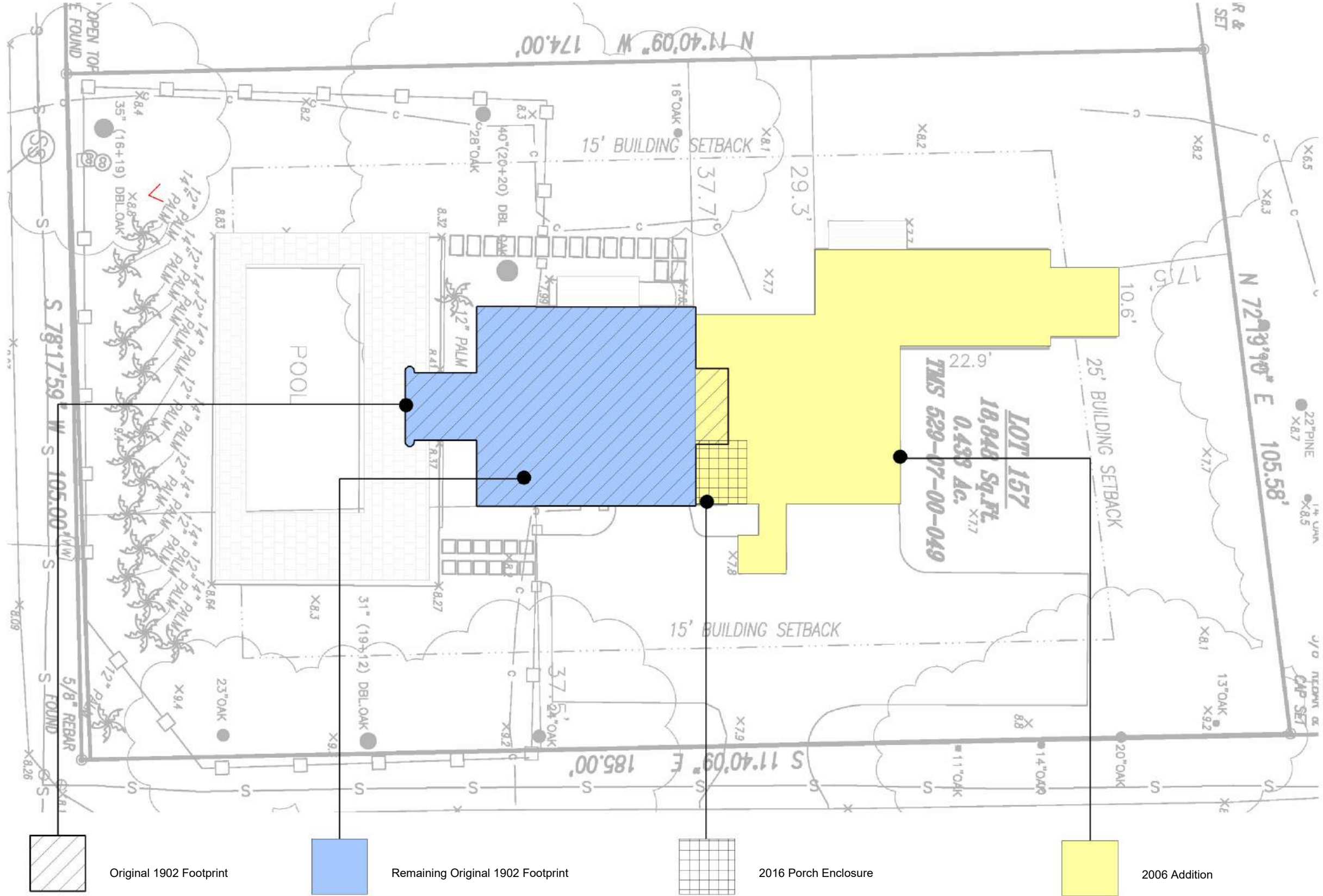
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Sullivan's Island, SC
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Submission

Historic Research

Scale: 12" = 1'-0"

A0.0d

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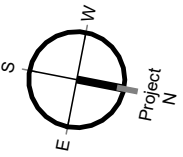
Original 1902 Footprint

Remaining Original 1902 Footprint

2016 Porch Enclosure

2006 Addition

1
A0.1
Site Plan - Footprint Evolution Diagram
1/16" = 1'-0"



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Sullivan's Island, SC

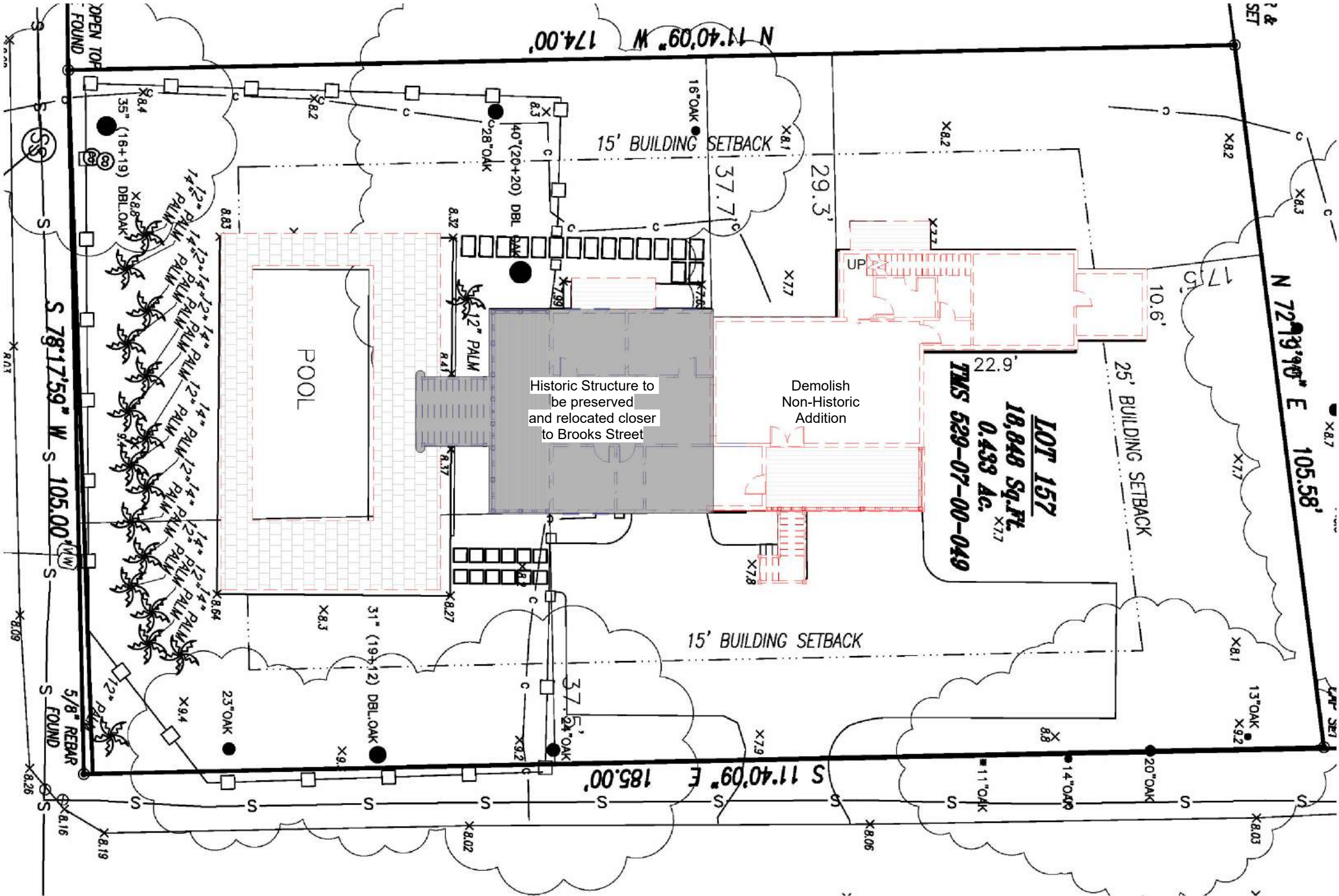
Conceptual DRB
Submission

Site Plan Diagram

Scale: 1/16" = 1'-0"

A0.1

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Lot Information:

Zoning Classification: Sullivan's Island - Single Family
Flood Zone: AE
B.F.E.: 10' M.S.L.
Freeboard Amount: +1' (M.S.L. +11')
Design Flood Elevation: +12 M.S.L.
FIRM COMMUNITY-PANEL NUMBER :

Restrictions:

Setbacks

Front:	25'
Side Setback #1:	25'
Side Setback #2:	15'
Rear Setbacks:	25'

Height Restriction - Natural grade +38' (not to exceed center of road +40')

Lot Occupancy Information:

Lot Area - Highground S.F.: 18,848 S.F.

Permitted Impervious Coverage Area = 30% 5,654.4 S.F.

Proposed Impervious Coverage 5,122 S.F. (27.18%)

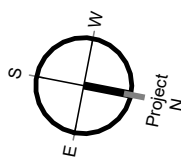
Vegetated Coverage: 0,000 S.F. (00%)
(min. requirement: 50% of Highland area i.e. 9,424 S.F.)

Principal Building Coverage:

15% of Lot Area:	2,827.2 S.F.
Max. Potential with 20% relief:	3,392.6 S.F. (565.4 S.F. of relief)

Proposed Coverage (Second Structure) 2,346 S.F. (12.45%)
Historic Structure ADU 740 S.F.
Total 3,086 S.F. (16.37%)

1 Site Plan - Existing/ Proposed Demolition
A0.1e 1/16" = 1'-0"



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Sullivan's Island, SC

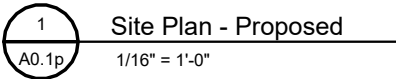
Conceptual DRB
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Site Plan - Existing

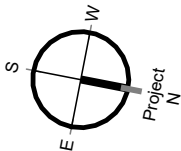
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A0.1e

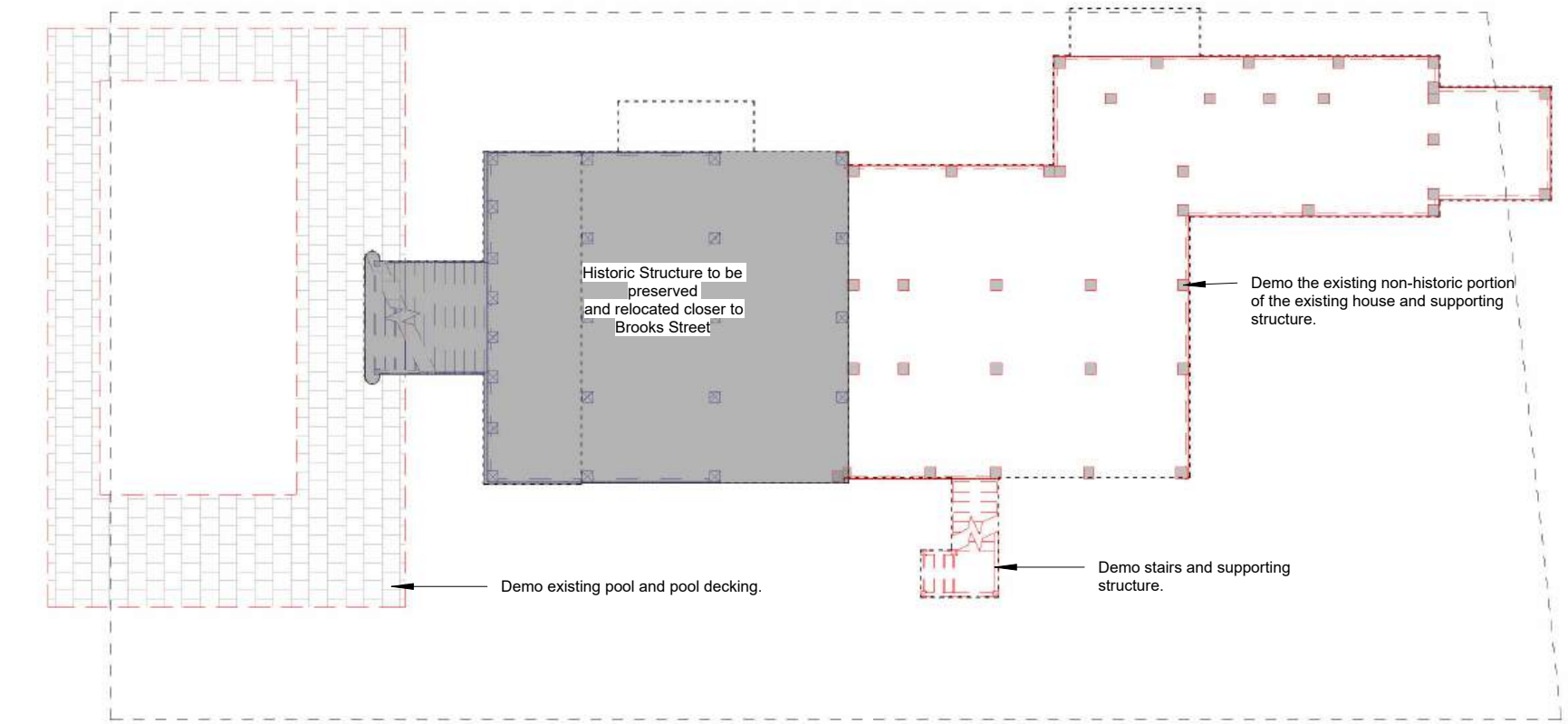
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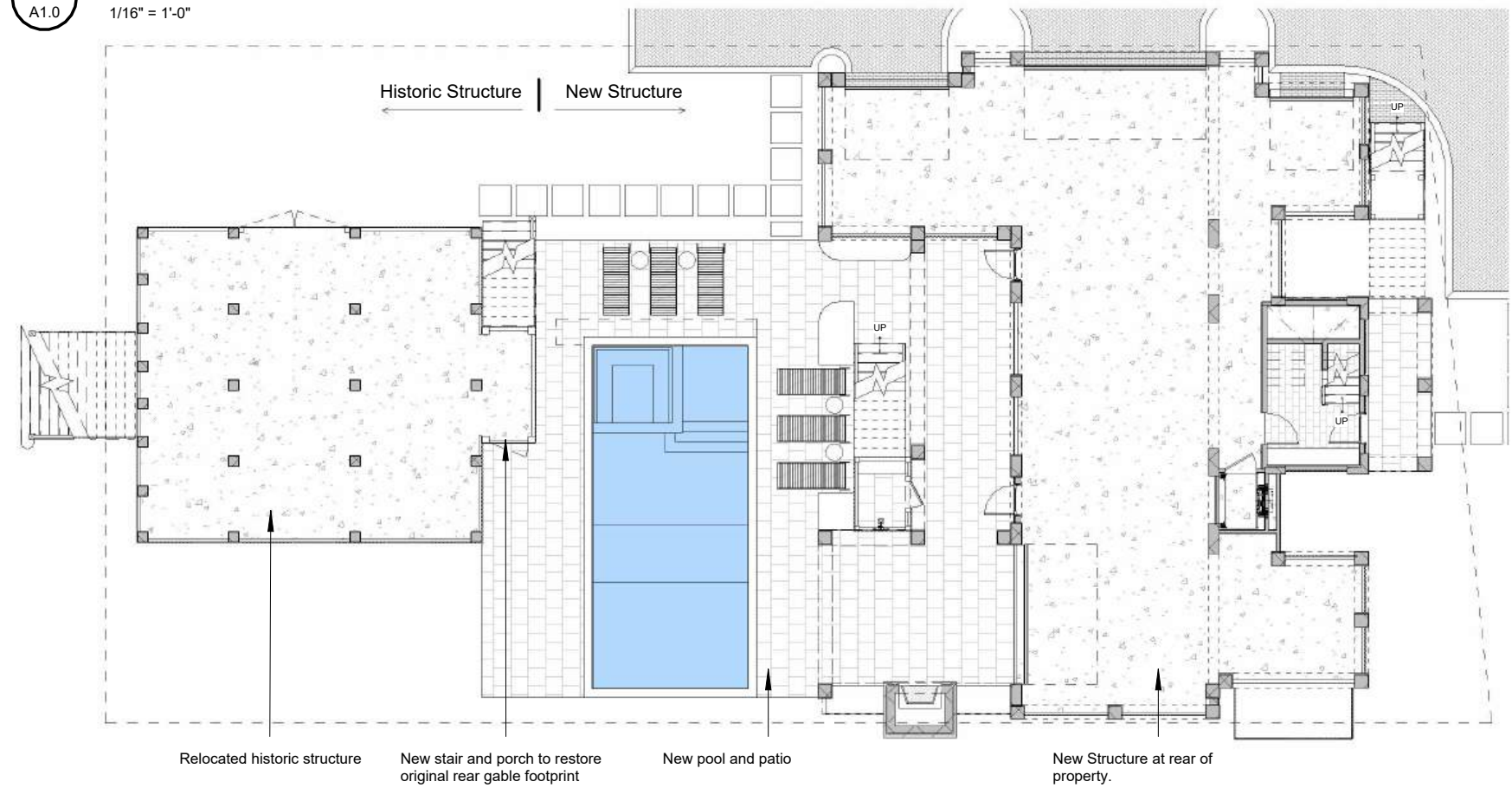
The new gable will be constructed with details in keeping with the original historic structure.



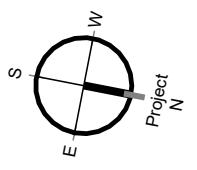
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1
A1.0
Ground Floor Plan - Demo
1/16" = 1'-0"



2
A1.0
Ground Floor Plan - Proposed
1/16" = 1'-0"



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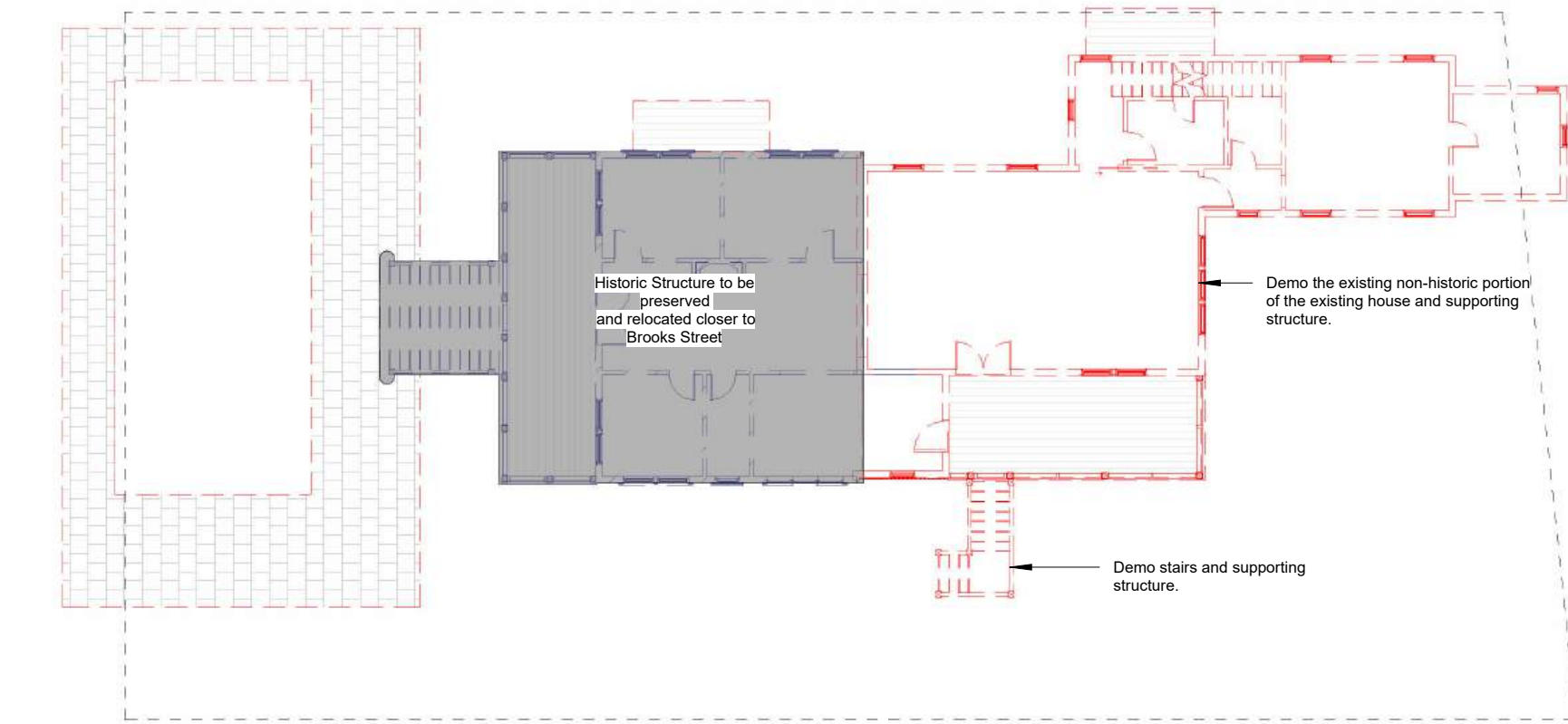
Conceptual DRB
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Overall Ground
Floor Plans

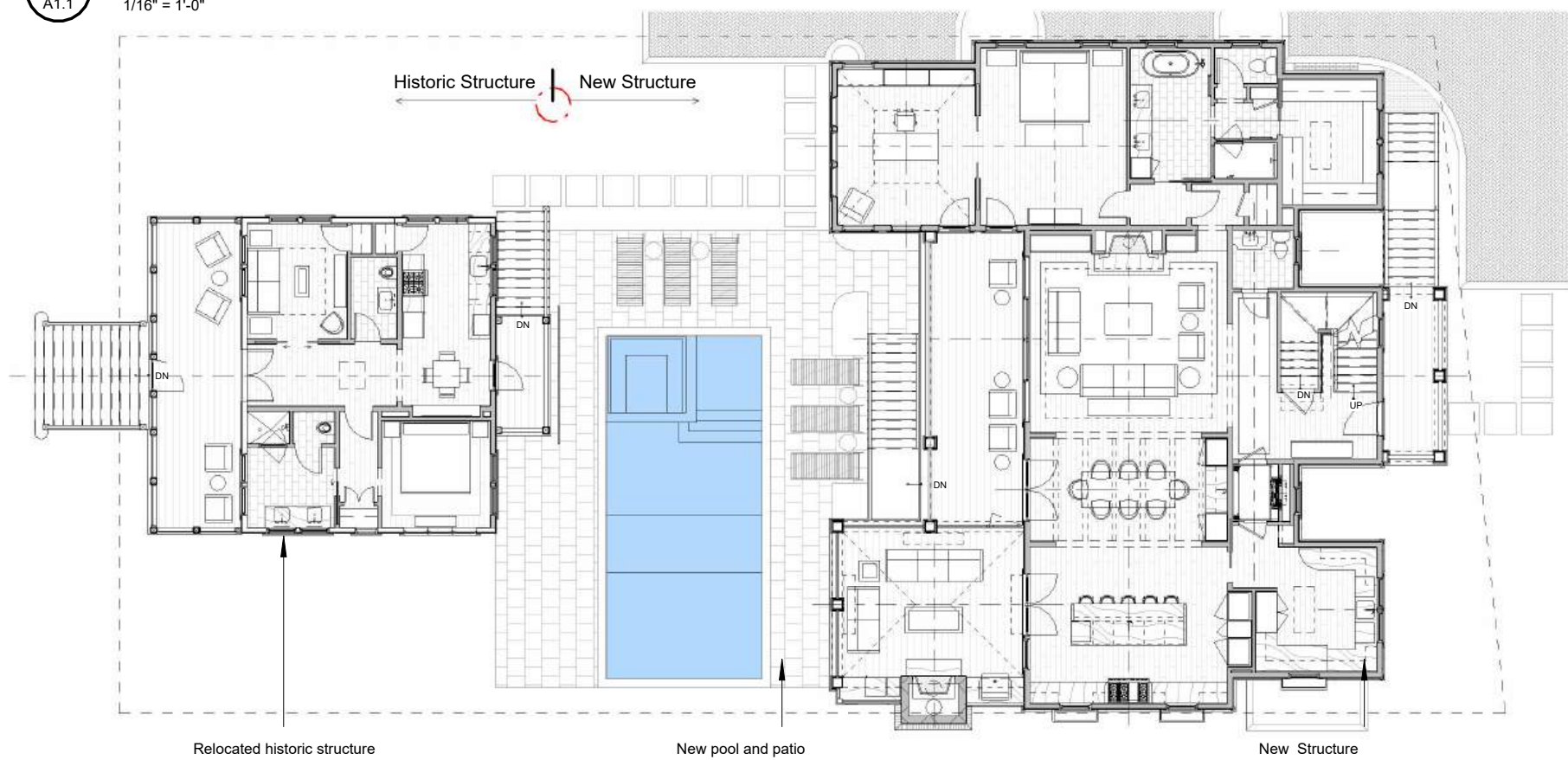
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A1.0

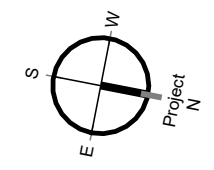
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1
A1.1
First Floor Plan - Demo
1/16" = 1'-0"



2
A1.1
First Floor Plan - Proposed
1/16" = 1'-0"



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2730 Brooks Street
 Sullivan's Island, SC

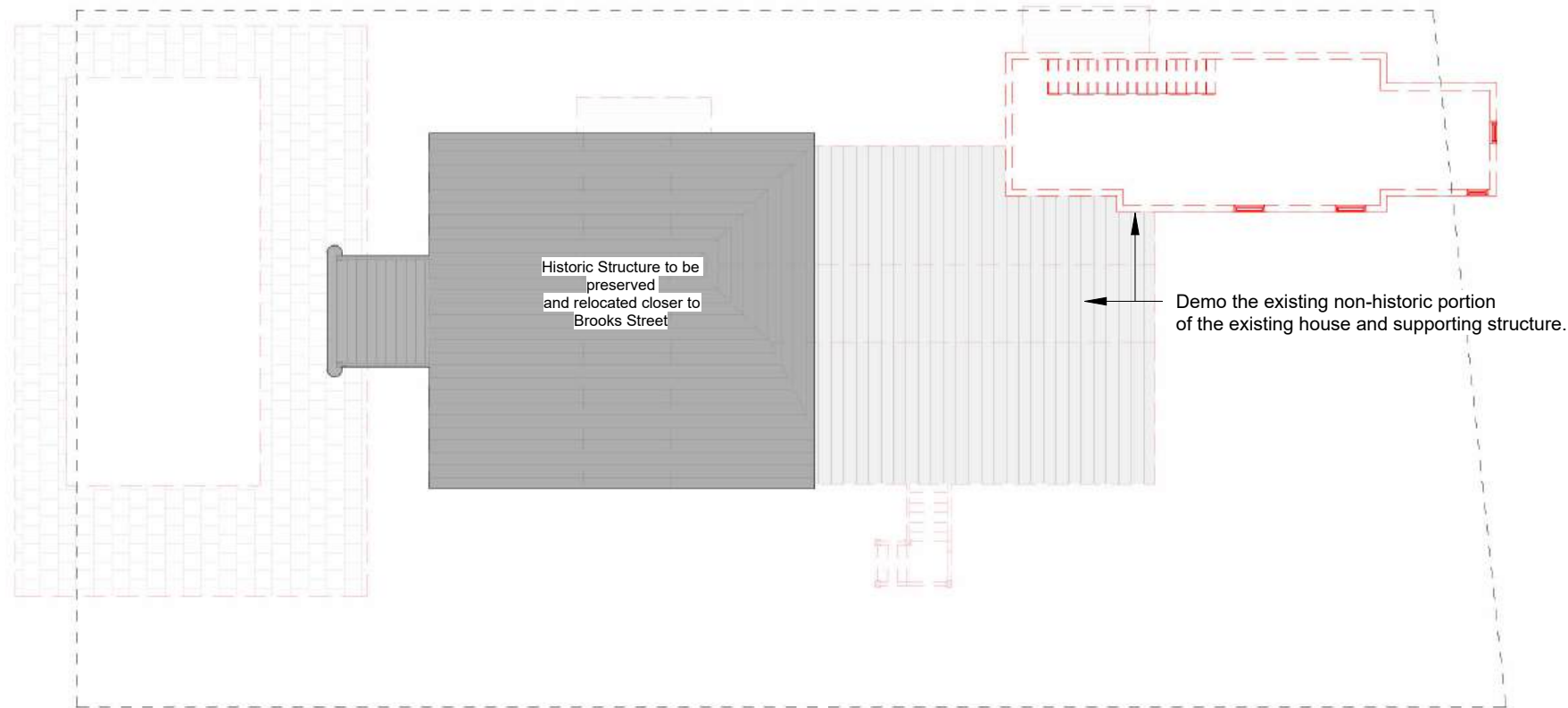
 Conceptual DRB
 Submission

Overall First Floor
 Plans

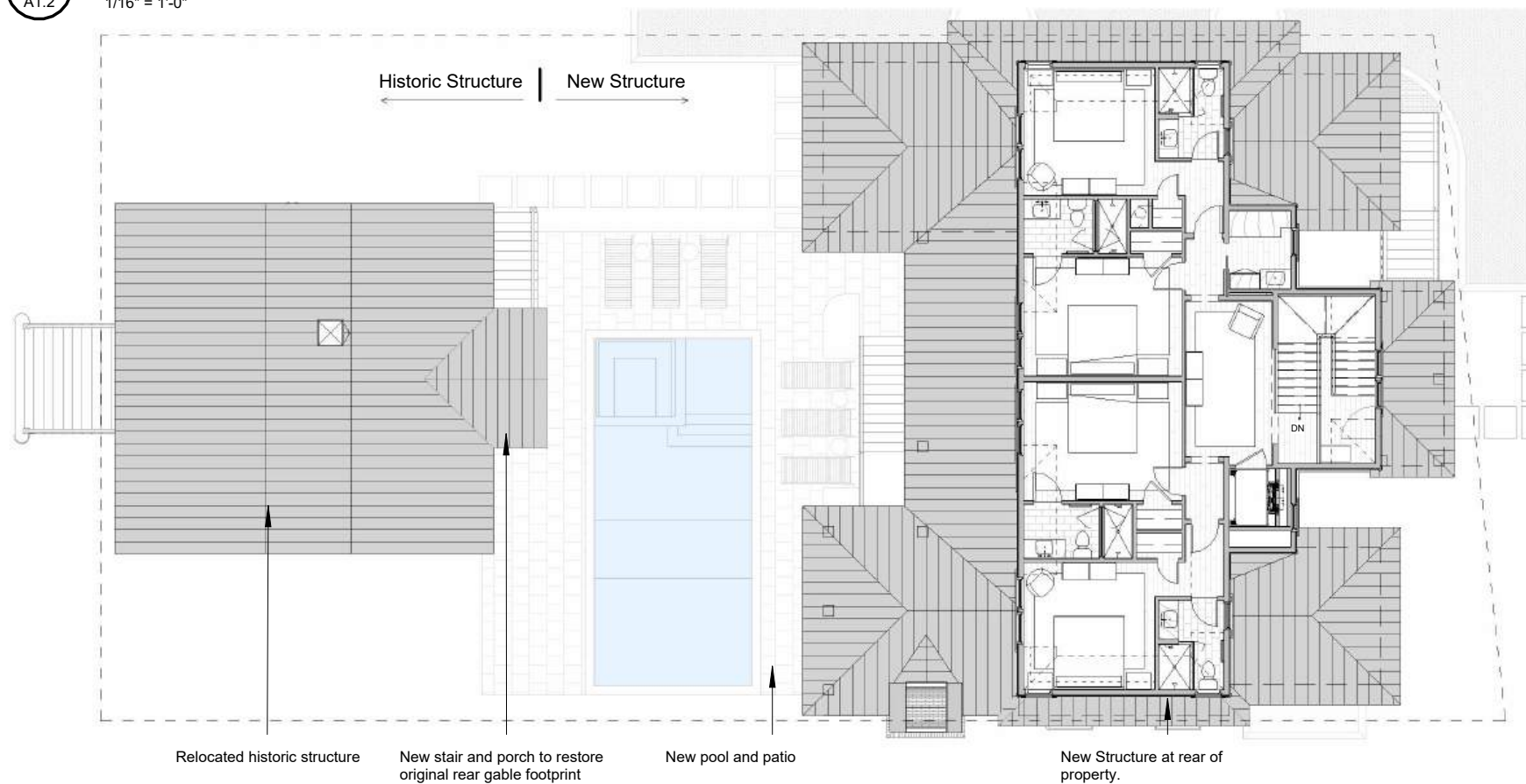
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A1.1

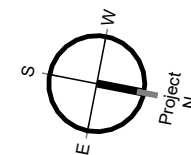
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1
A1.2
Second Floor Plan - Demo
1/16" = 1'-0"



2
A1.2
Second Floor Plan - Proposed
1/16" = 1'-0"



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2730 Brooks Street
Sullivan's Island, SC

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Submission

Overall Second
Floor Plans

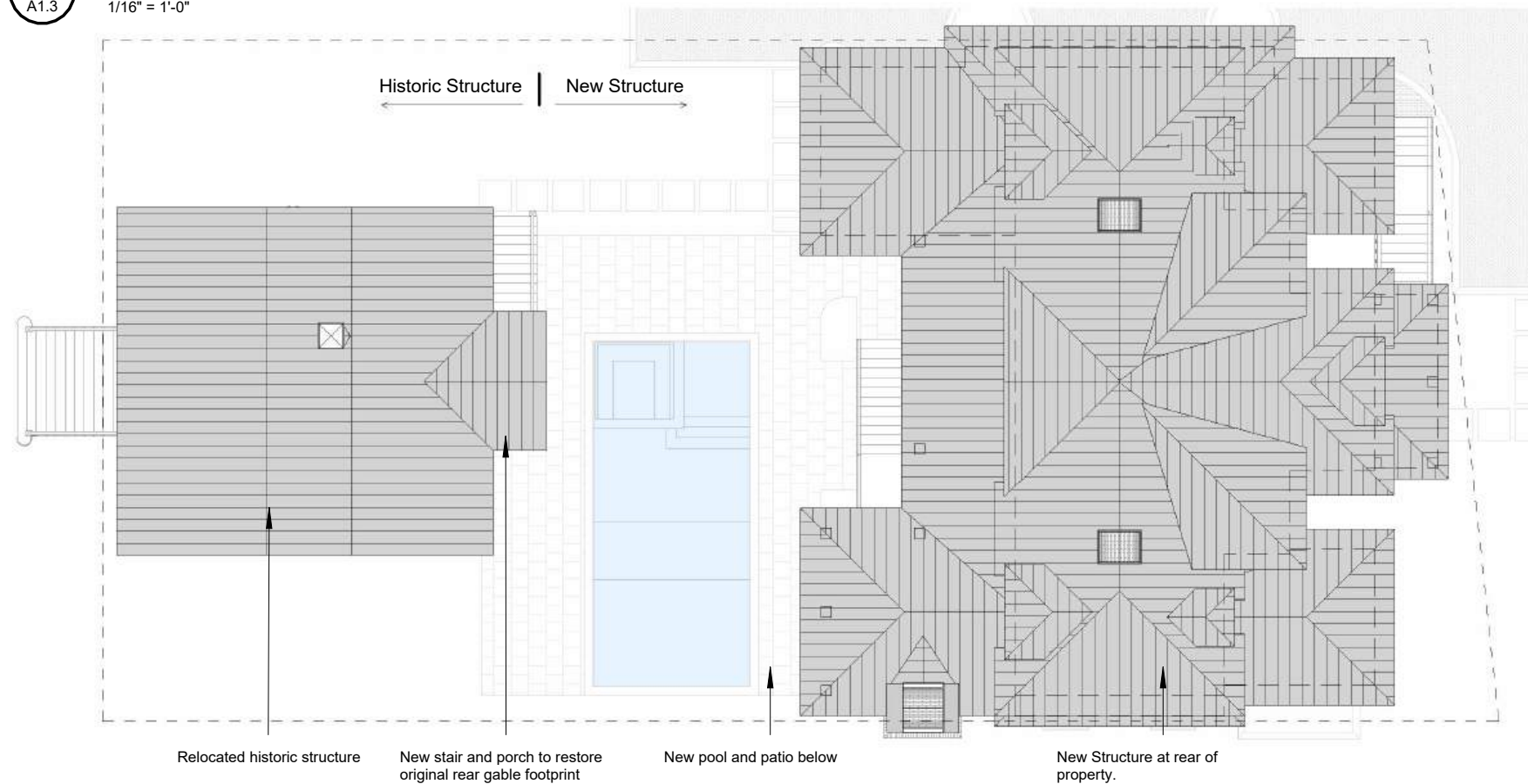
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A1.2

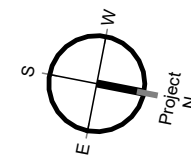
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1 Overall Roof Plan - Demo
A1.3 1/16" = 1'-0"



2 Overall Roof Plan - Proposed
A1.3 1/16" = 1'-0"



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2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
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Overall Roof Plans

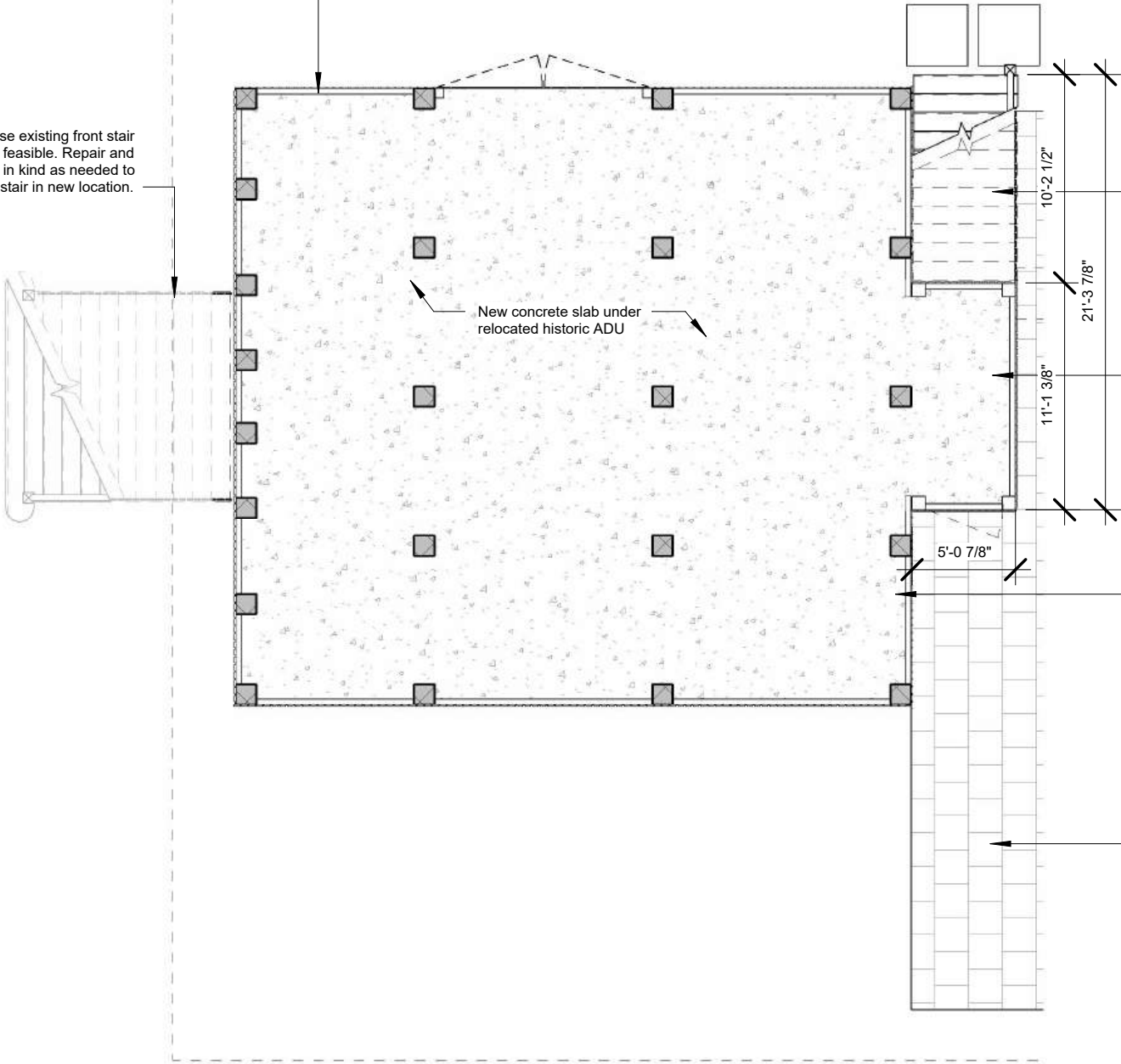
Scale: 1/16" = 1'-0"

A1.3

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Relocated Existing Historic Structure will sit on new CMU pier foundation. If foundation screening is unable to be salvaged, replace screening in kind to match existing.

Salvage and reuse existing front stair components as much as is feasible. Repair and replace stair components in kind as needed to match existing stair in new location.



New stair to match existing.

Add rear porch to match original footprint.

Infill north wall with cladding to match existing east, south, and west facades.

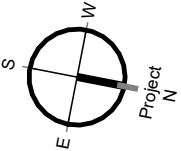
New pervious pool decking, see site plan.



Historic Structure Ground Floor Plan - Proposed

1/8" = 1'-0"

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Sullivan's Island, SC

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HS Ground Floor
Plan - Proposed

Scale: 1/8" = 1'-0"

A1.4

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Relocated Existing Historic Structure half-toned for clarity. No changes to exterior of existing historic structure.



New windows to match historic windows size, head height, divided lite pattern, and sticking profiles. Blank out lower portion of windows as needed below countertop.

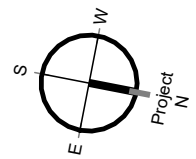
New stair to match existing front stair.

Add rear porch to match original footprint.

Infill north wall with cladding to match existing east, south, and west facades.

1
A1.5
Historic Structure First Floor Plan - Proposed
1/8" = 1'-0"

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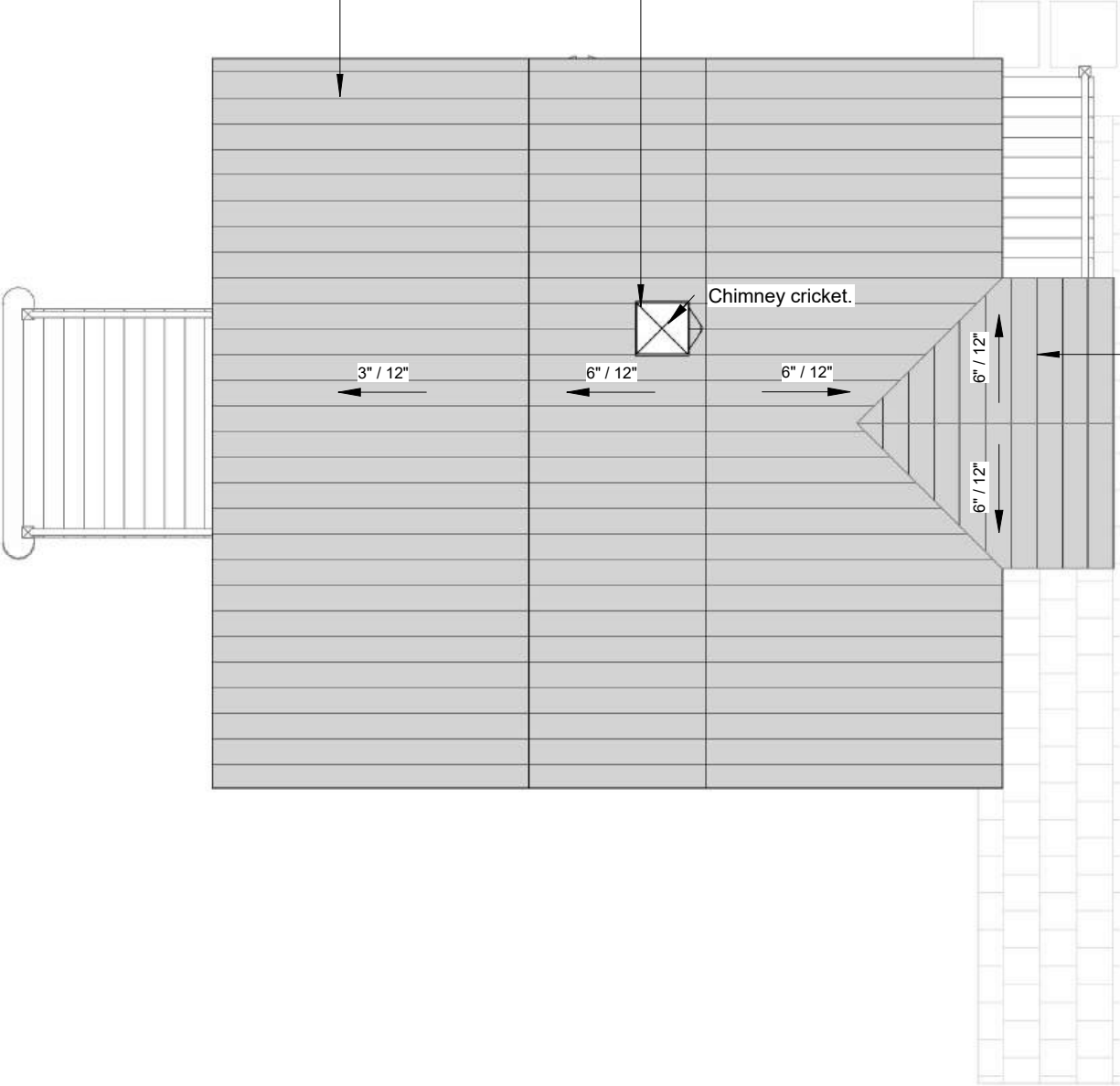
2730 Brooks Street
Sullivan's Island, SC
Conceptual DRB
Submission

HS First Floor Plan -
Proposed
Scale: 1/8" = 1'-0"

A1.5
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Relocated Existing Historic Structure half-toned for clarity. No changes to exterior of existing historic structure.

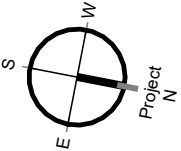
Historic ADU chimney was removed at some point. We propose adding it back to the structure in keeping with the original design.



Add new gable roof to match and restore original footprint of historic structure. New roof to match and tie into existing.

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1
A1.6
Historic Structure Roof Plan - Proposed
1/8" = 1'-0"



2730 Brooks Street
Sullivan's Island, SC

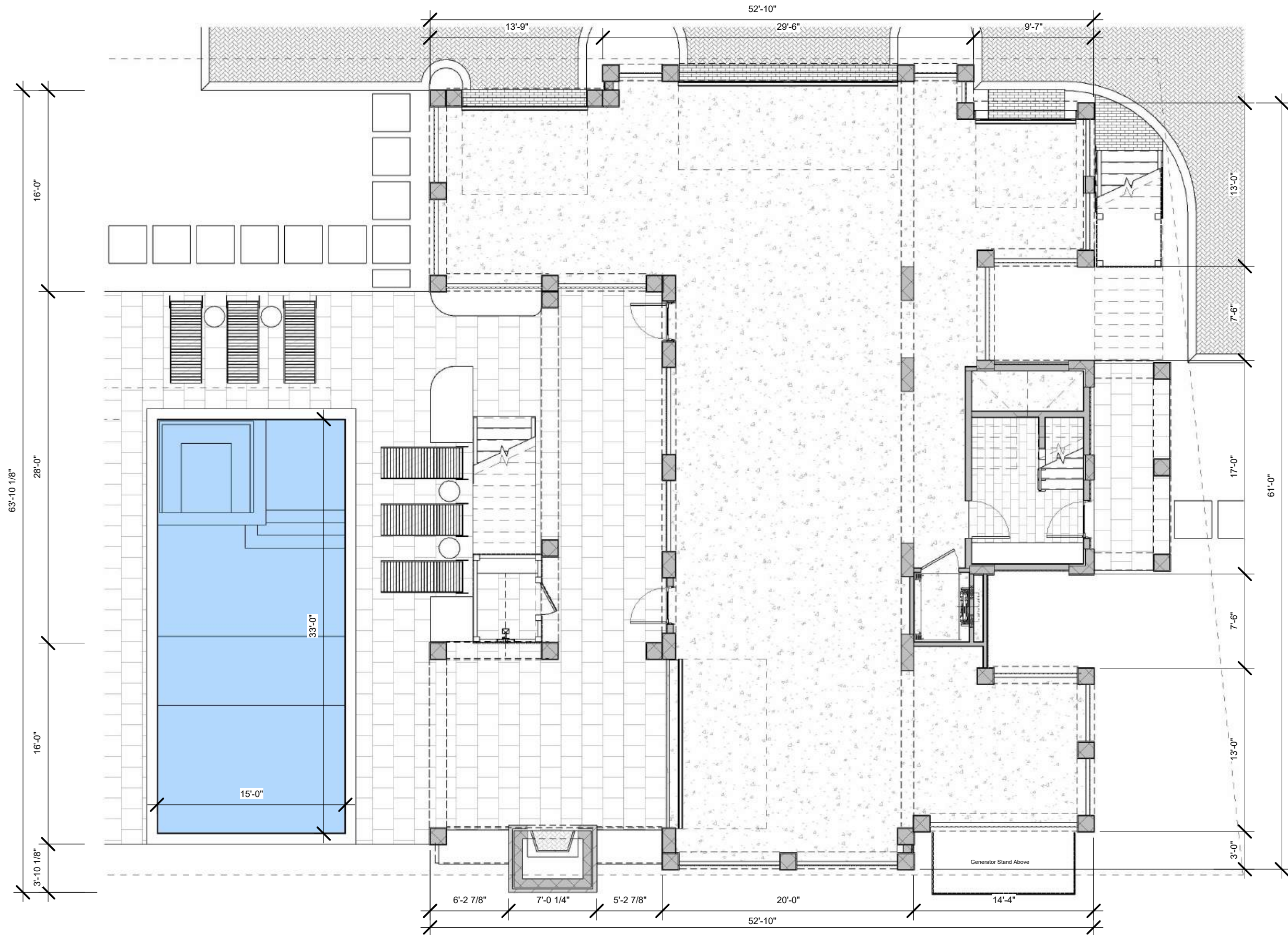
Conceptual DRB
Submission

HS - Enlarged Roof
Plans

Scale: 1/8" = 1'-0"

A1.6

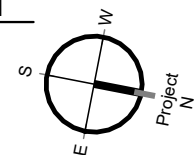
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1
A1.7

New Structure Ground Floor Plan - Proposed
1/8" = 1'-0"



2730 Brooks Street
Sullivan's Island, SC

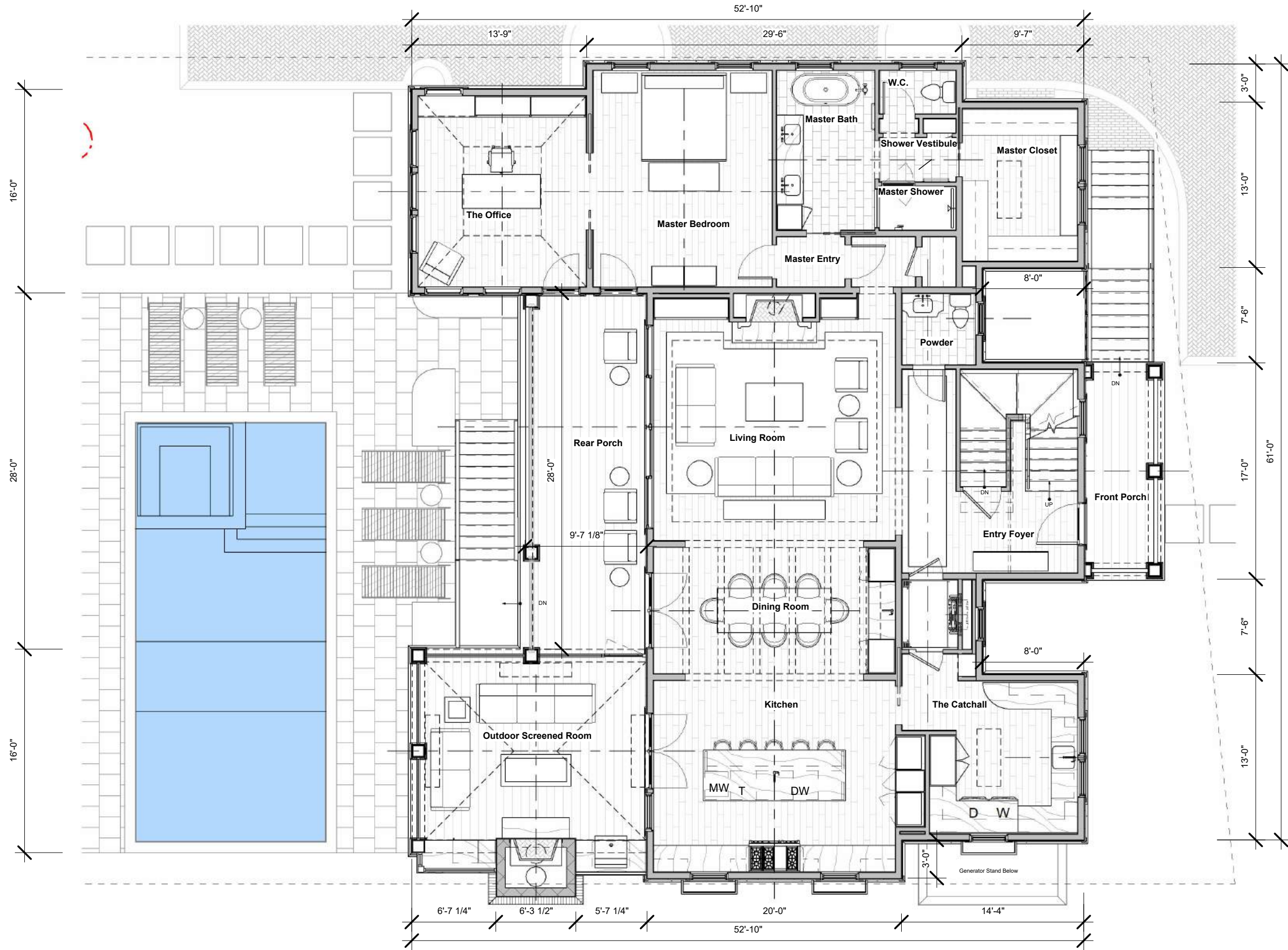
Conceptual DRB
Submission

NS Ground Floor
Plan - Proposed

Scale: 1/8" = 1'-0"

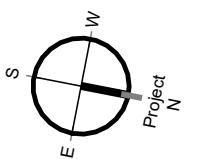
A1.7

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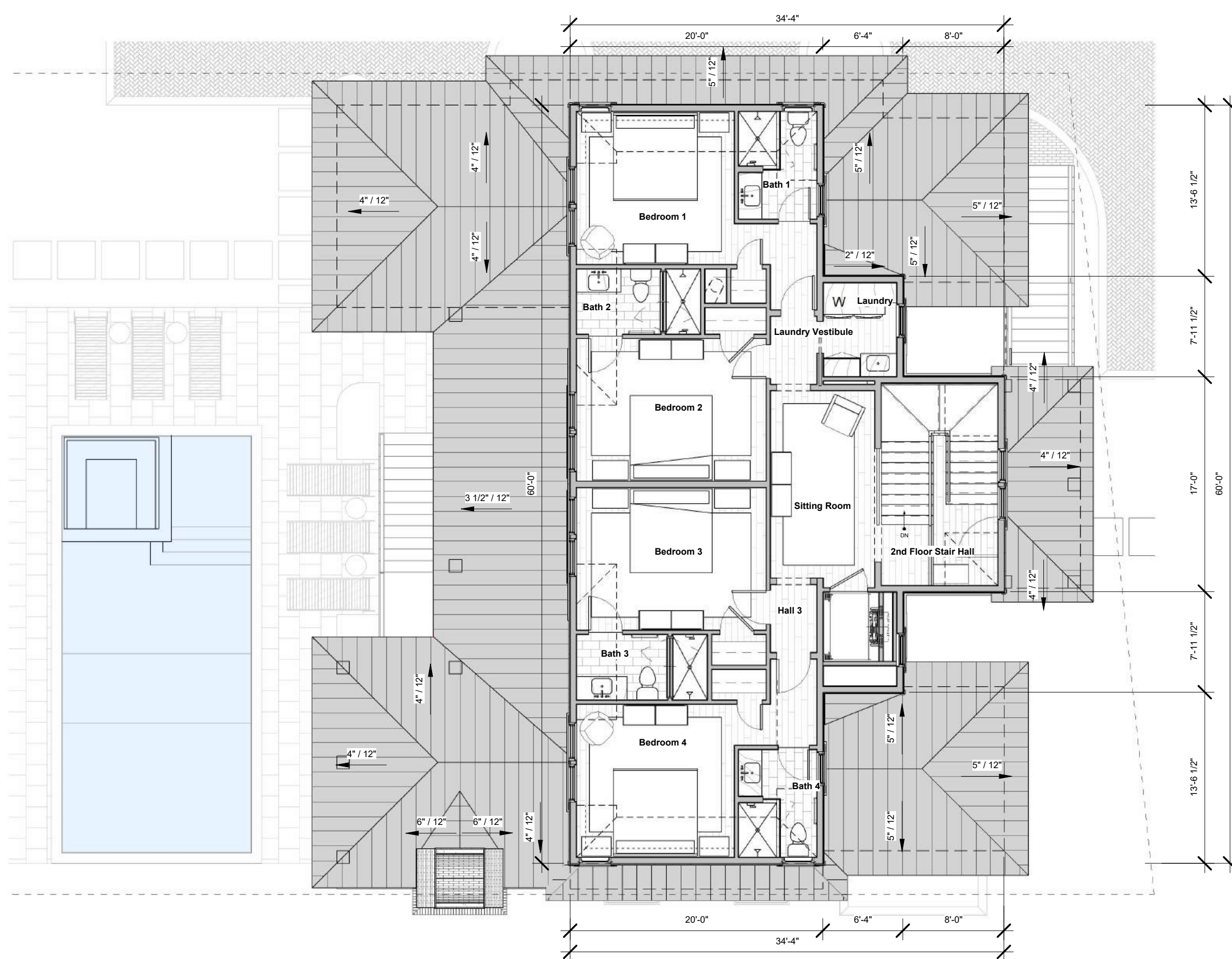
1
A1.8
New Structure First Floor Plan - Proposed
1/8" = 1'-0"



2730 Brooks Street
Sullivan's Island, SC
Conceptual DRB
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NS First Floor Plan -
Proposed
Scale: 1/8" = 1'-0"

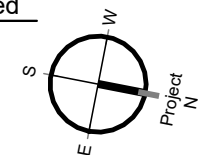
A1.8
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1
A1.9

New Structure - Second Floor Plan - Proposed
1/8" = 1'-0"



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Sullivan's Island, SC

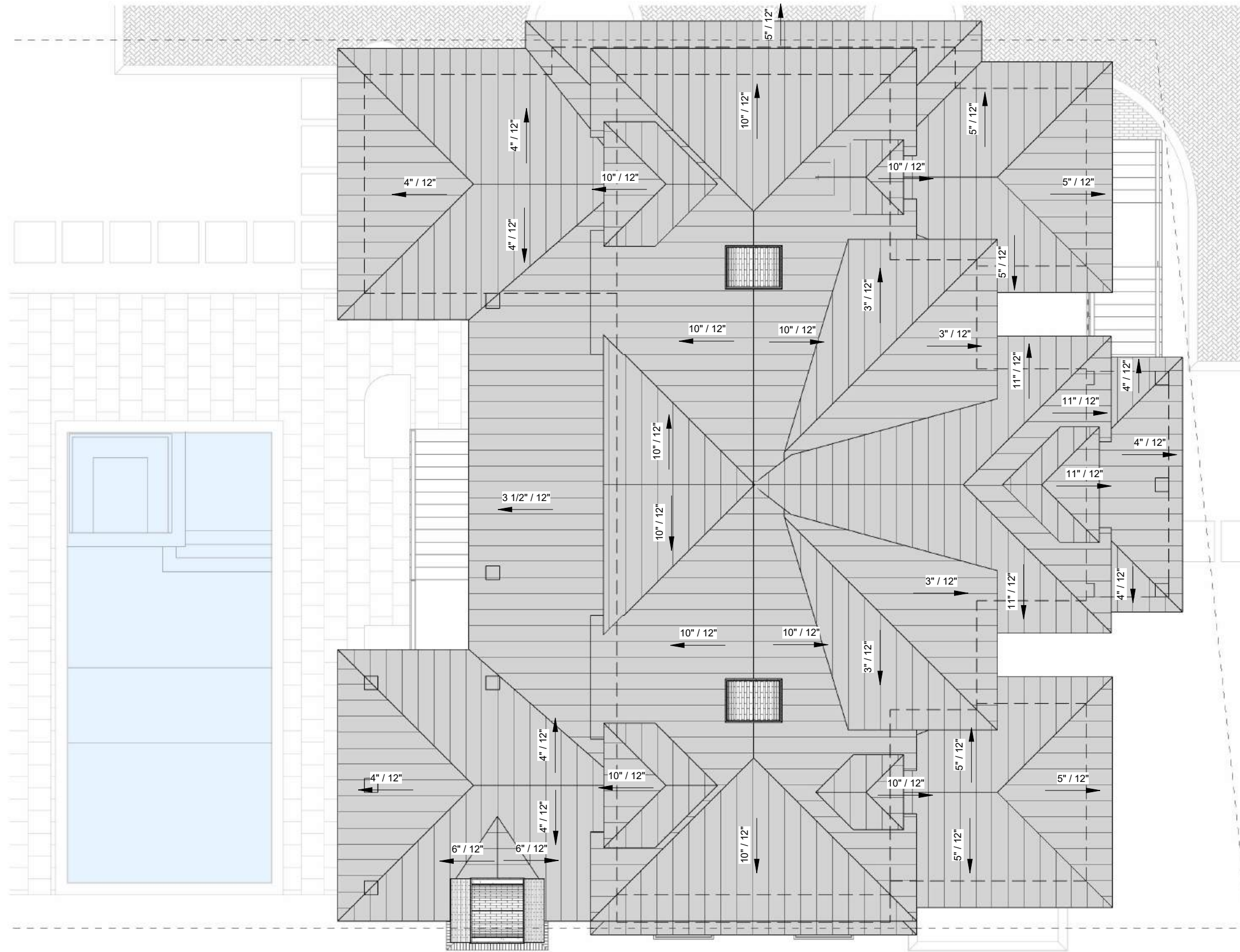
Conceptual DRB
Submission

NS - Second Floor
Plan - Proposed

Scale: 1/8" = 1'-0"

A1.9

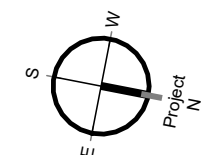
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1
A1.10

Overall Roof Plan - Proposed
1/8" = 1'-0"



2730 Brooks Street
Sullivan's Island, SC

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NS - Enlarged Roof
Plan

Scale: 1/8" = 1'-0"

A1.10

12/18/2025 12:34:45 PM



1 Northeast Perspective - Proposed
A2.0a



2 North Perspective - Proposed
A2.0a



3 East Perspective - Proposed
A2.0a



4 South Perspective - Proposed
A2.0a

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2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
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Perspectives

Scale:

A2.0a

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Brooks Street Streetscape

2724 Brooks Street
Approximate Massing

2730 Brooks Street
Proposed

Station 28 Street

2802 Brooks Street
Under Construction
Approximate Massing



Jasper Boulevard Streetscape

2802 Brooks Street
Under Construction
Approximate Massing

Station 28 Street

2730 Brooks Street
Proposed

2724 Brooks Street
Concealed by Vegetation
Dashed lines show
approximate height and width

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These drawings are approximate depictions of Brooks Street and Jasper Boulevard to show general height, mass, and scale of properties adjacent to 2730 Brooks Street. These drawings are not to scale.

2730 Brooks Street
Sullivan's Island, SC

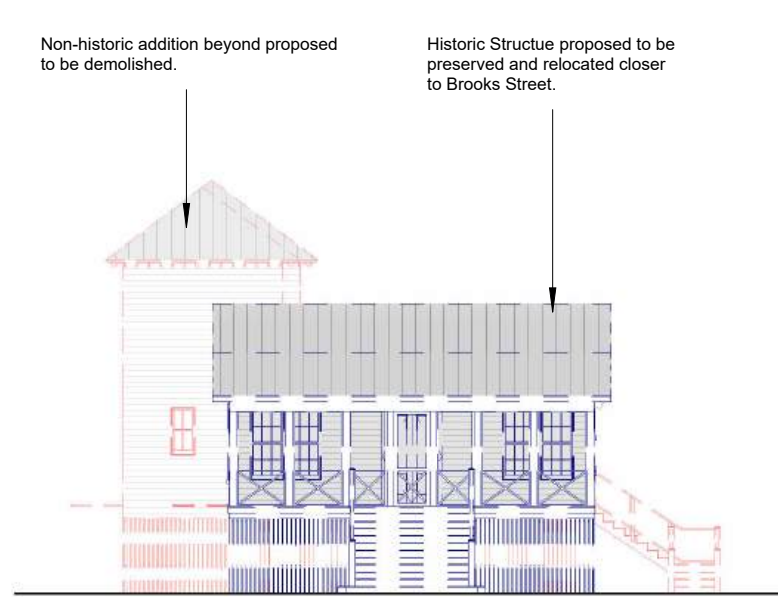
Conceptual DRB
Submission

Streetscape
Renderings

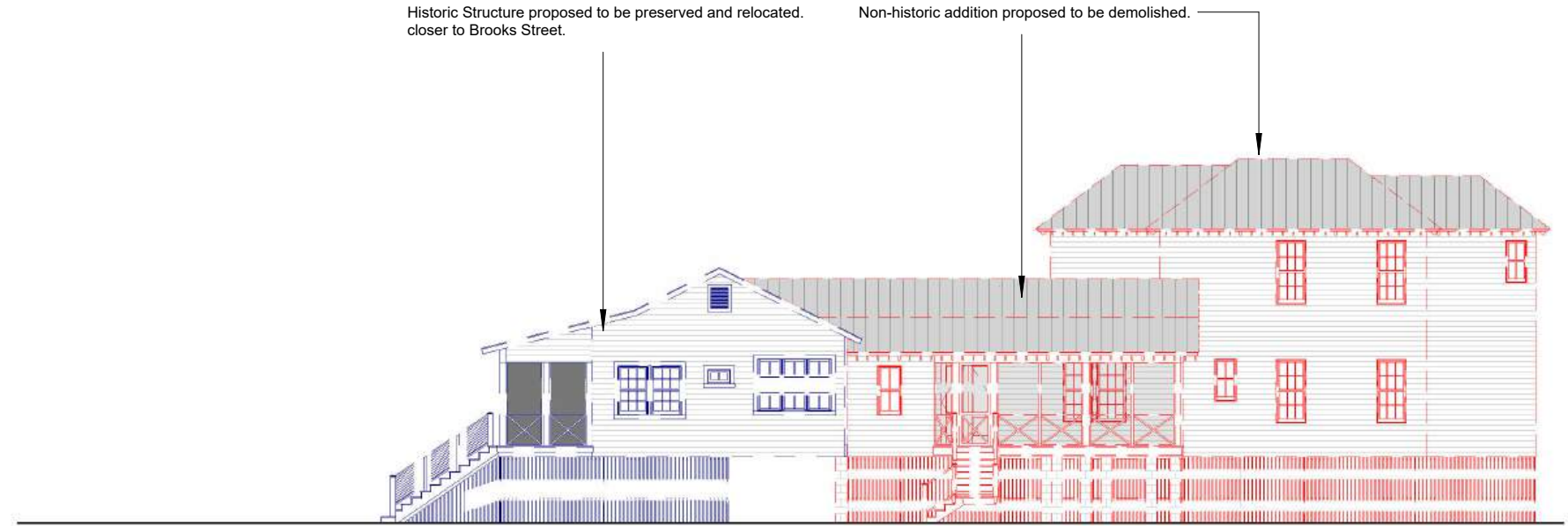
Scale:

A2.0b

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1
A2.1
Front Elevation - South - Demo
1/16" = 1'-0"



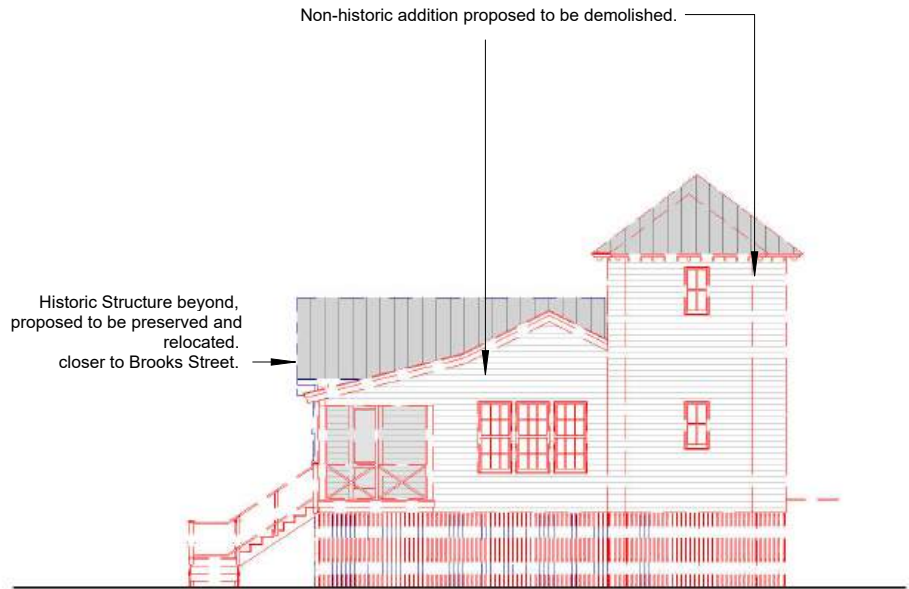
2
A2.1
Right Elevation - East - Demo
1/16" = 1'-0"



3
A2.1
Front Elevation - South - Proposed Brooks Street
1/16" = 1'-0"



4
A2.1
Right Elevation - East - Proposed
1/16" = 1'-0"



1
A2.2
Rear Elevation - North - Demo
1/16" = 1'-0"



2
A2.2
Left Elevation - West - Demo
1/16" = 1'-0"



4
A2.2
Rear Elevation - North - Proposed
1/16" = 1'-0"



3
A2.2
Left Elevation - West - Proposed
1/16" = 1'-0"

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2730 Brooks Street
Sullivan's Island, SC

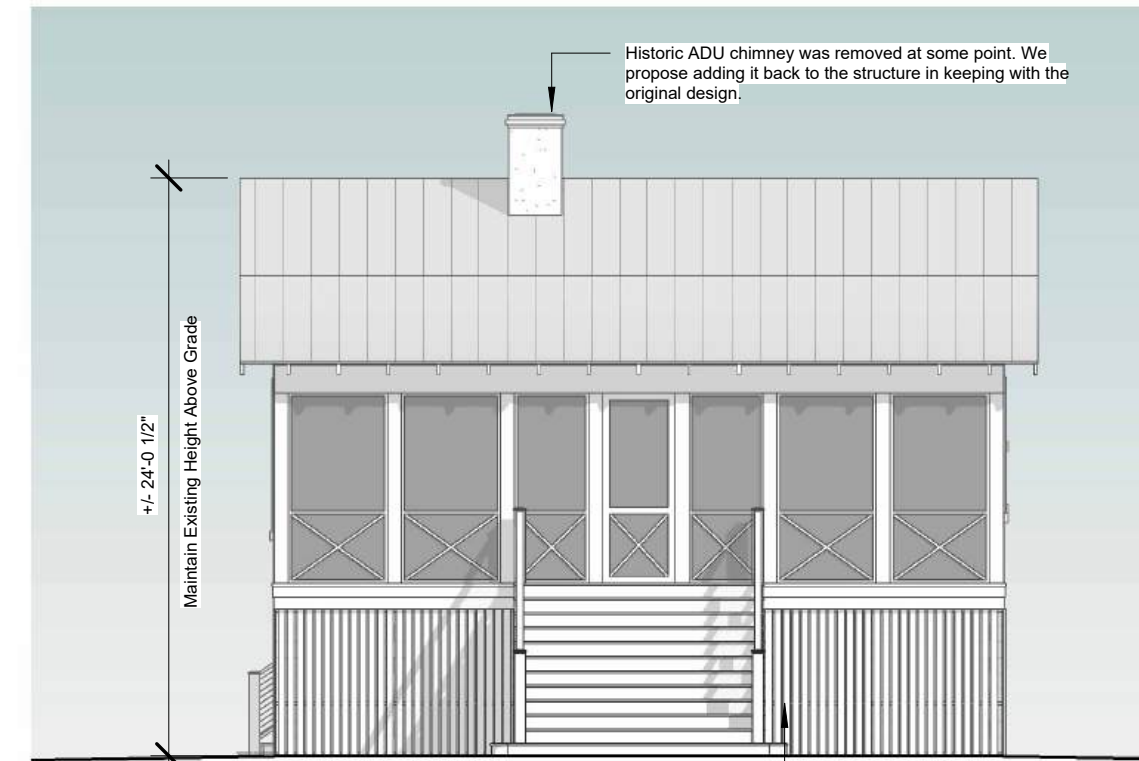
Conceptual DRB
Submission

Overall Elevations

Scale: 1/16" = 1'-0"

A2.2

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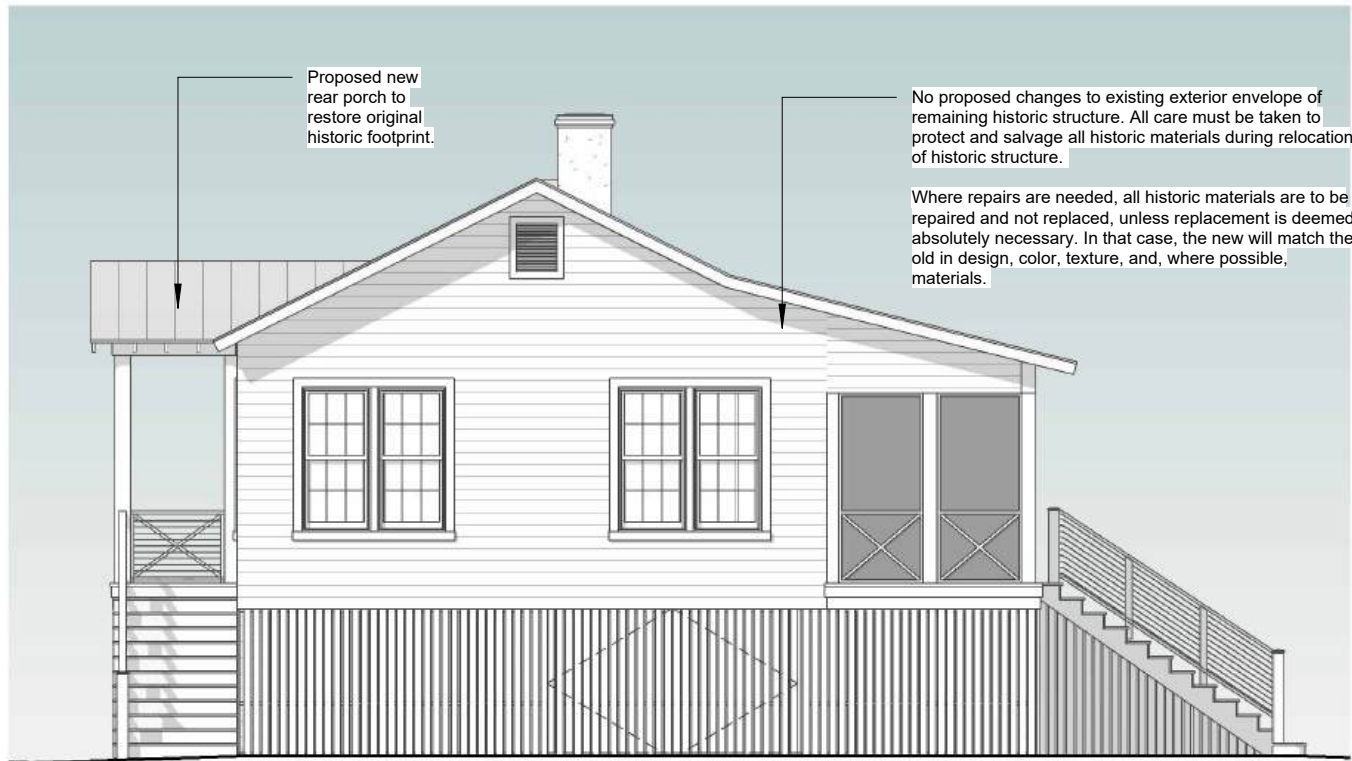


1
A2.3

Front Elevation - South - Proposed Brooks Street

1/8" = 1'-0"

Relocated Existing Historic Structure will sit on new CMU pier foundation. If foundation screening is unable to be salvaged, replace screening in kind to match existing.



2
A2.3

Left Elevation - West - Proposed

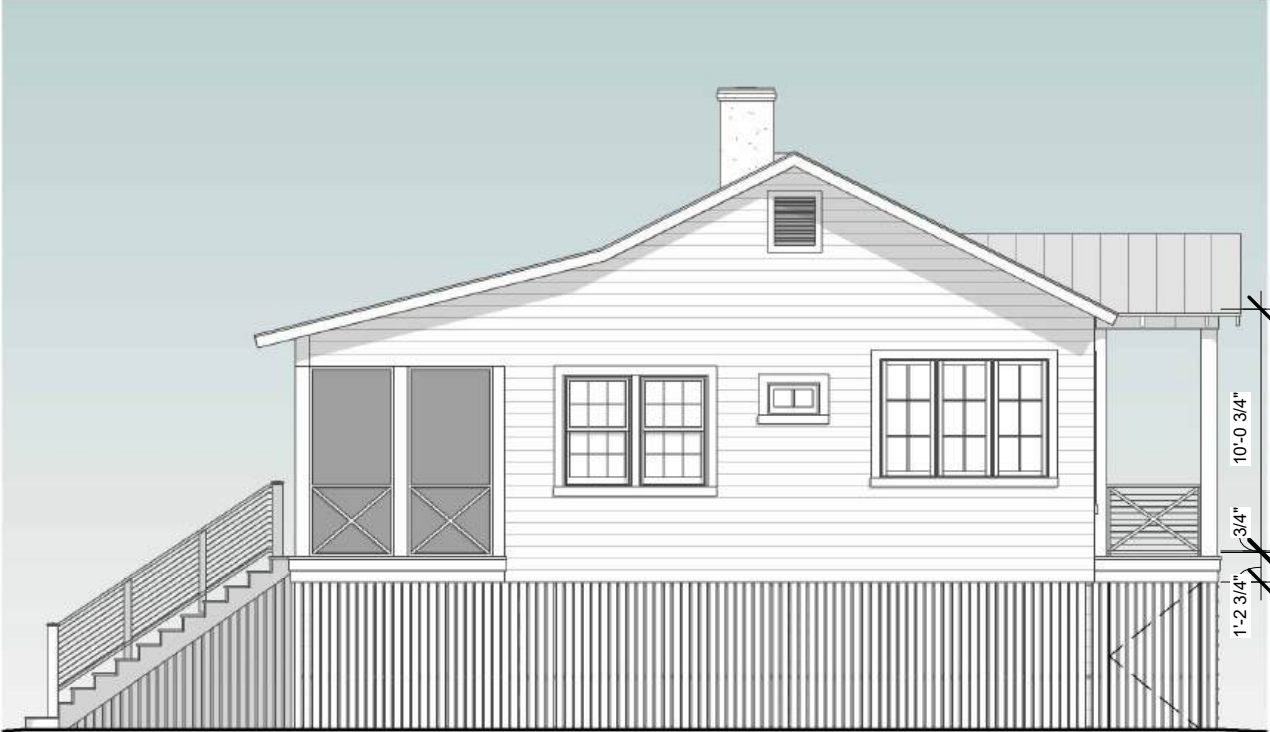
1/8" = 1'-0"



3
A2.3

Rear Elevation - North - Proposed

1/8" = 1'-0"



4
A2.3

Right Elevation - East - Proposed

1/8" = 1'-0"

2730 Brooks Street - Historic Narrative

2730 Brooks Street was constructed in 1902, and historical records reference it as "The Walker House".

It has been modified over the years, but what we know for certain is that the structure received an addition in 2006. In 2016, a portion of one of the addition's porches was enclosed adjacent to the historic structure.

After looking at historic photographs as well as the foundation and attic framing, we believe that the original footprint had a rear gable. A remaining timber post below the house supports this theory, as we believe it once supported one side of the rear center gable.

This project proposes rehabilitation of the historic structure in alignment with the Secretary of the Interiors Standards. The historic envelope of the structure will be preserved, and the original footprint of the structure will be restored by removal of the structure's non-historic additions and reconstruction of what is believed to be its original rear center gable, based on historic research and analysis of the structure. The structure is proposed to be relocated closer to Brooks Street, where it can have greater alignment with the historic structure across Station 28 Street.

The property will maintain its historic residential use, which requires minimal change to its exterior distinctive materials, features, spaces, and spatial relationships. No removal of distinctive materials or alteration of exterior features that characterize the historic property are proposed. No changes are proposed that create a false sense of historical development - the addition of the rear gable is based on site findings and historical research. The existing materials, features, finishes, and construction techniques and craftsmanship that characterize the property are proposed to be protected, preserved, and restored.

When the structure is relocated, all care is to be taken to protect and salvage all historic materials. Where exterior repairs are needed, all historic materials are to be repaired and not replaced, unless replacement is deemed absolutely necessary. In that case, the new will match the old in design, color, texture, and, where possible, materials. Where applicable, the gentlest means of chemical or physical treatment shall be utilized.

First Floor Top Plate - Existing 25'-10 1/4"

First Floor Finish - Existing 15'-9 1/2"

First Floor Subfloor - Existing 15'-8 3/4"

Top of Block - Existing 14'-6"

2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
Submission

Historic Structure
Elevations

Scale: 1/8" = 1'-0"

A2.3

12/18/2025 12:34:58 PM



1
A2.4
Front Elevation - South - Main House
1/8" = 1'-0"

DANIEL BECK
ARCHITECTURE

2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
Submission

New Structure
Front Elevation

Scale: 1/8" = 1'-0"

A2.4

12/18/2025 12:34:59 PM



1
A2.5
Rear Elevation - North - Proposed
1/8" = 1'-0"



1
A2.6
Left Elevation - West - Proposed
1/8" = 1'-0"

2730 Brooks Street
Sullivan's Island, SC

Conceptual DRB
Submission

New Structure Left
Elevation

Scale: 1/8" = 1'-0"

A2.6

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Rear facade designed to follow front facade setback ordinances for neighborhood compatibility:

21-22.B.4.a: For any portion of a Principal Building's height exceeding (20) feet, that portion in excess of 20 feet shall be set back from the Front Yard Setback an additional 1 foot for every 1 foot of increased height above 20 feet as measured at the Front Yard Setback.

Rear setback is not parallel to rear facade. Dashed line represents setback at center of rear facade. This application requests 15% relief from this zoning standard to begin 45 degree line 3' higher.

1
A2.7
Right Elevation - East - Proposed
1/8" = 1'-0"