



BUNKER HILL RESIDENCE - B

LOT B : 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482



B2

SCHEMATIC BROWNELL ELEVATION

NO SCALE

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CODE REFERENCES:

INTERNATIONAL RESIDENTIAL CODE, 2021 EDITION w/SC MODIFICATIONS
INTERNATIONAL EXISTING BUILDING CODE, 2021 EDITION
INTERNATIONAL MECHANICAL CODE, 2021 EDITION w/SC MODIFICATIONS
INTERNATIONAL PLUMBING CODE, 2021 EDITION
INTERNATIONAL FIRE CODE, 2021 EDITION w/SC MODIFICATIONS
INTERNATIONAL FUEL AND GAS CODE, 2021 EDITION w/SC MODIFICATIONS
NATIONAL ELECTRICAL CODE, 2020 EDITION w/SC MODIFICATIONS
ICC/ANSI A17.1-2017 ACCESSIBLE AND USABLE BUILDINGS
INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION

C2

REF'D CODES

NO SCALE

ADDRESS: 3019 ION AVE, LOT 2-B (NOW 3020 BROWNELL AVE)
TMS: 529-12-00-118
REF: J-016
LOT SIZE: 0.57 ACRES = 24,900 SF
FLOOD ZONE: SHADE X & X
LOWEST FINISH FLOOR ELEVATION: BUNKER 12.0' AND 14.0'
ADJACENT GRADE: ION AVE = 9.0', BROWNELL AVE = 6.5'
TOP OF HILL = 36.5'

ARBORIST:

GERALD J BENOIT, ISA
3300 CEDAR CREEK COURT
MOUNT PLEASANT, SC 29466
P: 843.224.1629
E: SEAJUNKIE49@GMAIL.COM

OWNER:

DOROTHY CURD AND ROBERT CURD TRUST
1882 PEACEFUL WAY
MOUNT PLEASANT, SC 29464

STRUCTURAL ENGINEER:

EMPIRE ENGINEERING
GEREMY POWELL, PE
590 LONE TREE DR SUITE 101
MOUNT PLEASANT, SC 29464
P: 843.308.0080
E: GEREMYP@EMPIREENG.COM

ARCHITECT:

LOYAL ARCHITECTS, LLC
ROSS RITCHIE, AIA
1435 KINGLET STREET
MOUNT PLEASANT, SC 29464
P: 843.732.0502
E: ROSS@LOYALARCHITECTS.COM

BUILDER:

TBD

CONCEPTUAL DRB SET: JANUARY 23, 2026

TITLE
SHEET & GENERAL
NOTES

GENERAL NOTES:

CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES AND SHALL NOT ALLOW THE UNNECESSARY ACCUMULATION OF CONSTRUCTION DEBRIS.

THE BUILDING SHALL REMAIN SECURE AND WEATHER TIGHT AT ALL TIMES.

CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS AND APPROVALS NECESSARY TO INITIATE AND COMPLETE SPECIFIED WORK.

ALL DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL REGULATION.

CONTRACTOR SHALL PROTECT ALL EXISTING DOORS, WINDOWS, CASING, WAINSCOTING, MANTELS, STAIR TREADS/RAILS/BALUSTERS, AND FLOOR, WALL, AND CEILING SURFACES SPECIFIED TO REMAIN, TYPICAL.

CONTRACTOR SHALL REFERENCE PROPOSED PLANS WHILE PERFORMING DEMOLITION WORK TO CONFIRM DEMOLITION BOUNDARIES. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.

CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY PROBLEMS/DISCREPANCIES DUE TO UNFORESEEN CONDITIONS REVEALED DURING DEMOLITION AND CONSTRUCTION.

CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY SHOULD DEMOLITION WORK REVEAL ANY ADDITIONAL 'HAZMAT' MATERIALS OR SUBSTANCES THAT HAVE NOT BEEN PREVIOUSLY REMOVED. ARCHITECT WAIVES ALL RESPONSIBILITY AND LIABILITY FOR ANY WORK REQUIRED, PROPOSED AND/OR COMPLETED WITH HAZARDOUS MATERIALS OR SUBSTANCES.

COLUMNS, EXTERIOR WALLS, AND ALL OTHER LOAD-BEARING COMPONENTS TO REMAIN UNDISTURBED UNLESS NOTED OTHERWISE OR APPROVED BY LICENSED STRUCTURAL ENGINEER.

THE DESIGN ADEQUACY AND SAFETY OF ALL TEMPORARY SUPPORTS, BRACING, AND SHORING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

EXTERIOR WINDOWS AND DOORS SELECTED BY OWNER FOR REMOVAL OR REPLACEMENT SHALL NOT BE REMOVED UNTIL THE OPENINGS MAY BE SEALED TEMPORARILY OR FINISHED AS SPECIFIED ON CONSTRUCTION DOCUMENTS.

REMOVAL OF ANY FINISHES WITHIN THE ORIGINAL STRUCTURE SHALL BE PERFORMED ONLY AFTER OWNER APPROVAL. CONTRACTOR SHALL EXECUTE FINISH REMOVAL WITH GREATEST CAUTION TO PREVENT DAMAGE TO ADJACENT COMPONENTS.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK, INCLUDING INSTALLATION OF FIXTURES AND/OR ARCHITECTURAL COMPONENTS. ALL FIXTURE AND ARCHITECTURE COMPONENT SIZES SHOULD BE VERIFIED WITH ARCHITECT PRIOR TO PURCHASE.

CONTRACTOR SHALL VERIFY WITH ARCHITECT AND ENGINEER ALL STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING CONDITIONS REQUIRING ENGINEER'S/CONSULTANT'S APPROVAL. CONTRACTOR SHALL COORDINATE AND VERIFY ALL HVAC, PULMING, AND ELECTRICAL EQUIPMENT FIXTURE SPECIFICATIONS AND LOCATIONS WITH ARCHITECT AND ENGINEER PRIOR TO COMMENCEMENT OF WORK.

CONTRACTOR SHALL SECURE VERIFICATION AND APPROVAL IN WRITING FROM THE OWNER FOR ANY REQUESTED CHANGE ORDERS PRIOR TO COMMENCING WORK ASSOCIATED WITH A CHANGE ORDER.

THE OWNER, ENGINEER, AND ARCHITECT WAIVE ALL RESPONSIBILITY AND LIABILITY FOR CONTRACTOR'S FAILURE TO FOLLOW THE ASSOCIATED PLANS, SPECIFICATION NOTES, AND DESIGN THEY CONVEY, OR FOR PROBLEMS WITH ARISE FROM OTHERS' FAILURE TO OBTAIN / FOLLOW THE OWNER'S / ENGINEER'S / ARCHITECT'S GUIDANCE WITH RESPECT TO ANY INCONSISTENCIES, ERRORS, OMISSIONS, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

A1

GENERAL NOTES

NO SCALE

B1

SHEET INDEX

NO SCALE

C1

SITE INFO

NO SCALE

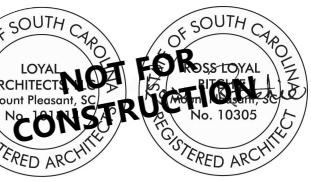
D1

PROJECT TEAM

NO SCALE

To01

REV. 1



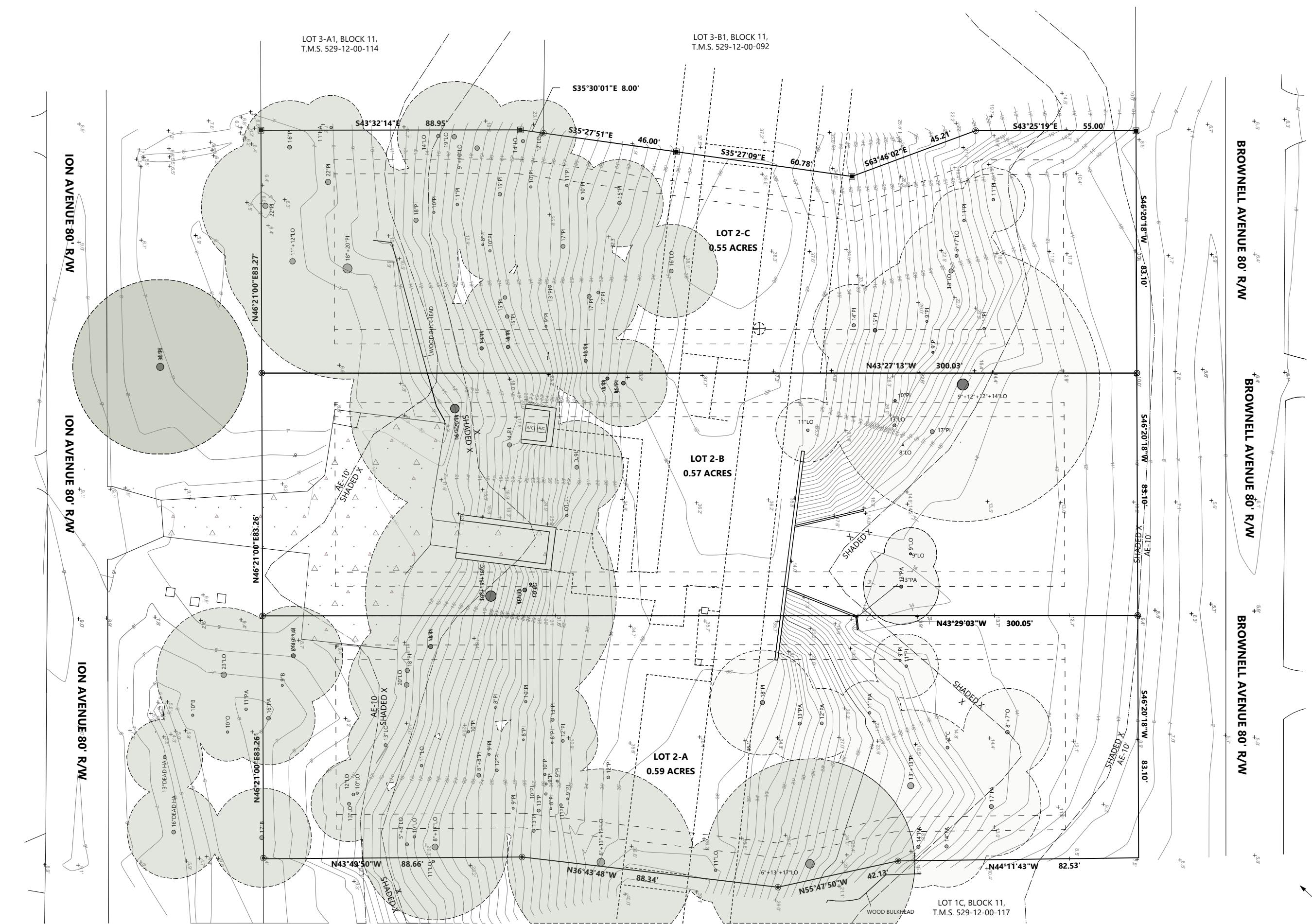
BUNKER HILL RESIDENCE - B

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

EXISTING 3019 ON SITE PLAN

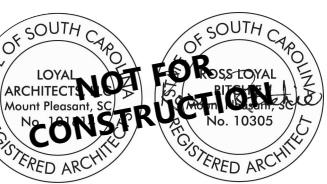
REV.



A1

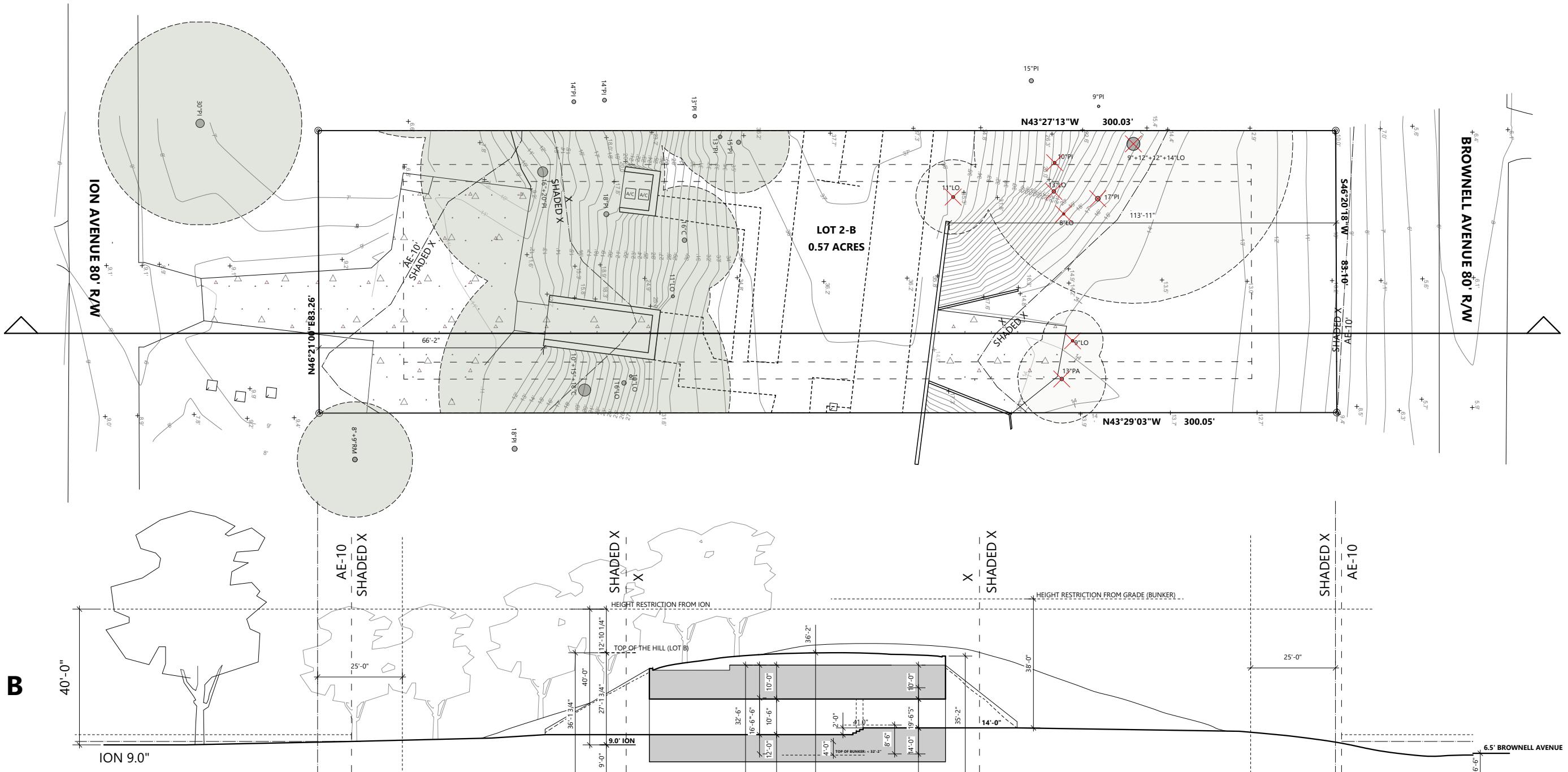
3019 ION AVENUE EXISTING SITE PLAN

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BUNKER HILL RESIDENCE - B

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SULLIVANS ISLAND, SC 29482



PRINCIPAL BUILDING COVERAGE AREA:
 (1) Principal Building Coverage Area: The Lot Area covered by the Principal Building measured vertically downward from the Principal Building's exterior walls to the ground (also known as the building footprint area), but excludes areas covered only by:
 (a) accessory structures not readily useable as living space;
 (b) exterior porches and decks; and,
 (c) exterior stairs.

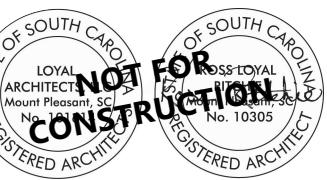
IMPERVIOUS COVERAGE AREA:
 (1) Imperious Coverage Area: That portion of the Lot Area covered by an imperious surface.
 (2) Imperious Surface: Any material or structure through which water cannot be absorbed or passed, including but not limited to roofed structures, compacted soil or stone, pavement consisting of asphalt, concrete, oil and stone, tar, or asphalt. Imperious surfaces also include building foundations, porches, decks, patios, sidewalks, play courts (tennis, basketball, etc.), pools, and other improvements that impede the absorption of water. Grassed or mulched areas are not considered imperious materials.
 (3) Permeable Surface: Any material through which water can be easily absorbed or passed, at a minimum infiltration rate of 2.0 inches per hour, such as, but not limited to, grass and uncompacted gravel, shell and crushed stone.

PRINCIPAL BUILDING SQUARE FOOTAGE:
 (2) Principal Building Square Footage: The entire square footage of the Principal Building or Buildings measured from the outside of the exterior walls, specifically including more than one dwelling on the same lot and buildings structures used as accessory dwelling units, but not including:
 (a) interior space not readily useable as living space (attic used only for storage or parking area beneath dwelling);
 (b) structures that are not used as living space;
 (c) exterior porches and decks; and,
 (d) exterior stairs.

DRB MAX RELIEF	ZONING STANDARDS COMPLIANCE CHART	3019 LOT-2B (3020 BROWNELL) LOT SIZE: 24,900 SF	
PBCA DRB RELIEF: 20% (20% = 747 SF)	PRINCIPAL BUILDING COVERAGE AREA ZONING STANDARD: 15% (> 15,000sf) 24,900(15%) = 3,735 SF EXISTING: 0 PROPOSED: 2,797 SF PBCA DRB RELIEF: NO REQUEST	FRONT (BROWNELL) SETBACK: NO REQUEST	SECOND FLOOR: REQUESTING RELIEF
	ZONING STANDARD: 25' 113'-11" TO BUNKER WALL EXISTING: 61'-6" PROPOSED: NO REQUEST	ZONING STANDARD: 25' 113'-11" TO BUNKER WALL EXISTING: 61'-6" PROPOSED: NO REQUEST	GROUND/1ST NOT TO EXCEED 38' WITHOUT ARTICULATION CONFORMS SECOND FLOOR NOT TO EXCEED 32' WITHOUT ARTICULATION CONFORMS SIDE FACADE <16' WITHIN 15' OF SIDE PROPERTY LINE REQUEST RELIEF OF 23% 2ND FLOOR ELEMENTS SUBJECT TO 5' ADDITIONAL SETBACK CONFORMS 2ND FLOOR MINIMUM AVERAGE OF 20' & 30' 2ND FLOOR AVERAGES 19.5' (2.5%) & 36.5'
PBSF DRB RELIEF: 15% (15% = 658.5 SF)	IMPERVIOUS COVERAGE AREA ZONING STANDARD: 30% (> 15,000sf) 24,900(30%) = 7,470 SF EXISTING: 3,746 SF PROPOSED: 5,471 SF	SIDE SETBACK: NO REQUEST	ZONING STANDARD: 10' INDIVIDUAL 33' COMBINED 105'-8" = 22' * 1/3" = 7' 3" = 7' NE: 0' SW: 0' COMBINED: 0' NE: 25.9' AVERAGE SW: 25.3' AVERAGE COMBINED: 51.2'
	PRINC. BLDG. SQFT ZONING STANDARD: 4,390 SF [(24,900 - 5,000) / 100SF] (10) + 2,400 EXISTING: 0 PROPOSED: 4,374 SF PBSF DRB RELIEF: NO REQUEST	REAR (ION) SETBACK: NO REQUEST	ZONING STANDARD: 25' 66'-2" BUNKER ENTRANCE TO REMAIN 132'-6" FOR HOUSE EXISTING: 66'-2" PROPOSED: NO REQUEST

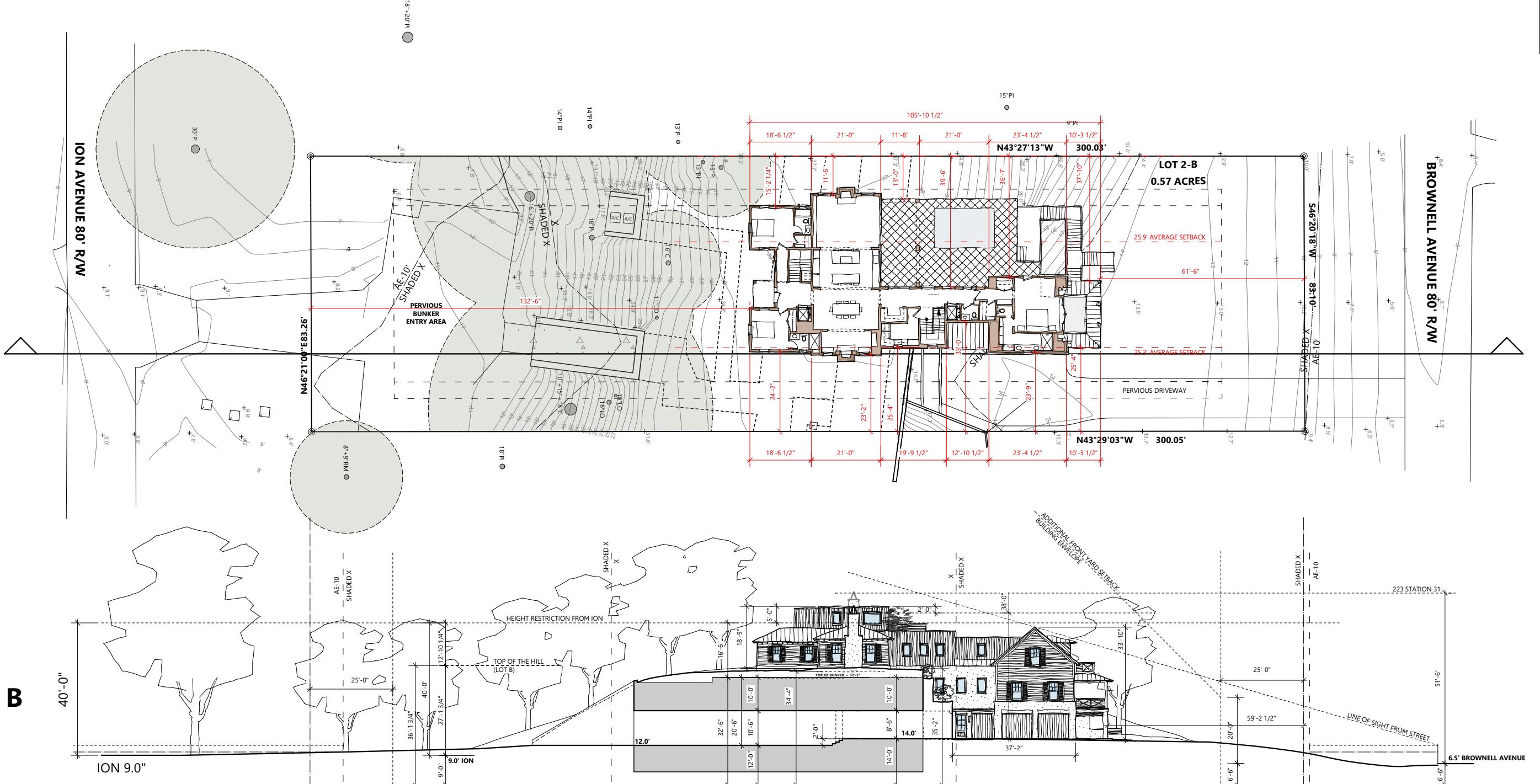
CONCEPTUAL DRB SET: JANUARY 23, 2026

EXISTING
SITE PLAN



BUNKER HILL RESIDENCE - B

LOT B : 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482



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TOTAL: 4,482 SF	ZONING STANDARD: 25' 113'-11" TO BUNKER WALL EXISTING: 61'-6" PROPOSED: NO REQUEST	ZONING STANDARD: GROUND/1ST NOT TO EXCEED 38' WITHOUT ARTICULATION CONFORMS	SECOND FLOOR NOT TO EXCEED 32' WITHOUT ARTICULATION CONFORMS
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TOTAL: 5,048.5 SF	ZONING STANDARD: 10' INDIVIDUAL 33' COMBINED 105'-8" = 22' * 1/3" = 7.3 = 7' NE: 0' SW: 0' COMBINED: 0' NE: 25.3' AVERAGE SW: 25.3' AVERAGE COMBINED: 51.2'	ZONING STANDARD: 2ND FLOOR ELEMENTS SUBJECT TO 5' ADDITIONAL SETBACK CONFORMS	2ND FLOOR MINIMUM AVERAGE OF 20' & 30' 2ND FLOOR AVERAGES 19.5' (2.5%) & 36.5'
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CONCEPTUAL DRB SET: JANUARY 23, 2026

PROPOSED
SITE PLAN



BUNKER HILL RESIDENCE - B

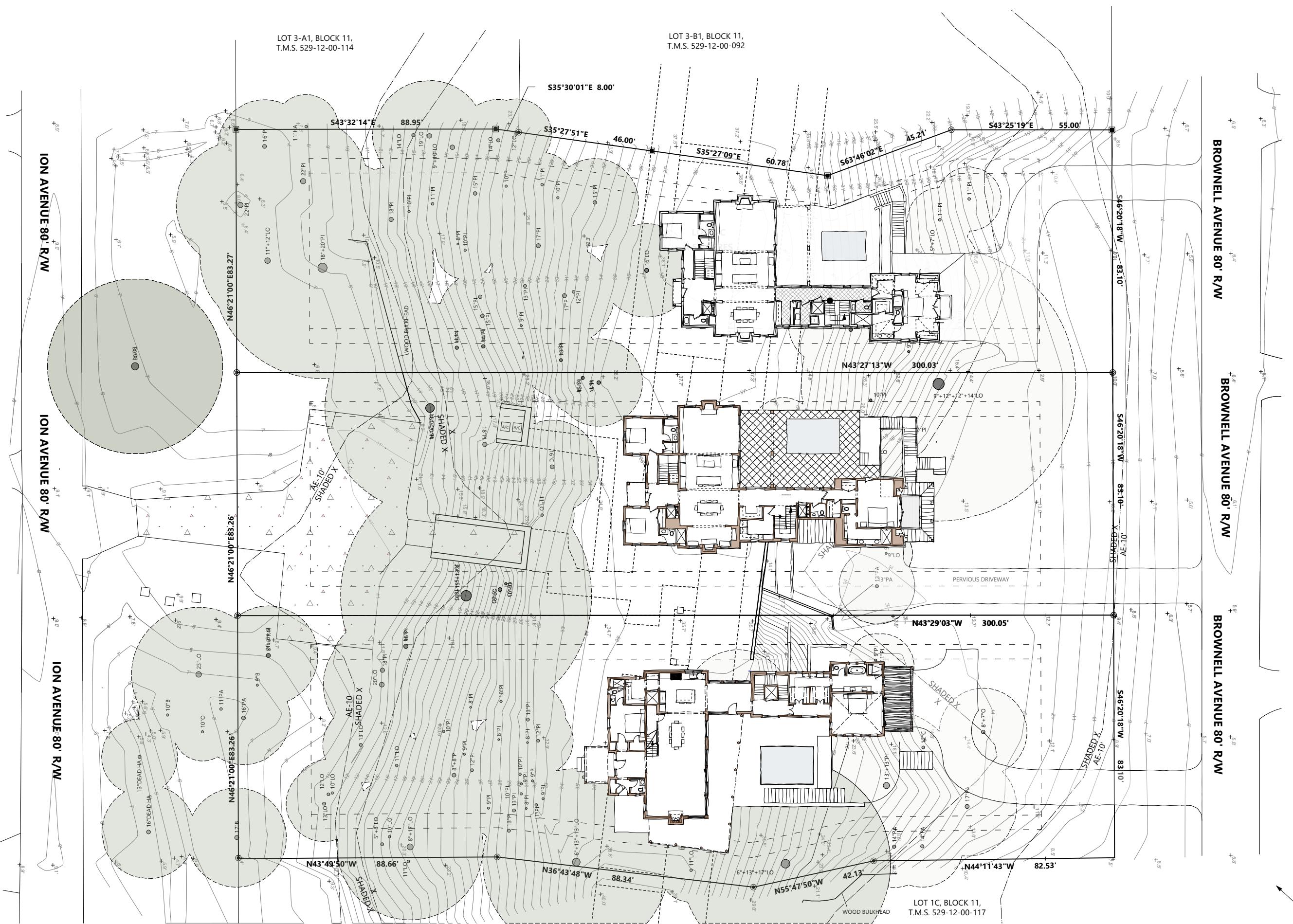
LOT B : 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

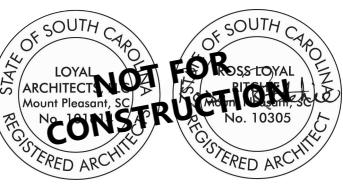
CONCEPTUAL DRB SET: JANUARY 23, 2026

PROPOSED 3019
ION SITE PLAN

A003C

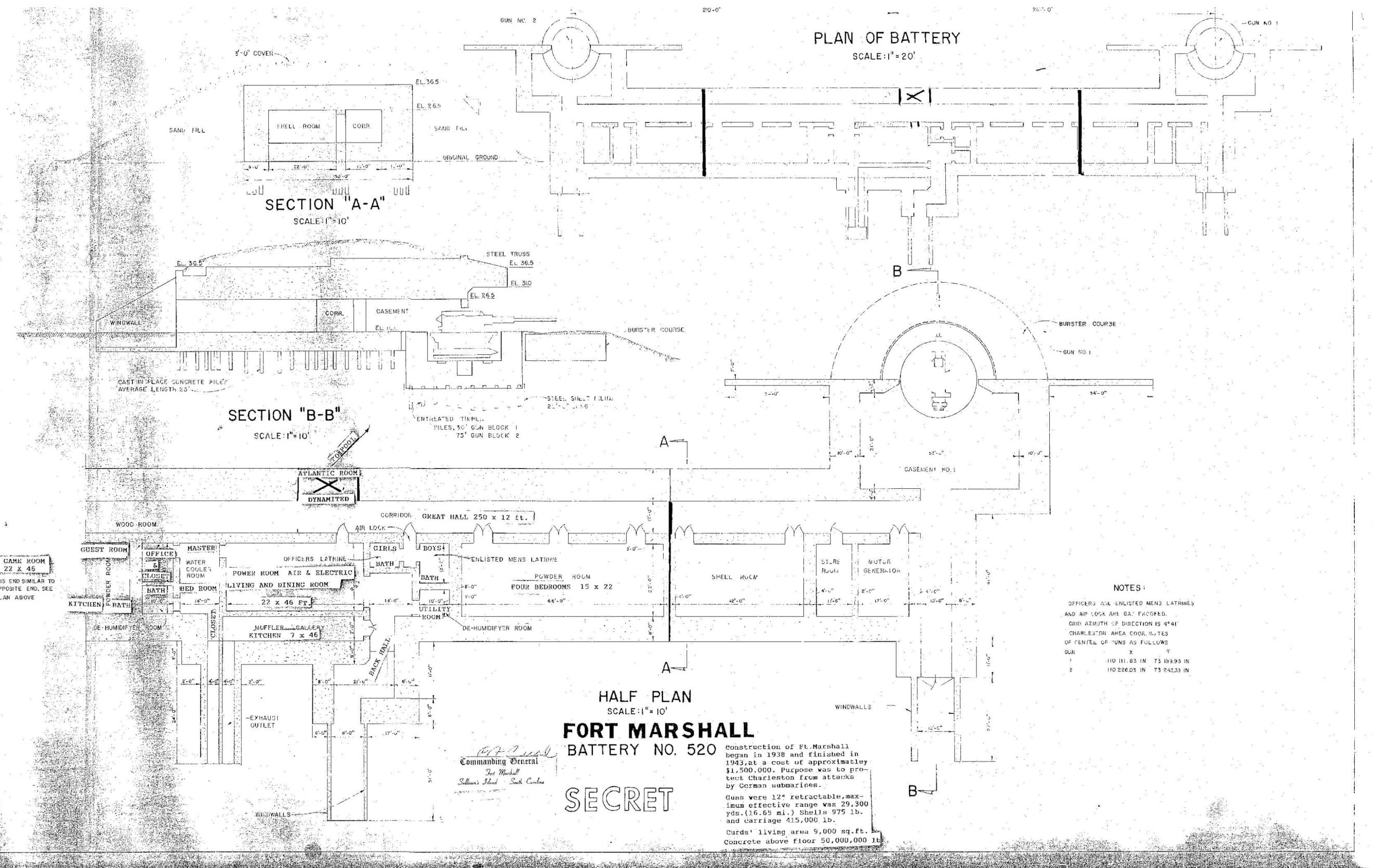
REV. 1





BUNKER HILL RESIDENCE - C

LOT C : 3024 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

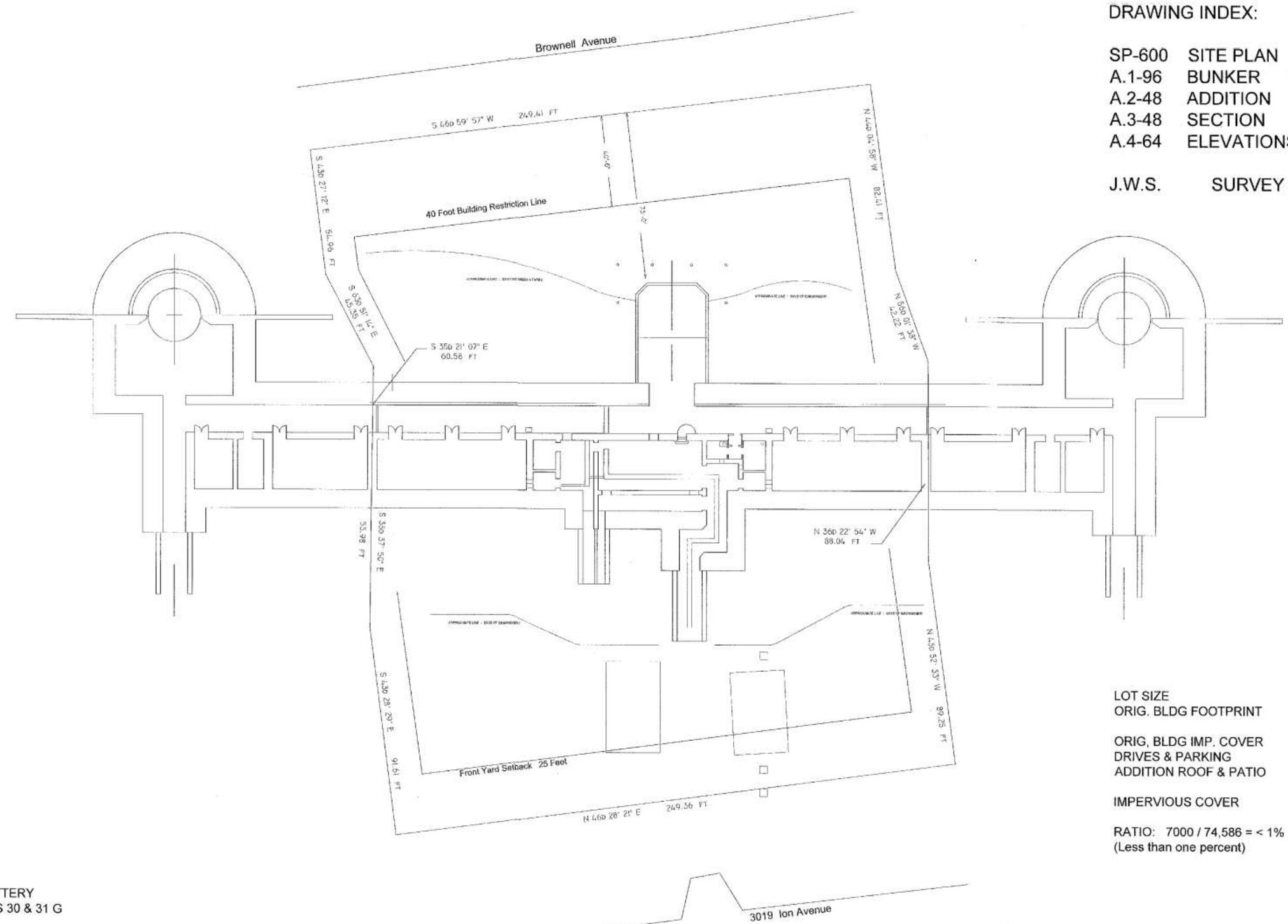




DRAWING INDEX:

SP-600 SITE PLAN 1" = 50 FEET
 A.1-96 BUNKER 1" = 20 FEET
 A.2-48 ADDITION 1/8" = 1 FOOT
 A.3-48 SECTION 1/8" = 1 FOOT
 A.4-64 ELEVATIONS 1/8" = 1 FOOT

J.W.S. SURVEY @ 1'= 60 FEET



DRAWING SHOWS FULL EXTENT OF BATTERY
BETWEEN ION & BROWNELL, STATIONS 30 & 31 G

SITE INFORMATION FROM JOHN WADE, SURVEYOR
REFER: HIS DRAWING, ATTACHED

BUILDING INFORMATION FROM HISTORIC DOCUMENT
AND ON SITE MEASUREMENT BY MICHAEL CURD

CONCEPTUAL DRB SET: JANUARY 23, 2026

HISTORIC
DOCUMENTS



BUNKER HILL RESIDENCE - C

LOT C : 3024 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482



NON-HISTORIC BUNKER ENTRANCE ON BROWNELL AVENUE



HISTORIC BUNKER ENTRANCE ON ION AVENUE



NEIGHBORING HISTORIC BUNKER AT 3030 BROWNELL



HISTORIC BUNKER HVAC OPENING ON ION AVENUE

CONCEPTUAL DRB SET: JANUARY 23, 2026

**SITE
PHOTOGRAPHS**

A1
SCALE: N/A

SITE PHOTOGRAPHS

Aoo6

REV. 1



BUNKER HILL RESIDENCE - C

LOT C : 3024 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482



CONCEPTUAL DRB SET: JANUARY 23, 2026

ION
STREETSCAPE

A1
SCALE: 1/4"=1'-0"

ION AVENUE STREETSCAPE

Aoo7

REV. 1



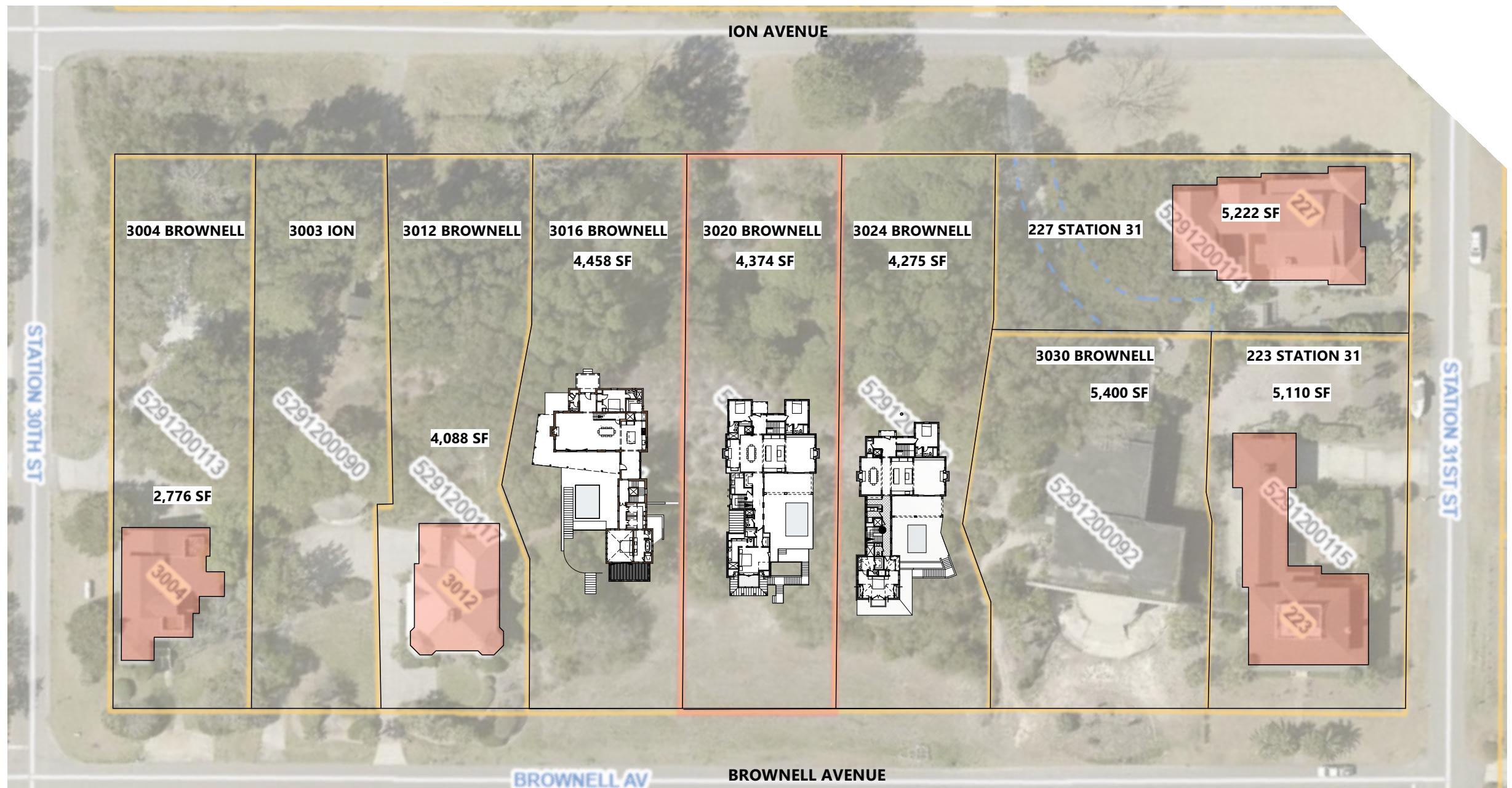
BUNKER HILL RESIDENCE - C

LOT C : 3024 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482



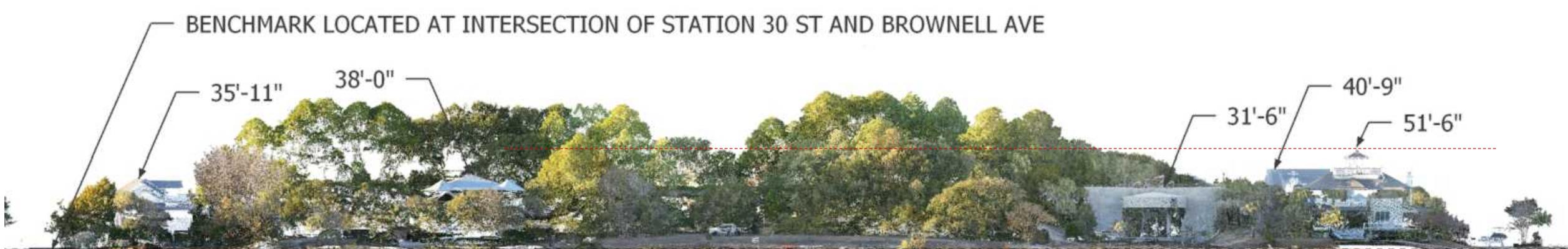
CONCEPTUAL DRB SET: JANUARY 23, 2026

**BROWNELL
STREETSCAPE**



BUNKER HILL RESIDENCE - B

LOT B : 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482



CONCEPTUAL DRB SET: JANUARY 23, 2026

BLOCK
DIAGRAM

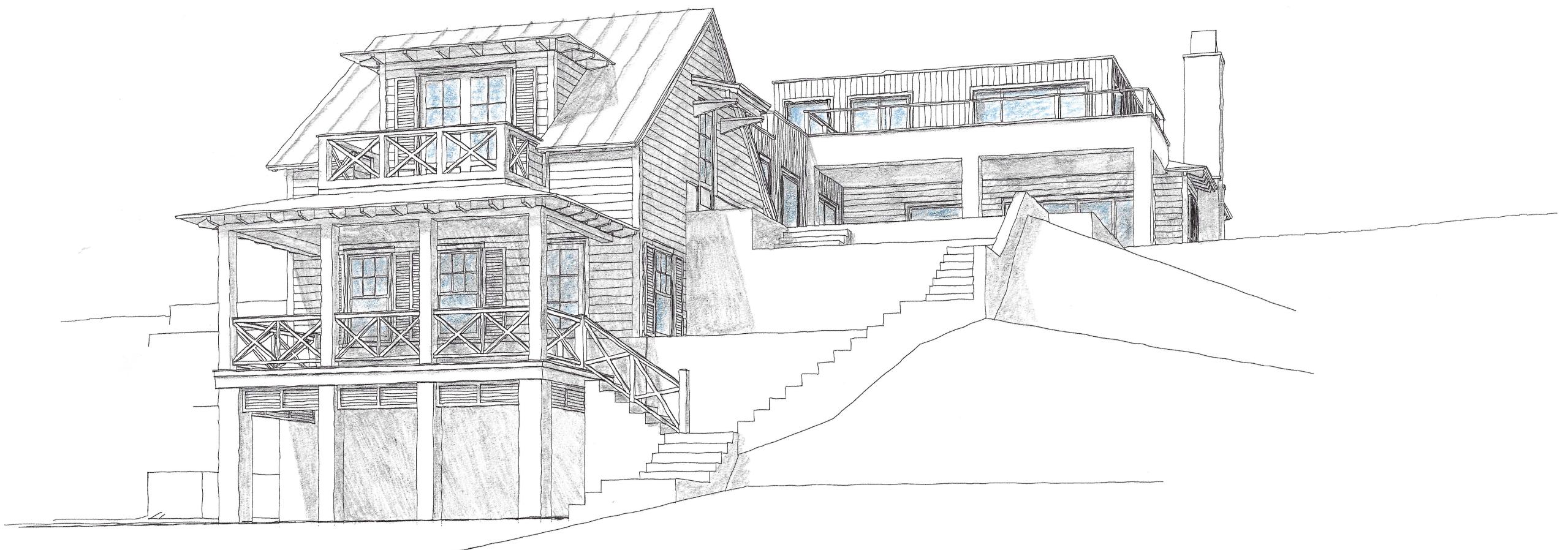
A1

BLOCK DIAGRAM



BUNKER HILL RESIDENCE - B

LOT B : 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482



CONCEPTUAL DRB SET: JANUARY 23, 2026

CONCEPTUAL
RENDERS

A1

CONCEPTUAL RENDERS

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NO SCALE

Ao10

REV. 1



BUNKER HILL RESIDENCE - B

LOT B : 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482



CONCEPTUAL DRB SET: JANUARY 23, 2026

CONCEPTUAL
RENDERS

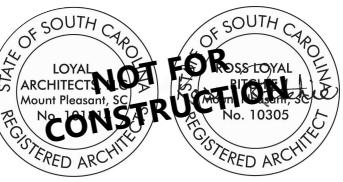
A1

CONCEPTUAL RENDERS

NO SCALE

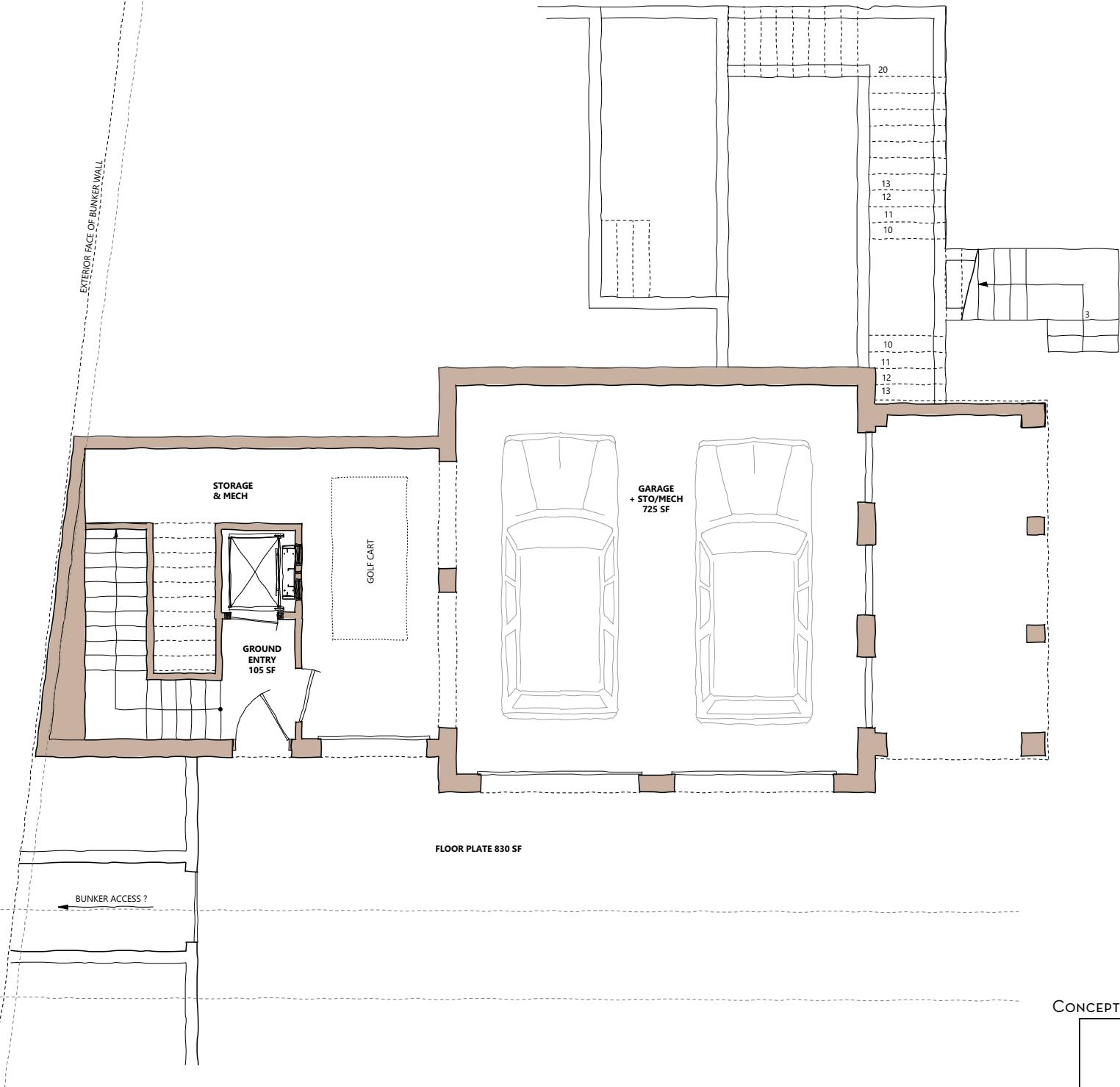
Ao10

REV. 1



BUNKER HILL RESIDENCE - B

LOT B : 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482



A1

SCHEMATIC GARAGE/BUNKER LEVEL

SCALE: 1/4" = 1'-0"

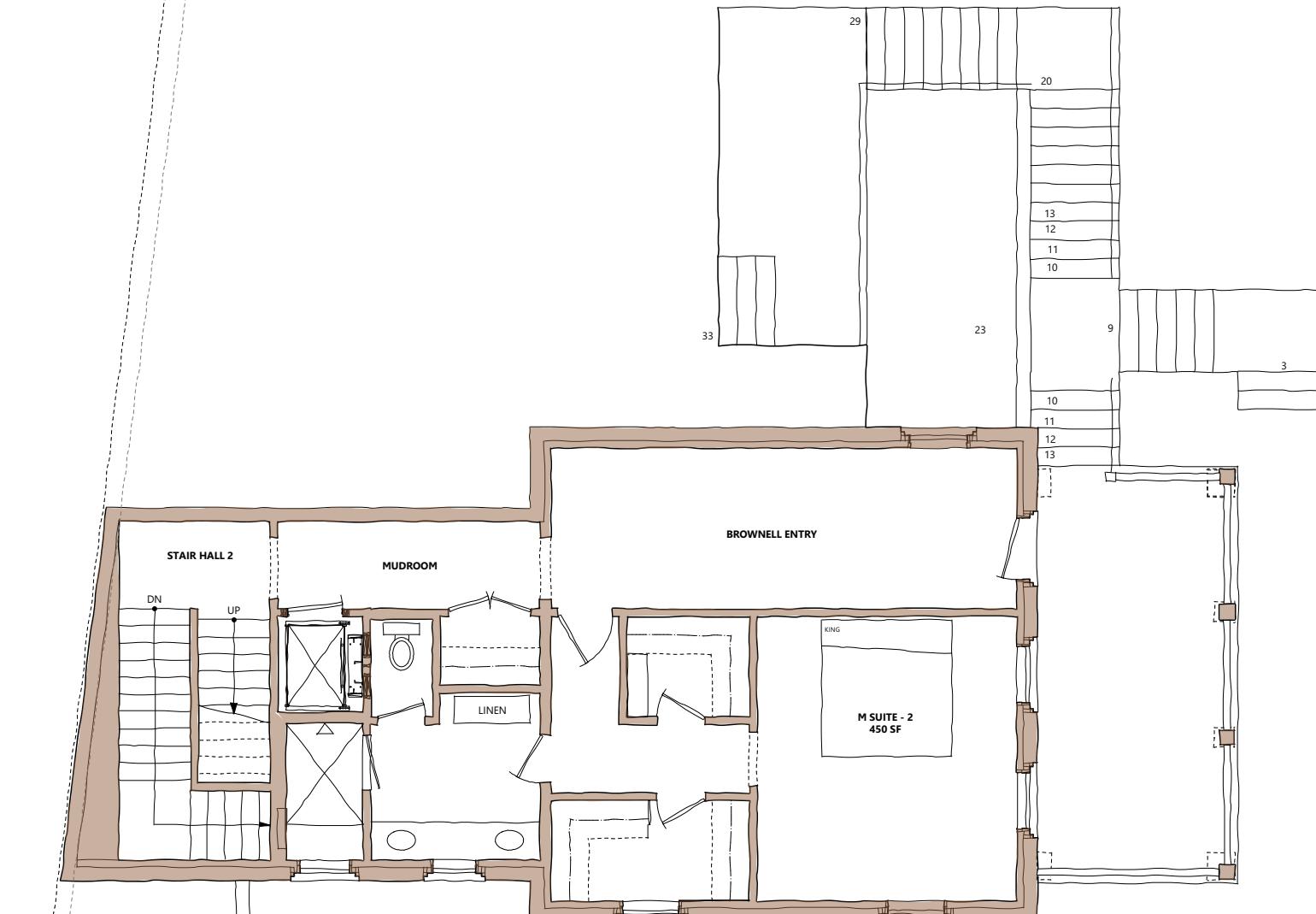
A100

REV. 1



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CONCEPTUAL DRB SET: JANUARY 23, 2026

ENTRY LEVEL
FLOOR PLAN

A1

SCHEMATIC ENTRY LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

A101

REV. 1

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BUNKER HILL RESIDENCE - B

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CONCEPTUAL DRB SET: JANUARY 23, 2026

MAIN LEVEL FLOOR PLAN

A1o2

A1

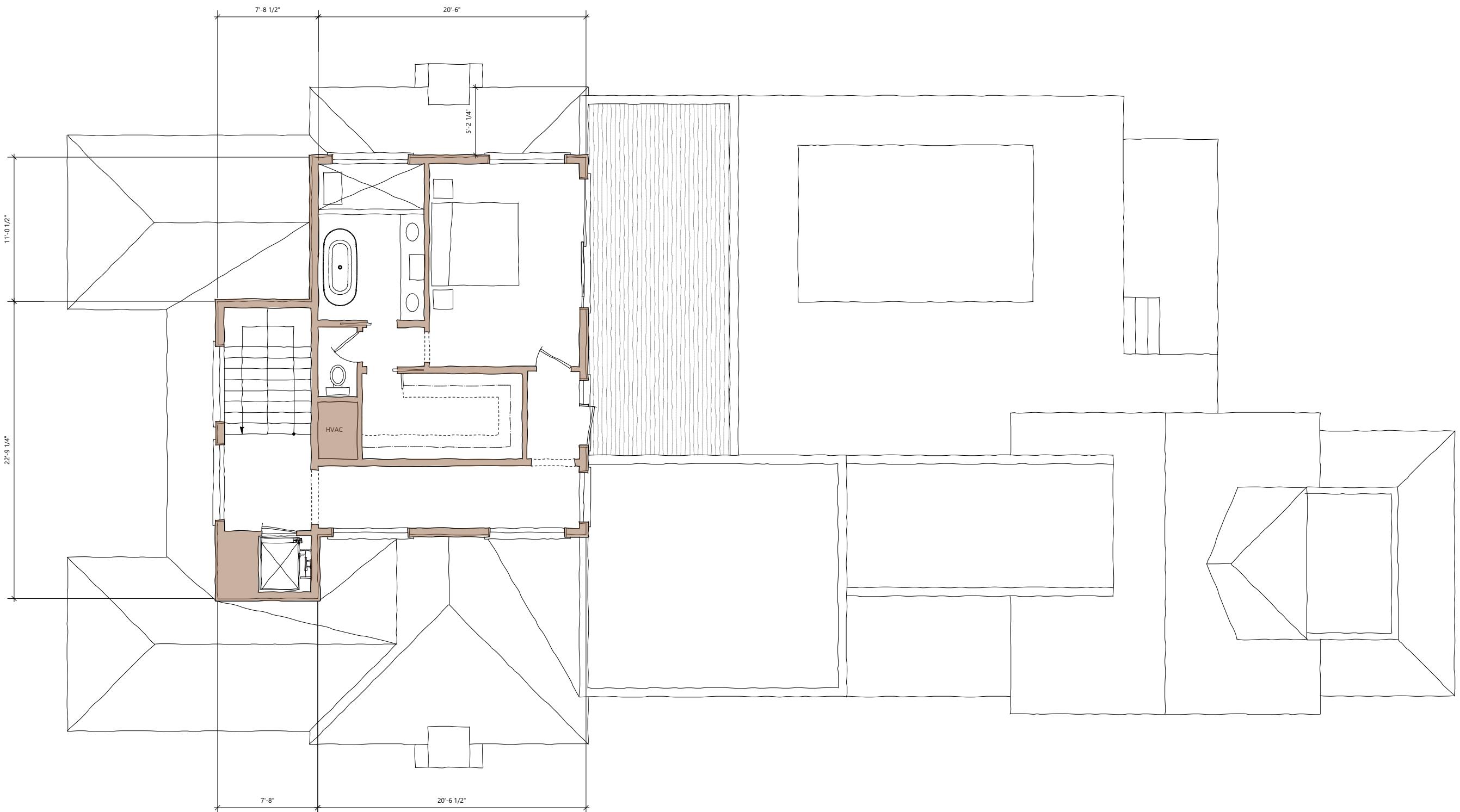
SCHEMATIC MAIN LEVEL FLOOR PLAN

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CONCEPTUAL DRB SET: JANUARY 23, 2026

SECOND
FLOOR PLAN

A1

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

A103

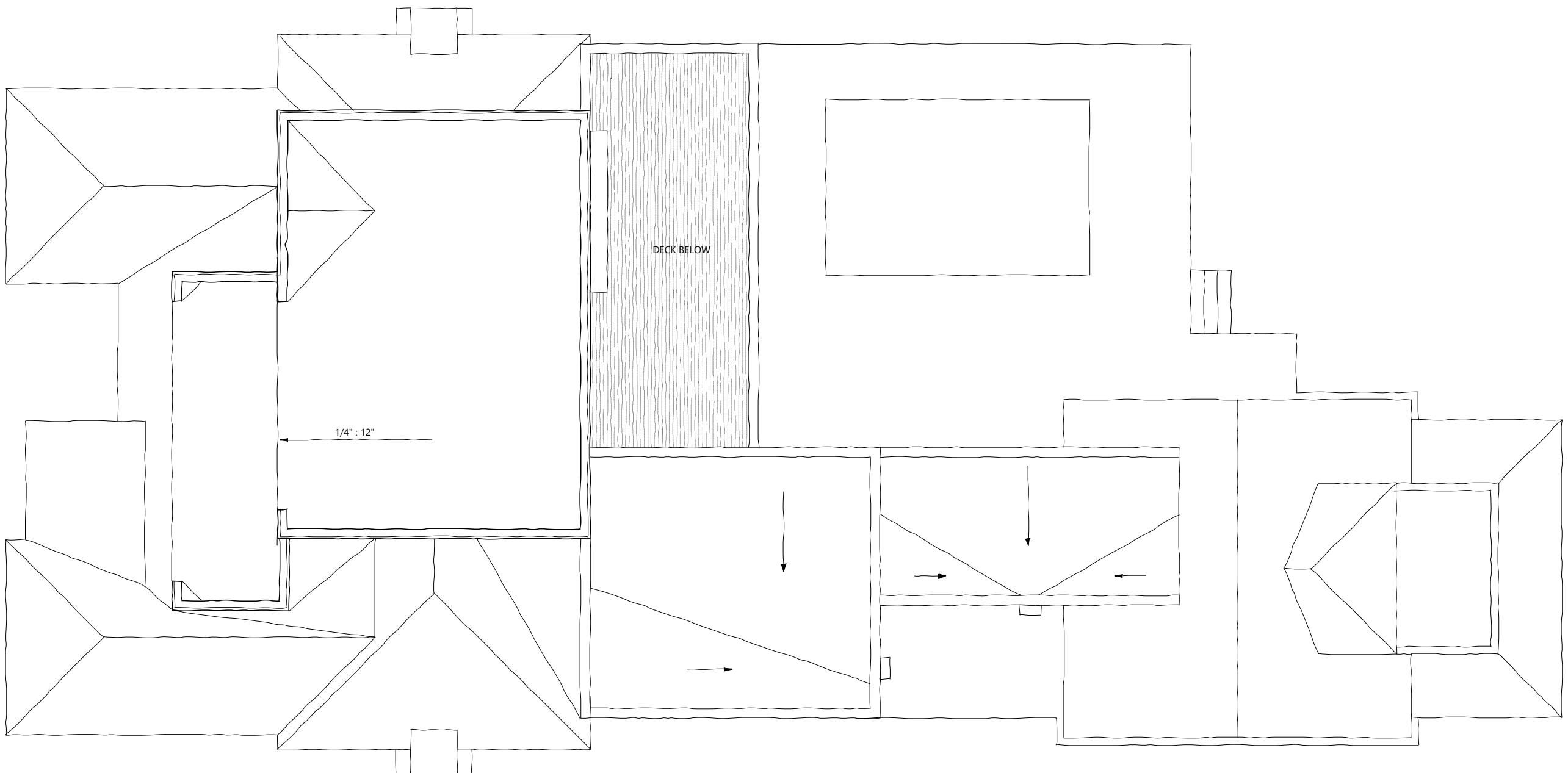
REV. 1

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CONCEPTUAL DRB SET: JANUARY 23, 2026

ROOF PLAN

A1

ROOF PLAN

SCALE: 1/4" = 1'-0"

A104

REV. 1

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CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR
ELEVATION

A1

BROWNELL AVENUE ELEVATION

SCALE: 1/4" = 1'-0"

A201

REV. 1

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BUNKER HILL RESIDENCE - B

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CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR
ELEVATION

A1

POOL TERRACE SECTION ELEVATION

SCALE: 3/16"=1'-0"

A202

REV. 1

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BUNKER HILL RESIDENCE - B

LOT B : 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR
ELEVATION

A203

REV. 1



A1

ION AVENUE ELEVATION

SCALE: 1/4" = 1'-0"

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BUNKER HILL RESIDENCE - B

LOT B : 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482



CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR
ELEVATION

A1

GARAGE SIDE EXTERIOR ELEVATION

SCALE: 3/16"=1'-0"

A204

REV. 1

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