



GENERAL NOTES:

CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES AND SHALL NOT ALLOW THE UNNECESSARY ACCUMULATION OF CONTRUCTION DEBRIS.

THE BUILDING SHALL REMAIN SECURE AND WEATHER TIGHT AT ALL TIMES.

CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS AND APPROVALS NECESSARY TO INITIATE AND COMPLETE SPECIFIED WORK.

ALL DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT APPLICABLE BUILDING CODE3S AND LOCAL REGULATION.

CONTRACTOR SHALL PROTECT ALL EXISTING DOORS, WINDOWS, CASING, WAINSCOTING, MANTELS, STAIR TREADS/RAILS/BALUSTERS, AND FLOOR, WALL, AND CEILING SURFACES SPECIFIED TO REMAIN, TYPICAL.

CONTRACTOR SHALL REFERENCE PROPOSED PLANS WHILE PERFORMING DEMOLITION WORK TO CONFIRM DEMOLITION BOUNDARIES. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.

CONTRACTOR SHALL NOTIFY ARCHITECTS IMMEDIATELY OF ANY PROBLEMS/DISCREPANCIES DUE TO UNFORESEEN CONDITIONS REVEALED DURING DEMOLITION AND CONSTRUCTION.

CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY SHOULD DEMOLITION WORK REVEAL ANY ADDITIONAL 'HAZMAT' MATERIALS OR SUBSTANCES THAT HAVE NOT BEEN PREVIOUSLY REMOVED. ARCHITECT WAIVES ALL RESPONSIBLITY AND LIABILITY FOR ANY WORK REQUIRED, PROPOSED AND/OR COMPLETED WITH HAZARDOUS MATERIALS OR SUBSTANCES.

COLUMNS, EXTERIOR WALLS, AND ALL OTHER LOAD-BEARING COMPONETS TO REMAIN UNDISTURBED UNLESS NOTED OTHERWISE OR APPROVED BY LICENSED STRUCTURAL ENGINEER.

THE DESIGN ADEQUACY AND SAFETY OF ALL TEMPORARY SUPPORTS, BRACING, AND SHORING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

EXTERIOR WINDOWS AND DOORS SELECTED BY OWNER FOR REMOVAL OR REPLACEMENT SHALL NOT BE REMOVED UNTIL THE OPENINGS MAY BE SEALED TEMPORARILY OR FINISHED AS SPECIFIED ON CONSTRUCTION DOCUMENTS.

REMOVAL OF ANY FINISHES WITHIN THE ORIGINAL STRUCTURE SHALL BE PERFORMED ONLY AFTER OWNER APPROVAL. CONTRACTOR SHALL EXECUTE FINISH REMOVAL WITH GREATEST CAUTION TO PREVENT DAMAGE TO ADJACENT COMPONETS.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK, INCLUDING INSTALLATION OF FIXTURES AND/OR ARCHITECTURAL COMPONETS. ALL FIXTURE AND ARCHITECTURE COMPONET SIZES SHOULD BE VERIFIED WITH ARCHITECT PRIOR TO PURCHASE.

CONTRACTOR SHALL VERIFY WITH ARCHITECT AND ENGINEER ALL STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING CONDITIONS REQUIRING ENGINEER'S/CONSULTANT'S APPROVAL. CONTRACTOR SHALL COORDINATE AND VERIFY ALL HVAC, PULMBING, AND ELECTRICAL EQUIPMENT FIXTURE SPECIFICATIONS AND LOCATIONS WITH ARCHITECT AND ENGINEER PRIOR TO COMMENCEMENT OF WORK.

CONTRACTOR SHALL SECURE VERIFICATION AND APPROVAL IN WRITING FROM THE OWNER FOR ANY REQUESTED CHANGE ORDERS PRIOR TO COMMENCING WORK ASSOCIATED WITH A CHANGE ORDER.

THE OWNER, ENGINEER, AND ARCHITECT WAIVE ALL RESPONSIBILITY AND LIABILITY FOR CONTRACTOR'S FAILURE TO FOLLOW THE ASSOCIATED PLANS, SPECIFICATION NOTES, AND DESIGN THEY CONVEY, OR FOR PROBLEMS WITH ARISE FROM OTHERS' FAILURE TO OBTAIN / FOLLOW THE OWNER'S / ENGINEER'S / ARCHITECT'S GUIDANCE WITH RESPECT TO ANY INCONSISTENCIES, ERRORS, OMMISSIONS, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

B2SCHEMATIC BROWNELL ELEVATION

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A002	EXISTING SITE PLAN AND SITE SECTION
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A003B	PROPOSED 2ND FLOOR SITE PLAN
A003C	3019 ION SITE PLAN
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CODE REFERENCES:

INTERNATIONAL RESIDENTIAL CODE, 2021 EDITION w/SC MODIFICATIONS
INTERNATIONAL EXISTING BUILDING CODE, 2021 EDITION
INTERNATIONAL MECHANICAL CODE, 2021 EDITION w/SC MODIFICATIONS
INTERNATIONAL PLUMBING CODE, 2021 EDITION
INTERNATIONAL FIRE CODE, 2021 EDITION w/SC MODIFICATIONS
INTERNATIONAL FUEL AND GAS CODE, 2021 EDITION w/SC MODIFICATIONS
NATIONAL ELECTRICAL CODE, 2020 EDITION w/SC MODIFICATIONS
ICC/ANSI A117.1-2017 ACCESSIBLE AND USABLE BUILDINGS
INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION

C2

REF'D CODES

ADDRESS: 3019 ION AVE, LOT 2-B (NOW 3020 BROWNELL AVE)
TMS: 529-12-00-118
REF: J-016
LOT SIZE: 0.57 ACRES = 24,900 SF
FLOOD ZONE: SHADE X & X
LOWEST FINISH FLOOR ELEVATION: BUNKER 12.0' AND 14.0'
ADJACENT GRADE: ION AVE= 9.0', BROWNELL AVE = 6.5'
TOP OF HILL = 36.5'

ARBORIST:

GERALD J BENOIT, ISA
3300 CEDAR CREEK COURT
MOUNT PLEASANT, SC 29466
P: 843.224.1629
E: SEAJUNKIE49@GMAIL.COM

STRUCTURAL ENGINEER:

EMPIRE ENGINEERING
GEREMY POWELL, PE
590 LONE TREE DR SUITE 101
MOUNT PLEASANT, SC 29464
P: 843.308.0080
E: GEREMY@EMPIREENG.COM

OWNER:

DOROTHY CURD AND ROBERT CURD TRUST
1882 PEACEFUL WAY
MOUNT PLEASANT, SC 29464

ARCHITECT:

LOYAL ARCHITECTS, LLC
ROSS RITCHIE, AIA
1435 KINGLET STREET
MOUNT PLEASANT, SC 29464
P: 843.732.0502
E: ROSS@LOYALARCHITECTS.COM

BUILDER:

TBD

CONCEPTUAL DRB SET: JANUARY 23, 2026

TITLE SHEET & GENERAL NOTES

BUNKER HILL RESIDENCE - B

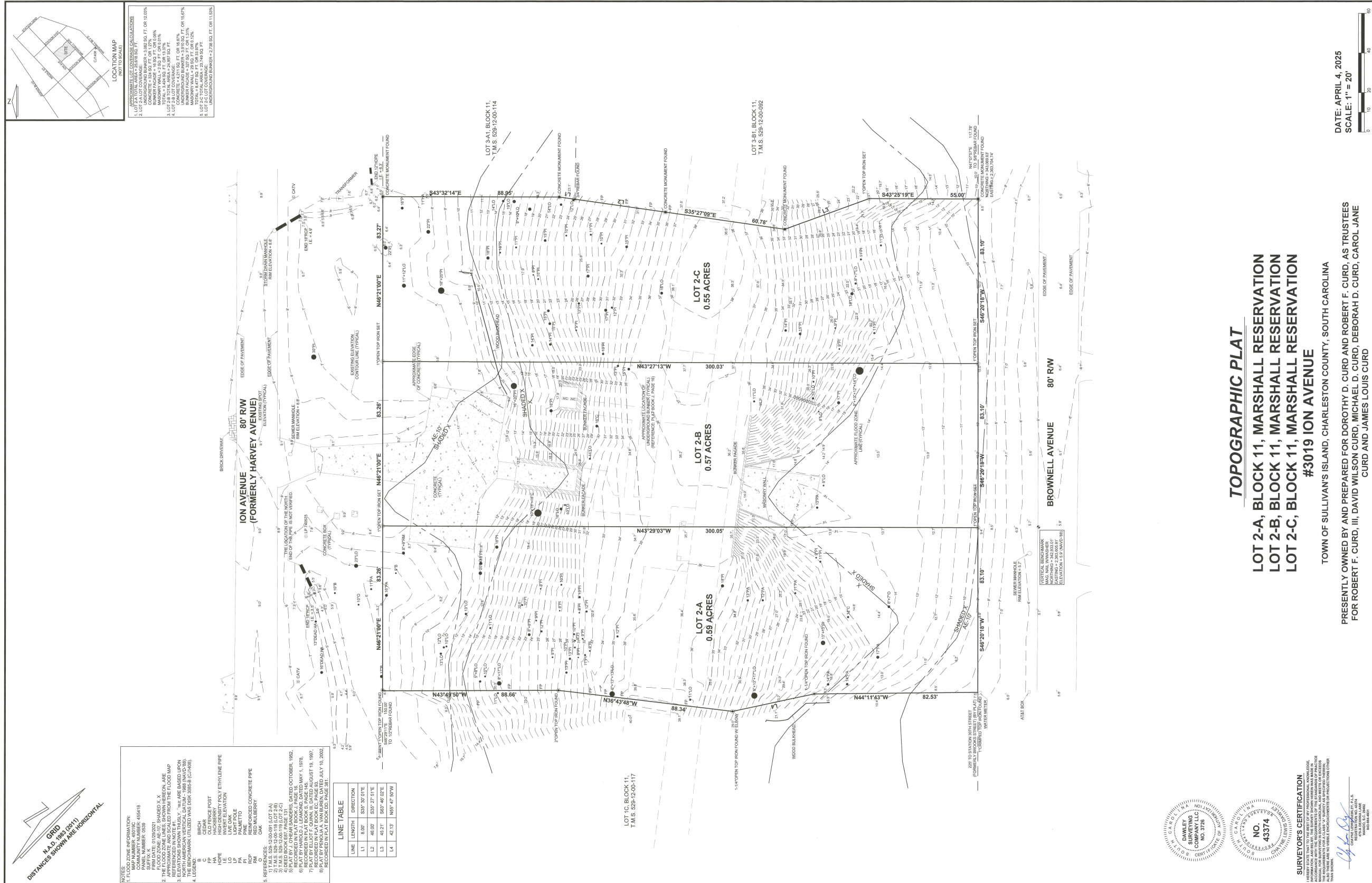
LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

T001

REV. 1

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

A001



BUNKER HILL RESIDENCE - B

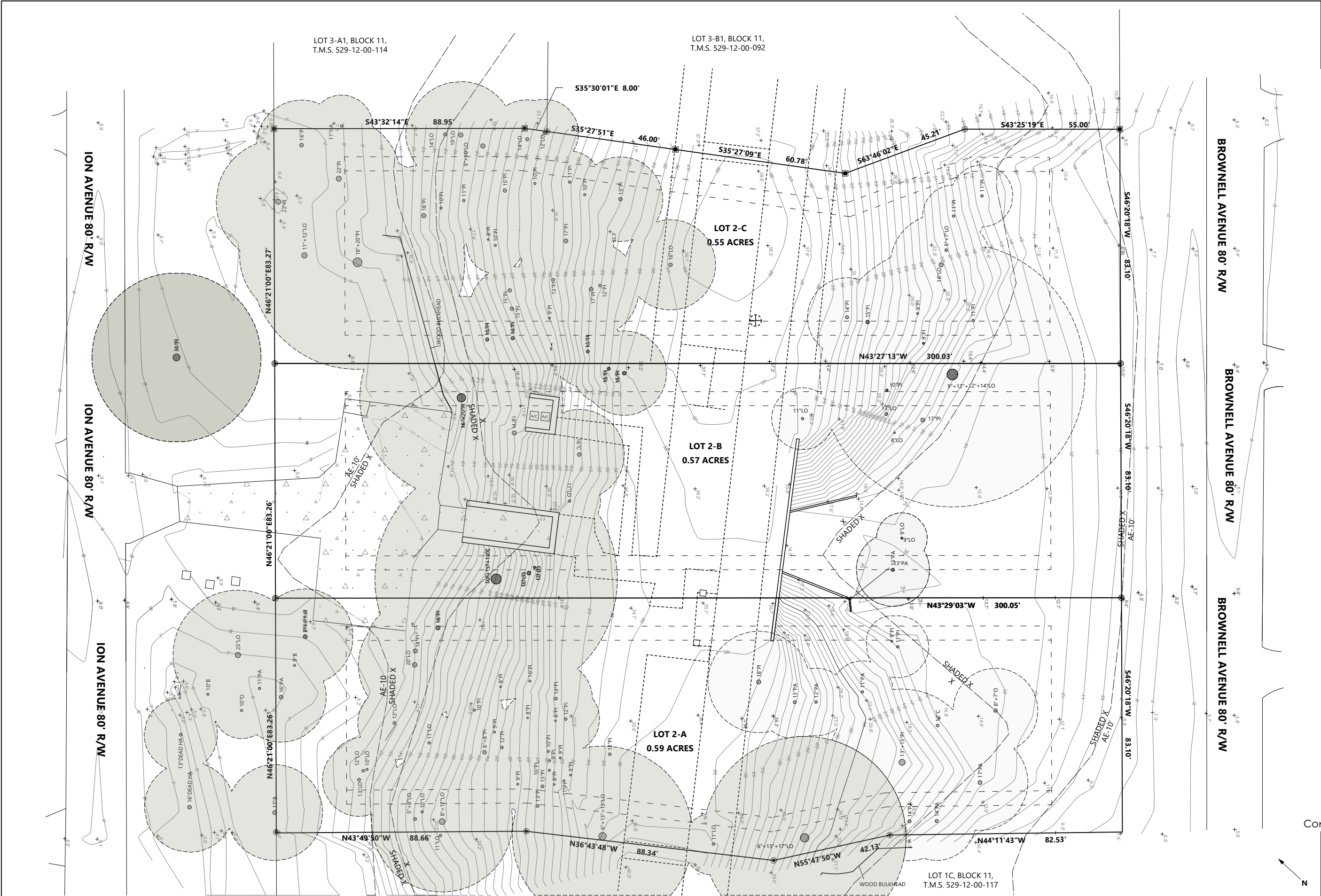
LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

EXISTING 3019
ION SITE PLAN

A001C

REV. 1



LOT 3-A1, BLOCK 11,
T.M.S. 529-12-00-114

LOT 3-B1, BLOCK 11,
T.M.S. 529-12-00-092

LOT 1C, BLOCK 11,
T.M.S. 529-12-00-117

A1

3019 ION AVENUE EXISTING SITE PLAN

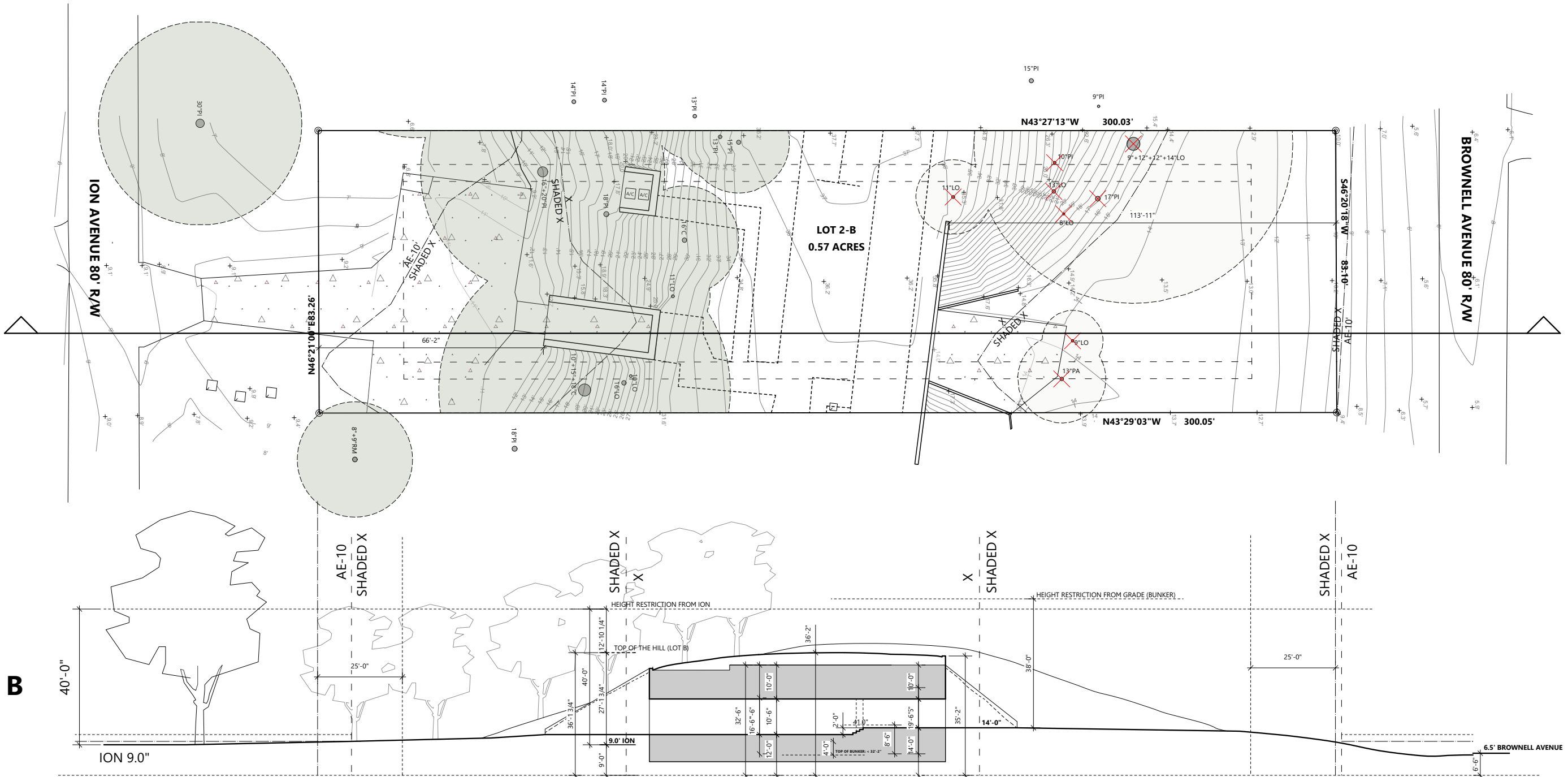
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LOI B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

EXISTING SITE PLAN

EV. 1



PRINCIPAL BUILDING COVERAGE AREA:

(1) Principal Building Coverage Area: The Lot Area covered by the Principal Building measured vertically downward from the Principal Building's exterior walls to the ground (also known as the building footprint area), but excludes areas covered only by:

- (a) accessory structures not readily usable as living space;
- (b) exterior porches and decks; and,
- (c) exterior stairs.

IMPERVIOUS COVERAGE AREA:

(1) Impervious Coverage Area: That portion of the Lot Area covered by an impervious surface.

(2) Impervious Surface: Any material or structure through which water cannot be absorbed or passed, including but not limited to roofed structures, compacted soil or stone, pavement consisting of asphalt, concrete, oil and stone, tar, or asphalt. Impervious surfaces also include building foundations, porches, decks, courts, tennis, basketball, etc. pools, and other improvements that impede the absorption of water. Grassed or mulched areas are not considered impervious materials.

(3) PerVIOUS Surface: Any material through which water can be easily absorbed or passed, at a minimum, a minimum depth of 2.0 inches per hour, such as, but not limited to, grass and uncompacted gravel, shell and crushed stone.

PRINCIPAL BUILDING SQUARE FOOTAGE:

(1) Principal Building Square Footage: The entire square footage of the Principal Building or Buildings measured from the outside of the exterior walls, specifically including more than one dwelling on the same lot and historic structures used as accessory dwelling units, but not including

- (a) minimum storage space not readily usable as living space (attic used only for storage or parking area beneath dwelling);
- (b) structures that are not used as living space;
- (c) exterior porches and decks; and,
- (d) exterior stairs.

DRB MAX RELIEF	ZONING STANDARDS COMPLIANCE CHART	3019 LOT-2B (3020 BROWNELL) LOT SIZE: 24,900 SF	
	PRINCIPAL BUILDING COVERAGE AREA	FRONT (BROWNELL) SETBACK: NO REQUEST	SECOND FLOOR: REQUESTING RELIEF
PBCA DRB RELIEF: 20% (20% = 747 SF)	ZONING STANDARD: 15% (>15,000sf) 24,900(15%) = 3,735 SF EXISTING: 0 PROPOSED: 2,797 SF PBCA DRB RELIEF: NO REQUEST	ZONING STANDARD: 25' EXISTING: 113'-11" TO BUNKER WALL PROPOSED: 61'-6"	GROUND/1ST NOT TO EXCEED 38' WITHOUT ARTICULATION CONFORMS SECOND FLOOR NOT TO EXCEED 32' WITHOUT ARTICULATION CONFORMS SIDE FACADE <16' WITHIN 15' OF SIDE PROPERTY LINE REQUEST RELIEF OF 23%
TOTAL: 4,482 SF	IMPERVIOUS COVERAGE AREA ZONING STANDARD: 30% (>15,000sf) 24,900(30%) = 7,470 SF EXISTING: 3,746 SF PROPOSED: 5,471 SF	SIDE SETBACK: NO REQUEST ZONING STANDARD: 10' INDIVIDUAL 33' COMBINED 105'-83" = 22' * 1/3 = 7.33 = 7' EXISTING: NE: 0' SW: 0' COMBINED: 0' NE: 25.9' AVERAGE SW: 25.3' AVERAGE COMBINED: 51.2' PROPOSED:	2ND FLOOR ELEMENTS SUBJECT TO 5' ADDITIONAL SETBACK CONFORMS 2ND FLOOR MINIMUM AVERAGE OF 20' & 30' 2ND FLOOR AVERAGES 19.5' (2.5%) & 36.5'
PBSF DRB RELIEF: 15% (15% = 658.5 SF)	PRINC. BLDG. SQFT	REAR (ION) SETBACK: NO REQUEST	
TOTAL: 5,048.5 SF	ZONING STANDARD: 4,390 SF [(24,900 - 5,000) / 100SF] (10) + 2,400 EXISTING: 0 PROPOSED: 4,374 SF PBSF DRB RELIEF: NO REQUEST	ZONING STANDARD: 25' EXISTING: 66'- 2" BUNKER ENTRANCE TO REMAIN PROPOSED: 132'-6" FOR HOUSE	

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

PROPOSED SITE PLAN

EV. 1



DRB MAX RELIEF	ZONING STANDARDS COMPLIANCE CHART		3019 LOT-2B (3020 BROWNELL) LOT SIZE: 24,900 SF	
	PRINCIPAL BUILDING COVERAGE AREA		FRONT (BROWNELL) SETBACK:	SECOND FLOOR:
PBCA DRB RELIEF: 20% (20%=747 SF) TOTAL: 4,482 SF	ZONING STANDARD: 24,900(15%)= 0 EXISTING: PROPOSED: PBCA DRB RELIEF:	15% (>15,000sf) 3,735 SF 0 2,797 SF NO REQUEST	ZONING STANDARD: 25' EXISTING: 113'-11" TO BUNKER WALL PROPOSED: 61'-6"	REQUESTING RELIEF GROUND/1ST NOT TO EXCEED 38' WITHOUT ARTICULATION CONFORMS SECOND FLOOR NOT TO EXCEED 32' WITHOUT ARTICULATION CONFORMS SIDE FACADE +16' WITHIN 15' OF SIDE PROPERTY LINE REQUEST RELIEF OF 23% 2ND FLOOR ELEMENTS SUBJECT TO 5' ADDITIONAL SETBACK CONFORMS 2ND FLOOR MINIMUM AVERAGE OF 20' & 30' 2ND FLOOR AVERAGES 19.5' (2.5%) & 36.5'
	IMPERVIOUS COVERAGE AREA		SIDE SETBACK:	
	ZONING STANDARD: 24,900(30%)= 0 EXISTING: PROPOSED:	30% (>15,000sf) 7,470 SF 3,746 SF 5,471 SF	ZONING STANDARD: 10' INDIVIDUAL, 33' COMBINED 105'-83"= 22' * 1/3" = 7.33 = 7" EXISTING: NE: 0' SW: 0' COMBINED: 0' NE: 25.9' AVERAGE SW: 25.3' AVERAGE COMBINED: 51.2' PROPOSED:	
PBSF DRB RELIEF: 15% (15% = 658.5 SF) TOTAL: 5,048.5 SF	PRINC. BLDG. SQFT		REAR (ION) SETBACK:	
	ZONING STANDARD: [24,900 - 5,000] / 100SF] (10) + 2,400 0 EXISTING: PROPOSED: PBSF DRB RELIEF:	4,390 SF 0 4,374 SF NO REQUEST	ZONING STANDARD: 25' EXISTING: 66'-2" BUNKER ENTRANCE TO REMAIN PROPOSED: 132'-6" FOR HOUSE	

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(2) Principal Building Square Footage: The entire square footage of the Principal Building or Buildings measured from the outside of the exterior walls, specifically including more than one dwelling on the same lot and historic structures used as accessory dwelling units, but not including

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PROPOSED SITE PLAN

SCALE = 1/16" = 1'-0"

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BUNKER HILL RESIDENCE - B

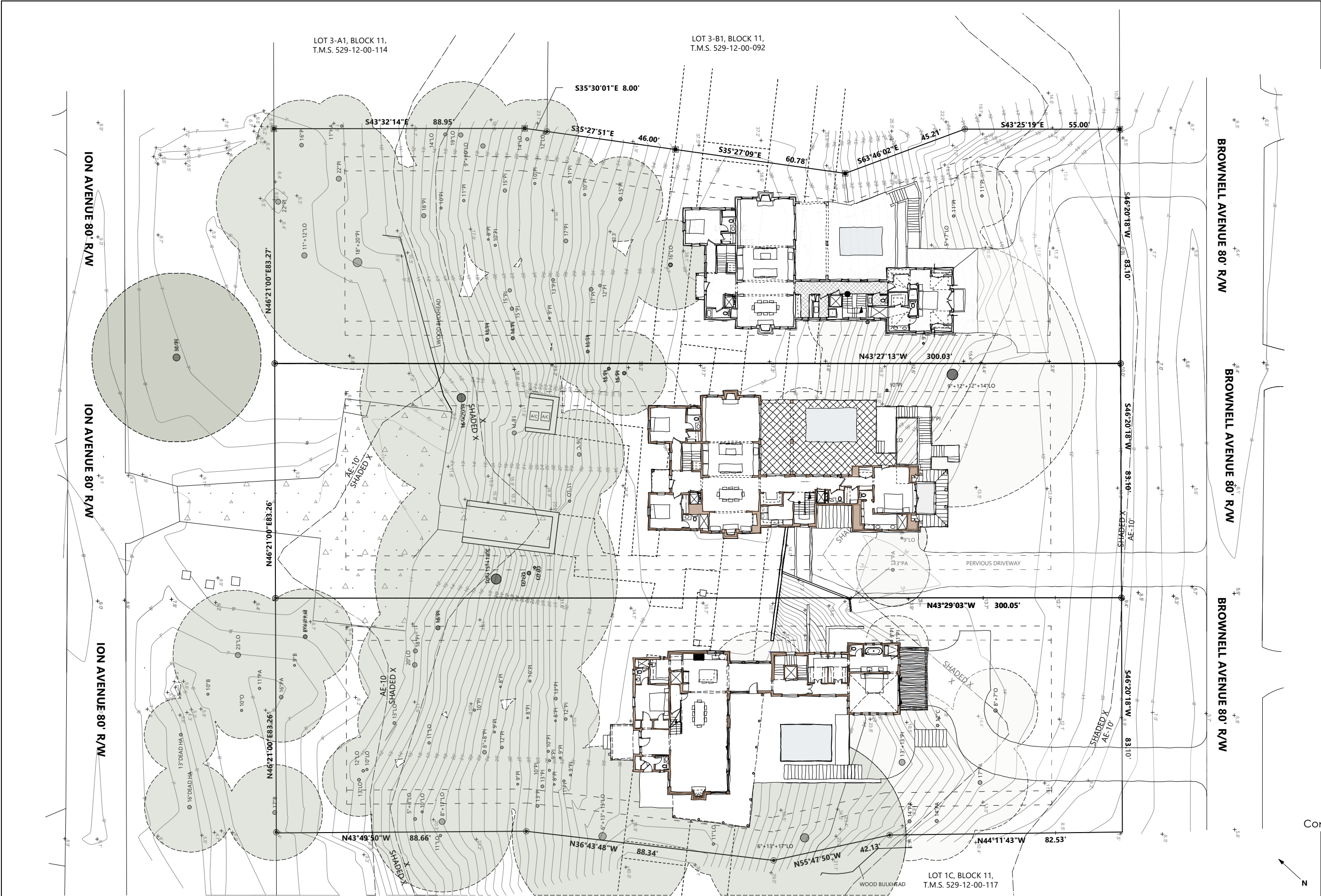
LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

PROPOSED 3019
ION SITE PLAN

A003C

REV. 1



LOT 3-A1, BLOCK 11,
T.M.S. 529-12-00-114

LOT 3-B1, BLOCK 11,
T.M.S. 529-12-00-092

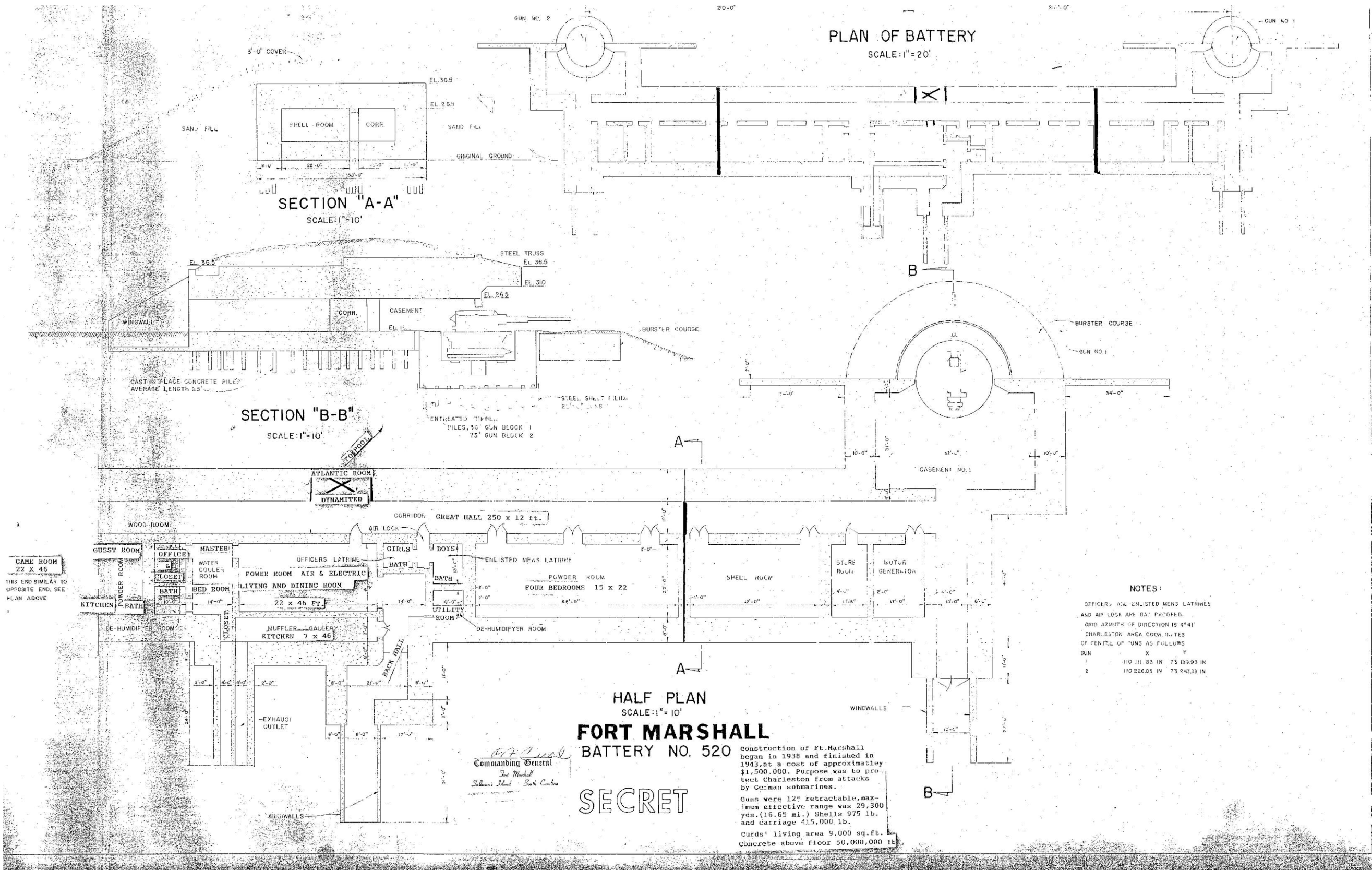
LOT 1C, BLOCK 11,
T.M.S. 529-12-00-117

A1

PROPOSED 3019 ION AVE SITE PLAN

SCALE=1/16"=1'-0"

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BUNKER HILL RESIDENCE - C

LOT C: 3024 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

HISTORIC
DOCUMENTS

A004

REV. 1

A1

FORT MARSHALL BATTERY PLAN AND SECTION

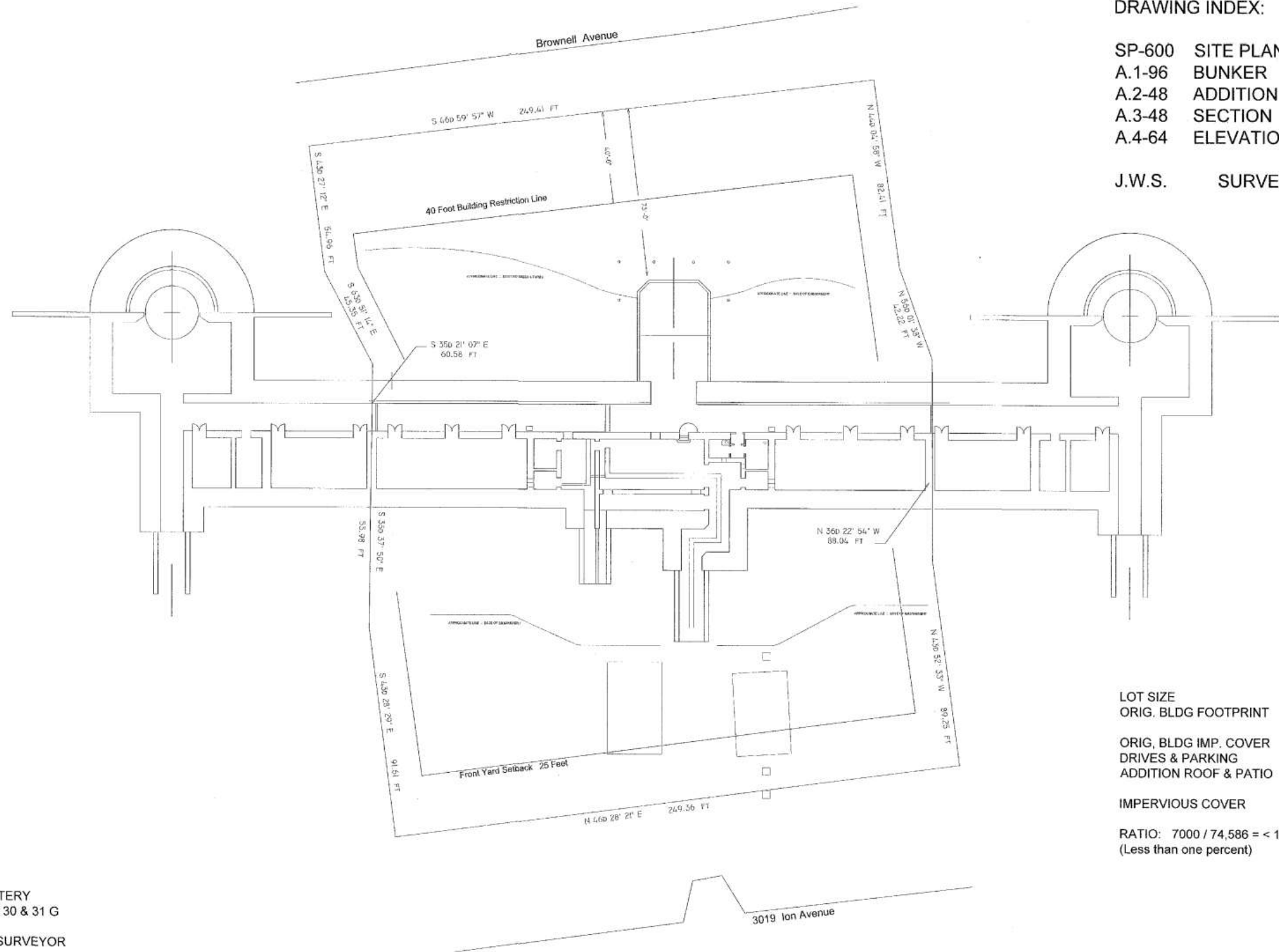
SCALE: AS NOTED

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DRAWING INDEX:

SP-600 SITE PLAN 1" = 50 FEET
A.1-96 BUNKER 1" = 20 FEET
A.2-48 ADDITION 1/8" = 1 FOOT
A.3-48 SECTION 1/8" = 1 FOOT
A.4-64 ELEVATIONS 1/8" = 1 FOOT

J.W.S. SURVEY @ 1"= 60 FEET



LOT SIZE 74,586 SF
ORIG. BLDG FOOTPRINT 13,300 SF
ORIG. BLDG IMP. COVER 600 SF (a)
DRIVES & PARKING 4000 SF (b)
ADDITION ROOF & PATIO 2400 SF (c)
IMPERVIOUS COVER 7,000 SF (a+b+c)

RATIO: $7000 / 74,586 = < 1\%$
(Less than one percent)

DRAWING SHOWS FULL EXTENT OF BATTERY
BETWEEN ION & BROWNELL, STATIONS 30 & 31 G

SITE INFORMATION FROM JOHN WADE, SURVEYOR
REFER: HIS DRAWING, ATTACHED

BUILDING INFORMATION FROM HISTORIC DOCUMENT
AND ON SITE MEASUREMENT BY MICHAEL CURD

BUNKER HILL RESIDENCE - C

LOT C : 3024 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

HISTORIC
DOCUMENTS

A1

EXISTING SITE AND BUNKER DOCUMENTS

A005

REV. 1



NON-HISTORIC BUNKER ENTRANCE ON BROWNELL AVENUE



HISTORIC BUNKER ENTRANCE ON ION AVENUE



NEIGHBORING HISTORIC BUNKER AT 3030 BROWNELL



HISTORIC BUNKER HVAC OPENING ON ION AVENUE

BUNKER HILL RESIDENCE - C

LOT C : 3024 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

SITE
PHOTOGRAPHS

A006

REV. 1

A1

SCALE: N/A

SITE PHOTOGRAPHS



3024 BROWNELL AVE

3020 BROWNELL AVE

3016 BROWNELL AVE



3003 ION AVE



223 STATION 31 ST

BUNKER HILL RESIDENCE - C

LOT C : 3024 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

ION
STREETSCAPE

A007

REV. 1

A1

ION AVENUE STREETSCAPE



3004 BROWNELL AVE



3003 ION AVE



3012 BROWNELL AVE



3016 BROWNELL AVE



3020 BROWNELL AVE

3024 BROWNELL AVE



3030 BROWNELL AVE



223 STATION 31 ST

BUNKER HILL RESIDENCE - C

LOT C : 3024 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

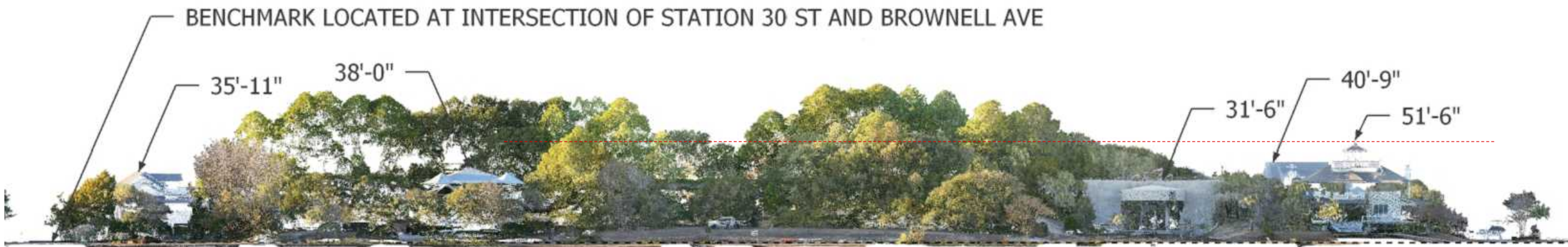
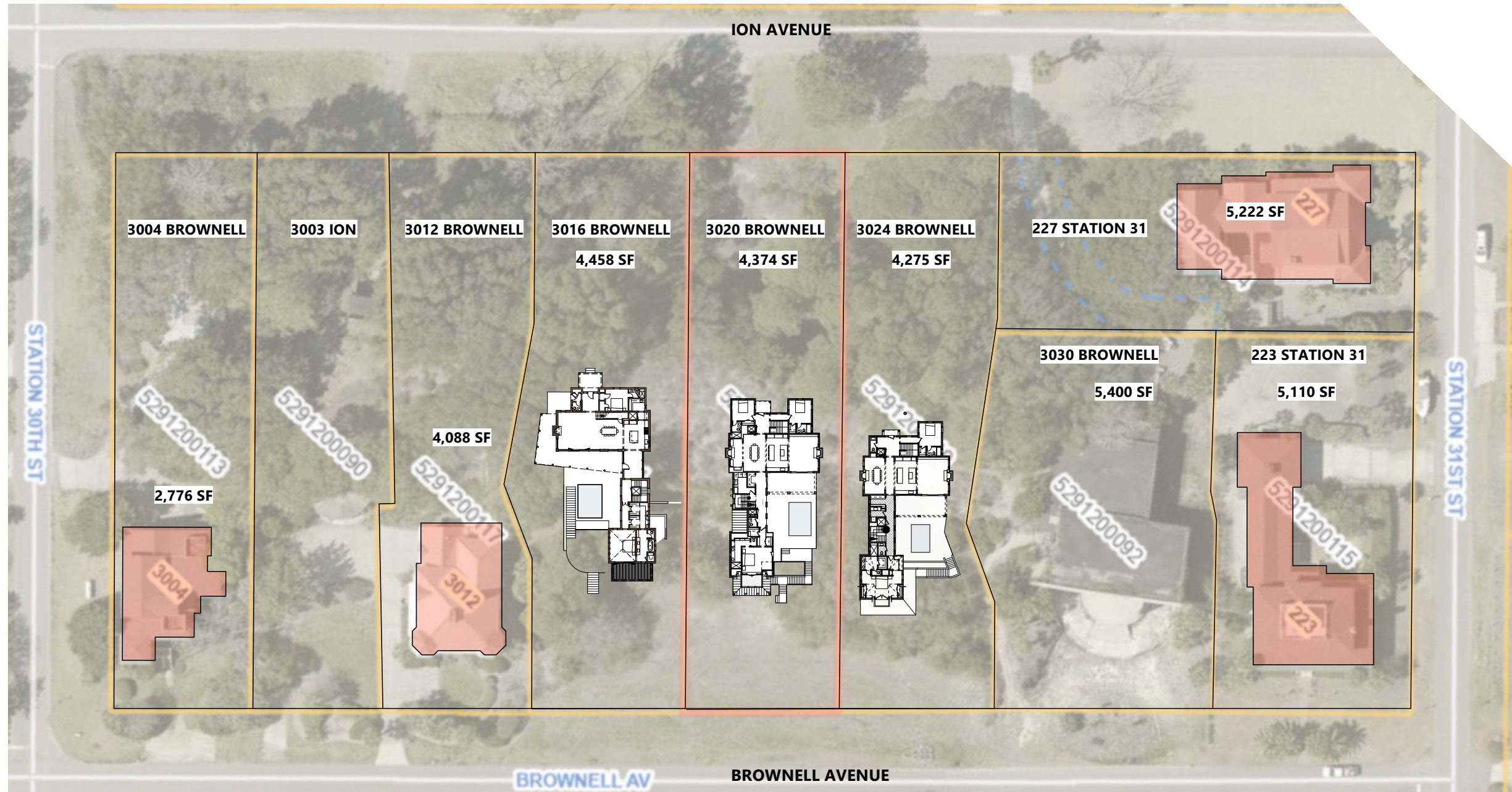
CONCEPTUAL DRB SET: JANUARY 23, 2026

BROWNELL
STREETSCAPE

A008

A1

BROWNELL STREETSCAPE



CONCEPTUAL DRB SET: JANUARY 23, 2026

BLOCK
DIAGRAM

BUNKER HILL RESIDENCE - B

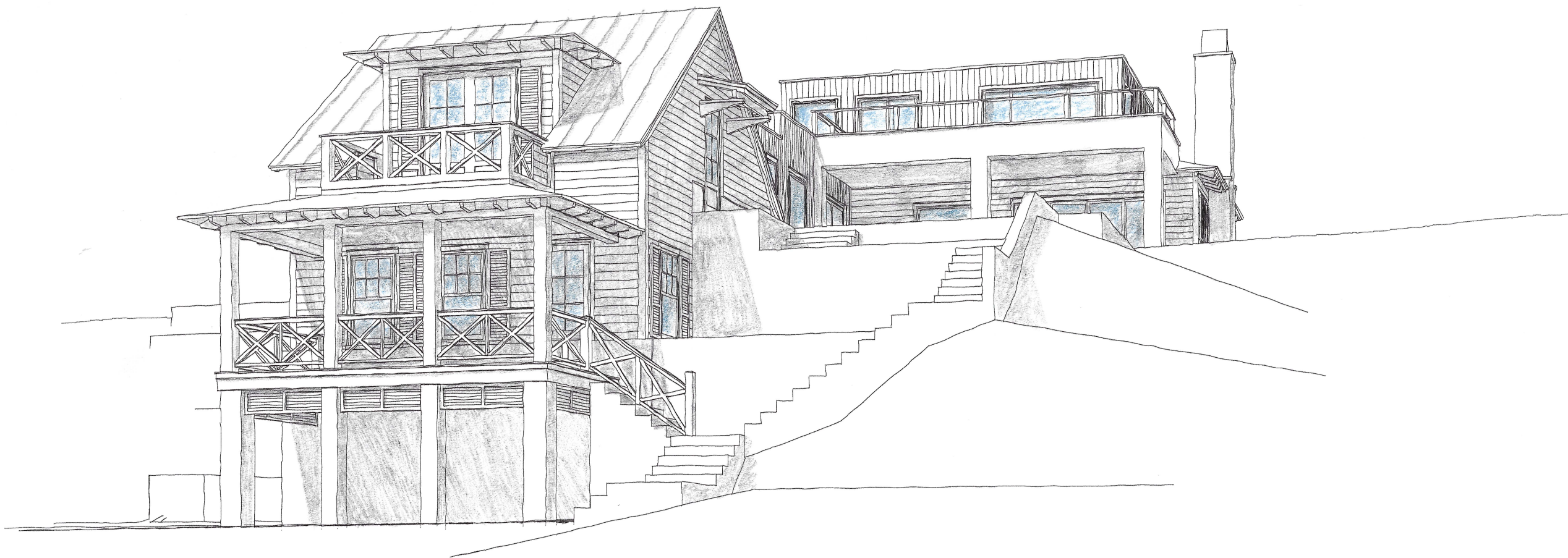
LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

A1

BLOCK DIAGRAM

A009

REV. 1



BUNKER HILL RESIDENCE - B

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

CONCEPTUAL
RENDERS

A010

REV. 1

A1

NOSCALE

CONCEPTUAL RENDERS

BUNKER HILL RESIDENCE - B

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

CONCEPTUAL
RENDERS

A010

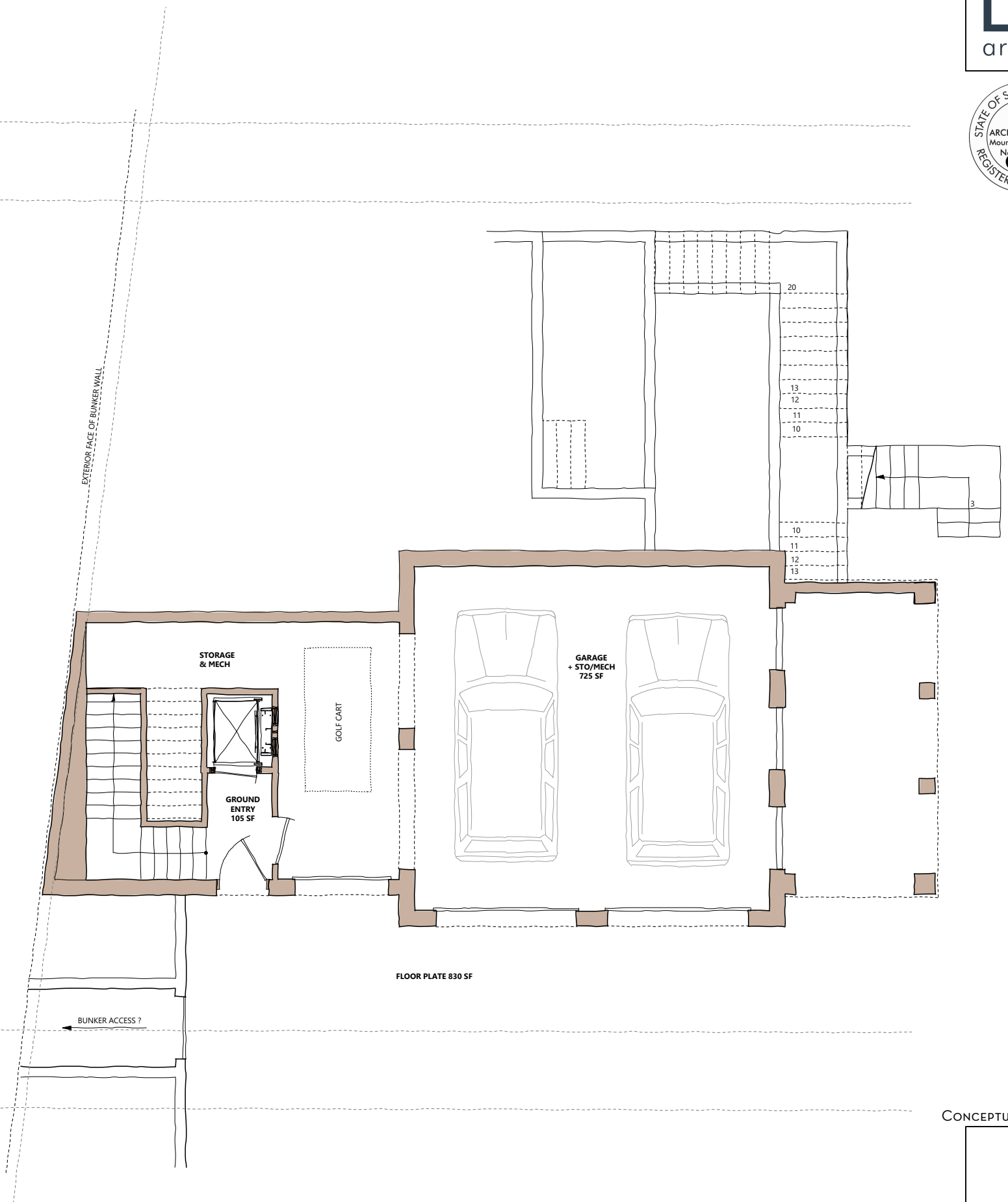
REV. 1



A1

NOSCALE

CONCEPTUAL RENDERS



BUNKER HILL RESIDENCE - B

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

GARAGE
PLAN

A100

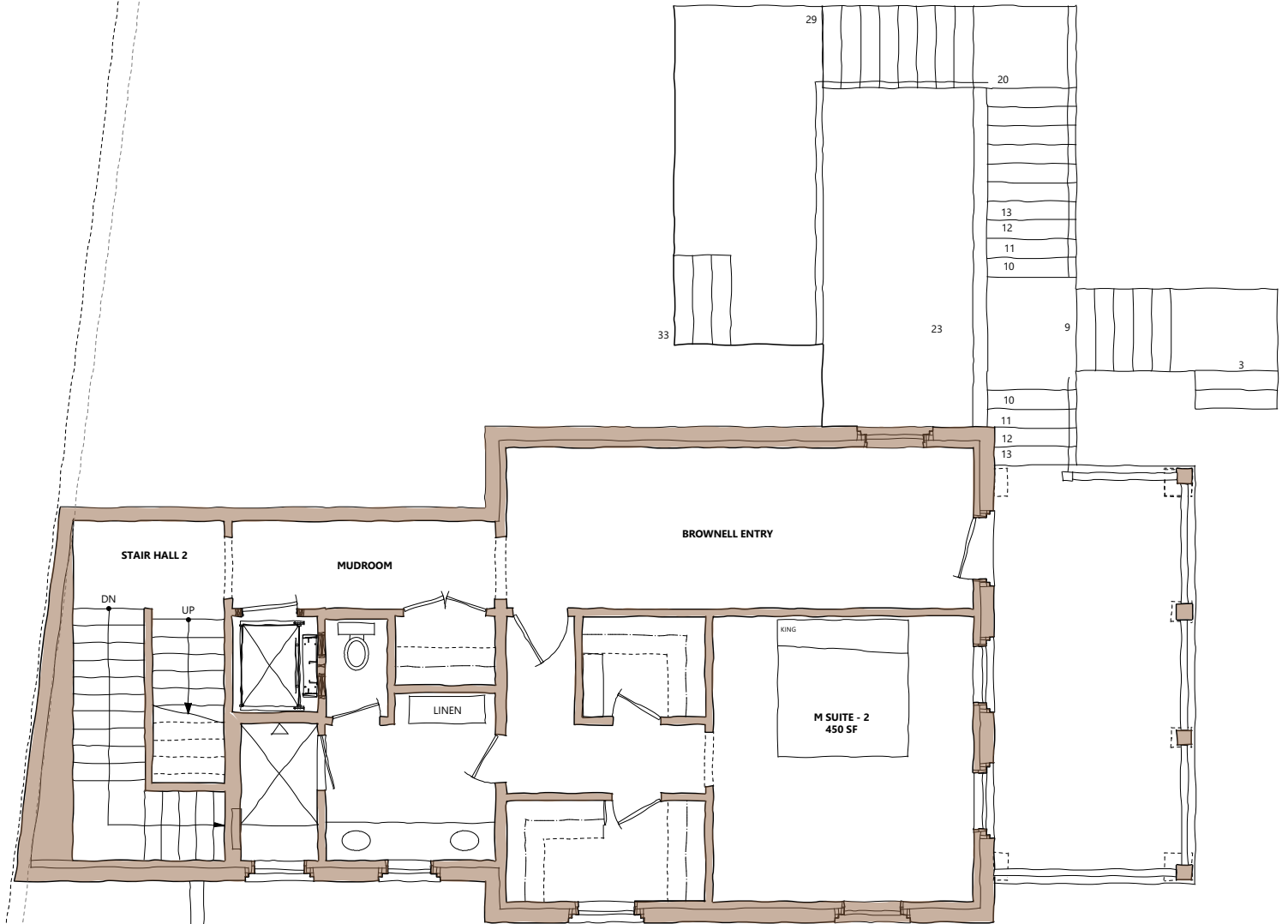
A1

SCHEMATIC GARAGE/BUNKER LEVEL

SCALE: 1/4" = 1'-0"

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REV. 1



BUNKER HILL RESIDENCE - B

LOT B: 3020 BROWNELL AVENUE
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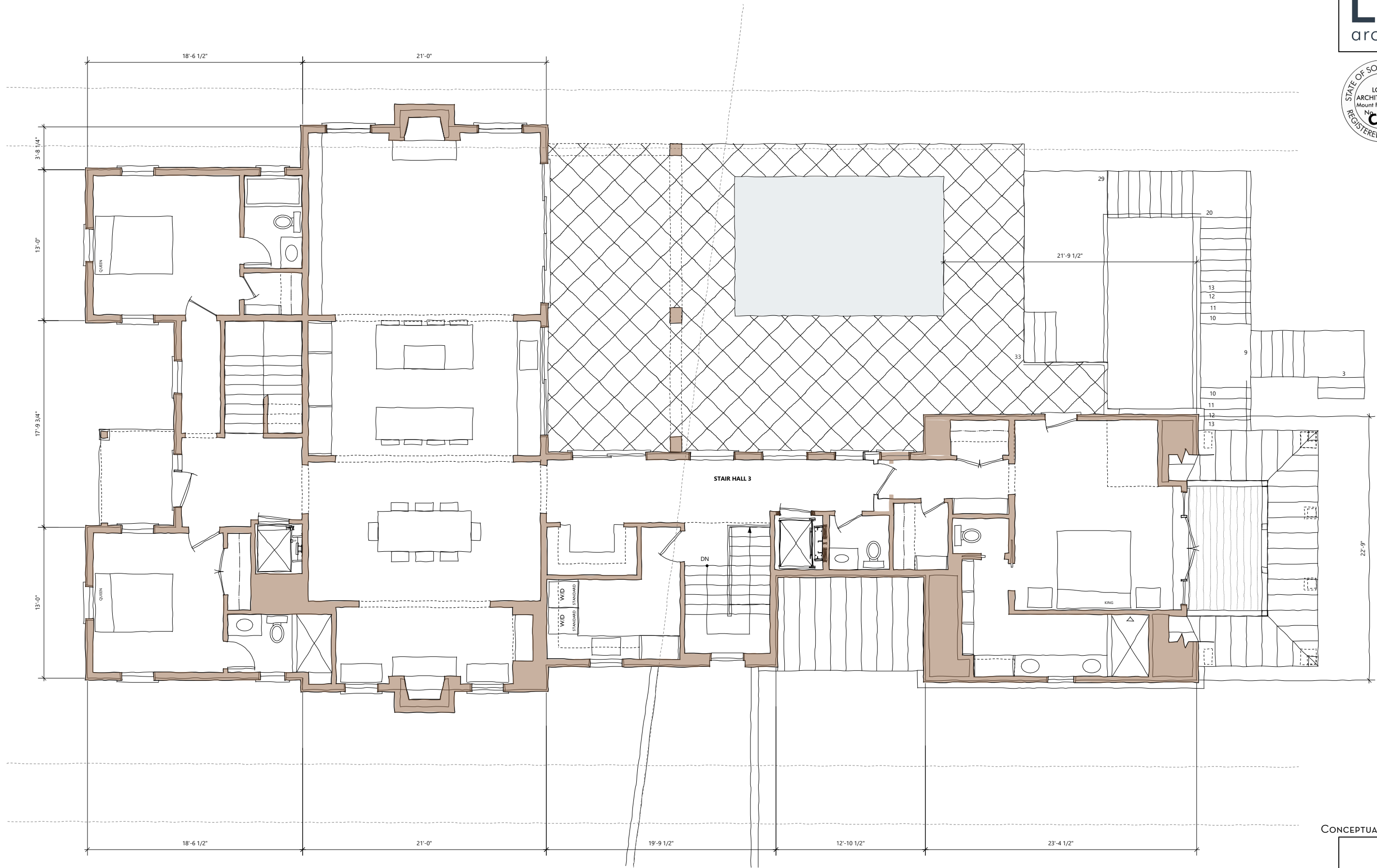
ENTRY LEVEL
FLOOR PLAN

A1

SCHEMATIC ENTRY LEVEL FLOOR PLAN

A101

REV. 1



BUNKER HILL RESIDENCE - B

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

MAIN LEVEL
FLOOR PLAN

A1

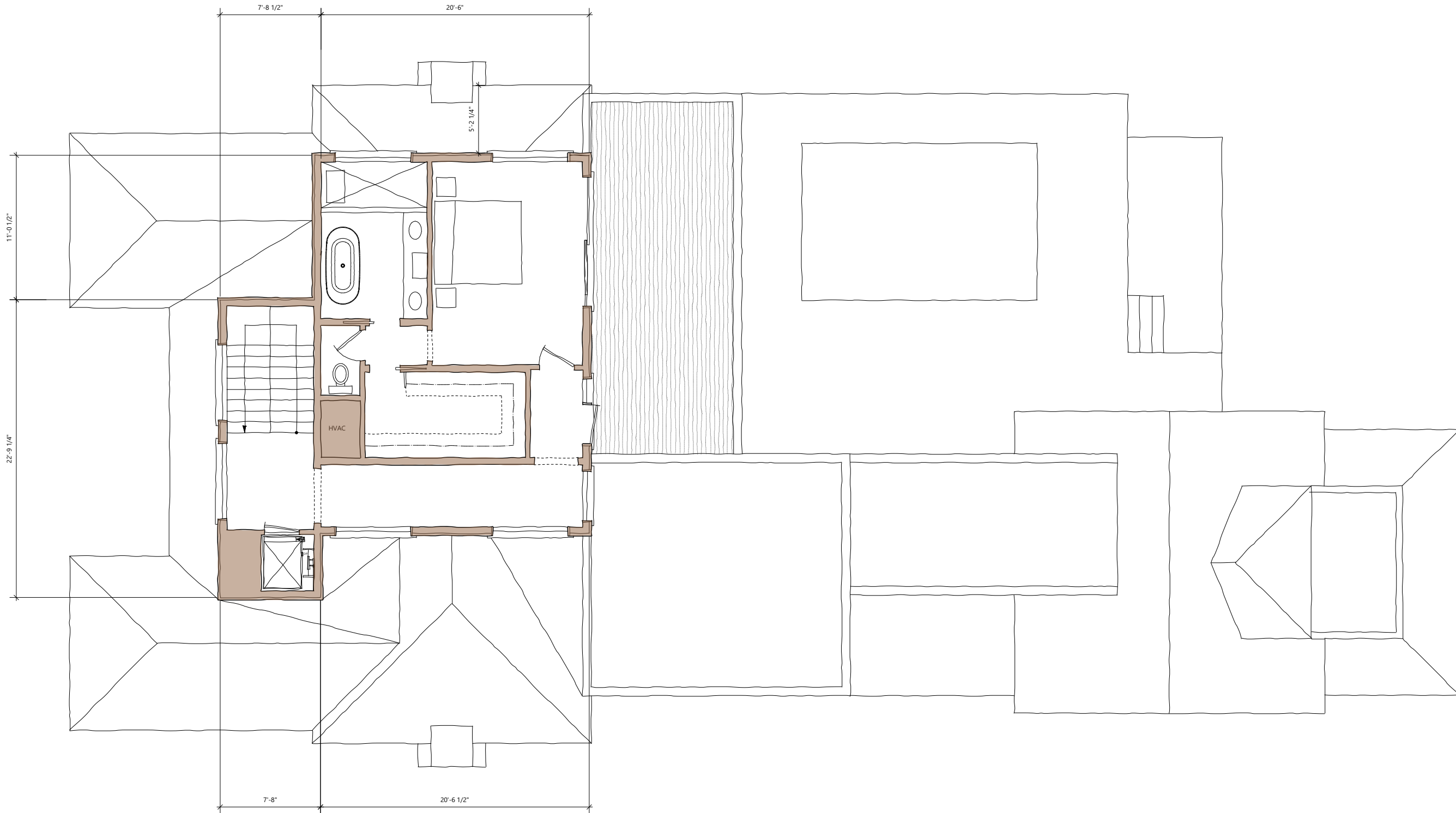
SCHEMATIC MAIN LEVEL FLOOR PLAN

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A102

REV. 1



BUNKER HILL RESIDENCE - B

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

SECOND
FLOOR PLAN

A103

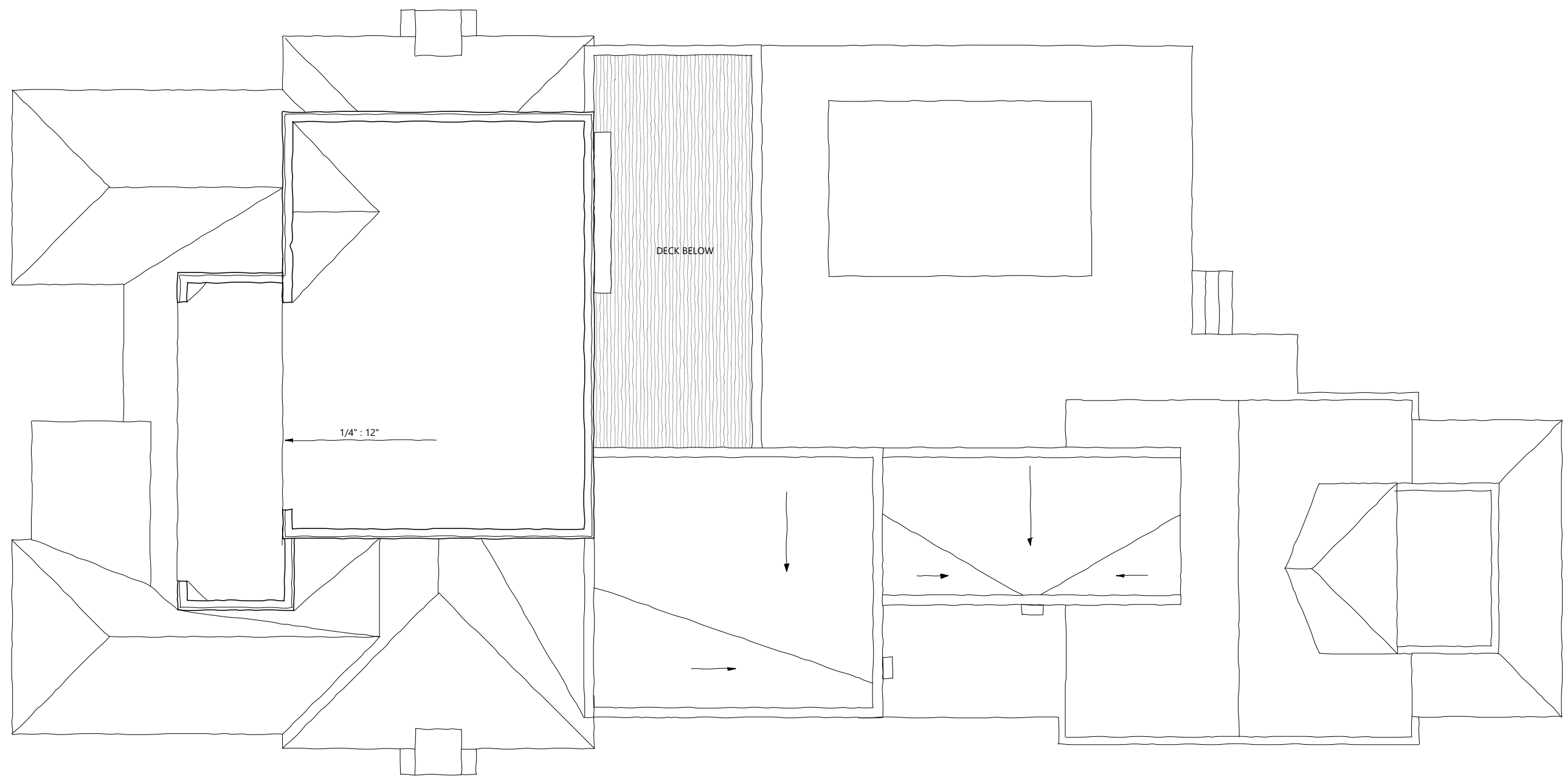
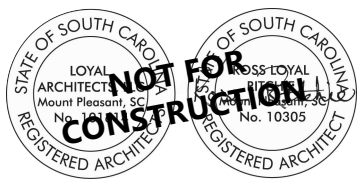
A1

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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REV. 1



BUNKER HILL RESIDENCE - B

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

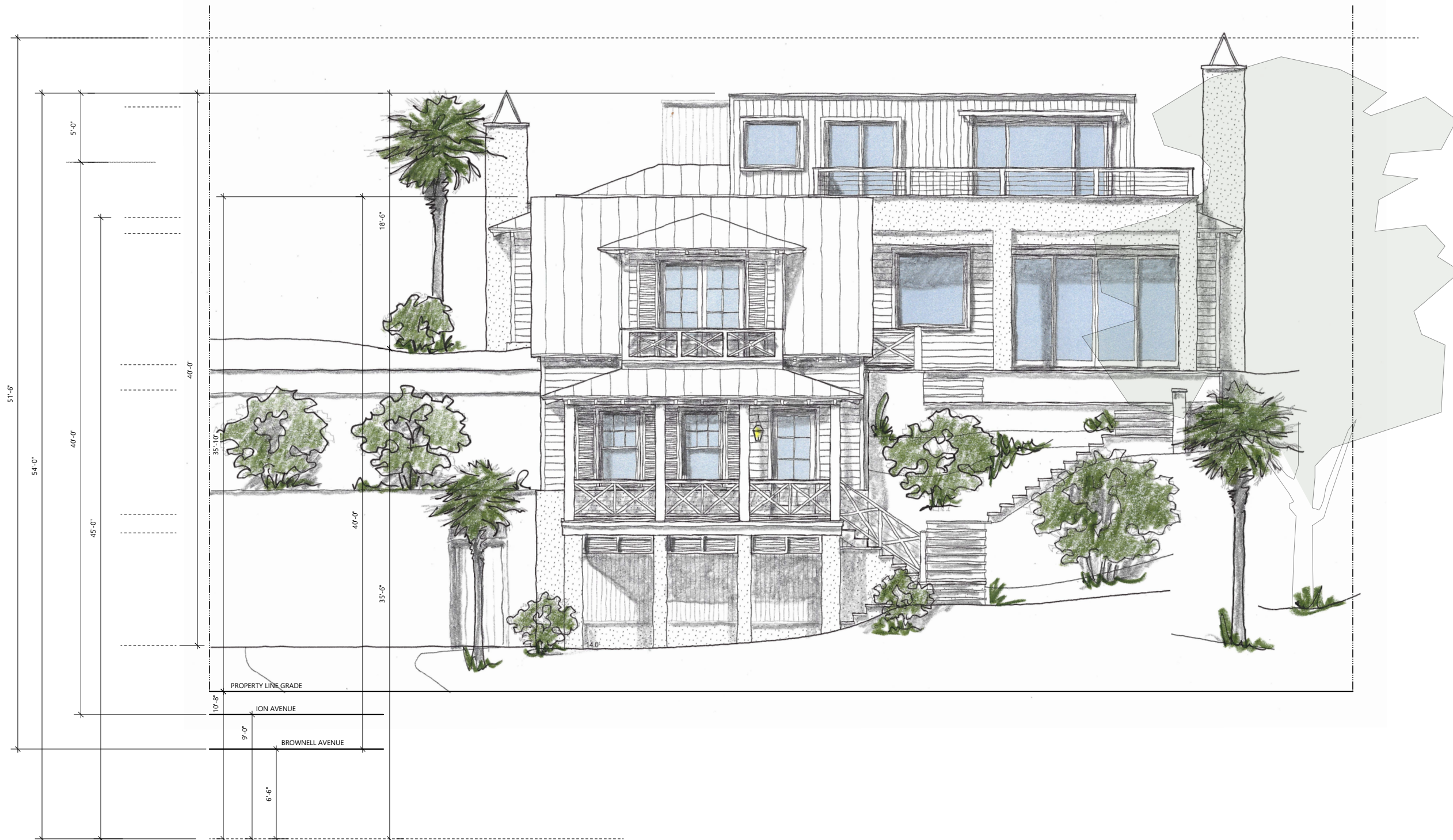
CONCEPTUAL DRB SET: JANUARY 23, 2026

ROOF PLAN

A104

A1

ROOF PLAN



BUNKER HILL RESIDENCE - B

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR
ELEVATION

A1

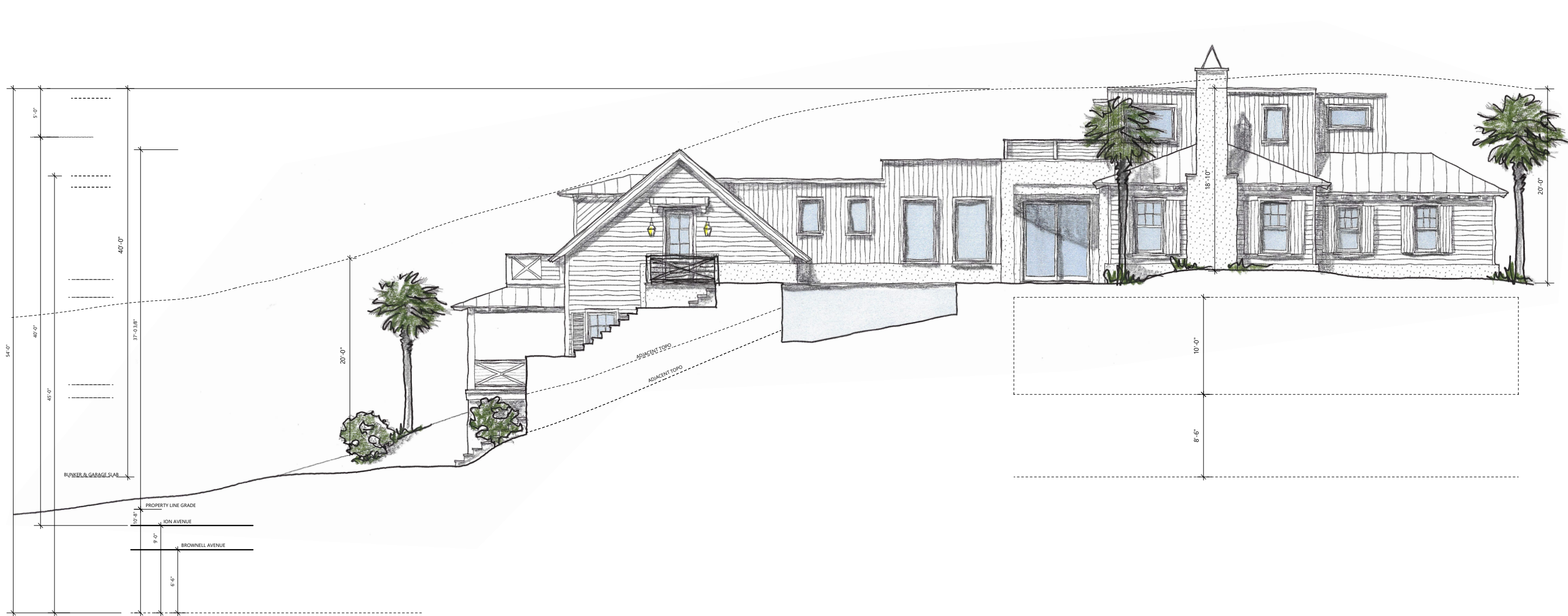
BROWNELL AVENUE ELEVATION

SCALE: 1/4" = 1'-0"

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A201

REV. 1



BUNKER HILL RESIDENCE - B

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR
ELEVATION

A1

POOL TERRACE SECTION ELEVATION

A202

REV. 1



BUNKER HILL RESIDENCE - B

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR
ELEVATION

A203

A1

ION AVENUE ELEVATION

SCALE: 1/4" = 1'-0"

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REV. 1



BUNKER HILL RESIDENCE - B

LOT B: 3020 BROWNELL AVENUE
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR
ELEVATION

A1

GARAGE SIDE EXTERIOR ELEVATION

A204

REV. 1