



## BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



B2

### SCHEMATIC BROWNELL ELEVATION

NO SCALE

#### SHEET INDEX

T001	TITLE SHEET & GENERAL NOTES	
A001	OWNER'S SURVEY	CODE REFERENCES:
A001C	3019 ION EXISTING SITE PLAN	INTERNATIONAL RESIDENTIAL CODE, 2021 EDITION w/SC MODIFICATIONS INTERNATIONAL EXISTING BUILDING CODE, 2021 EDITION
A002	EXISTING SITE PLAN AND SITE SECTION	INTERNATIONAL MECHANICAL CODE, 2021 EDITION w/SC MODIFICATIONS INTERNATIONAL PLUMBING CODE, 2021 EDITION
A003	PROPOSED SITE PLAN AND SITE SECTION	INTERNATIONAL FIRE CODE, 2021 EDITION w/SC MODIFICATIONS INTERNATIONAL FUEL AND GAS CODE, 2021 EDITION w/SC MODIFICATIONS
A003B	PROPOSED 2ND FLOOR SITE PLAN	NATIONAL ELECTRICAL CODE, 2020 EDITION w/SC MODIFICATIONS ICC/ANSI A117.1-2017 ACCESSIBLE AND USABLE BUILDINGS
A003C	3019 ION SITE PLAN	INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION
A004	HISTORIC DOCUMENT	
A005	HISTORIC DOCUMENT	
A006	SITE PHOTOGRAPHS	
A007	ION AVE STREETSCAPE	
A008	BROWNELL STREETSCAPE	
A009	BLOCK DIAGRAMS	
A010	RENDERS	
A011	RENDERS	
A100	GARAGE LEVEL PLAN	
A101	ENTRY LEVEL PLAN	
A102	MAIN LEVEL PLAN	
A103	2ND FLOOR PLAN	
A104	ROOF PLAN	
A201	EXTERIOR ELEVATION	ADDRESS: 3019 ION AVE, LOT 2-A (NOW 3016 BROWNELL AVE) TMS: 529-12-00-091
A202	EXTERIOR ELEVATION	REF: J-016
A203	EXTERIOR ELEVATION	LOT SIZE: 0.59 ACRES = 25,618 SF
A204	EXTERIOR ELEVATION	FLOOD ZONE: SHADE X & X

C2

### REF'D CODES

NO SCALE

LOWEST FINISH FLOOR ELEVATION: BUNKER 12.0' AND 14.0'  
ADJACENT GRADE: ION AVE = 9.0', BROWNELL AVE = 6.5'  
TOP OF HILL = 36.5'

#### ARBORIST:

GERALD J BENOIT, ISA  
3300 CEDAR CREEK COURT  
MOUNT PLEASANT, SC 29466  
P: 843.224.1629  
E: SEAJUNKIE49@GMAIL.COM

#### OWNER:

DOROTHY CURD AND ROBERT CURD TRUST  
1882 PEACEFUL WAY  
MOUNT PLEASANT, SC 29464

#### STRUCTURAL ENGINEER:

EMPIRE ENGINEERING  
GEREMY POWELL, PE  
590 LONE TREE DR SUITE 101  
MOUNT PLEASANT, SC 29464  
P: 843.308.0080  
E: GEREMYP@EMPIREENG.COM

#### ARCHITECT:

LOYAL ARCHITECTS, LLC  
ROSS RITCHIE, AIA  
1435 KINGLET STREET  
MOUNT PLEASANT, SC 29464  
P: 843.732.0502  
E: ROSS@LOYALARCHITECTS.COM

#### BUILDER:

TBD

CONCEPTUAL DRB SET: JANUARY 23, 2026

TITLE  
SHEET & GENERAL  
NOTES

#### GENERAL NOTES:

CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES AND SHALL NOT ALLOW THE UNNECESSARY ACCUMULATION OF CONSTRUCTION DEBRIS.

THE BUILDING SHALL REMAIN SECURE AND WEATHER TIGHT AT ALL TIMES.

CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS AND APPROVALS NECESSARY TO INITIATE AND COMPLETE SPECIFIED WORK.

ALL DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL REGULATION.

CONTRACTOR SHALL PROTECT ALL EXISTING DOORS, WINDOWS, CASING, WAINSCOTING, MANTELS, STAIR TREADS/RAILS/BALUSTERS, AND FLOOR, WALL, AND CEILING SURFACES SPECIFIED TO REMAIN, TYPICAL.

CONTRACTOR SHALL REFERENCE PROPOSED PLANS WHILE PERFORMING DEMOLITION WORK TO CONFIRM DEMOLITION BOUNDARIES. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.

CONTRACTOR SHALL NOTIFY ARCHITECT IMMEDIATELY OF ANY PROBLEMS/DISCREPANCIES DUE TO UNFORESEEN CONDITIONS REVEALED DURING DEMOLITION AND CONSTRUCTION.

CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY SHOULD DEMOLITION WORK REVEAL ANY ADDITIONAL 'HAZMAT' MATERIALS OR SUBSTANCES THAT HAVE NOT BEEN PREVIOUSLY REMOVED. ARCHITECT WAIVES ALL RESPONSIBILITY AND LIABILITY FOR ANY WORK REQUIRED, PROPOSED AND/OR COMPLETED WITH HAZARDOUS MATERIALS OR SUBSTANCES.

COLUMNS, EXTERIOR WALLS, AND ALL OTHER LOAD-BEARING COMPONENTS TO REMAIN UNDISTURBED UNLESS NOTED OTHERWISE OR APPROVED BY LICENSED STRUCTURAL ENGINEER.

THE DESIGN ADEQUACY AND SAFETY OF ALL TEMPORARY SUPPORTS, BRACING, AND SHORING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

EXTERIOR WINDOWS AND DOORS SELECTED BY OWNER FOR REMOVAL OR REPLACEMENT SHALL NOT BE REMOVED UNTIL THE OPENINGS MAY BE SEALED TEMPORARILY OR FINISHED AS SPECIFIED ON CONSTRUCTION DOCUMENTS.

REMOVAL OF ANY FINISHES WITHIN THE ORIGINAL STRUCTURE SHALL BE PERFORMED ONLY AFTER OWNER APPROVAL. CONTRACTOR SHALL EXECUTE FINISH REMOVAL WITH GREATEST CAUTION TO PREVENT DAMAGE TO ADJACENT COMPONENTS.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK, INCLUDING INSTALLATION OF FIXTURES AND/OR ARCHITECTURAL COMPONENTS. ALL FIXTURE AND ARCHITECTURE COMPONENT SIZES SHOULD BE VERIFIED WITH ARCHITECT PRIOR TO PURCHASE.

CONTRACTOR SHALL VERIFY WITH ARCHITECT AND ENGINEER ALL STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING CONDITIONS REQUIRING ENGINEER'S/CONSULTANT'S APPROVAL. CONTRACTOR SHALL COORDINATE AND VERIFY ALL HVAC, PULMING, AND ELECTRICAL EQUIPMENT FIXTURE SPECIFICATIONS AND LOCATIONS WITH ARCHITECT AND ENGINEER PRIOR TO COMMENCEMENT OF WORK.

CONTRACTOR SHALL SECURE VERIFICATION AND APPROVAL IN WRITING FROM THE OWNER FOR ANY REQUESTED CHANGE ORDERS PRIOR TO COMMENCING WORK ASSOCIATED WITH A CHANGE ORDER.

THE OWNER, ENGINEER, AND ARCHITECT WAIVE ALL RESPONSIBILITY AND LIABILITY FOR CONTRACTOR'S FAILURE TO FOLLOW THE ASSOCIATED PLANS, SPECIFICATION NOTES, AND DESIGN THEY CONVEY, OR FOR PROBLEMS WITH ARISE FROM OTHERS' FAILURE TO OBTAIN / FOLLOW THE OWNER'S / ENGINEER'S / ARCHITECT'S GUIDANCE WITH RESPECT TO ANY INCONSISTENCIES, ERRORS, OMISSIONS, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

A1

GENERAL NOTES

NO SCALE

B1

SHEET INDEX

NO SCALE

C1

SITE INFO

NO SCALE

D1

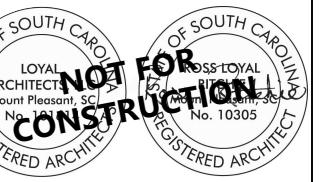
PROJECT TEAM

NO SCALE

To01

REV. 1





# BUNKER HILL RESIDENCE - A

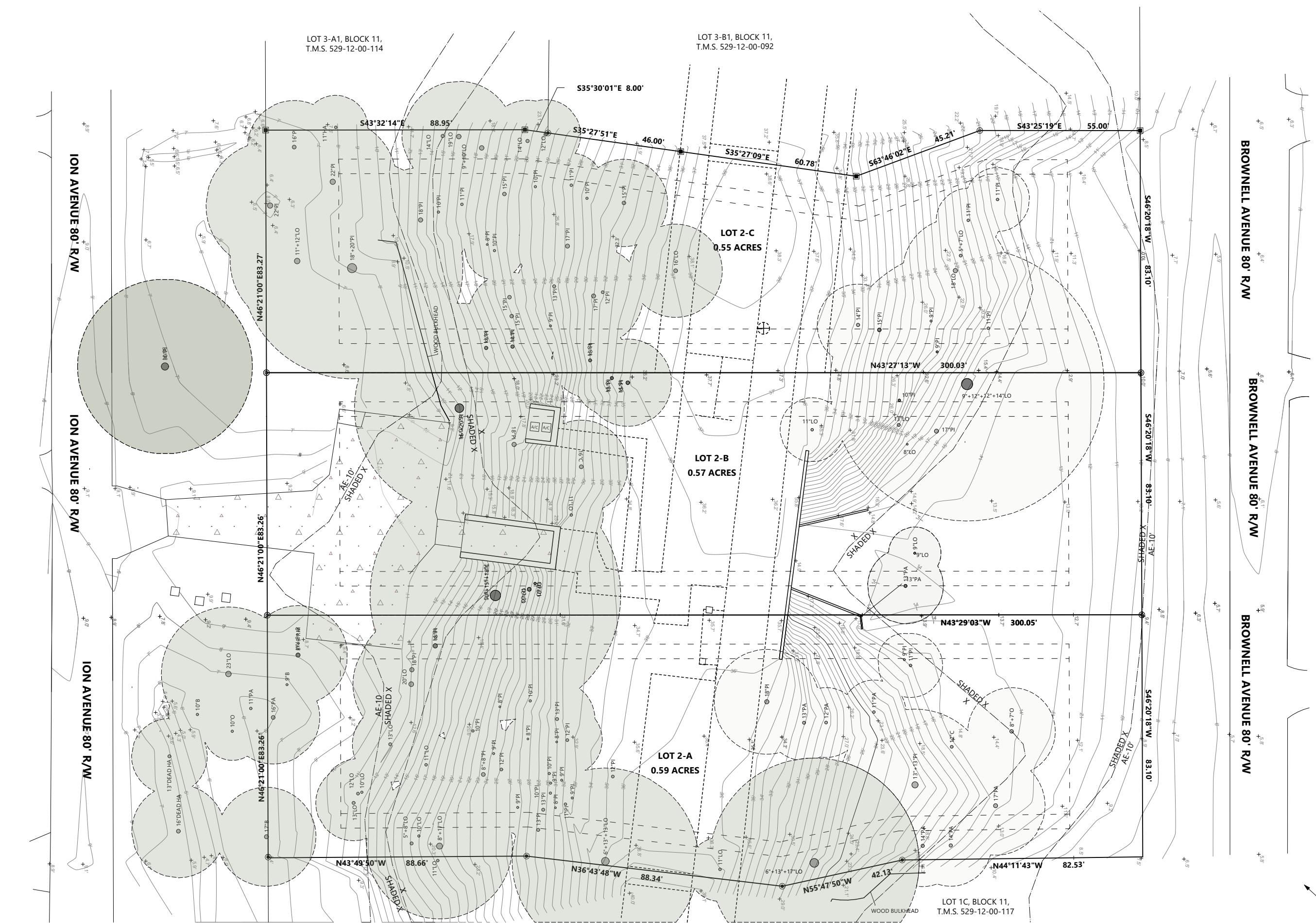
LOT A: 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

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CONCEPTUAL DRB SET: JANUARY 23, 2026

## EXISTING 3019 ON SITE PLAN

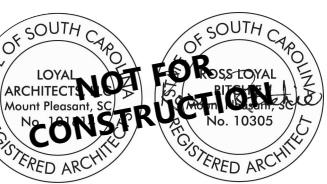
REV.



A1

## 3019 ION AVENUE EXISTING SITE PLAN

SCALE = 1/16 = 1-0 The drawings and design are the property of Loyal Architects and shall be used for the project for which they are prepared. All rights reserved. The reproduction or use of this drawing or the design here on without the written consent of the architect is prohibited.



## BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



A1

EXISTING SITE PLAN

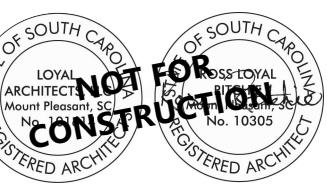
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EXISTING  
SITE PLAN

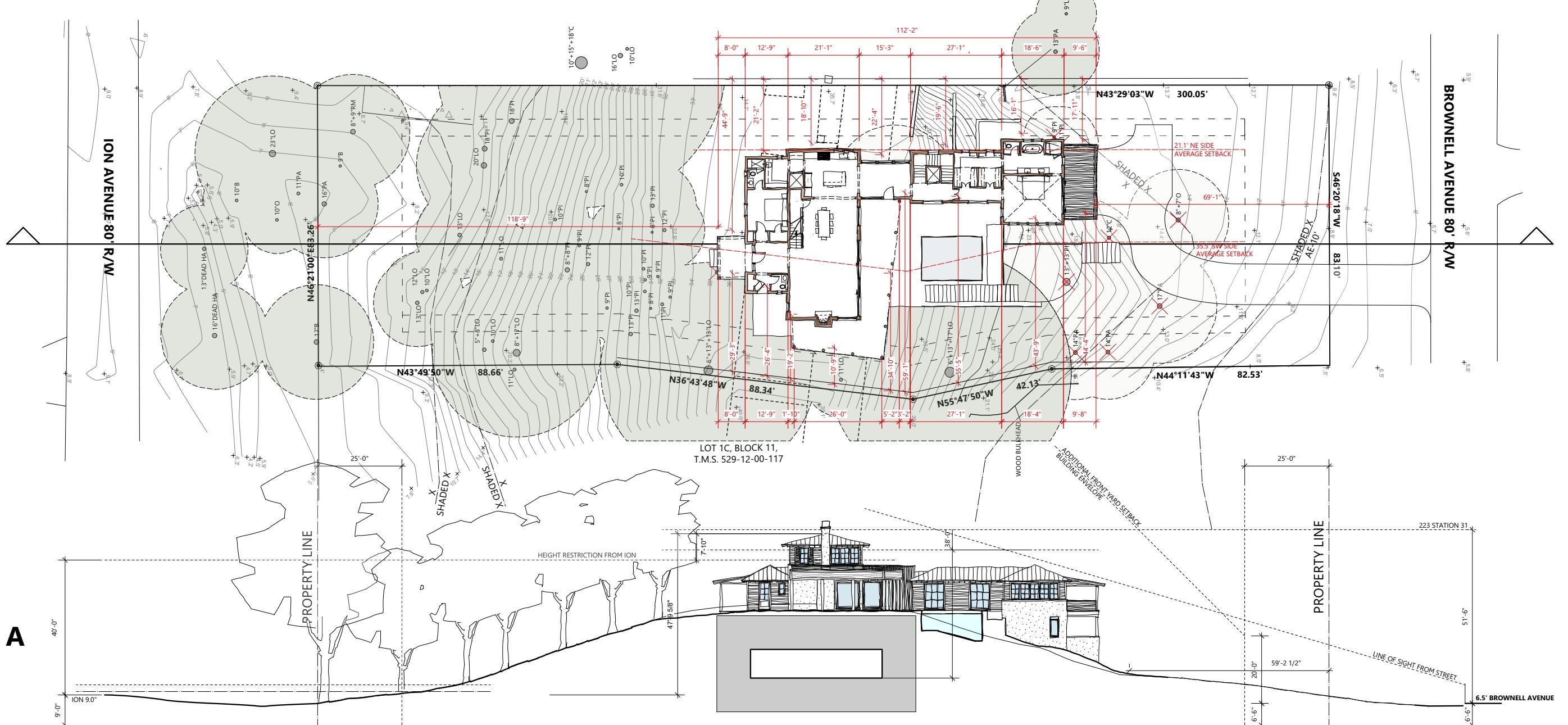
Aoo2

REV. 1



## BUNKER HILL RESIDENCE - A

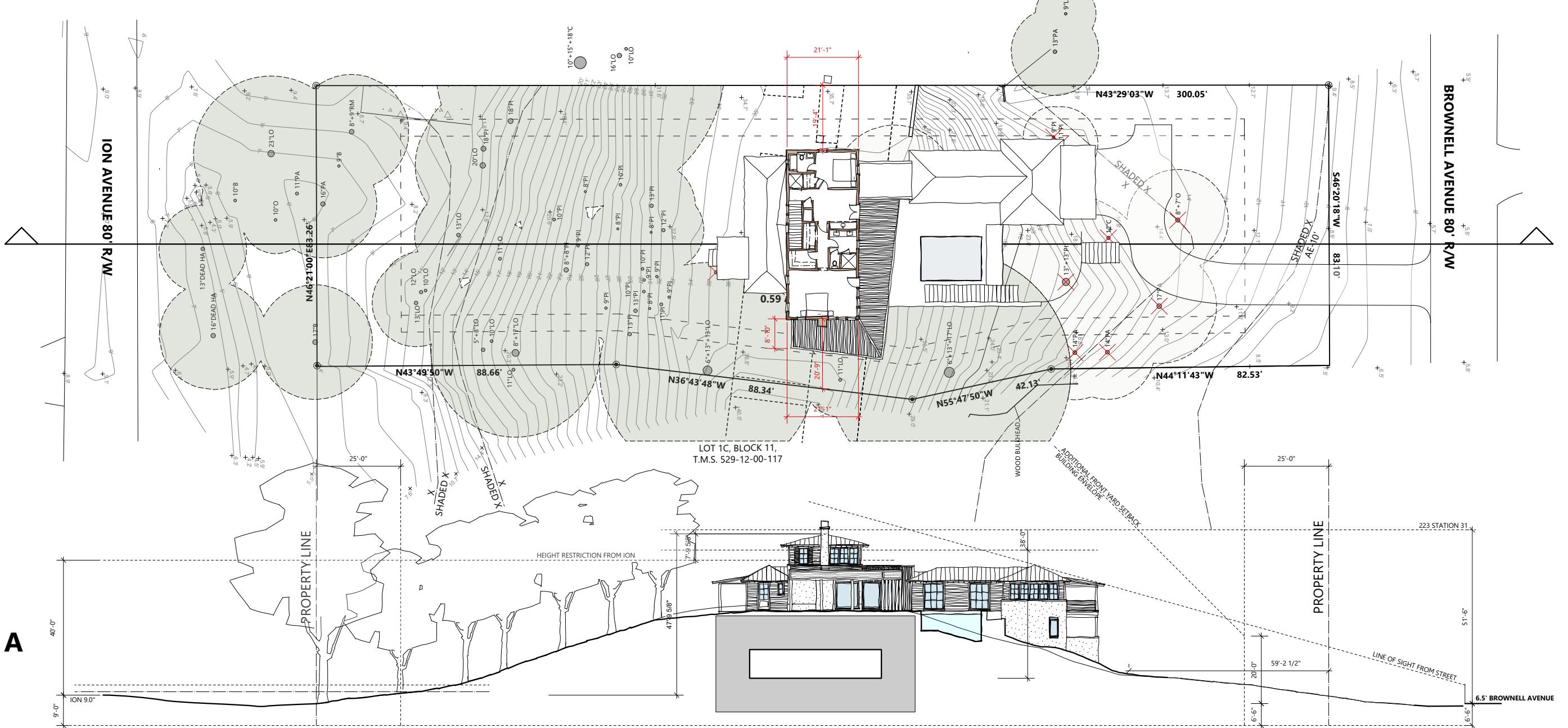
LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482





# BUNKER HILL RESIDENCE - A

LOT A: 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



DRB MAX RELIEF	ZONING STANDARDS COMPLIANCE CHART	3019 LOT-2A (3016 BROWNELL) LOT SIZE: 25,618 SF			
	<b>PRINCIPAL BUILDING COVERAGE AREA</b>	<b>FRONT (BROWNELL) SETBACK:</b> NO REQUEST	<b>SECOND FLOOR:</b> REQUESTING RELIEF		
PBCA DRB RELIEF: 20% (20% = 769 SF)	ZONING STANDARD: 15% (> 15,000sf) 25,618(15%) = 3,843 SF EXISTING: 0 PROPOSED: 2,595 SF PBCA DRB RELIEF: NO REQUEST	ZONING STANDARD: 25' EXISTING: 121'-1" TO BUNKER WALL PROPOSED: 69'-1"	GROUND/1ST NOT TO EXCEED 38' WITHOUT ARTICULATION CONFORMS	SECOND FLOOR NOT TO EXCEED 32' WITHOUT ARTICULATION CONFORMS	SIDE FAÇADE <16' WITHIN 15' OF SIDE PROPERTY LINE CONFORMS
	<b>IMPERVIOUS COVERAGE AREA</b>	<b>SIDE SETBACK:</b> NO REQUEST			
	ZONING STANDARD: 30% (> 15,000sf) 25,618(30%) = 7,685 SF EXISTING: 0 SF PROPOSED: 5,200 SF	ZONING STANDARD: 10' INDIVIDUAL, 33' COMBINED 105'-8" = 22' * 1/3' = 7.33 = 7' EXISTING: NE: 0' SW: 0' PROPOSED: COMBINED: 0' NE: 21.1' AVERAGE SW: 35.5' AVERAGE COMBINED: 56.6'	2ND FLOOR ELEMENTS SUBJECT TO 5' ADDITIONAL SETBACK REQUESTING RELIEF	2ND FLOOR MINIMUM AVERAGE OF 20' & 30' 2ND FLOOR AVERAGES 19.3' & 20.9'	
	<b>PRINC. BLDG. SQ.FT</b>	<b>REAR (ION) SETBACK:</b> NO REQUEST			
PBSF DRB RELIEF: 15% (15% = 669.3 SF)	ZONING STANDARD: 4,462 SF [(25,618 - 5,000) / 100SF ] (10) + 2,400 EXISTING: 0 PROPOSED: 4,458 SF PBSF DRB RELIEF: NO REQUEST	ZONING STANDARD: 25' EXISTING: 148'- 2" BUNKER SHAFT TO REMAIN PROPOSED: 118'- 8" FOR HOUSE			

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CONCEPTUAL DRB SET: JANUARY 23, 2026

# PROPOSED SITE PLAN 2ND FLOOR

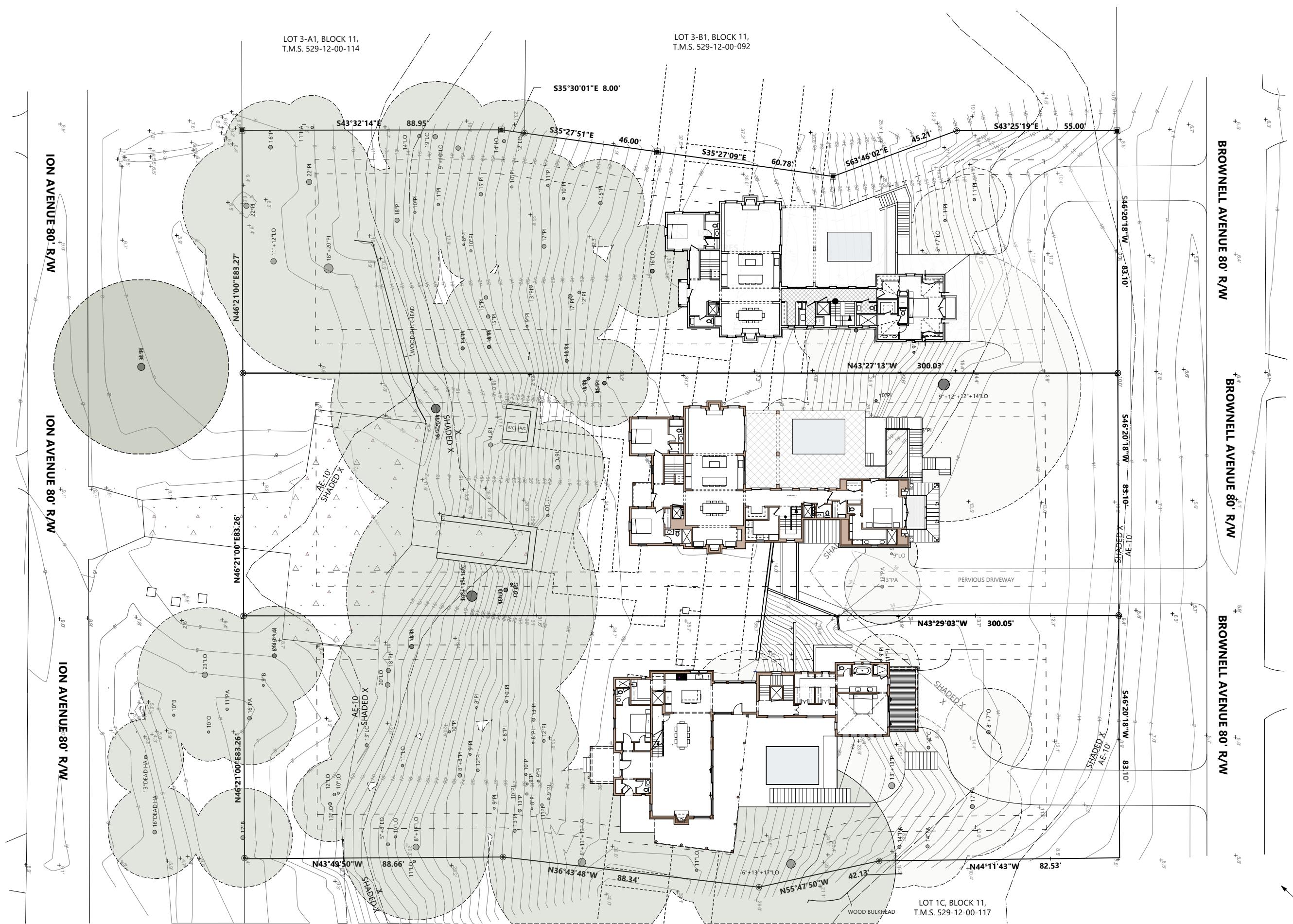
## A1 PROPOSED 2ND FLOOR SITE PLAN AND SITE SECTION

A003B



## BUNKER HILL RESIDENCE - A

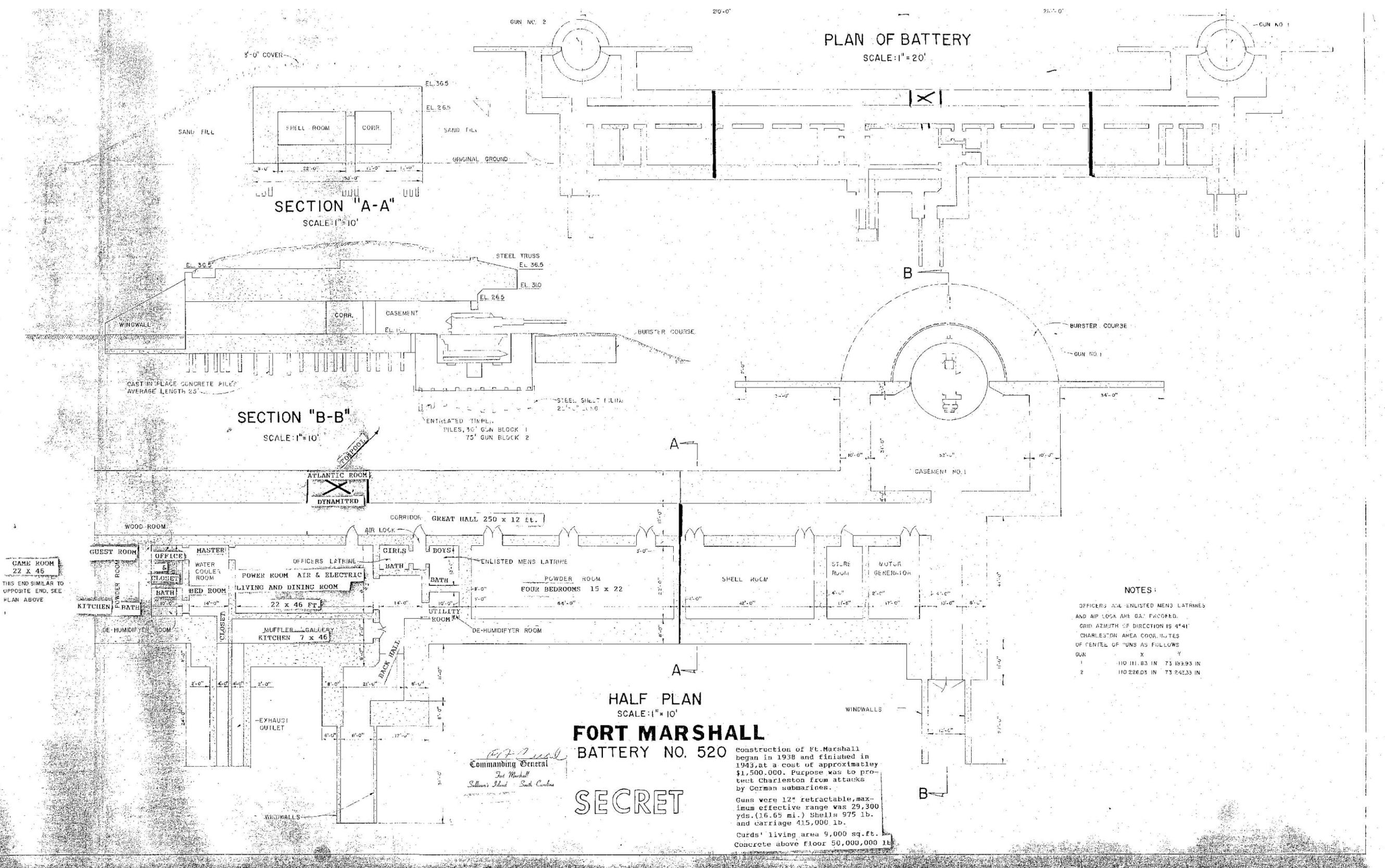
LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482





**BUNKER HILL RESIDENCE - A**

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



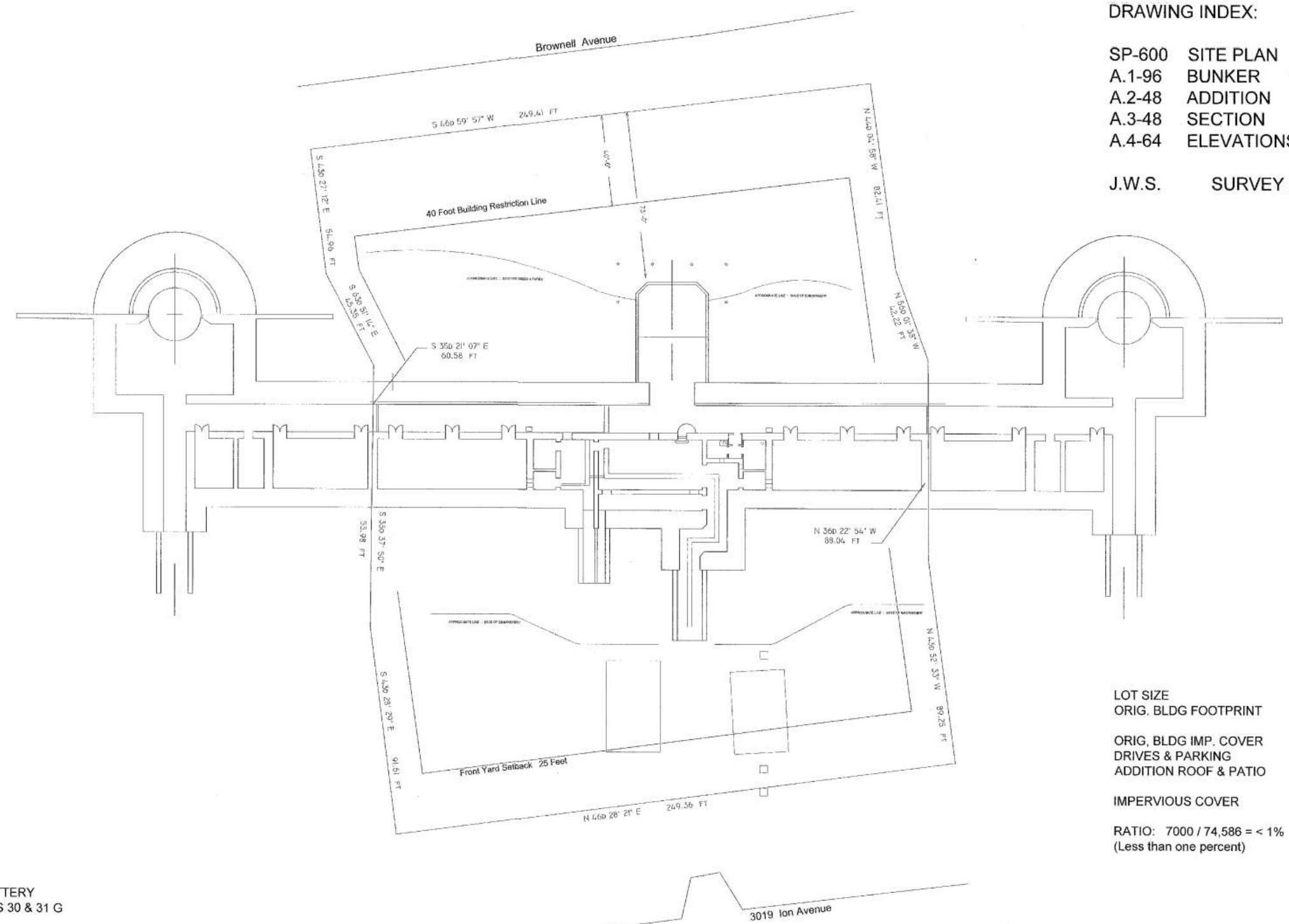
CONCEPTUAL DRB SET: JANUARY 23, 2026

HISTORIC  
DOCUMENTS



## BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



DRAWING SHOWS FULL EXTENT OF BATTERY  
 BETWEEN ION & BROWNELL, STATIONS 30 & 31 G

SITE INFORMATION FROM JOHN WADE, SURVEYOR  
 REFER: HIS DRAWING, ATTACHED

BUILDING INFORMATION FROM HISTORIC DOCUMENT  
 AND ON SITE MEASUREMENT BY MICHAEL CURD

CONCEPTUAL DRB SET: JANUARY 23, 2026

HISTORIC  
DOCUMENTS

A1

EXISTING SITE AND BUNKER DOCUMENTS

SCALE: AS NOTED

A005

REV. 1



NON-HISTORIC BUNKER ENTRANCE ON BROWNELL AVENUE



HISTORIC BUNKER ENTRANCE ON ION AVENUE



NEIGHBORING HISTORIC BUNKER AT 3030 BROWNELL



HISTORIC BUNKER HVAC OPENING ON ION AVENUE

CONCEPTUAL DRB SET: JANUARY 23, 2026

SITE  
PHOTOGRAPHS

A1

SITE PHOTOGRAPHS

SCALE: N/A

A006

REV. 1

**BUNKER HILL RESIDENCE - A**

LOT A : 3016 BROWNELL AVENUE  
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LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



CONCEPTUAL DRB SET: JANUARY 23, 2026

ION  
STREETSCAPE

A1

ION AVENUE STREETSCAPE

SCALE 1/4"=1'-0"

Aoo7

REV. 1



**BUNKER HILL RESIDENCE - A**

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



CONCEPTUAL DRB SET: JANUARY 23, 2026

**BROWNELL  
STREESCAPE**

A1

**BROWNELL STREESCAPE**

SCALE 1/4"=1'-0"

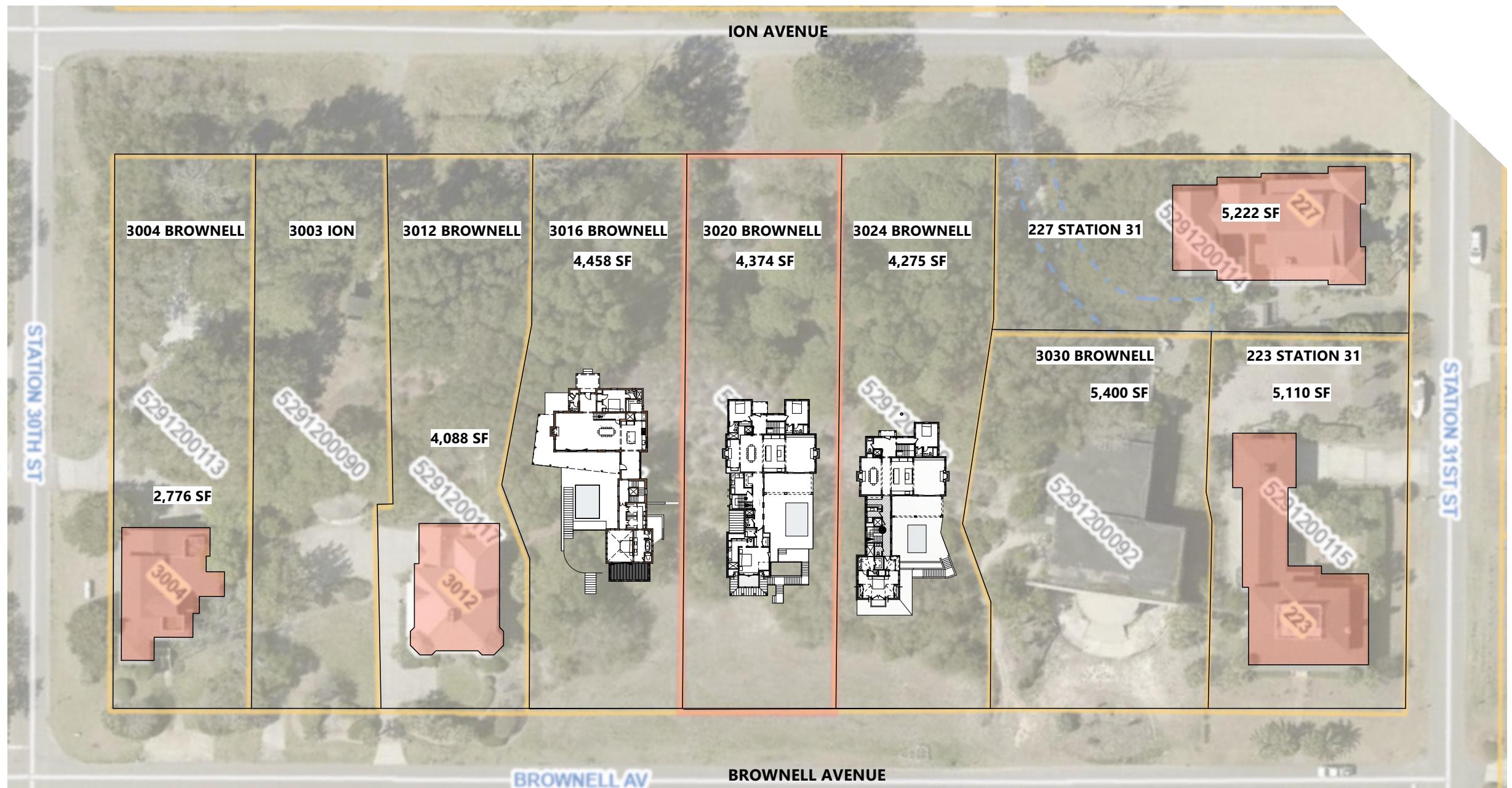
**Aoo8**

REV. 1

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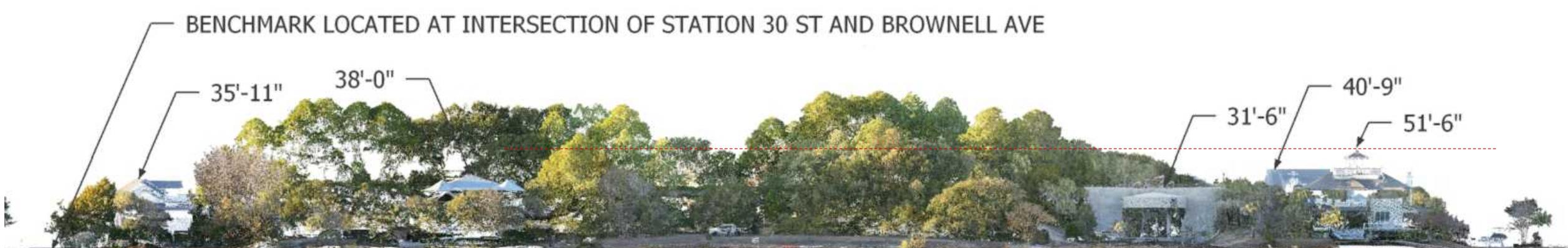


NOT FOR  
CONSTRUCTION



**BUNKER HILL RESIDENCE - A**

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



CONCEPTUAL DRB SET: JANUARY 23, 2026

BLOCK  
DIAGRAM

A1

BLOCK DIAGRAM



**BUNKER HILL RESIDENCE - A**

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



CONCEPTUAL DRB SET: JANUARY 23, 2026

CONCEPTUAL  
RENDERS

A1

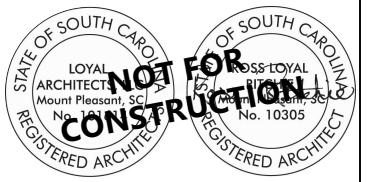
CONCEPTUAL RENDERS

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NO SCALE

Ao10

REV. 1



**BUNKER HILL RESIDENCE - A**

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

CONCEPTUAL  
RENDERS

Ao10

REV. 1



A1  
NO SCALE

CONCEPTUAL RENDERS



**BUNKER HILL RESIDENCE - A**

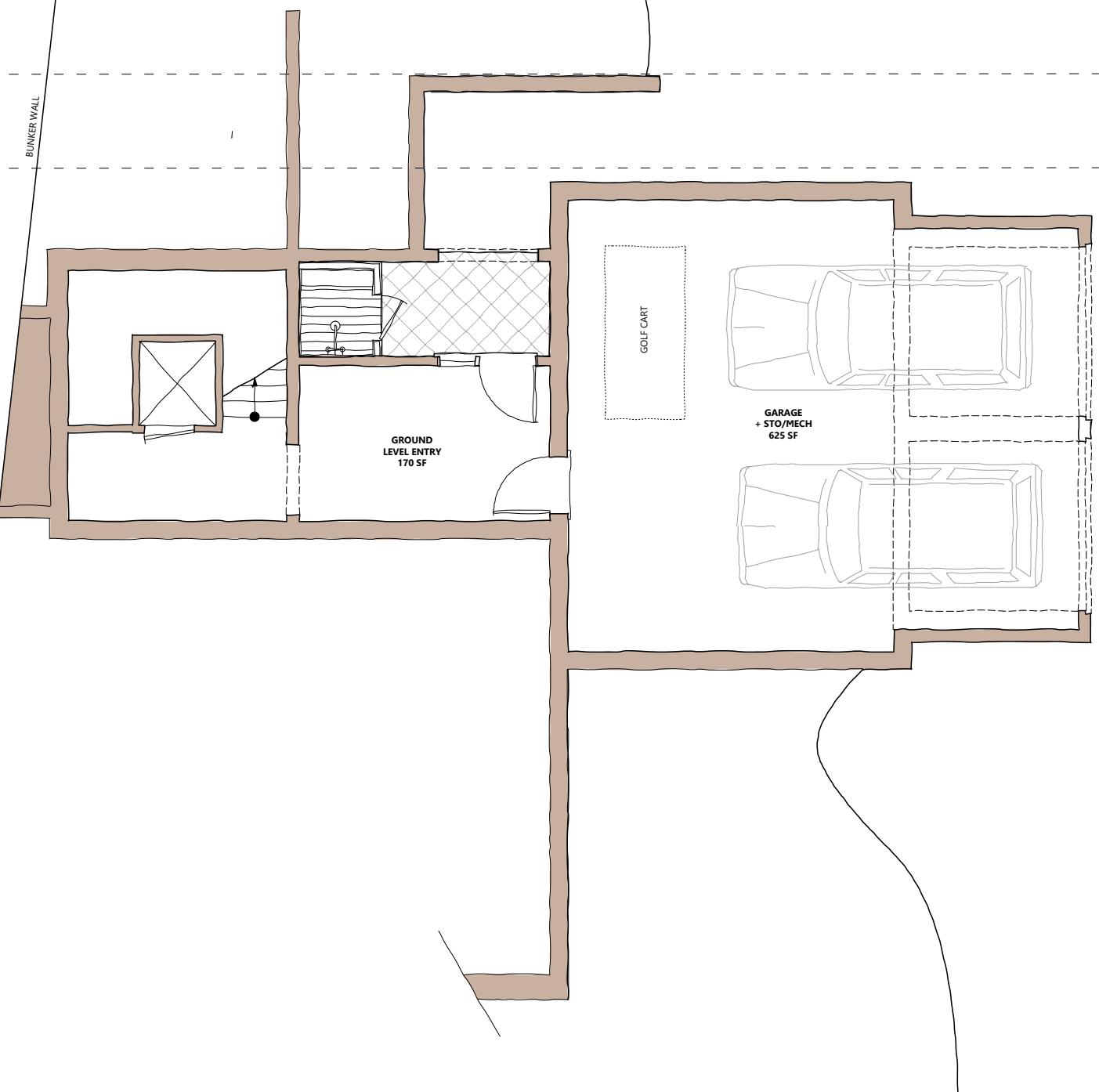
LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

GROUND  
PLAN

A100

REV. 1



A1

SCHEMATIC GROUND/BUNKER LEVEL

SCALE: 1/4" = 1'-0"

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A100

REV. 1



**BUNKER HILL RESIDENCE - A**

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

LOWER LEVEL  
PLAN

A101

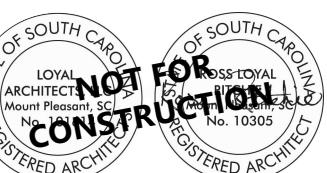
REV. 1

A1

SCHEMATIC LOWER LEVEL FLOOR PLAN

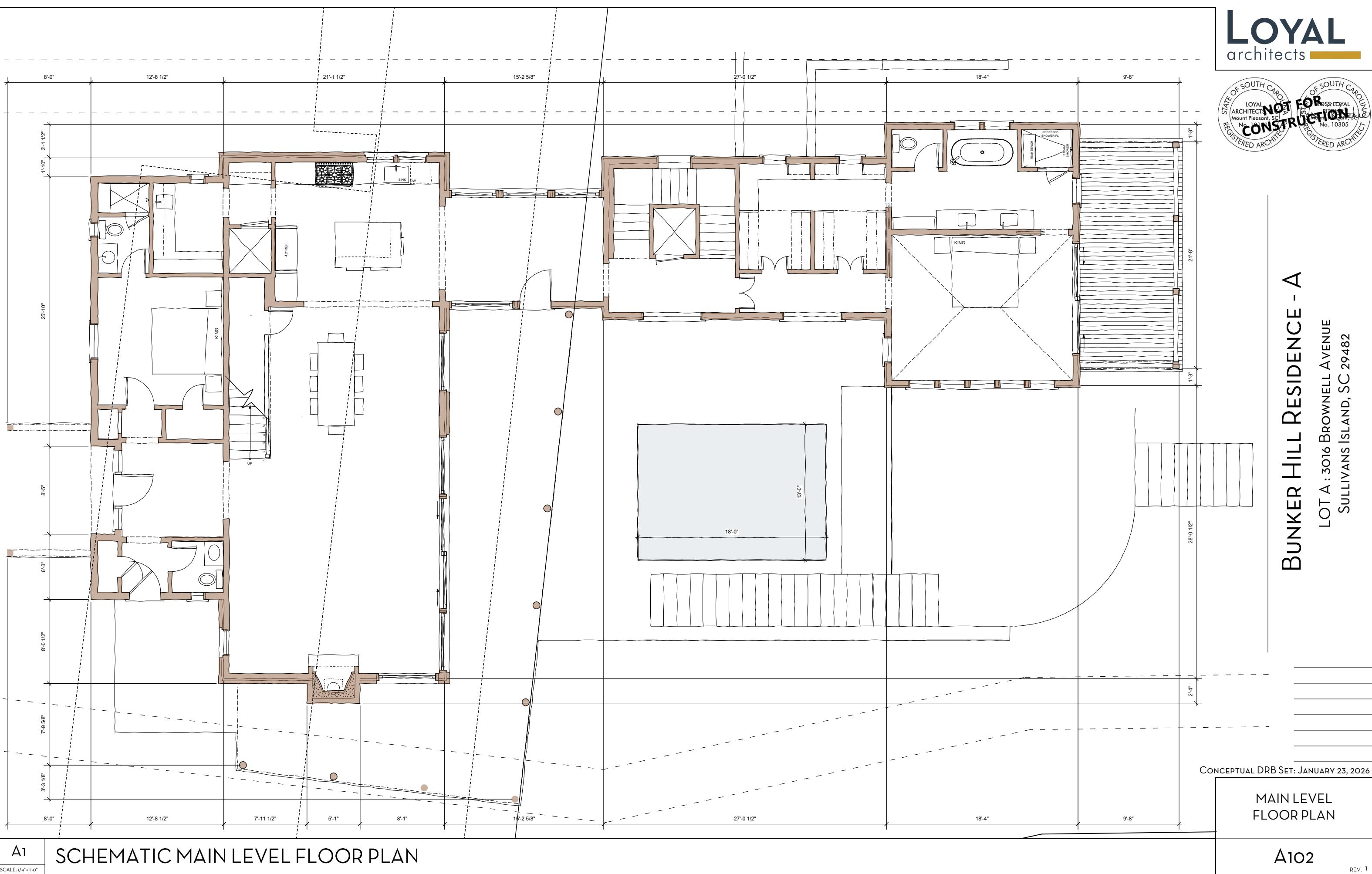
SCALE: 1/4" = 1'-0"

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LOT A : 3016 BROWNELL AVENUE  
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**BUNKER HILL RESIDENCE - A**

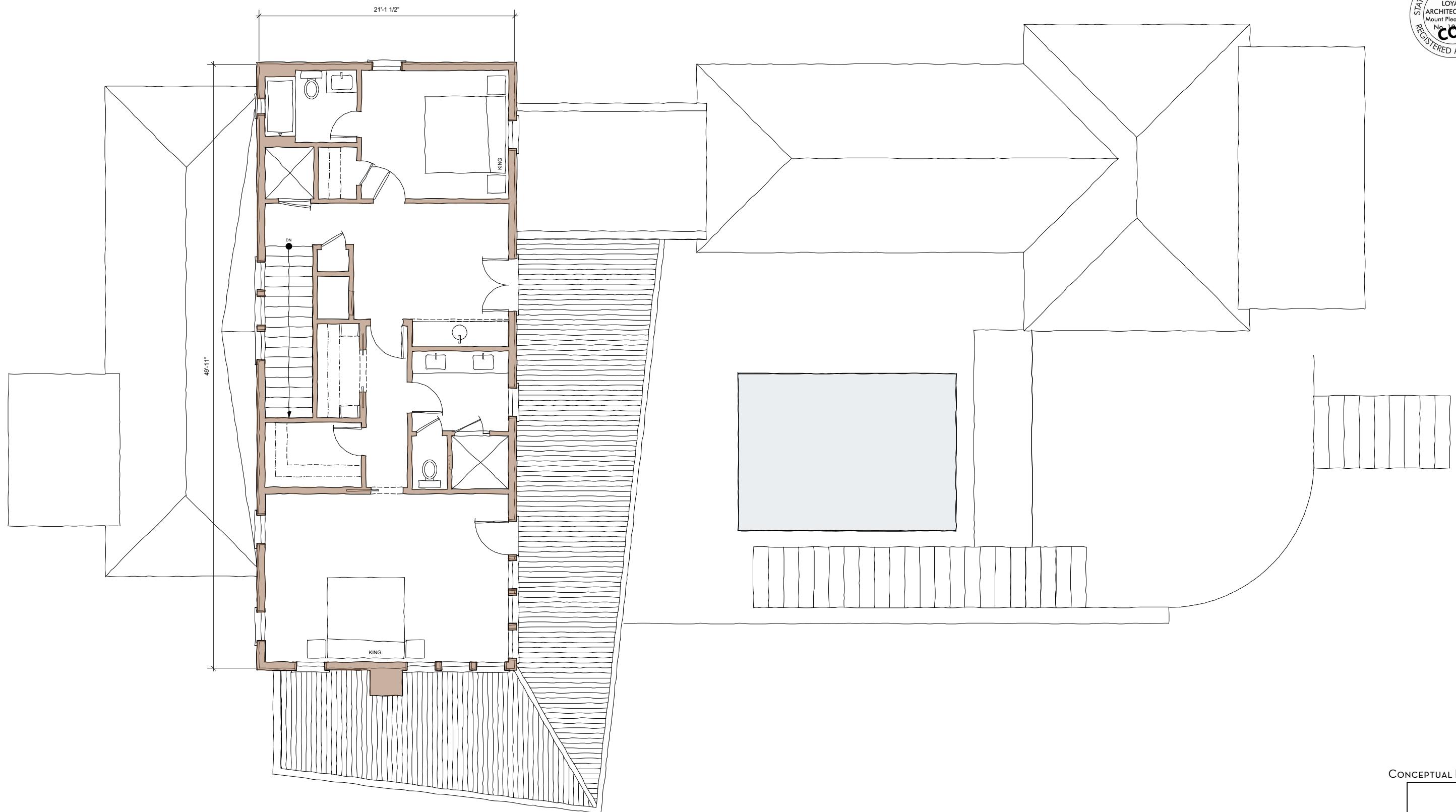
LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

SECOND  
FLOOR PLAN

A103

REV. 1



A1

SECOND FLOOR PLAN



**BUNKER HILL RESIDENCE - A**

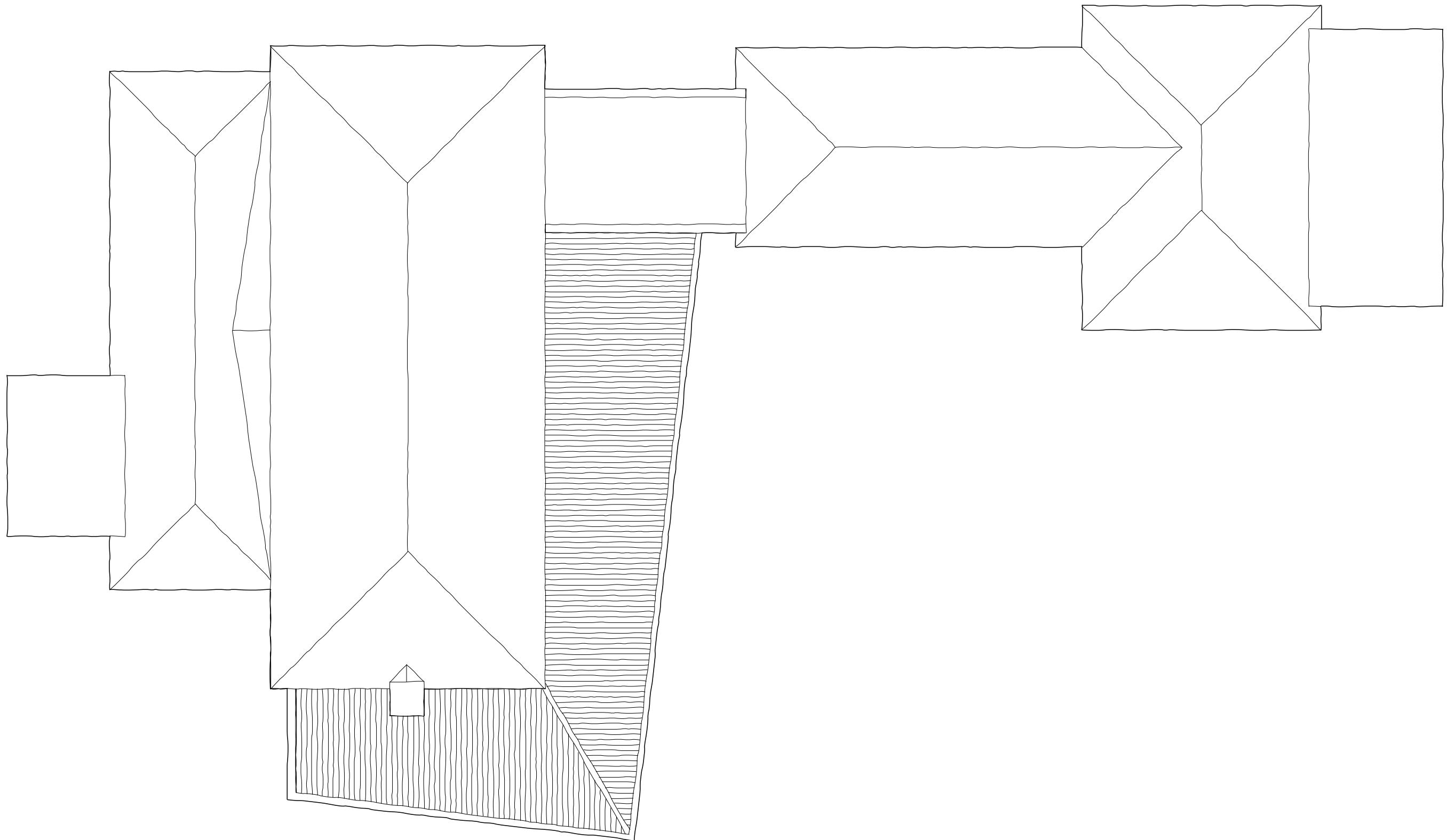
LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

ROOF PLAN

A104

REV. 1



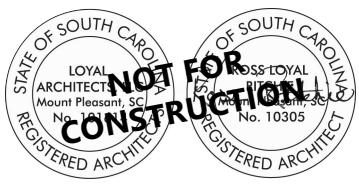
A1

ROOF PLAN

SCALE: 1/4" = 1'-0"

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**NOT FOR  
CONSTRUCTION**



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LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR  
ELEVATION

A1

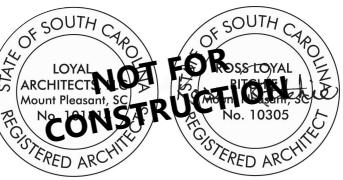
BROWNELL AVENUE ELEVATION

SCALE: 1/4" = 1'-0"

A201

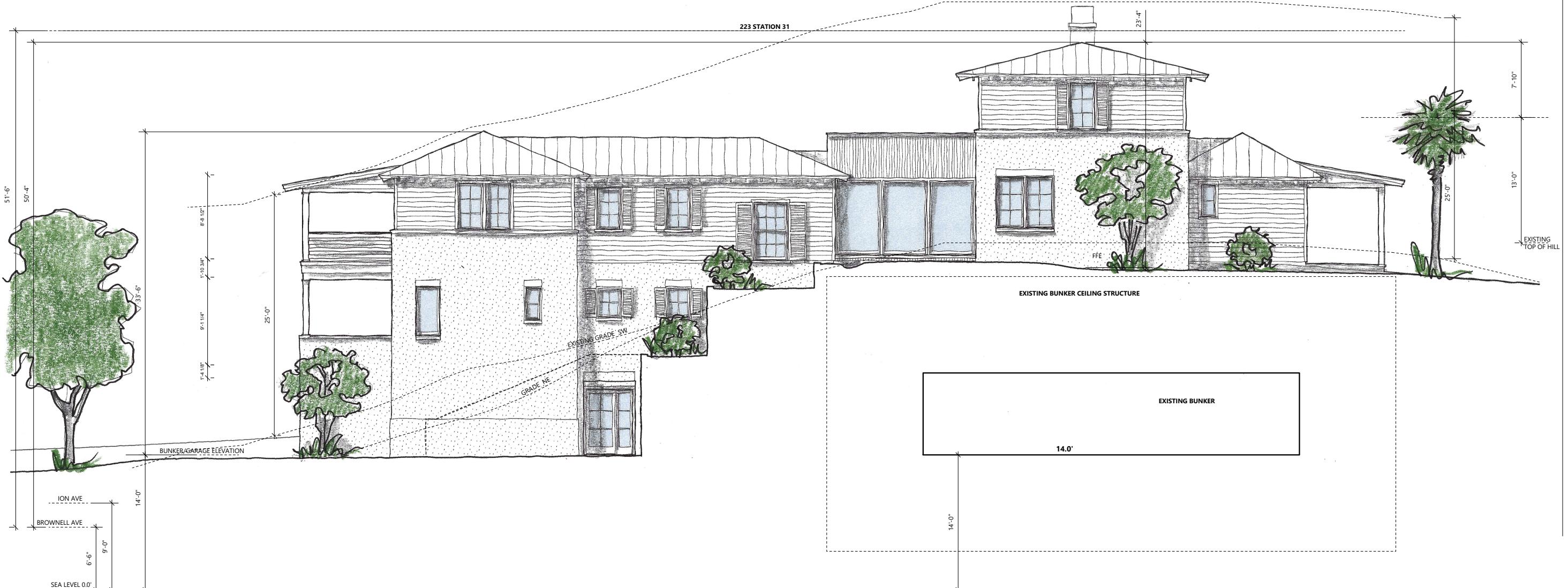
REV. 1

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SULLIVANS ISLAND, SC 29482



CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR  
ELEVATION

A1

POOL TERRACE SECTION ELEVATION

SCALE: 3/16" = 1'-0"

A202

REV. 1

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**BUNKER HILL RESIDENCE - A**

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

HEIGHT OF 223 STATION 31



CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR  
ELEVATION

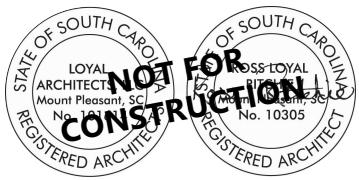
A1

ION AVENUE NORTHWEST ELEVATION

SCALE: 1/4" = 1'-0"

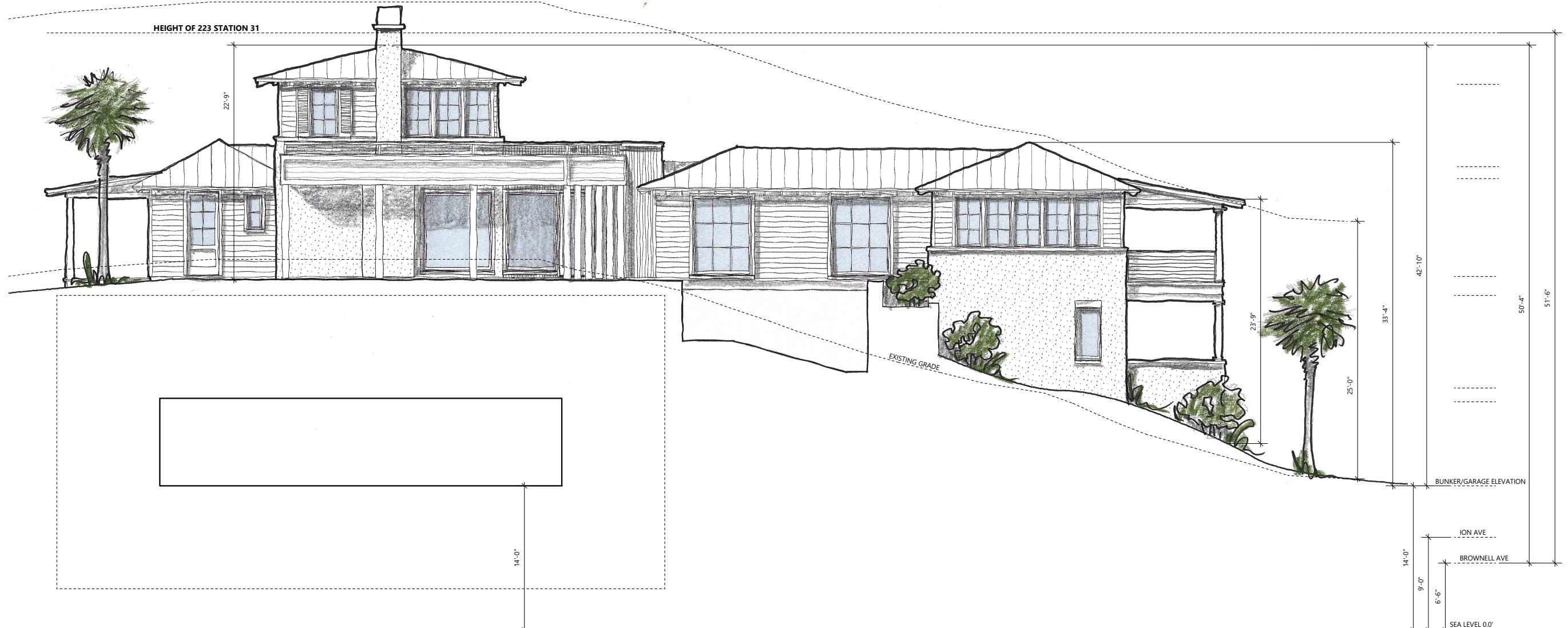
A203

REV. 1



## BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR  
ELEVATION

A1

SOUTHWEST SIDE EXTERIOR ELEVATION

SCALE: 3/16"=1'-0"

A204

REV. 1

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