

**GENERAL NOTES:**

CONTRACTOR SHALL MAINTAIN A NEAT AND ORDERLY CONSTRUCTION SITE AT ALL TIMES AND SHALL NOT ALLOW THE UNNECESSARY ACCUMULATION OF CONSTRUCTION DEBRIS.

THE BUILDING SHALL REMAIN SECURE AND WEATHER TIGHT AT ALL TIMES.

CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ALL REQUIRED PERMITS AND APPROVALS NECESSARY TO INITIATE AND COMPLETE SPECIFIED WORK.

ALL DEMOLITION AND CONSTRUCTION SHALL BE IN ACCORDANCE WITH CURRENT APPLICABLE BUILDING CODES AND LOCAL REGULATION.

CONTRACTOR SHALL PROTECT ALL EXISTING DOORS, WINDOWS, CASING, WAINSCOTING, MANTELS, STAIR TREADS/RAILS/BALUSTERS, AND FLOOR, WALL, AND CEILING SURFACES SPECIFIED TO REMAIN, TYPICAL.

CONTRACTOR SHALL REFERENCE PROPOSED PLANS WHILE PERFORMING DEMOLITION WORK TO CONFIRM DEMOLITION BOUNDARIES. ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO THE COMMENCEMENT OF WORK.

CONTRACTOR SHALL NOTIFY ARCHITECTS IMMEDIATELY OF ANY PROBLEMS/DISCREPANCIES DUE TO UNFORESEEN CONDITIONS REVEALED DURING DEMOLITION AND CONSTRUCTION.

CONTRACTOR SHALL NOTIFY ARCHITECT, ENGINEER AND OWNER IMMEDIATELY SHOULD DEMOLITION WORK REVEAL ANY ADDITIONAL 'HAZMAT' MATERIALS OR SUBSTANCES THAT HAVE NOT BEEN PREVIOUSLY REMOVED. ARCHITECT WAIVES ALL RESPONSIBILITY AND LIABILITY FOR ANY WORK REQUIRED, PROPOSED AND/OR COMPLETED WITH HAZARDOUS MATERIALS OR SUBSTANCES.

COLUMNS, EXTERIOR WALLS, AND ALL OTHER LOAD-BEARING COMPONENTS TO REMAIN UNDISTURBED UNLESS NOTED OTHERWISE OR APPROVED BY LICENSED STRUCTURAL ENGINEER.

THE DESIGN ADEQUACY AND SAFETY OF ALL TEMPORARY SUPPORTS, BRACING, AND SHORING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

EXTERIOR WINDOWS AND DOORS SELECTED BY OWNER FOR REMOVAL OR REPLACEMENT SHALL NOT BE REMOVED UNTIL THE OPENINGS MAY BE SEALED TEMPORARILY OR FINISHED AS SPECIFIED ON CONSTRUCTION DOCUMENTS.

REMOVAL OF ANY FINISHES WITHIN THE ORIGINAL STRUCTURE SHALL BE PERFORMED ONLY AFTER OWNER APPROVAL. CONTRACTOR SHALL EXECUTE FINISH REMOVAL WITH GREATEST CAUTION TO PREVENT DAMAGE TO ADJACENT COMPONENTS.

ALL DIMENSIONS MUST BE VERIFIED BY CONTRACTOR PRIOR TO COMMENCEMENT OF WORK, INCLUDING INSTALLATION OF FIXTURES AND/OR ARCHITECTURAL COMPONENTS. ALL FIXTURE AND ARCHITECTURE COMPONENT SIZES SHOULD BE VERIFIED WITH ARCHITECT PRIOR TO PURCHASE.

CONTRACTOR SHALL VERIFY WITH ARCHITECT AND ENGINEER ALL STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING CONDITIONS REQUIRING ENGINEER'S/CONSULTANT'S APPROVAL. CONTRACTOR SHALL COORDINATE AND VERIFY ALL HVAC, PULMBING, AND ELECTRICAL EQUIPMENT FIXTURE SPECIFICATIONS AND LOCATIONS WITH ARCHITECT AND ENGINEER PRIOR TO COMMENCEMENT OF WORK.

CONTRACTOR SHALL SECURE VERIFICATION AND APPROVAL IN WRITING FROM THE OWNER FOR ANY REQUESTED CHANGE ORDERS PRIOR TO COMMENCING WORK ASSOCIATED WITH A CHANGE ORDER.

THE OWNER, ENGINEER, AND ARCHITECT WAIVE ALL RESPONSIBILITY AND LIABILITY FOR CONTRACTOR'S FAILURE TO FOLLOW THE ASSOCIATED PLANS, SPECIFICATION NOTES, AND DESIGN THEY CONVEY, OR FOR PROBLEMS WITH ARISE FROM OTHERS' FAILURE TO OBTAIN / FOLLOW THE OWNER'S / ENGINEER'S / ARCHITECT'S GUIDANCE WITH RESPECT TO ANY INCONSISTENCIES, ERRORS, OMMISSIONS, AMBIGUITIES, OR CONFLICTS WHICH ARE ALLEGED.

## SCHEMATIC BROWNELL ELEVATION

### SHEET INDEX

T001	TITLE SHEET & GENERAL NOTES
A001	OWNER'S SURVEY
A001C	3019 ION EXISTING SITE PLAN
A002	EXISTING SITE PLAN AND SITE SECTION
A003	PROPOSED SITE PLAN AND SITE SECTION
A003B	PROPOSED 2ND FLOOR SITE PLAN
A003C	3019 ION SITE PLAN
A004	HISTORIC DOCUMENT
A005	HISTORIC DOCUMENT
A006	SITE PHOTOGRAPHS
A007	ION AVE STREETSCAPE
A008	BROWNELL STREETSCAPE
A009	BLOCK DIAGRAMS
A010	RENDERS
A011	RENDERS
A100	GARAGE LEVEL PLAN
A101	ENTRY LEVEL PLAN
A102	MAIN LEVEL PLAN
A103	2ND FLOOR PLAN
A104	ROOF PLAN
A201	EXTERIOR ELEVATION
A202	EXTERIOR ELEVATION
A203	EXTERIOR ELEVATION
A204	EXTERIOR ELEVATION

### CODE REFERENCES:

INTERNATIONAL RESIDENTIAL CODE, 2021 EDITION w/SC MODIFICATIONS  
INTERNATIONAL EXISTING BUILDING CODE, 2021 EDITION  
INTERNATIONAL MECHANICAL CODE, 2021 EDITION w/SC MODIFICATIONS  
INTERNATIONAL PLUMBING CODE, 2021 EDITION  
INTERNATIONAL FIRE CODE, 2021 EDITION w/SC MODIFICATIONS  
INTERNATIONAL FUEL AND GAS CODE, 2021 EDITION w/SC MODIFICATIONS  
NATIONAL ELECTRICAL CODE, 2020 EDITION w/SC MODIFICATIONS  
ICC/ANSI A117.1-2017 ACCESSIBLE AND USABLE BUILDINGS  
INTERNATIONAL ENERGY CONSERVATION CODE, 2009 EDITION

### C2

## REF'D CODES

ADDRESS: 3019 ION AVE, LOT 2-A (NOW 3016 BROWNELL AVE)  
TMS: 529-12-00-091  
REF: J-016  
LOT SIZE: 0.59 ACRES = 25,618 SF  
FLOOD ZONE: SHADE X & X  
LOWEST FINISH FLOOR ELEVATION: BUNKER 12.0' AND 14.0'  
ADJACENT GRADE: ION AVE= 9.0', BROWNELL AVE = 6.5'  
TOP OF HILL = 36.5'

### ARBORIST:

GERALD J BENOIT, ISA  
3300 CEDAR CREEK COURT  
MOUNT PLEASANT, SC 29466  
P: 843.224.1629  
E: SEAJUNKIE49@GMAIL.COM

### OWNER:

DOROTHY CURD AND ROBERT CURD TRUST  
1882 PEACEFUL WAY  
MOUNT PLEASANT, SC 29464

### STRUCTURAL ENGINEER:

EMPIRE ENGINEERING  
GEREMY POWELL, PE  
590 LONE TREE DR SUITE 101  
MOUNT PLEASANT, SC 29464  
P: 843.308.0080  
E: GEREMY@EMPIREENG.COM

### ARCHITECT:

LOYAL ARCHITECTS, LLC  
ROSS RITCHIE, AIA  
1435 KINGLET STREET  
MOUNT PLEASANT, SC 29464  
P: 843.732.0502  
E: ROSS@LOYALARCHITECTS.COM

### BUILDER:

TBD

CONCEPTUAL DRB SET: JANUARY 23, 2026

TITLE  
SHEET & GENERAL  
NOTES

T001

REV. 1

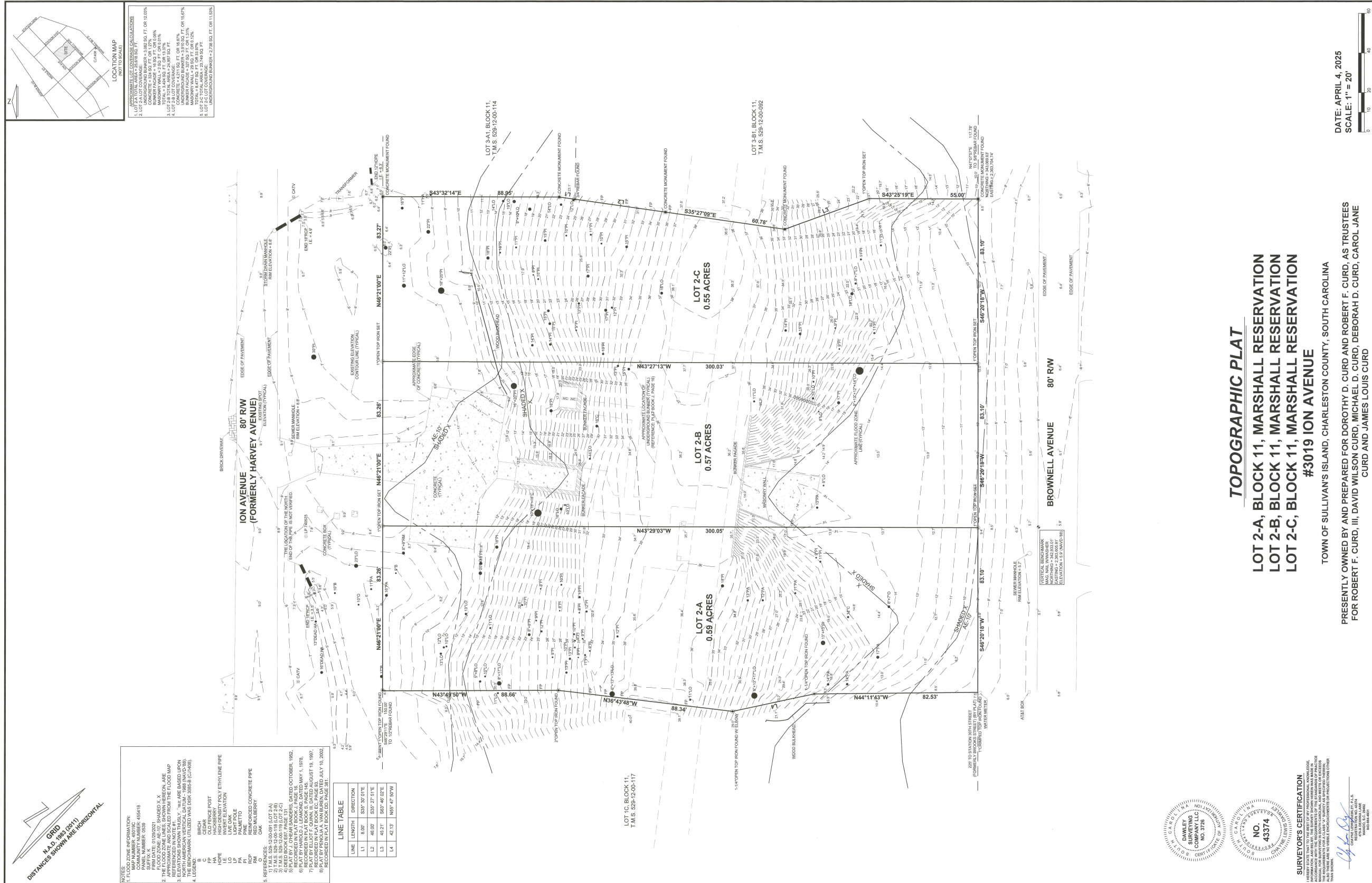
BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

A001





BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

EXISTING 3019  
ION SITE PLAN

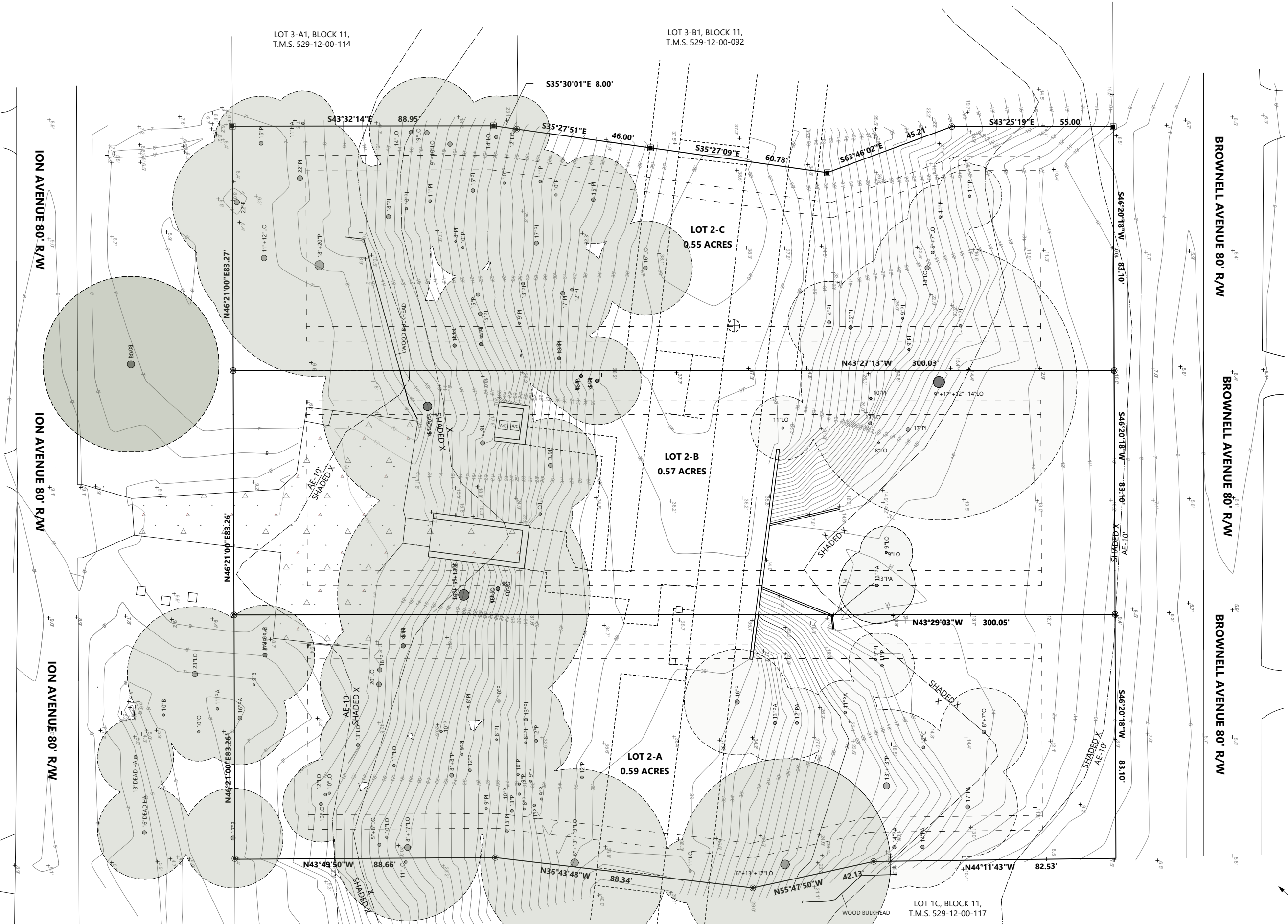
A001C

REV. 1

LOT 3-A1, BLOCK 11,  
T.M.S. 529-12-00-114

LOT 3-B1, BLOCK 11,  
T.M.S. 529-12-00-092

LOT 1C, BLOCK 11,  
T.M.S. 529-12-00-117



A1

3019 ION AVENUE EXISTING SITE PLAN

SCALE=1/16"=1'-0"



BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

EXISTING  
SITE PLAN

A002

REV. 1



**PRINCIPAL BUILDING COVERAGE AREA:**  
(1) Principal Building Coverage Area. The Lot Area covered by the Principal Building measured vertically downward from the Principal Building's exterior walls to the ground (also known as the building footprint area), but excludes areas covered only by:  
(a) accessory structures not readily useable as living space;  
(b) exterior porches and decks; and,  
(c) exterior stairs.

**IMPERVIOUS COVERAGE AREA:**  
(1) Impervious Coverage Area. That portion of the Lot Area covered by an impervious surface.  
(2) Impervious Surface: Any material or structure through which water cannot be absorbed or passed, including but not limited to roofed structures, compacted soil or stone, pavement consisting of asphalt, concrete, oil and stone, tar, or asphalt. Impervious surfaces also include building foundations, porches, decks, patios, sidewalks, play courts (tennis, basketball, etc.), pools, and other improvements that impede the absorption of water. Grassed or mulched areas are not considered impervious materials.  
(3) Pervious Surface: Any material through which water can be easily absorbed or passed, at a minimum infiltration rate of 2.0 inches per hour, such as, but not limited to, grass and uncompacted gravel, shell and crushed stone.

**PRINCIPAL BUILDING SQUARE FOOTAGE:**  
(2) Principal Building Square Footage: The entire square footage of the Principal Building or Buildings measured from the outside of the exterior walls, specifically including more than one dwelling on the same lot and historic structures used as accessory dwelling units, but not including  
(a) interior space not readily useable as living space (attic used only for storage or parking area beneath dwelling);  
(b) structures that are not used as living space;  
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(d) exterior stairs.

DRB MAX RELIEF	ZONING STANDARDS COMPLIANCE CHART		3019 LOT-2A (3016 BROWNELL) LOT SIZE: 25,618 SF	
PBCA DRB RELIEF: 20% (20%=769 SF)  TOTAL: 4,612 SF	<b>PRINCIPAL BUILDING COVERAGE AREA</b>		<b>FRONT (BROWNELL) SETBACK:</b>	<b>SECOND FLOOR:</b>
	ZONING STANDARD: 25,618(15%)= 3,843 SF EXISTING: 0 SF PROPOSED: PBCA DRB RELIEF:	15% (>15,000sf) 3,843 SF 0 SF 2,595 SF NO REQUEST	NO REQUEST  ZONING STANDARD: 25' EXISTING: 121'-1" TO BUNKER WALL PROPOSED: 69'-1"	REQUESTING RELIEF  GROUND/1ST NOT TO EXCEED 38' WITHOUT ARTICULATION CONFORMS SECOND FLOOR NOT TO EXCEED 32' WITHOUT ARTICULATION CONFORMS SIDE FACADE <16' WITHIN 15' OF SIDE PROPERTY LINE CONFORMS 2ND FLOOR ELEMENTS SUBJECT TO 5' ADDITIONAL SETBACK REQUESTING RELIEF 2ND FLOOR MINIMUM AVERAGE OF 20' & 30' 2ND FLOOR AVERAGES 19.3' & 20.9'
PBSF DRB RELIEF: 15% (15% = 669.3 SF)  TOTAL: 5,131.3 SF	<b>IMPERVIOUS COVERAGE AREA</b> ZONING STANDARD: 25,618(30%)= 7,685 SF EXISTING: 0 SF PROPOSED:	30% (>15,000sf) 7,685 SF 0 SF 5,200 SF	<b>SIDE SETBACK:</b>  ZONING STANDARD: 10' INDIVIDUAL 33' COMBINED EXISTING: 105'-83" = 22' * 1/3" = 7.33" = 7' NE: 0' SW: 0' COMBINED: 0' NE: 21.1' AVERAGE SW: 35.5' AVERAGE COMBINED: 56.6'	
	<b>PRINC. BLDG. SQFT</b> ZONING STANDARD: 1(25,618 - 5,000) / 1005F ] (10) + 2,400 EXISTING: 0 PROPOSED: 4,458 SF PBSF DRB RELIEF:	4,462 SF 0 4,458 SF NO REQUEST	<b>REAR (ION) SETBACK:</b>  ZONING STANDARD: 25' EXISTING: 148' - 2" BUNKER SHAFT TO REMAIN PROPOSED: 118' - 8" FOR HOUSE	

A1  
EXISTING SITE PLAN



BUNKER HILL RESIDENCE - A

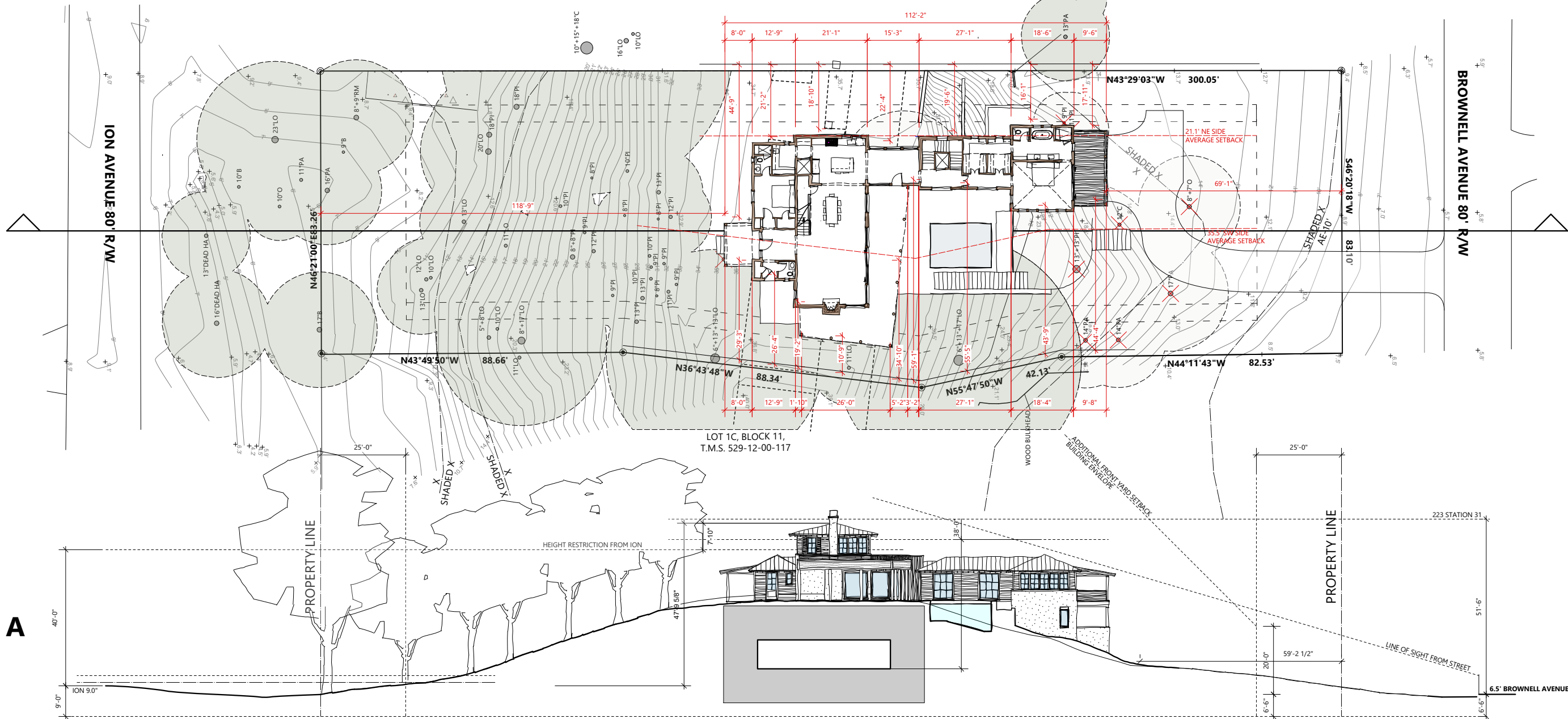
LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

PROPOSED  
SITE PLAN

A003

REV. 1



**PRINCIPAL BUILDING COVERAGE AREA:**  
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PBCA DRB RELIEF: 20% (20%=769 SF)  TOTAL: 4,612 SF	<b>PRINCIPAL BUILDING COVERAGE AREA</b>		<b>FRONT (BROWNELL) SETBACK:</b> NO REQUEST	
	ZONING STANDARD: 25,618(15%)= EXISTING: PROPOSED: PBCA DRB RELIEF:	15% (>15,000sf) 3,843 SF 0 SF 2,595 SF NO REQUEST	ZONING STANDARD: EXISTING: PROPOSED:	25' 121'-1" TO BUNKER WALL 69'-1"
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	ZONING STANDARD: 25,618(30%)= EXISTING: PROPOSED:	30% (>15,000sf) 7,685 SF 0 SF 5,200 SF	ZONING STANDARD: EXISTING: PROPOSED:	10' INDIVIDUAL 33' COMBINED 105'-83" = 22' + 1/3" = 7.33 = 7' NE: 0' SW: 0' NE: 21.1' AVERAGE SW: 35.5' AVERAGE COMBINED: 56.6'
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			<b>SECOND FLOOR:</b> REQUESTING RELIEF	
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A1

PROPOSED SITE PLAN

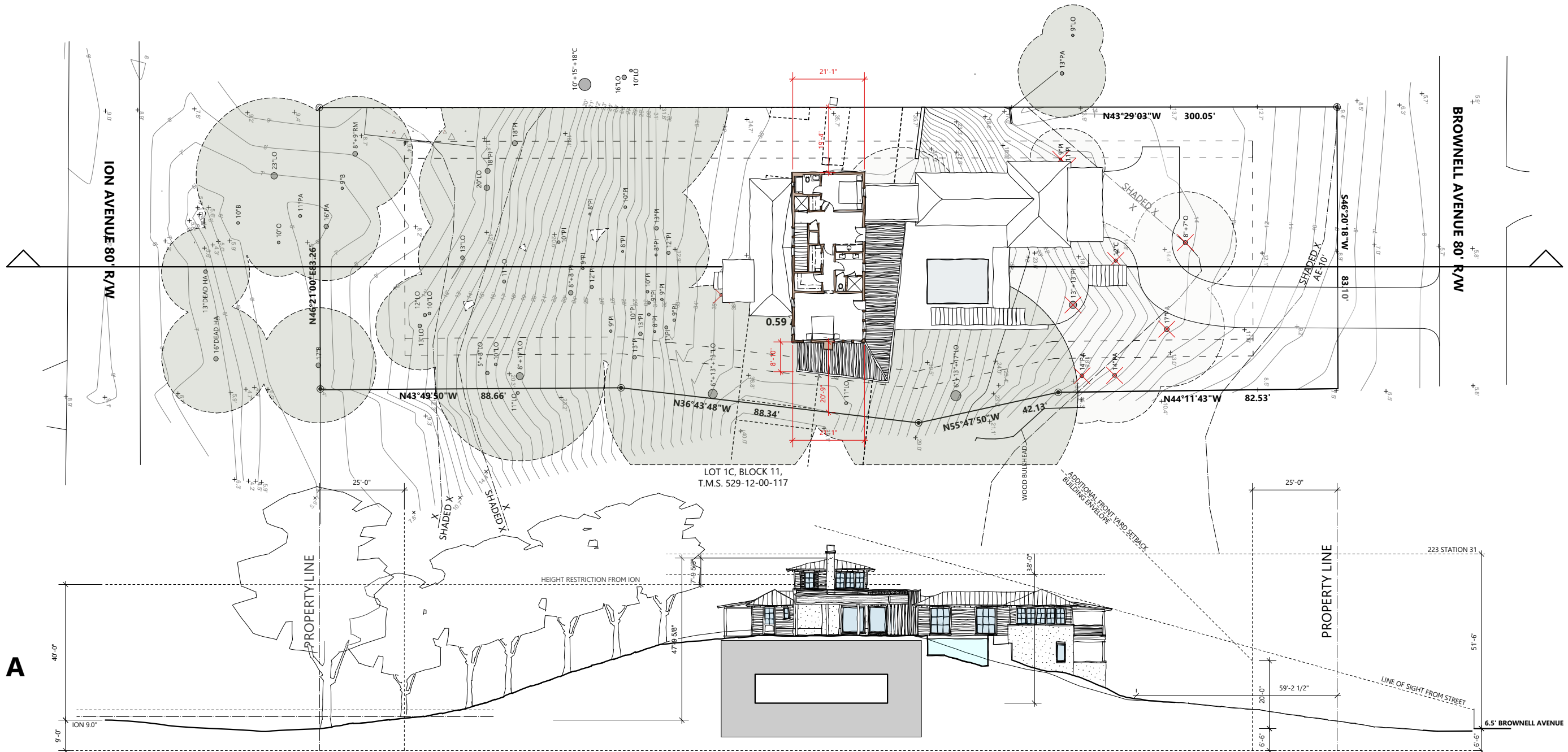
SCALE = 1/16" = 1'-0"

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BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482



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PBCA DRB RELIEF: 20% (20%=769 SF)  TOTAL: 4,612 SF	<b>PRINCIPAL BUILDING COVERAGE AREA</b>		<b>FRONT (BROWNELL) SETBACK:</b> NO REQUEST	<b>SECOND FLOOR:</b> REQUESTING RELIEF
	ZONING STANDARD: 25,618(15%)= EXISTING: PROPOSED: PBCA DRB RELIEF:	15% (>15,000sf) 3,843 SF 0 SF 2,595 SF NO REQUEST	ZONING STANDARD: EXISTING: PROPOSED:  <b>SIDE SETBACK:</b>  ZONING STANDARD: EXISTING: PROPOSED:	GROUND/1ST NOT TO EXCEED 38' WITHOUT ARTICULATION CONFORMS SECOND FLOOR NOT TO EXCEED 32' WITHOUT ARTICULATION CONFORMS SIDE FACADE <16' WITHIN 15' OF SIDE PROPERTY LINE CONFORMS 2ND FLOOR ELEMENTS SUBJECT TO 5' ADDITIONAL SETBACK REQUESTING RELIEF 2ND FLOOR MINIMUM AVERAGE OF 20' & 30' 2ND FLOOR AVERAGES 19.3' & 20.9'
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	<b>PRINC. BLDG. SQFT</b>			
	ZONING STANDARD: EXISTING: PROPOSED: PBSF DRB RELIEF:	4,462 SF 0 4,458 SF NO REQUEST		

CONCEPTUAL DRB SET: JANUARY 23, 2026

PROPOSED  
SITE PLAN  
2ND FLOOR



BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

PROPOSED 3019  
ION SITE PLAN

A003C

REV. 1

LOT 3-A1, BLOCK 11,  
T.M.S. 529-12-00-114

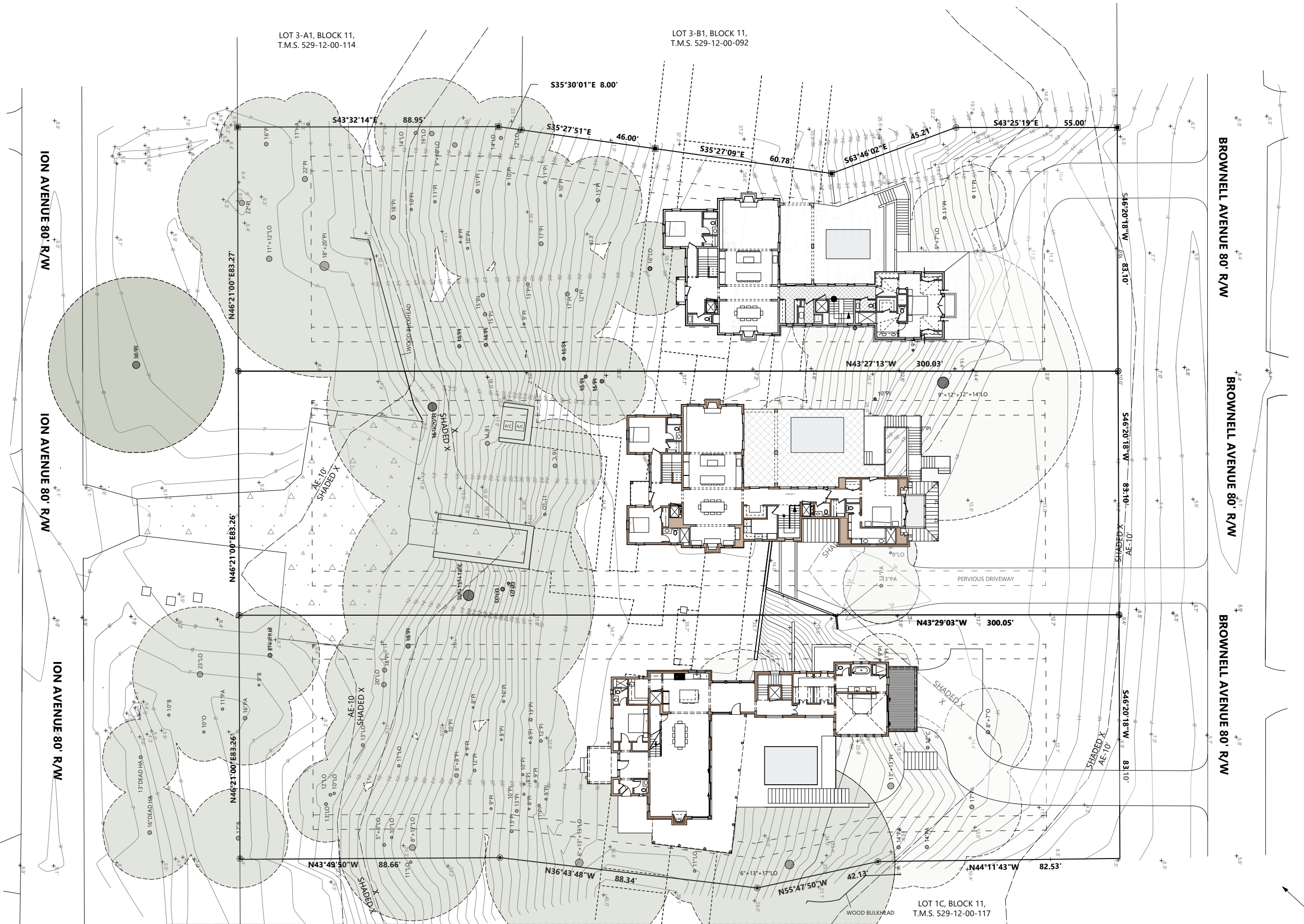
LOT 3-B1, BLOCK 11,  
T.M.S. 529-12-00-092

LOT 1C, BLOCK 11,  
T.M.S. 529-12-00-117

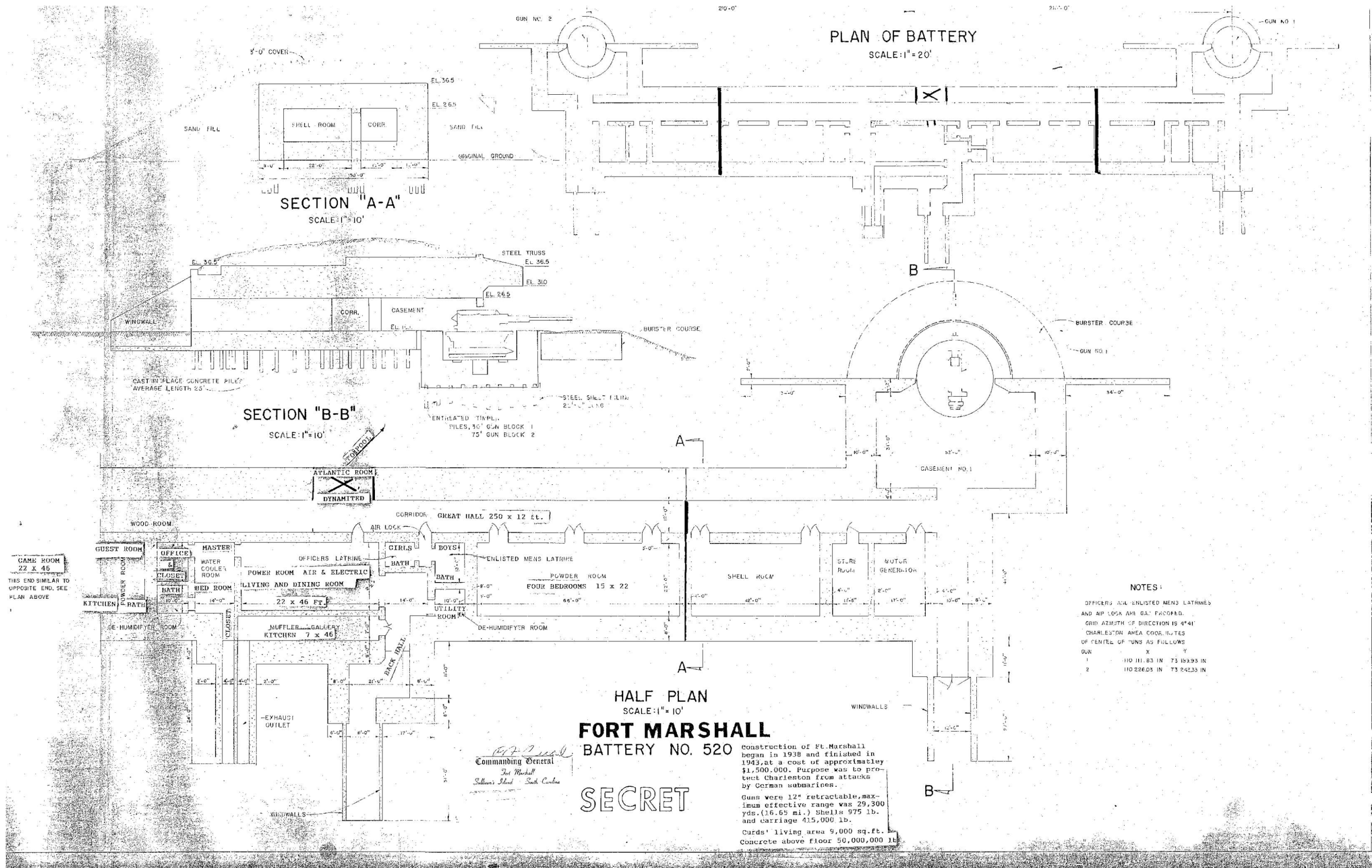
A1

PROPOSED 3019 ION AVE SITE PLAN

SCALE=1/16"=1'-0"







BUNKER HILL RESIDENCE - A

LOT A: 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

HISTORIC  
DOCUMENTS

A1

FORT MARSHALL BATTERY PLAN AND SECTION

SCALE: AS NOTED

A004

REV. 1

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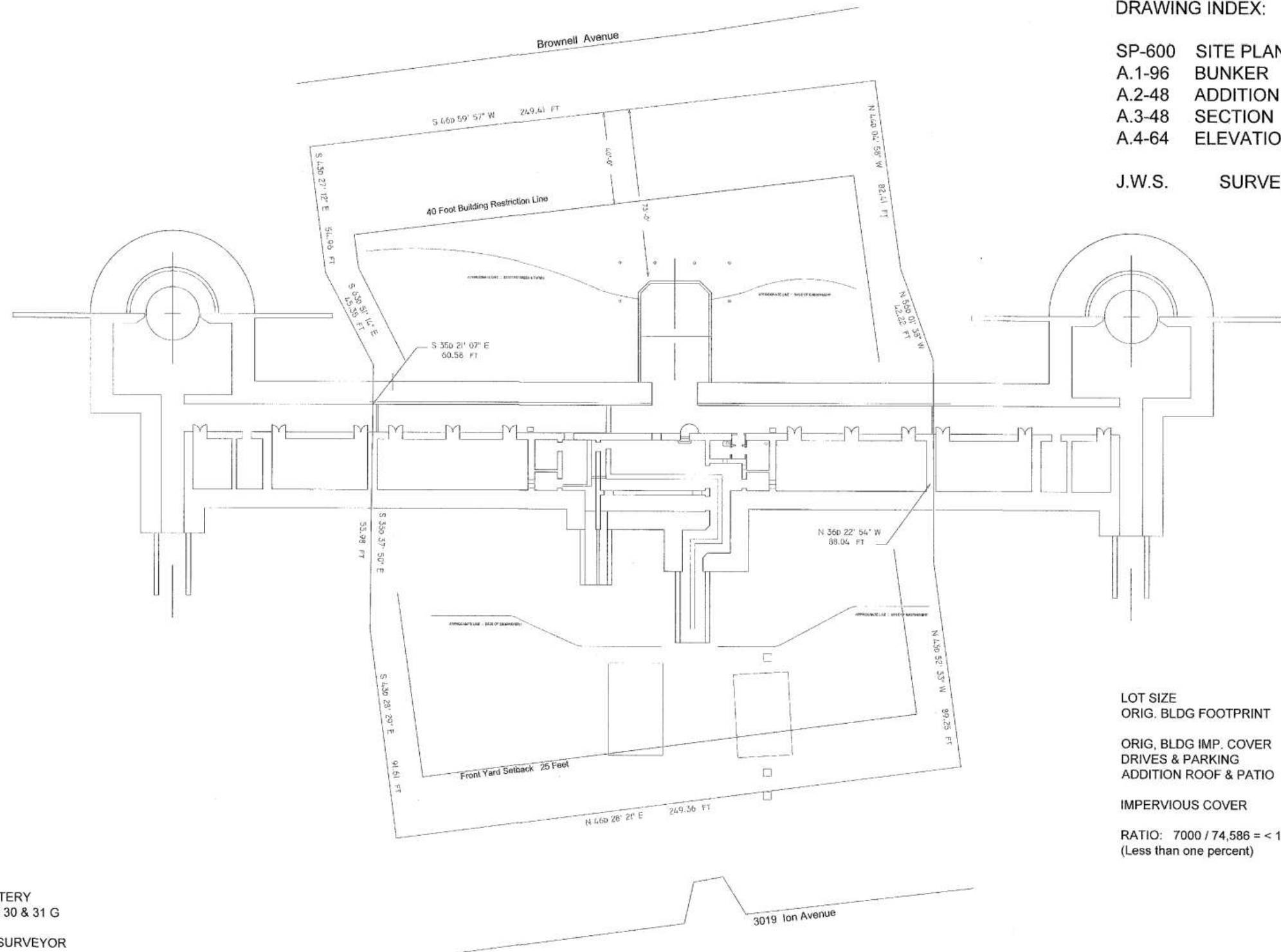




DRAWING INDEX:

SP-600 SITE PLAN 1" = 50 FEET  
A.1-96 BUNKER 1" = 20 FEET  
A.2-48 ADDITION 1/8" = 1 FOOT  
A.3-48 SECTION 1/8" = 1 FOOT  
A.4-64 ELEVATIONS 1/8" = 1 FOOT

J.W.S. SURVEY @ 1" = 60 FEET



LOT SIZE 74,586 SF  
ORIG. BLDG FOOTPRINT 13,300 SF  
ORIG. BLDG IMP. COVER 600 SF (a)  
DRIVES & PARKING 4000 SF (b)  
ADDITION ROOF & PATIO 2400 SF (c)

IMPERVIOUS COVER 7,000 SF (a+b+c)

RATIO:  $7000 / 74,586 = < 1\%$   
(Less than one percent)

DRAWING SHOWS FULL EXTENT OF BATTERY  
BETWEEN ION & BROWNELL, STATIONS 30 & 31 G

SITE INFORMATION FROM JOHN WADE, SURVEYOR  
REFER: HIS DRAWING, ATTACHED

BUILDING INFORMATION FROM HISTORIC DOCUMENT  
AND ON SITE MEASUREMENT BY MICHAEL CURD

BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

HISTORIC  
DOCUMENTS

A1

EXISTING SITE AND BUNKER DOCUMENTS

SCALE: AS NOTED

A005

REV. 1

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NON-HISTORIC BUNKER ENTRANCE ON BROWNELL AVENUE



HISTORIC BUNKER ENTRANCE ON ION AVENUE



NEIGHBORING HISTORIC BUNKER AT 3030 BROWNELL



HISTORIC BUNKER HVAC OPENING ON ION AVENUE

BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

SITE  
PHOTOGRAPHS

A006

REV. 1

A1

SCALE: N/A

SITE PHOTOGRAPHS





3024 BROWNELL AVE

3020 BROWNELL AVE

3016 BROWNELL AVE



3003 ION AVE



223 STATION 31 ST





3004 BROWNELL AVE



3003 ION AVE



3012 BROWNELL AVE



3016 BROWNELL AVE



3020 BROWNELL AVE

3024 BROWNELL AVE



3030 BROWNELL AVE



223 STATION 31 ST

BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

BROWNELL  
STREETSCAPE

A008

A1

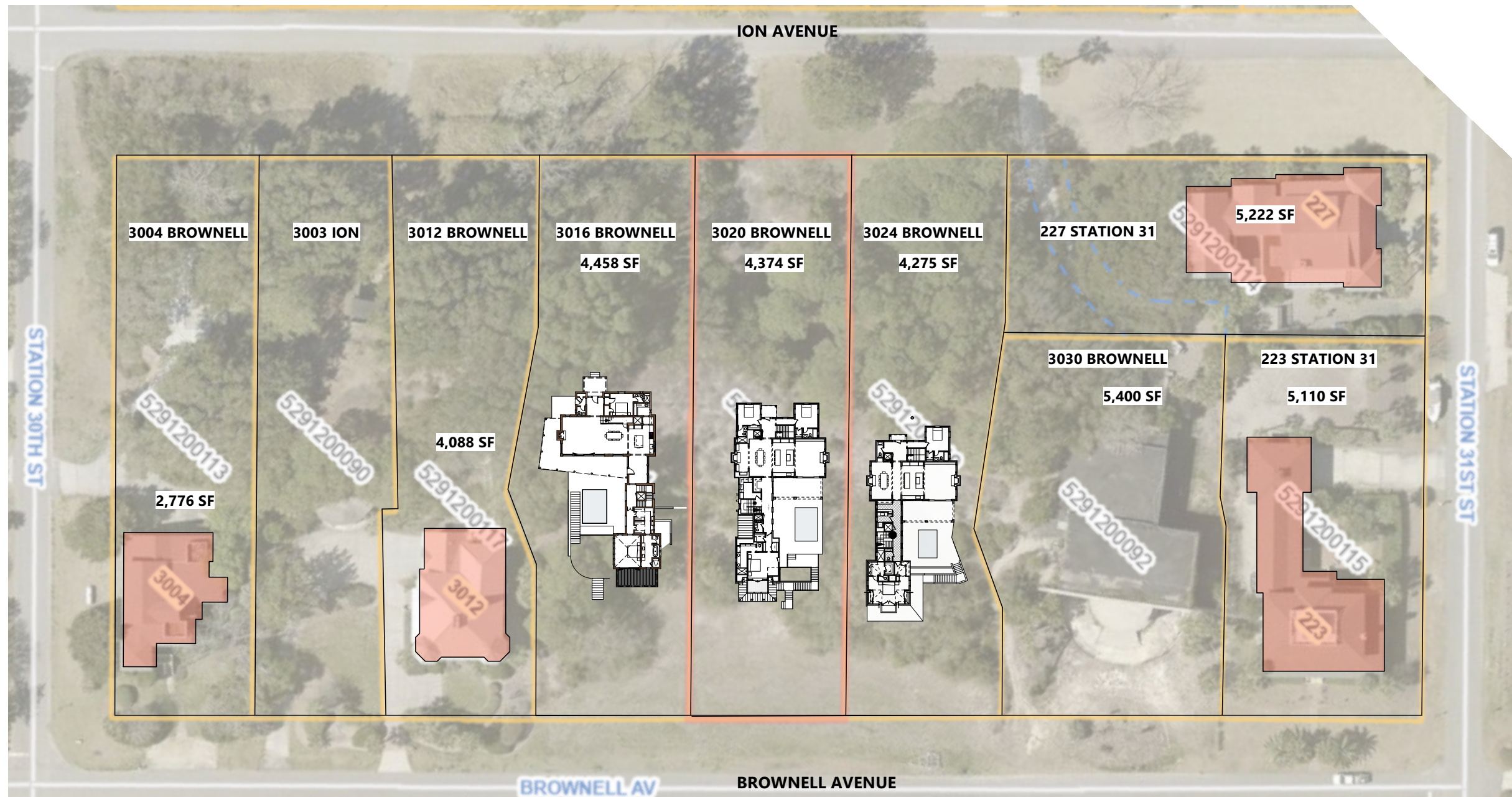
BROWNELL STREETSCAPE

SCALE=1/4"=1'-0"

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REV. 1





BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

BLOCK  
DIAGRAM

A009

A1

BLOCK DIAGRAM

SCALE: 1"=0"=1/32"

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REV. 1





BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

CONCEPTUAL  
RENDERS

A1

NOSCALE

CONCEPTUAL RENDERS

A010

REV. 1



BUNKER HILL RESIDENCE - A

LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

CONCEPTUAL  
RENDERS

A010

REV. 1



A1

NOSCALE

CONCEPTUAL RENDERS

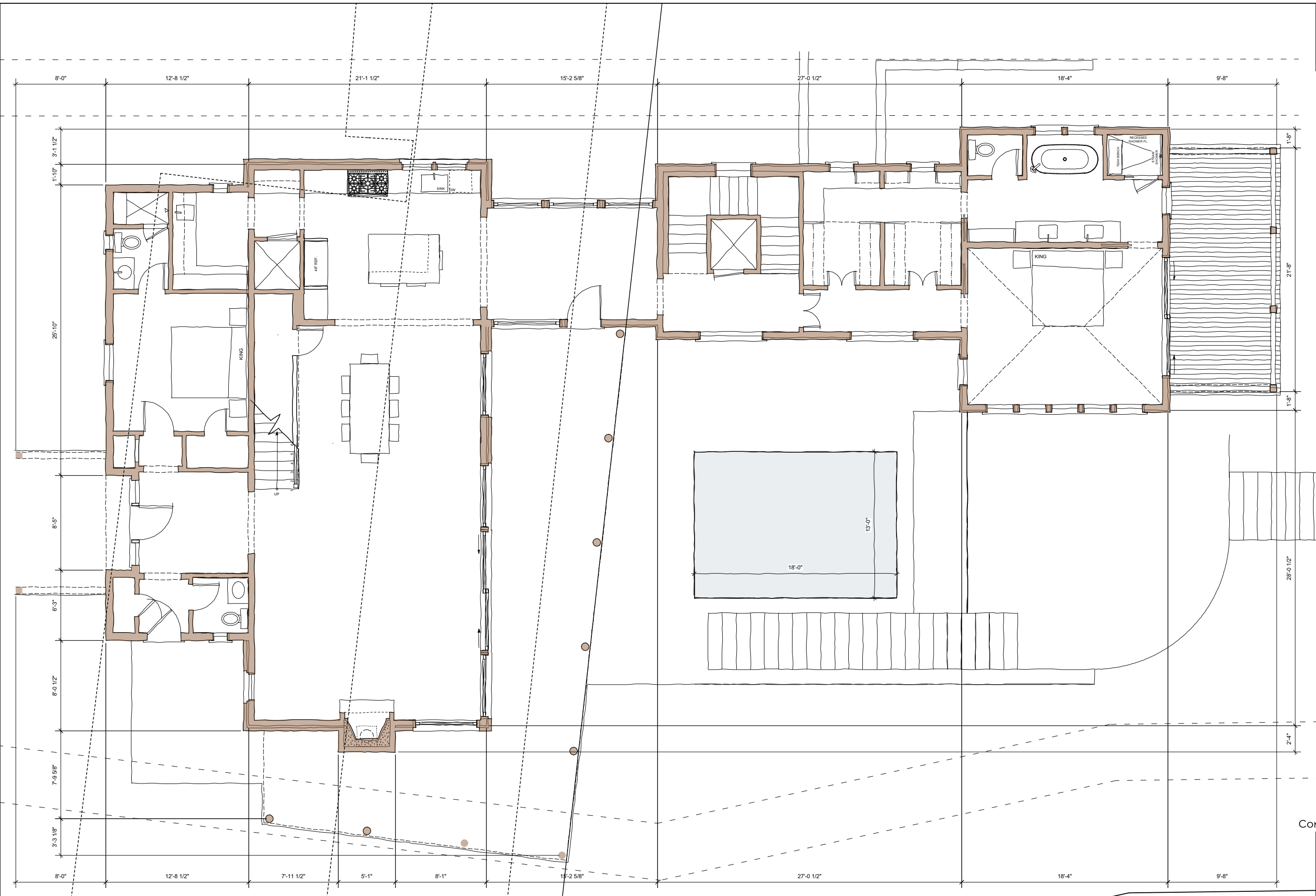
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BUNKER HILL RESIDENCE - A  
LOT A : 3016 BROWNELL AVENUE  
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MAIN LEVEL  
FLOOR PLAN

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BUNKER HILL RESIDENCE - A

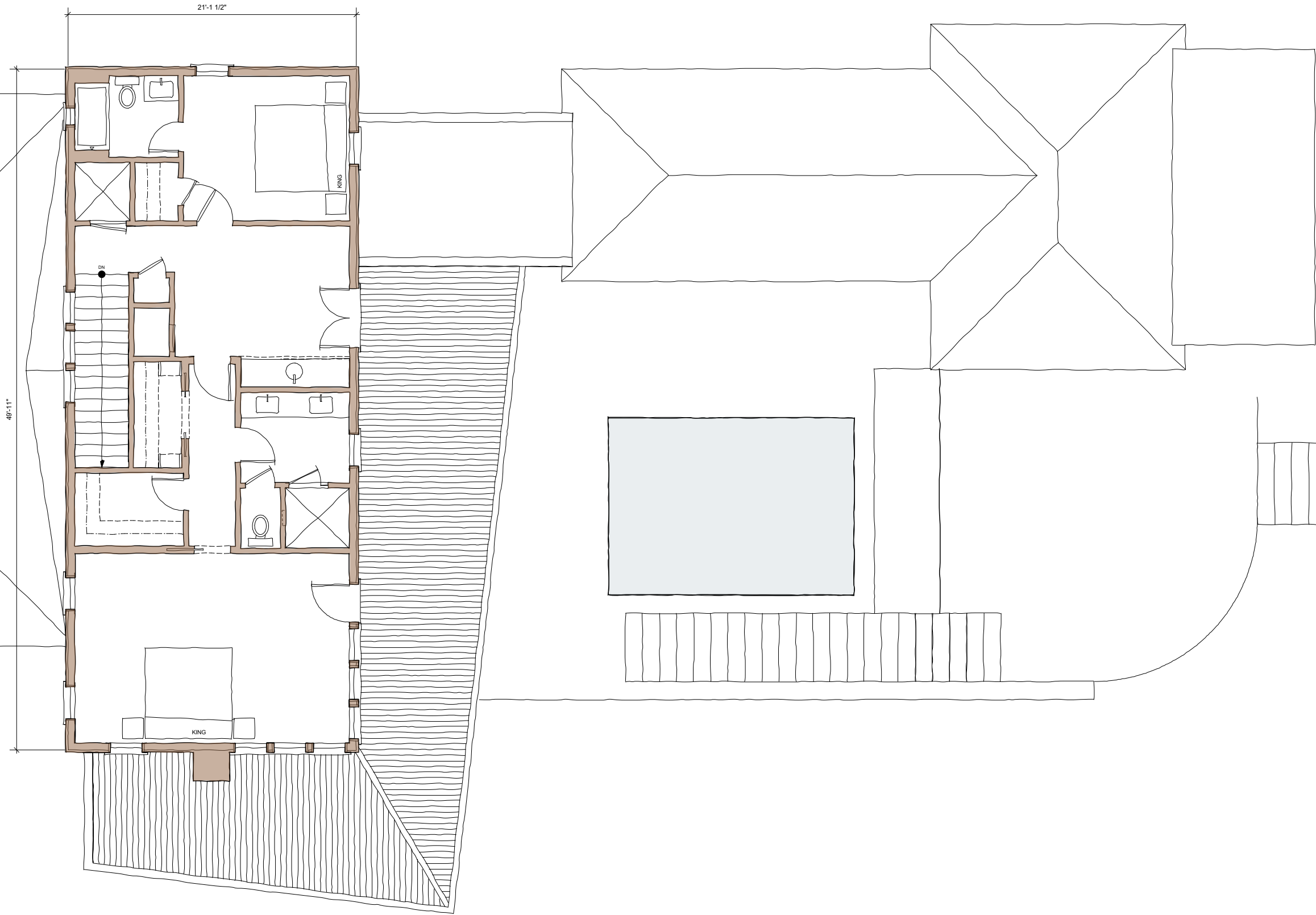
LOT A : 3016 BROWNELL AVENUE  
SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

SECOND  
FLOOR PLAN

A103

REV. 1



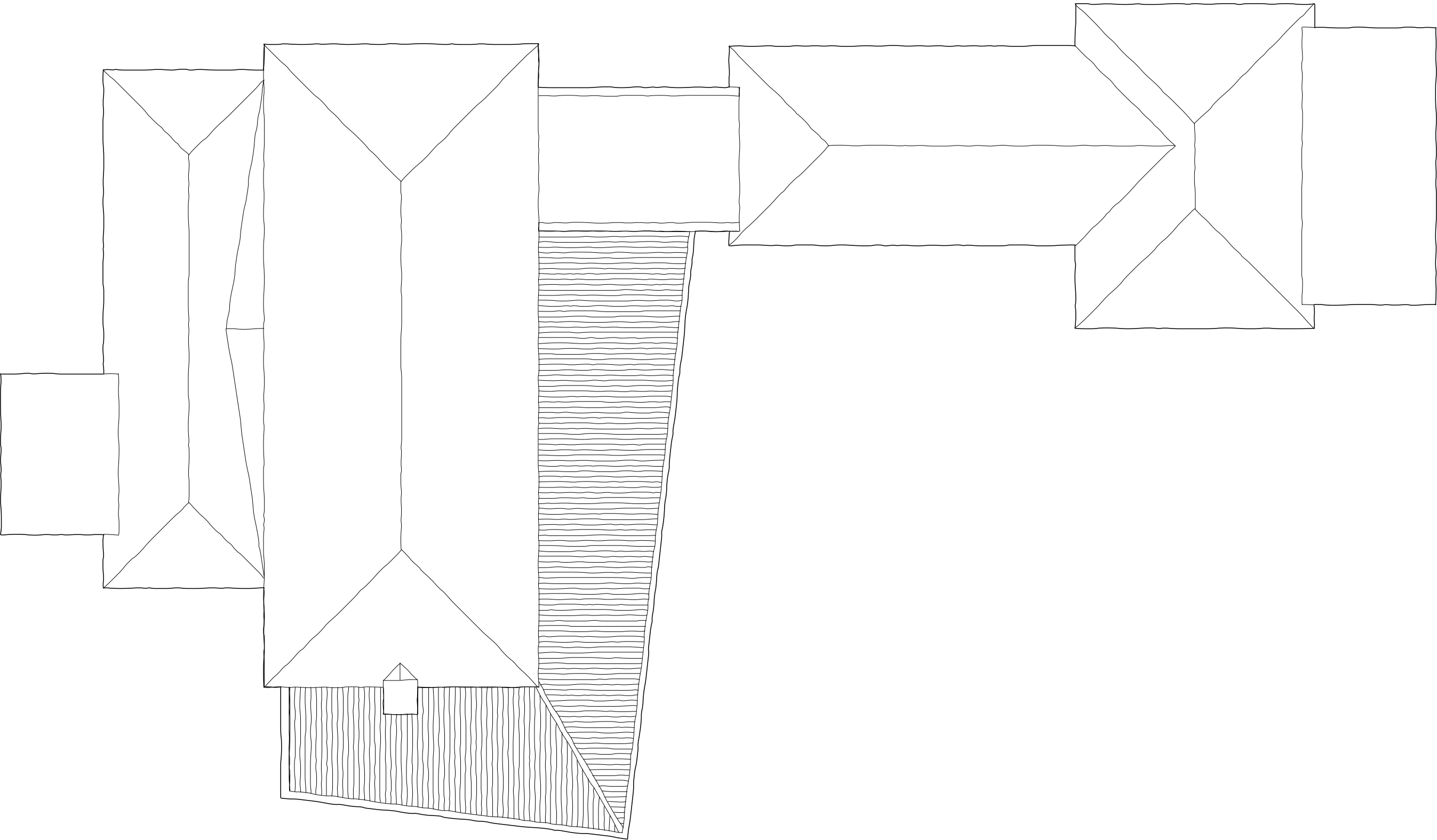
A1

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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BUNKER HILL RESIDENCE - A

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BUNKER HILL RESIDENCE - A

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EXTERIOR  
ELEVATION

A201

REV. 1



A1

BROWNELL AVENUE ELEVATION

SCALE: 1/4" = 1'-0"

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EV. 1



HEIGHT OF 223 STATION 31



BUNKER HILL RESIDENCE - A

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SULLIVANS ISLAND, SC 29482

CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR  
ELEVATION

A203

A1

ION AVENUE NORTHWEST ELEVATION

SCALE: 1/4" = 1'-0"

REV. 1

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BUNKER HILL RESIDENCE - A

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CONCEPTUAL DRB SET: JANUARY 23, 2026

EXTERIOR  
ELEVATION

A204

REV. 1

A1

SOUTHWEST SIDE EXTERIOR ELEVATION

SCALE: 3/16" = 1'-0"

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