

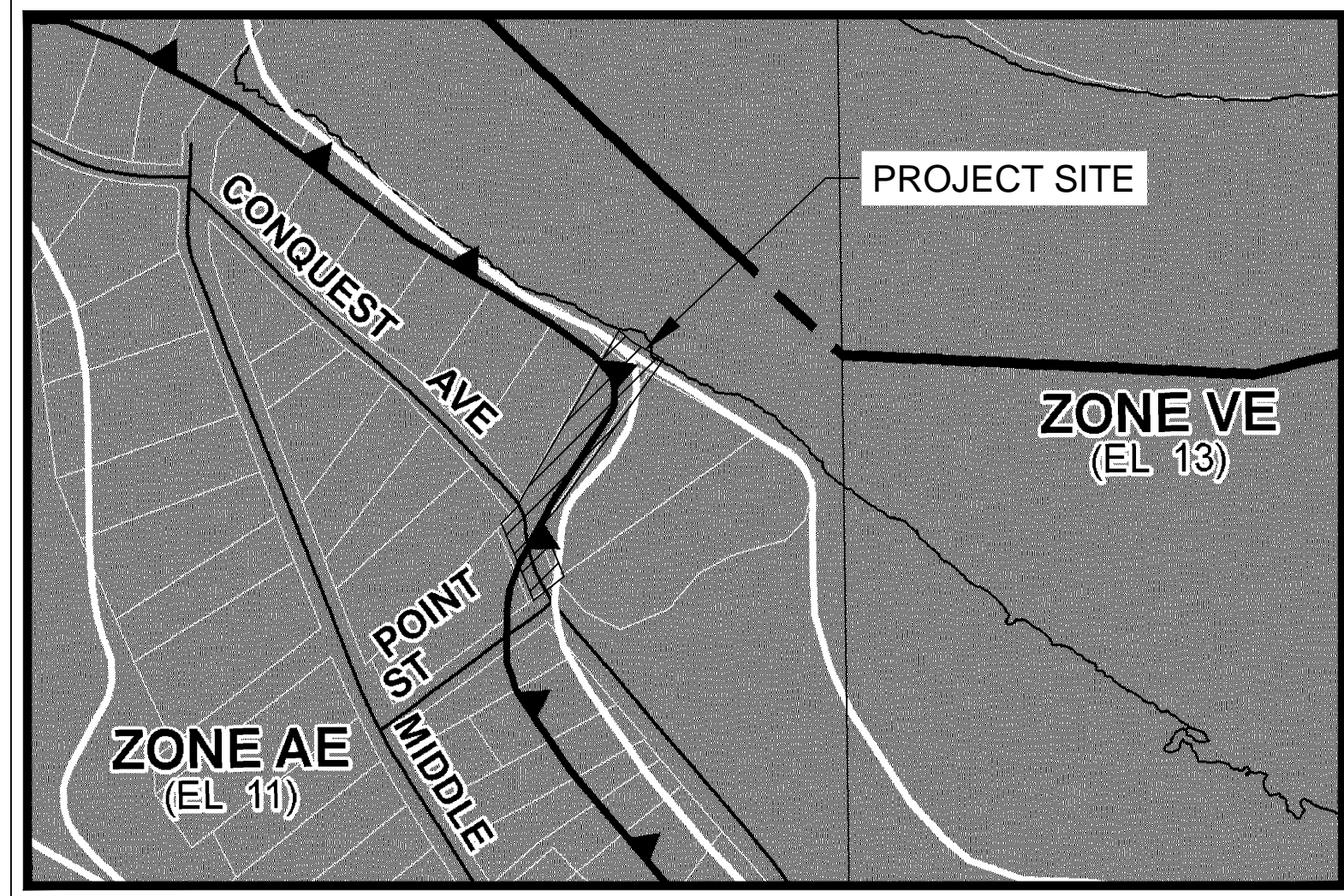
CIVIL CONSTRUCTION DRAWINGS

FOR

OLD BRIDGE LANDING

99-1 CONQUEST AVE, SULLIVAN'S ISLAND, SC 29482

CITY APPROVAL BOX



FEMA MAP

THE PROJECT SITE LIES WITHIN FEMA FLOOD ZONE AE PER FIRM PANELS 45019C0538K DATED 01/29/2021.

PARCEL NO.: 523-06-00-082

SULLIVAN'S ISLAND, CHARLESTON COUNTY, SOUTH CAROLINA

PROPERTY AREA = 0.48 ACRES
DISTURBED AREA = 0.2 ACRES



VICINITY MAP

N.T.S.

PROJECT NARRATIVE:

THE PROPOSED DEVELOPMENT CONSISTS OF STABILIZATION OF ERODED SLOPES THROUGH THE INSTALLATION OF AN ENVIROLOK RETAINING WALL. THE PROJECT ALSO INCLUDES THE CONSTRUCTION OF A PERVIOUS PATH TO IMPROVE PEDESTRIAN SAFETY AND ACCESSIBILITY TO AN OVERLOOK OF THE INTRACOASTAL WATERWAY ON THE 0.48 ACRE SITE.

NOTES:

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- THE APPROVAL OF THESE PLANS AND THE ISSUANCE OF THIS LAND DISTURBANCE PERMIT DOES NOT IN ANY WAY SUGGEST THAT ALL OTHER REQUIREMENTS FOR THE LEGAL OR APPROPRIATE OPERATIONS FOR THIS ACTIVITY, WHICH MAY REQUIRE ADDITIONAL PERMITTING HAVE BEEN MET. THE ONUS IS ON THE OWNER/DEVELOPER/ BUILDER TO DISCOVER WHAT ADDITIONAL PERMITTING OR APPROVALS MAY BE NECESSARY TO OPERATE FROM THIS POINT IN AN APPROPRIATE AND LEGAL MANNER. PLAN APPROVAL OR PERMIT ISSUANCE DOES NOT ABSOLVE THE APPLICANT FROM COMPLYING WITH ALL APPLICABLE LAWS, STANDARDS, OR OTHER PERMITS WHICH MAY BE REQUIRED FOR THIS PROJECT.

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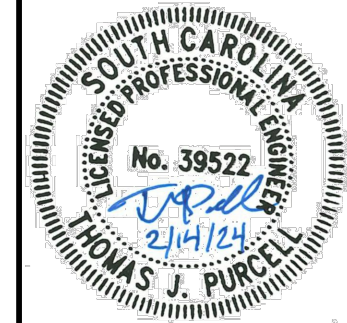
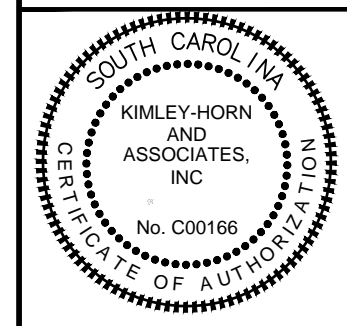
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NO.	REVISIONS	DATE	BY
7			
6			
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1			

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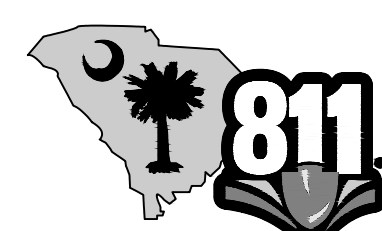
SCALE: AS SHOWN
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DESIGNED BY: TJP
CHECKED BY: TJP

CLIENT: TOWN OF SULLIVAN'S ISLAND
PO BOX 427
SULLIVAN'S ISLAND, SC 29482

PROJECT: OLD BRIDGE LANDING
99-1 CONQUEST AVE. | SULLIVAN'S ISLAND | SOUTH CAROLINA

TITLE: COVER SHEET

DATE: 02/14/2024
PROJECT NO.: 013141004
SHEET NUMBER: C0-00



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GENERAL NOTES:

- 1. REFER TO CONSTRUCTION DETAIL SHEETS FOR DETAILS OF ON-SITE SIGNAGE, STRIPING, AND PAVEMENT MARKING. REFER TO SITE PLAN FOR ADDITIONAL DIMENSIONAL INFORMATION.
2. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY, COUNTY AND STATE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
3. EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY MCKIM & CREED, DATED 04/19/2022.
4. THE CONTRACTOR SHALL EMPLOY ALL NECESSARY BARRICADES, SIGNS, FENCES, FLASHING LIGHTS, TRAFFIC MEN, ETC. FOR MAINTENANCE AND PROTECTION OF TRAFFIC AS REQUIRED BY THE STATE DEPT. OF TRANSPORTATION, AND TOWN OF SULLIVAN'S ISLAND INSPECTIONS.
5. THE CONTRACTOR SHALL PROTECT ALL MONUMENTS, IRON PINS, AND PROPERTY CORNERS DURING CONSTRUCTION.
6. THE CONTRACTOR SHALL REPLACE EXISTING CONCRETE CURBS, SIDEWALK, PAVING, AND GUTTER AS INDICATED ON PLANS AND AS NECESSARY TO CONNECT TO EXISTING INFRASTRUCTURE.
7. APPROVAL OF THIS PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES. WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING, PERMISSION MUST BE OBTAINED FROM THE AFFECTED PROPERTY OWNERS AND TEMPORARY CONSTRUCTION EASEMENTS MAY BE REQUIRED.
8. CONTRACTOR AGREES TO REPAIR ANY DAMAGE TO THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE STANDARDS OF SCDOT AND TOWN OF SULLIVAN'S ISLAND.
9. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO THE OWNER ANY DISCREPANCIES FOUND BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
10. ALL SITE DIMENSIONS ARE REFERENCED TO THE FACE OF CURB OR EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
11. THE CONTRACTOR SHALL CONSTRUCT ACCESSIBLE RAMPS AT ALL INTERSECTIONS IN ACCORDANCE WITH SCDOT AND TOWN OF SULLIVAN'S ISLAND STANDARDS.
12. ALL OFF-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH CURRENT SCDOT STANDARD SPECIFICATIONS AND DETAILS. ALL ON-SITE CONSTRUCTION MUST BE PERFORMED IN ACCORDANCE WITH TOWN OF SULLIVAN'S ISLAND STANDARD SPECIFICATIONS AND DETAILS.
13. ALL WORK MUST COMPLY WITH SOUTH CAROLINA STATE BUILDING CODE AND SOUTH CAROLINA ACCESSIBILITY CODE AS WELL AS FEDERAL, STATE AND LOCAL ACCESSIBILITY REQUIREMENTS.
14. ADJACENT STREETS SHALL BE KEPT CLEAN AT ALL TIMES.
15. CONTRACTOR SHALL FOLLOW ALL RECOMMENDATIONS FROM THE PROJECT GEOTECH REPORT.

RETAINING WALL NOTES

- 1. STRUCTURAL AND SUBSURFACE DRAINAGE DESIGN FOR RETAINING WALLS ARE NOT ADDRESSED IN CIVIL PLANS BY KIMLEY-HORN AND ASSOCIATES.
2. BOTTOM OF WALL ('B') GRADES SHOWN ON THESE PLANS REPRESENT FINISHED GROUND ADJACENT TO WALL. TOP OF WALL ('T') ELEVATIONS ASSUME FINISHED GROUND ADJACENT TO WALL. REFER TO RETAINING WALL PLANS (BY OTHERS) FOR ALL TG AND BG ELEVATIONS, DRAINAGE AND CONSTRUCTION METHODS.
3. RETAINING WALLS WITH ELEVATION DROP EXCEEDING 2'-6" IN HEIGHT SHALL HAVE GUARDRAILS OR FENCING FOR FALL PROTECTION.

TREE PROTECTION NOTES:

- 1. THE CONTRACTOR SHALL PROTECT ALL TREES AND SHRUBS OUTSIDE OF CUT/FILL LINES, IN ADDITION TO THOSE THAT RECEIVE TREE/SHRUB PROTECTION BARRIERS. THE CONTRACTOR IS ALSO REQUESTED TO SAVE ALL OTHER EXISTING TREES AND SHRUBS WHERE POSSIBLE.
2. WHEN ROOT PRUNING IS NECESSARY, CUT ROOTS CLEANLY USING A DISC TRENCHER AND IMMEDIATELY COVER ALL ROOT CUT SURFACES LARGER THAN TWO INCHES IN DIAMETER WITH TREE WOUND DRESSING. USE PLYWOOD FORMS WHEN TREE ROOTS ARE ADJACENT TO PROPOSED CURB & GUTTER OR SIDEWALK.
3. NO SOIL DISTURBANCE OR COMPACTION, CONSTRUCTION MATERIALS, TRAFFIC, BURIAL PITS, TRENCHING OR OTHER LAND DISTURBING ACTIVITY ALLOWED IN THE TREE PROTECTION ZONE. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, GRADING OR CONSTRUCTION BEGINS, AND NOT REMOVED UNTIL FINAL INSPECTION.
4. NO GRUBBING WITHIN TREE PROTECTION ZONE. LEAVE SOIL AND LEAF LITTER UNDISTURBED. SUPPLEMENT WITH 1-2 INCHES OF MULCH. RE-SEED WITH GRASS ONLY IN DISTURBED/GRADED AREAS.
5. TREE BARRICADES MUST BE INSTALLED BEFORE ANY DEMOLITION, CLEARING, GRADING OR CONSTRUCTION BEGINS AND IS NOT TO BE REMOVED UNTIL AFTER CONSTRUCTION.

GRADING:

- 1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL TOWN OF SULLIVAN'S ISLAND AND SCDOT REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. ALL CONTOURS AND SPOT ELEVATIONS REFLECT FINISHED GRADES.
3. ALL ELEVATIONS ARE IN REFERENCE TO THE BENCHMARK, AND THIS MUST BE VERIFIED BY THE GENERAL CONTRACTOR PRIOR TO GROUND BREAKING.
4. THE CONTRACTOR SHALL IMMEDIATELY REPORT TO OWNER ANY DISCREPANCIES FOUND BETWEEN ACTUAL FIELD CONDITIONS AND CONSTRUCTION DOCUMENTS AND SHALL WAIT FOR INSTRUCTION PRIOR TO PROCEEDING.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND PROTECTING EXISTING UTILITIES, AND SHALL REPAIR ALL DAMAGE TO EXISTING UTILITIES THAT OCCUR DURING CONSTRUCTION.
6. CONTRACTOR SHALL BLEND NEW EARTHWORK SMOOTHLY TO TRANSITION BACK TO EXISTING GRADE.
7. ALL FILL TO BE COMPACTED PER THE RECOMMENDATIONS OF A GEOTECHNICAL ENGINEER.
8. LIMITS OF CLEARING SHOWN ON GRADING PLAN ARE BASED UPON THE APPROXIMATE CUT AND FILL SLOPE LIMITS, OR OTHER GRADING REQUIREMENTS.
9. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE SO THAT RUNOFF WILL DRAIN BY OVERLAND SHEET FLOW.
10. ANY GRADING, BEYOND THE LIMITS OF CONSTRUCTION AS SHOWN ON THE GRADING PLAN IS CONSIDERED A VIOLATION OF THE GRADING PERMIT AND SUBJECT TO A FINE.
11. EXISTING TOPOGRAPHIC INFORMATION TAKEN FROM THE SURVEY REFERENCED IN THIS PLAN SET.
12. THE CONTRACTOR SHALL ADHERE TO ALL TERMS & CONDITIONS AS OUTLINED IN THE GENERAL N.P.D.E.S. PERMIT FOR STORMWATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITIES AND ALL TERMS AND CONDITIONS IN THE STATE OR MUNICIPAL GRADING AND EROSION CONTROL PERMIT ISSUED FOR THIS PROJECT.
13. ALL UNSURFACED AREAS DISTURBED BY GRADING OPERATION SHALL RECEIVE 4 INCHES OF TOPSOIL.
14. CONTRACTOR SHALL STABILIZE AND WATER DISTURBED AREAS UNTIL A HEALTHY STAND OF GRASS IS OBTAINED.
15. CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE GOVERNING CODES AND BE CONSTRUCTED TO THE SAME.
16. THE CONTRACTOR IS RESPONSIBLE FOR THE DESIGN AND IMPLEMENTATION OF ALL SHEETING, SHORING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED TO MEET OSHA, FEDERAL, STATE AND LOCAL REGULATIONS PURSUANT TO THE INSTALLATION OF THE WORK INDICATED ON THESE DRAWINGS. THE DESIGN ENGINEER ACCEPTS NO RESPONSIBILITY FOR THE DESIGN(S) TO INSTALL SAID ITEMS.
17. ALL FILL MATERIALS, EXISTING BUILDING FOUNDATIONS, PAVEMENT AND UTILITY STRUCTURES, TOPSOIL AND ANY OTHER DELETERIOUS MATERIALS SHALL BE COMPLETELY REMOVED FROM WITHIN THE BEARING ZONE BELOW THE STRUCTURE.
18. ALL FOUNDATION EXCAVATION SHALL BE INSPECTED BY A QUALIFIED GEOTECHNICAL REPRESENTATIVE TO DETERMINE WHETHER UNSUITABLE MATERIAL MUST BE REMOVED. ALL UNSUITABLE MATTER SHALL BE REMOVED, BACKFILLED AND COMPACTED WITH SUITABLE MATERIAL AS REQUIRED BY THE GEOTECHNICAL REPRESENTATIVE AT CONTRACTOR'S EXPENSE.
19. GRADES, ELEVATIONS AND LOCATIONS SHOWN ARE APPROXIMATE, AS DIRECTED BY THE ENGINEER, THEY MAY BE ADJUSTED TO ACCOMMODATE UNFORESEEN CONDITIONS.
20. CONTRACTOR SHALL ADJUST AND/OR CUT EXISTING PAVEMENT AS NECESSARY TO ASSURE A SMOOTH FIT AND CONTINUOUS GRADE.
21. EXISTING AND PROPOSED GRADE CONTOUR INTERVALS SHOWN AT 1 FOOT.
22. CONTRACTOR IS RESPONSIBLE FOR DEMOLITION OF EXISTING STRUCTURES INCLUDING REMOVAL OF ANY EXISTING UTILITIES SERVING THE STRUCTURE. UTILITIES ARE TO BE REMOVED TO THE RIGHT-OF-WAY OR ABANDONED AT MAIN AS REFERENCED IN THE PLANS.
23. ALL CUT OR FILL SLOPES SHALL BE 3:1 OR FLATTER UNLESS OTHERWISE NOTED.
24. ALL AREAS WITH 2:1 SLOPE OR ERODABLE SLOPES SHALL BE COVERED WITH ERONET MATTING OR APPROVED EQUAL; INSTALL PER MANUFACTURER'S INSTRUCTIONS.
25. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANIES AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES.
26. CONTRACTOR TO BE RESPONSIBLE FOR DEWATERING AS NECESSARY TO CONSTRUCT THE PROJECT AS SHOWN ON THE PLANS. REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL DEWATERING RECOMMENDATIONS.

FINE GRADING NOTES:

- 1. SIDEWALKS TO HAVE A MAXIMUM 2% CROSS SLOPE AND A MAXIMUM 5% LONGITUDINAL SLOPE.
2. PEDESTRIAN CROSSWALKS TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% LONGITUDINAL SLOPE WITHIN STRIPED AREA.
3. ADA PARKING AREAS AND ACCESSIBLE AREAS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.
4. SIDEWALK INTERSECTIONS AND RAMP LANDINGS TO HAVE A MAXIMUM 2% SLOPE IN ALL DIRECTIONS.

EROSION CONTROL NOTES:

- 1. CONTRACTOR IS RESPONSIBLE FOR PROPERLY DISPOSING OF EXCESS MATERIAL OFF-SITE.
2. CONTRACTOR SHALL INSTALL AND MAINTAIN THROUGHOUT THE CONSTRUCTION PROJECT ALL EROSION CONTROL COUNTER MEASURES SHOWN ON THIS SHEET IN ACCORDANCE WITH APPLICABLE STANDARDS AND REGULATIONS FROM THE SOUTH CAROLINA DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL (SCDHEC).
3. GROUND COVER SHALL BE ESTABLISHED PER 'SEEDBED PREPARATION NOTES' PROVIDED IN THE EROSION CONTROL DETAILS.
4. THE CONTRACTOR SHALL PROVIDE GROUND COVER ON DESIGNATED AREAS AND SLOPES GREATER THAN 3:1 WITHIN 7 DAYS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. CONTRACTOR SHALL PROVIDE GROUND COVER IN 14 DAYS ON ALL OTHER AREAS FOLLOWING COMPLETION OF ANY PHASE OF GRADING. PERMANENT GROUND COVER FOR ALL DISTURBED AREAS SHALL BE PROVIDED WITHIN 14 WORKING DAYS FOLLOWING THE COMPLETION OF CONSTRUCTION.
5. DURING CONSTRUCTION OF THE PROJECT, SOIL STOCKPILES AND BORROW AREAS SHALL BE STABILIZED OR PROTECTED WITH SEDIMENT TRAPPING MEASURES. THE CONTRACTOR IS RESPONSIBLE FOR THE TEMPORARY PROTECTION AND PERMANENT STABILIZATION OF ALL SOIL STOCKPILES ON SITE AS WELL AS BORROW AREAS AND SOIL INTENTIONALLY TRANSPORTED FROM THE PROJECT SITE.
6. SEDIMENT BASINS AND TRAPS, PERIMETER DIKES, SEDIMENT BARRIERS AND OTHER MEASURES INTENDED TO TRAP SEDIMENT SHALL BE CONSTRUCTED AS A FIRST STEP IN ANY LAND-DISTURBING ACTIVITY AND SHALL BE MADE FUNCTIONAL BEFORE UPSLOPE LAND DISTURBANCE TAKES PLACE.
7. WHERE CONSTRUCTION VEHICLE ACCESS ROUTES INTERSECT PAVED OR PUBLIC ROADS, PROVISIONS SHALL BE MADE TO MINIMIZE THE TRANSPORT OF SEDIMENT BY VEHICULAR TRACKING ONTO THE PAVED SURFACE. WHERE SEDIMENT IS TRANSPORTED ONTO A PAVED OR PUBLIC ROAD SURFACE, THE ROAD SURFACE SHALL BE CLEANED THOROUGHLY AT THE END OF EACH DAY. SEDIMENT SHALL BE REMOVED FROM THE ROADS BY SHOVELING OR SWEEPING AND TRANSPORTED TO A SEDIMENT CONTROL DISPOSAL AREA. STREET WASHING SHALL BE ALLOWED ONLY AFTER SEDIMENT IS REMOVED IN THIS MANNER.
8. ALL TEMPORARY EROSION AND SEDIMENT CONTROL MEASURE SHALL BE REMOVED WITHIN 30 DAYS AFTER FINAL SITE STABILIZATION OR AFTER THE TEMPORARY MEASURES ARE NO LONGER NEEDED AND APPROVAL HAS BEEN OBTAINED FROM THE TOWN OF SULLIVAN'S ISLAND INSPECTOR. TRAPPED SEDIMENT AND THE DISTURBED SOIL AREAS RESULTING FROM THE DISPOSITION OF TEMPORARY MEASURES SHALL BE PERMANENTLY STABILIZED TO PREVENT FURTHER EROSION AND SEDIMENTATION.
9. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SCDHEC EROSION AND SEDIMENT CONTROL REGULATIONS, U.S. DEPT. OF AGRICULTURE, AND U.S. SOIL CONSERVATION SERVICE.
10. THE CONTRACTOR SHALL DILIGENTLY AND CONTINUOUSLY MAINTAIN ALL EROSION CONTROL DEVICES AND STRUCTURES TO MINIMIZE EROSION. THE CONTRACTOR SHALL MAINTAIN CLOSE CONTACT WITH THE EROSION CONTROL INSPECTOR SO THAT PERIODIC INSPECTIONS CAN BE PERFORMED AT APPROPRIATE STAGES OF CONSTRUCTION.
11. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN AND PERMIT SHALL BE MAINTAINED ON THE SITE AT ALL TIMES.
12. STABILIZATION IS THE BEST FORM OF EROSION CONTROL. ALL DISTURBED AREAS WHICH ARE NOT OTHERWISE STABILIZED SHALL BE TOP SOILED AND SEED. TEMPORARILY OR PERMANENTLY IN ACCORDANCE WITH THE SCDHEC REGULATIONS. PERMANENT SEEDINGS AND GRASS ESTABLISHMENT IS REQUIRED PRIOR TO PROJECT COMPLETION AND ACCEPTANCE.
13. CONTRACTOR TO ENSURE THAT SEDIMENT LADEN RUNOFF DOES NOT LEAVE SITE LIMITS OR ENTER PROTECTED AREAS. ANY SEDIMENT DEPOSITED BEYOND DISTURBED AREA WITHIN SITE LIMITS SHALL BE REMOVED.
14. WHEN A CRUSHED STONE CONSTRUCTION ENTRANCE HAS BEEN COVERED WITH SOIL OR HAS BEEN PUSHED INTO THE SOIL BY CONSTRUCTION TRAFFIC, IT SHALL BE REPLACED WITH A DEPTH OF STONE EQUAL TO THAT OF THE ORIGINAL APPLICATION.
15. ALL DRAINAGE INLETS SHALL BE PROTECTED FROM SILTATION. INEFFECTIVE PROTECTION DEVICES SHALL BE IMMEDIATELY REPLACED AND THE INLET CLEANED. FLUSHING IS NOT AN ACCEPTABLE METHOD OF CLEANING.
16. DURING DEWATERING OPERATIONS, WATER SHALL BE PUMPED INTO AN APPROVED FILTERING DEVICE PRIOR TO DISCHARGE TO RECEIVING OUTLET.
17. STABILIZATION MEASURES SHALL BE APPLIED TO STRUCTURES SUCH AS DAMS, DIKES AND DIVERSIONS IMMEDIATELY AFTER INSTALLATION.

DEMOLITION NOTES:

- 1. THE CONTRACTOR SHALL COORDINATE ALL REMOVAL EFFORTS WITH THE OWNER. COORDINATION ITEMS ARE ANTICIPATED TO INCLUDE SITE ACCESS, TRAFFIC CONTROL, MAINTENANCE OF, AND EROSION CONTROL.
2. ALL FEATURES MARKED TO BE ABANDONED IN PLACE SHALL REMAIN IN EXISTING CONDITION UNLESS REMOVED THROUGH EFFORTS FOR OTHER FEATURES.
3. SPECIAL CARE SHALL BE TAKEN TO PROTECT AND MAINTAIN ALL EXISTING FEATURES NOT MARKED FOR REMOVAL. IN THE EVENT OF ANY IMPACT TO SUCH FEATURES, THE CONTRACTOR SHALL PERFORM REPAIR AND/OR RESTORATION TO ORIGINAL CONDITION AS OF START OF WORK.
4. WHERE PAVEMENT REMOVAL AREAS ABUT OTHER PAVEMENT AREAS TO REMAIN, THE EXISTING PAVEMENT SHALL BE SAW CUT TO PROVIDE A BOUNDARY WHICH IS STRAIGHT AND CLEAN IN APPEARANCE.
5. THE CONTRACTOR SHALL PROPERLY AND LEGALLY DISPOSE OF ALL DEMOLITION DEBRIS OFF OF THE CONSTRUCTION SITE.

PROJECT CLOSEOUT NOTES:

- 1. THE CONTRACTOR SHALL LEAD THE PROJECT CLOSEOUT PROCESS WITH THE AHJS. THIS INCLUDES COORDINATING WITH THE AHJS FOR REQUIRED CLOSEOUT PAPER WORK, COORDINATING WITH THE OWNER FOR REQUIRED BONDS, CERTIFICATIONS, ETC. AND COORDINATING WITH THE ENGINEER SO THAT WE CAN BE PRESENT FOR ANY REQUIRED TESTING OBSERVATION.

CITY APPROVAL BOX

Table with 7 rows and 2 columns: No. (1-7), REVISIONS, DATE, BY.

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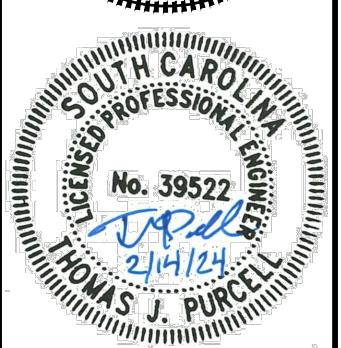
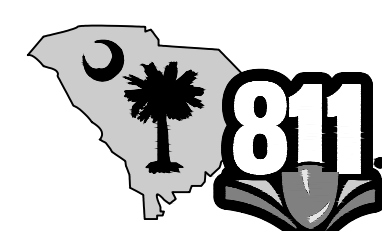


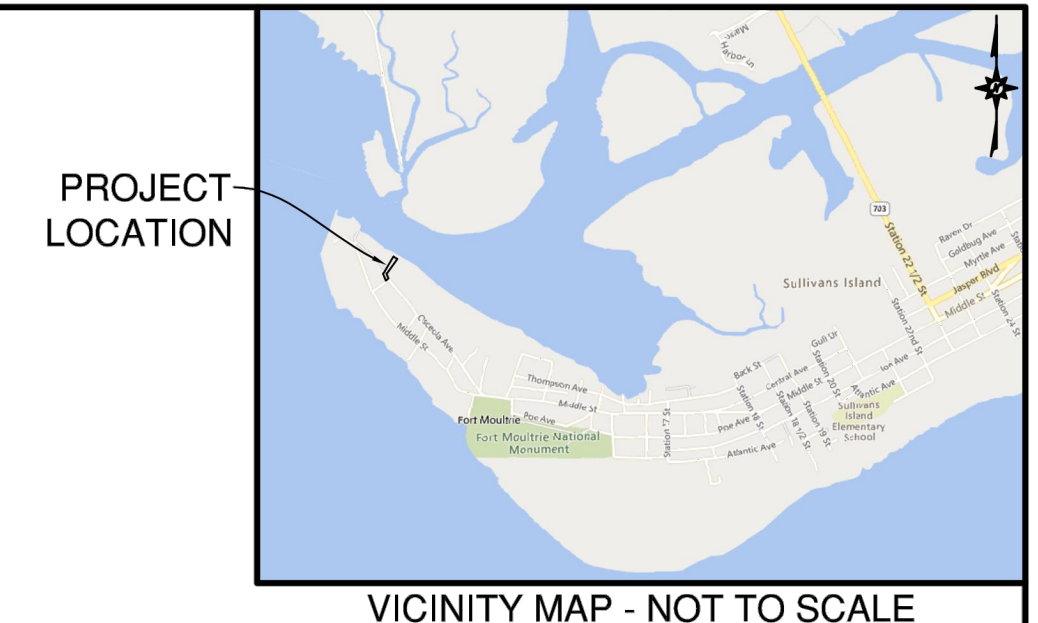
Table with 4 columns: SCALE (AS SHOWN), DRAWN BY (TVB), DESIGNED BY (TJP), CHECKED BY (TJP).

CLIENT: TOWN OF SULLIVAN'S ISLAND PO BOX 427 SULLIVAN'S ISLAND, SC 29462

PROJECT: OLD BRIDGE LANDING 99-1 CONQUEST AVE. | SULLIVAN'S ISLAND | SOUTH CAROLINA TITLE: GENERAL NOTES

DATE: 02/14/2024 PROJECT NO.: 013141004 SHEET NUMBER: C0-01





VICINITY MAP - NOT TO SCALE

CRITICAL LINE - POINT TABLE

POINT #	ELEVATION	NORTHING	EASTING	DESCRIPTION
5198	1.98	341169.05	2349721.84	CA22 OCRM
5199	2.58	341174.27	2349713.79	CA21 OCRM
5336	2.25	340972.02	2349606.76	CA11 OCRM / GS
5200	3.26	341157.40	2349713.01	CA20 OCRM
5394	4.79	340896.49	2349590.65	CA6 OCRM
5330	3.28	340919.76	2349577.59	CA8 OCRM
5339	3.84	340990.83	2349622.80	CA12 OCRM
5331	2.46	340930.29	2349577.57	CA9 OCRM
5333	2.00	340947.28	2349589.84	CA10 OCRM
5337	2.27	340972.03	2349606.77	CA11 OCRM / GS
5406	3.89	340849.32	2349601.37	CA2 OCRM
5342	3.51	341006.40	2349638.79	CA13 OCRM / GS
5348	3.58	341023.73	2349665.14	CA14 OCRM / GS
5351	3.12	341038.25	2349678.45	CA15 OCRM / GS
5800	2.74	341204.14	2349670.65	CA28 OCRM
5352	3.98	341059.86	2349691.97	CA16 OCRM / GS
5803	0.59	341211.61	2349714.01	CA25 OCRM
5355	3.44	341084.99	2349700.72	CA17 OCRM / GS
5356	3.49	341103.90	2349712.32	CA18 OCRM / GS
5359	3.89	341133.41	2349722.70	CA19 OCRM / GS
5362	-0.12	341173.20	2349732.30	CA23 OCRM
5363	-0.69	341199.90	2349736.26	CA24 OCRM
5384	2.56	340903.60	2349588.09	CA7 OCRM
5402	4.85	340879.47	2349589.94	CA5 OCRM
5404	2.75	340863.61	2349601.71	CA4 OCRM
5405	3.65	340859.57	2349598.73	CA3 OCRM
5409	3.81	340849.45	2349607.03	CA1 OCRM
5801	2.06	341199.79	2349690.22	CA27 OCRM
5802	-0.56	341216.06	2349698.58	CA26 OCRM

LINE TABLE

LINE #	BEARING	LENGTH
L1	S88°42'54"W	5.66'
L2	N14°27'18"W	10.58'
L3	N36°24'06"E	5.02'
L4	N36°35'02"W	19.75'
L5	N02°24'16"E	17.04'
L6	N19°50'12"W	7.55'
L7	N33°00'07"W	19.28'
L8	N00°06'12"W	10.53'
L9	N35°50'00"E	20.96'
L10	N34°22'16"E	29.98'
L11	N40°27'44"E	24.71'
L12	N45°45'46"E	22.31'
L13	N56°39'58"E	31.54'
L14	N42°30'41"E	19.71'
L15	N32°02'06"E	25.48'
L16	N19°11'21"E	26.61'
L17	N31°32'43"E	22.18'
L18	N19°22'09"E	31.28'
L19	N21°59'13"W	25.87'
L20	N02°37'25"E	16.89'
L21	S57°05'54"E	9.60'
L22	N68°20'43"E	11.25'
L23	N08°26'09"E	26.99'
L24	N62°14'43"W	25.14'
L25	N73°54'43"W	16.05'
L26	S27°13'14"W	18.29'
L27	N77°28'13"W	20.05'

NOTES

- DATE OF SURVEY: APRIL 13, 2022
- ALL DISTANCES ARE HORIZONTAL GROUND IN INTERNATIONAL FEET.
- BEARINGS BASED ON NAD83/2011.
- REFERENCES AS SHOWN ON MAP
- THIS SURVEY IS NOT INTENDED TO EXPRESS AN OPINION REGARDING OWNERSHIP OR TITLE.
- THE WORD CERTIFY IS UNDERSTOOD TO BE AN EXPRESSION OF PROFESSIONAL JUDGEMENT BY THE SURVEYOR, WHICH IS BASED ON HIS BEST KNOWLEDGE, INFORMATION AND BELIEF.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
- THE EXISTENCE OR NONEXISTENCE OF WETLANDS ON SUBJECT PROPERTY HAS NOT BEEN DETERMINED BY THIS SURVEY.
- SUBJECT TO ALL EASEMENTS, RIGHT OF WAYS, AND OR ENCUMBRANCES THAT MAY EFFECT THIS PROPERTY.
- ALL INFORMATION SHOWN OUTSIDE OF PROPERTY LINES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND HAVE NOT BEEN LOCATED.
- THIS PROPERTY IS LOCATED IN FLOOD ZONE "AE-11" AS INDICATED ON FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 45019C 0538K, DATED JANUARY 29, 2021.
- THIS IS NOT A BOUNDARY SURVEY. THIS IS A TOPOGRAPHIC SURVEY ONLY. BOUNDARY SHOWN HEREON IS REPRESENTED IN ACCORDANCE WITH THE REFERENCE PLAT LISTED BELOW. PROPERTY CORNERS SHOWN WERE LOCATED DURING THE TOPOGRAPHIC SURVEY.

REFERENCES

- PLAT SHOWING 10.48 ACRES, FORMERLY THE OLD COVE STREET RW, OWNED BY THE TOWN OF SULLIVAN'S ISLAND, BY CHARLES F. DAWLEY, JR., DATED JUNE 9, 2010, AND RECORDED IN THE CHARLESTON COUNTY REGISTER OF DEEDS IN PLAT BOOK L12 PAGE 100.

LEGEND

	= MCC CONTROL		= TELEPHONE PEDESTAL
	= CONCRETE MONUMENT FOUND		= SIGN
	= IRON PIPE FOUND		= CRITICAL LINE MARKER
	= IRON REBAR FOUND		= CRITICAL LINE
	= OPEN TOP PIPE		= LIGHT POLE
	= CRIMP TOP PIPE		= ELECTRIC METER
	= RIGHT OF WAY		= ELECTRIC BOX
	= NOW/FORMERLY		= ELECTRIC HANDHOLE
	= DEED BOOK		= SANITARY SEWER MANHOLE
	= PLAT BOOK		= UNDERGROUND SANITARY LINE
	= PAGE		= FENCE
	= ELEVATION		= RIP RAP
	= GROUND SHOT ELEVATION		= LINES PER NEW HANOVER GIS
	= CONCRETE		= HEDGE ROW
	= ASPHALT PAVEMENT		
	= GRAVEL		

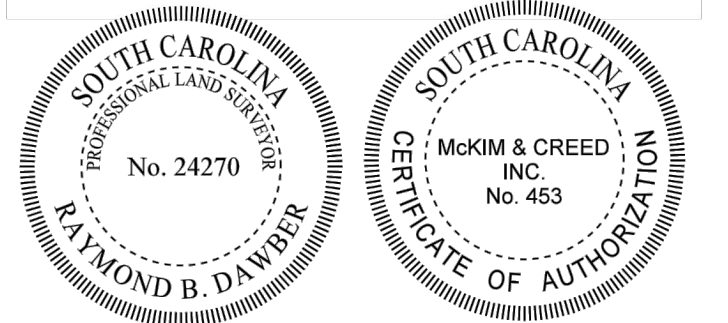
TREE LEGEND

	= BEECH
	= LIVE OAK
	= OAK
	= PALM

I, **RAYMOND B. DAWBER**, HEREBY STATE THAT TO THE BEST OF MY PROFESSIONAL KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS AS SPECIFIED THEREIN.

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER, AND SEAL THIS 21ST DAY OF APRIL, AD 2022.

Raymond B. Dawber 4/21/2022
 RAYMOND B. DAWBER
 SCPLS 24270
 PROFESSIONAL LAND SURVEYOR

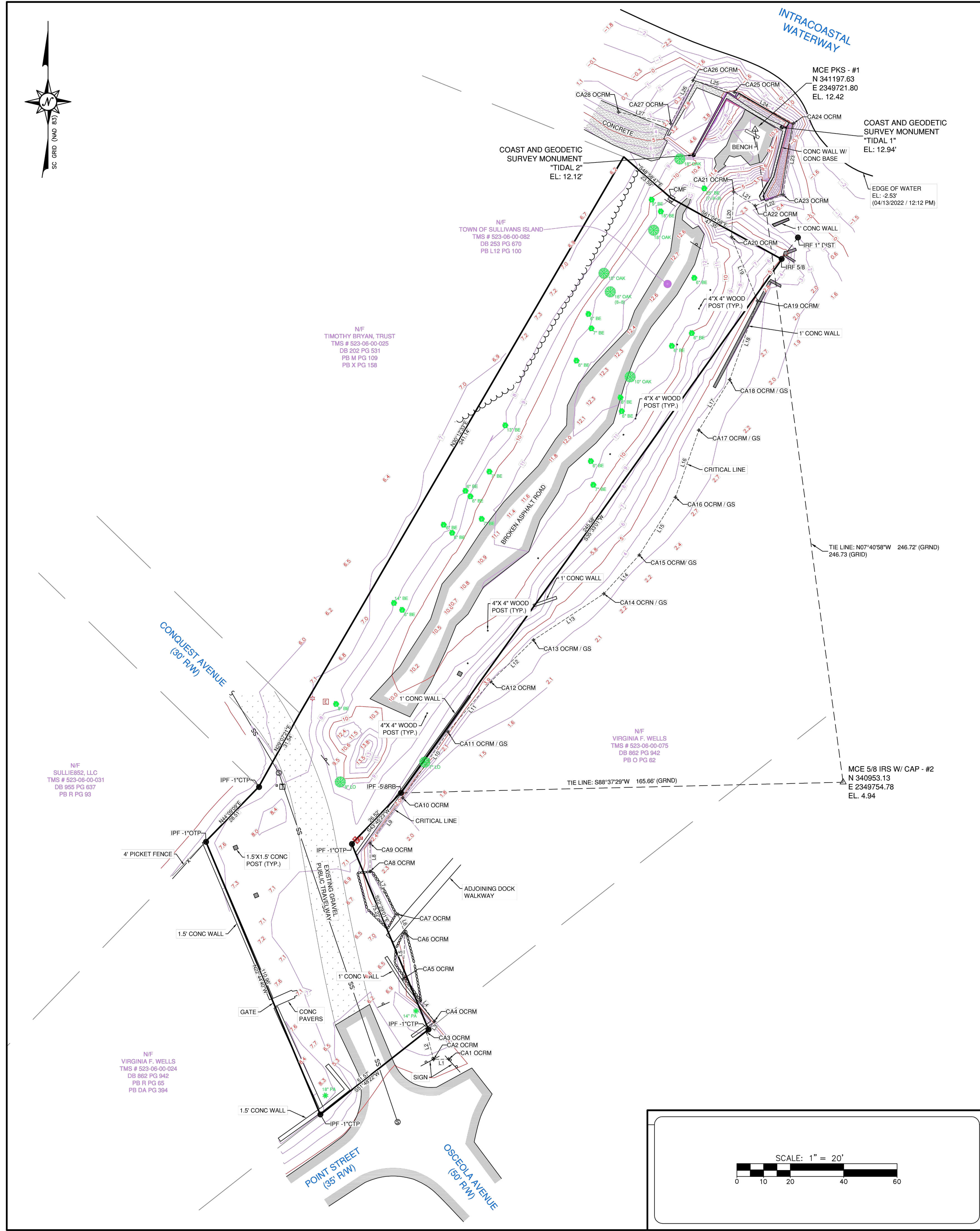


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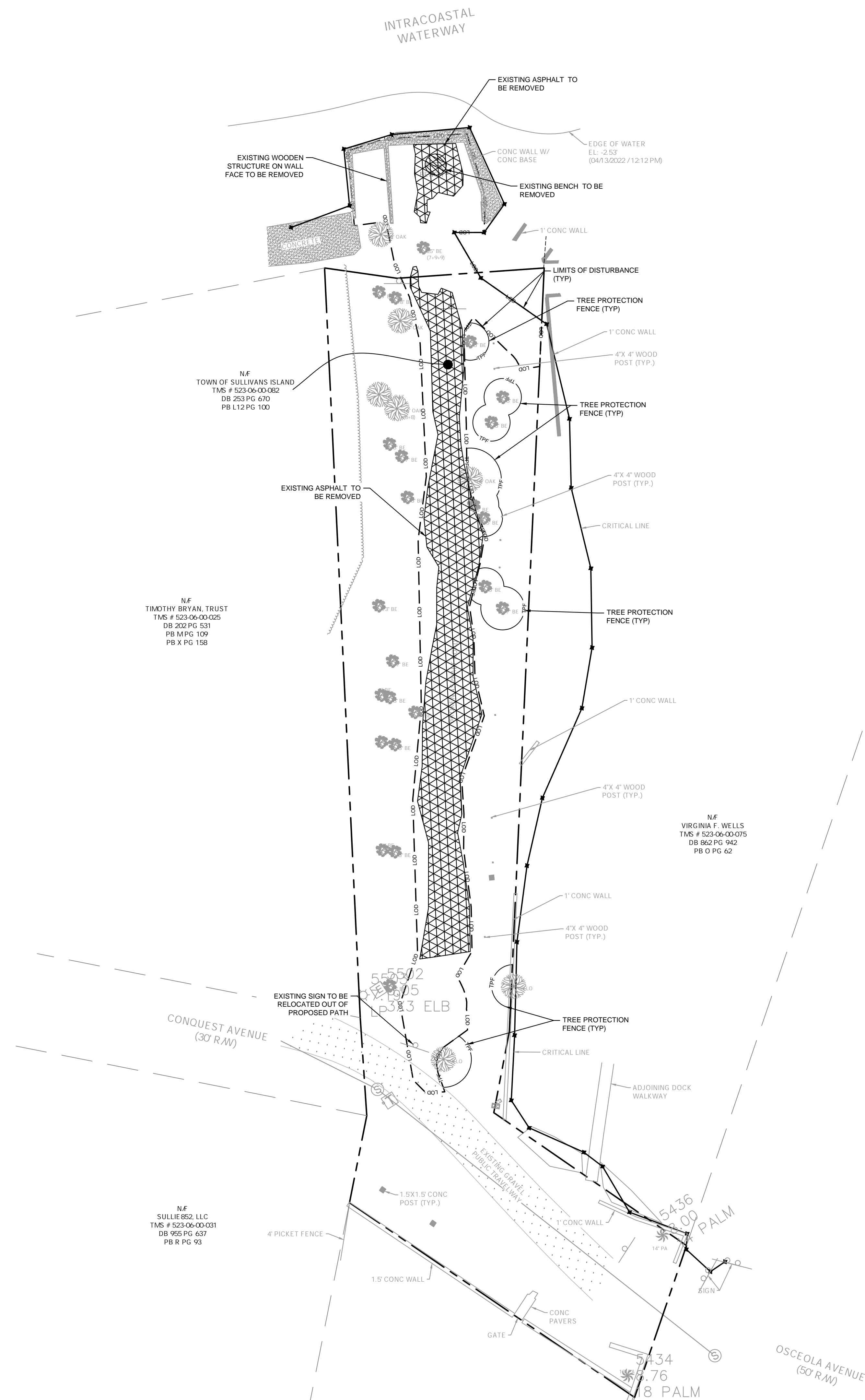
MCKIM & CREED
 454 DEANNA LANE SUITE A
 CHARLESTON SC, 29492
 TELEPHONE: (843) 459-7894
 SOUTH CAROLINA FIRM COA NUMBER: 453
 www.mckimcreed.com

TOPOGRAPHIC & TREE SURVEY
 PREPARED FOR
KIMLEY-HORN & ASSOCIATES, INC.
 OWNED BY
THE TOWN OF SULLIVAN'S ISLAND
 TMS # 523-06-00-082
 APRIL 19, 2022

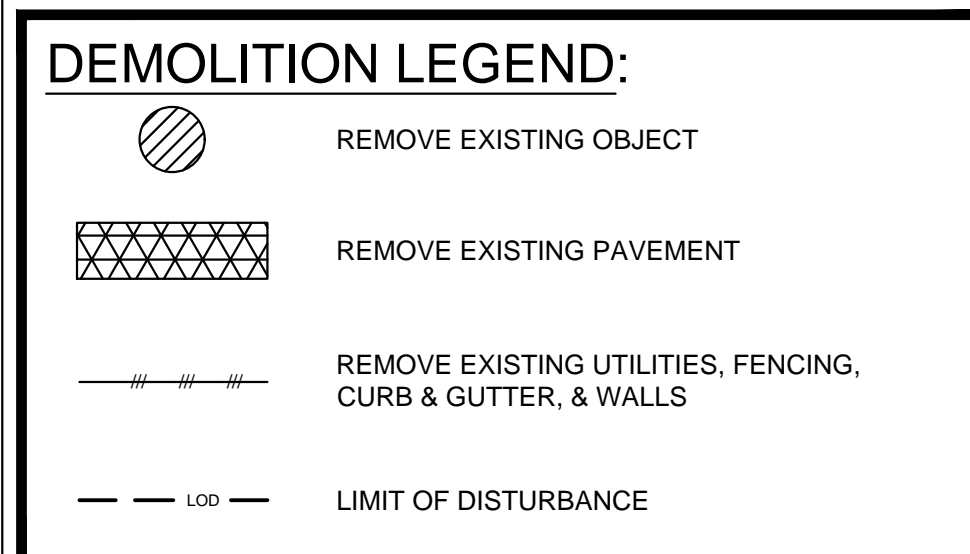
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 CAD NUMBER: VT101_01298-0233
 PLS: RBD
 PARTY CHIEF: JBU
 CAD TECH: RBU
 FIELD BOOK/PAGE: CHS41_86-96
 DRAWING NUMBER: DWG
SHEET 1 OF 1



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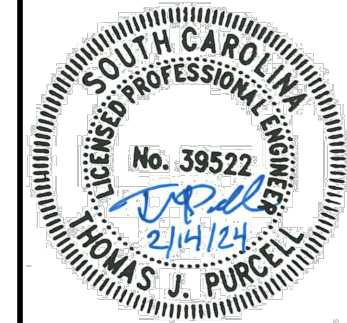
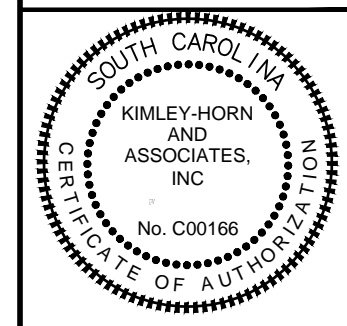
- ### DEMOLITION NOTES:
- EXISTING CONDITIONS SHOWN HEREON ARE FROM A TOPOGRAPHIC AND UTILITY SURVEY PREPARED BY MCKIM & CREED DATED 04/19/2022.
 - UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY OR ADAPTED FOR TIE-INS.
 - RECEIPT OF ALL PERMITS AND APPROVALS IS REQUIRED BEFORE ANY CONSTRUCTION ACTIVITY.
 - EXISTING SOIL SERIES IS CG (CAPERS SILTY CLAY LOAM) FOR ENTIRE DISTURBED AREA.
 - TREES TO REMAIN MUST BE PROTECTED DURING DEMOLITION AND CONSTRUCTION PHASE.
 - CONSTRUCTION FENCING OR SILT FENCE SHALL NOT OBSTRUCT TRAFFIC FLOW ON EXISTING STREETS UNLESS CLOSURE PERMIT IS OBTAINED.
 - CONTRACTOR SHALL CONTROL DUST LEAVING THE SITE DURING DEMOLITION AND CONSTRUCTION.
 - CONTRACTOR SHALL COORDINATE UTILITY DEMOLITION AND RELOCATION WITH APPROPRIATE UTILITY PROVIDER.
 - CONTRACTOR SHALL PROTECT SURROUNDING BUILDING UTILITY SERVICES DURING CONSTRUCTION AND COORDINATE ALL SERVICE IMPACTS WITH OWNER.
 - NO GRADED SLOPE SHALL EXCEED 2H:1V.
 - THE PROJECT SITE DOES LIE WITHIN A FLOOD HAZARD AREA PER FIRM PANELS 45019C0538K DATED 01/29/2021.
 - CONTRACTOR SHALL MAINTAIN AN ADA COMPLIANT PEDESTRIAN PATH ALONG THE ADJACENT STREET FRONTAGE THROUGHOUT CONSTRUCTION.



CITY APPROVAL BOX

NO.	REVISIONS	DATE	BY
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 CHARLESTON, SOUTH CAROLINA 294092
 PHONE (843) 737-6980
 WWW.KIMLEY-HORN.COM



SCALE:	AS SHOWN
DRAWN BY:	TYB
DESIGNED BY:	TJP
CHECKED BY:	TJP

CLIENT:
TOWN OF SULLIVAN'S ISLAND
 SULLIVAN'S ISLAND, SC 29482

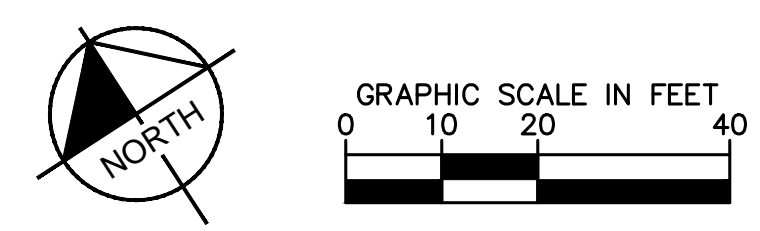
PROJECT:
OLD BRIDGE LANDING
 98-1 CONQUEST AVE. | SULLIVAN'S ISLAND | SOUTH CAROLINA

TITLE:
DEMOLITION PLAN

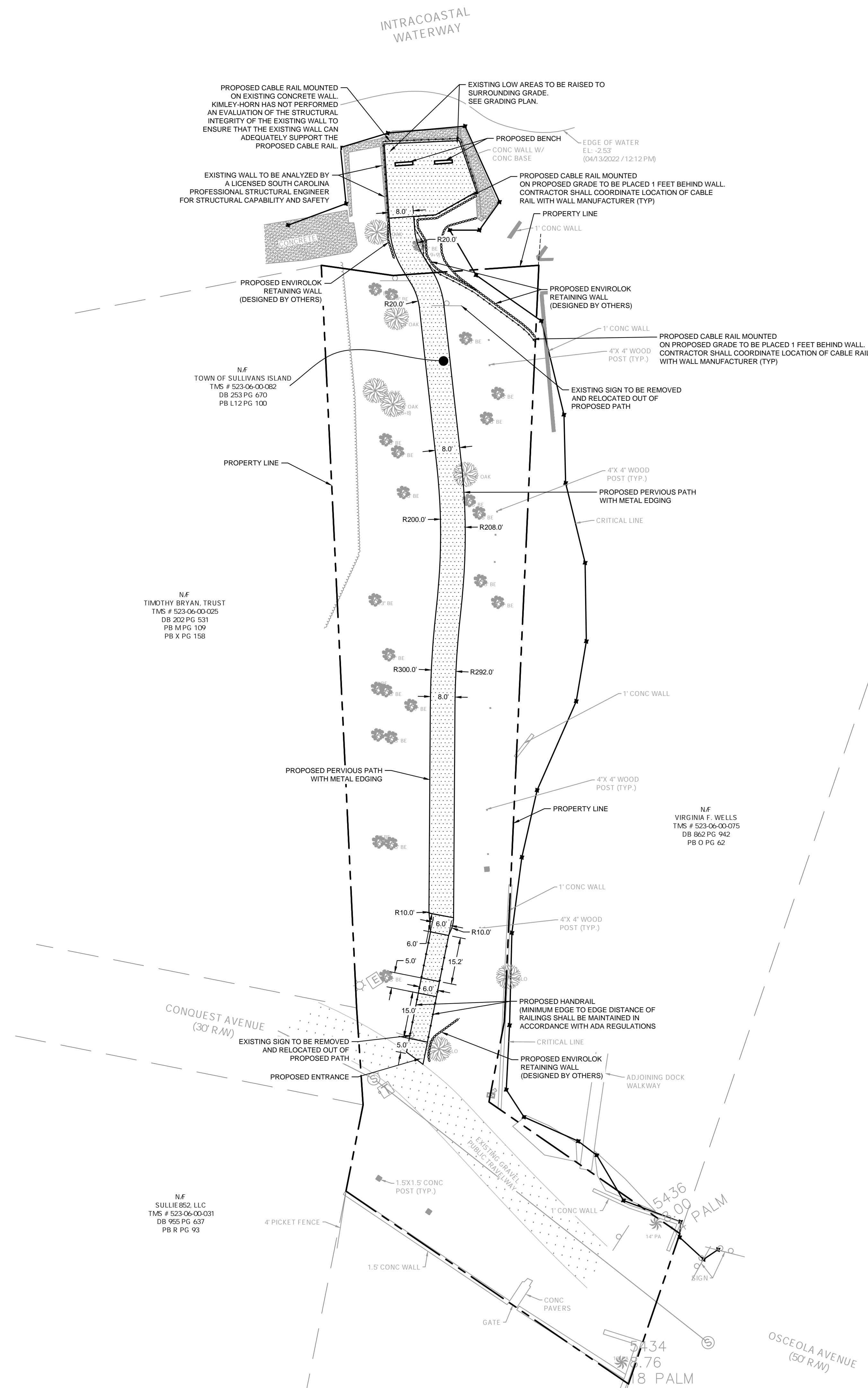
DATE
 02/14/2024

PROJECT NO.
 013141004

SHEET NUMBER
C1-00



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DEVELOPMENT SUMMARY:

SITE SUMMARY:

TAX PARCEL ID: 523-06-00-082
 PROPOSED USE: RECREATION
 SITE AREA: 0.48 ACRES

- SITE NOTES:**
- EXISTING CONDITIONS SHOWN HEREON ARE FROM A SURVEY FILE PROVIDED BY MCKIM & CREED DATED 04/19/2022.
 - IF TRAFFIC SIGNS OR MARKINGS WITHIN THE RIGHT-OF-WAY ARE IMPACTED, RELOCATION OF THESE ITEMS MUST BE COORDINATED WITH TOWN OF SULLIVAN'S ISLAND PRIOR TO CONSTRUCTION.
 - LANE CLOSURES OF ANY TYPE OR DURATION WITHIN THE RIGHT-OF-WAY MUST BE APPROVED BY TOWN OF SULLIVAN'S ISLAND WELL IN ADVANCE OF THE OCCURRENCE. COORDINATE WITH TOWN OF SULLIVAN'S ISLAND PRIOR TO CONSTRUCTION.
 - CONSTRUCTION AND DEMOLITION TRAFFIC MUST AVOID RESIDENTIAL STREETS AT ALL TIMES UNLESS THERE ARE NO ALTERNATIVE ROUTES. IF IMPACTS TO RESIDENTIAL STREETS ARE ANTICIPATED, THE CONTRACTOR SHOULD CONTACT TOWN OF SULLIVAN'S ISLAND PRIOR TO USING THE ROUTE.
 - ANY CURBS, SIDEWALKS, PAVEMENT, ETC. DAMAGED DURING CONSTRUCTION WILL BE REQUIRED TO BE REPAIRED/REPLACED.
 - THE CONTRACTOR SHALL HAND DIG OR USE ANOTHER FORM OF CONSTRUCTION METHOD APPROVED BY THE LANDSCAPE ARCHITECT FOR ANY IMPROVEMENTS INSTALLED WITHIN OR NEAR EXISTING TREE'S ROOT ZONE.

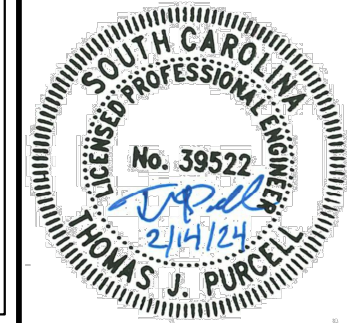
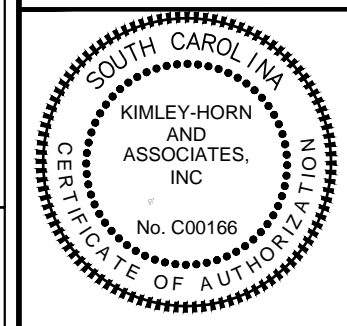
SITE PLAN LEGEND:

- PROPERTY LINE
- ▨ PLANTATION MIX
- PROPOSED CABLE RAIL

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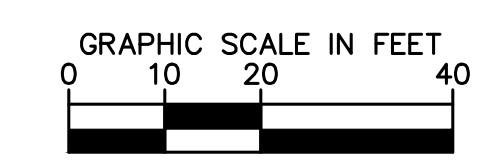
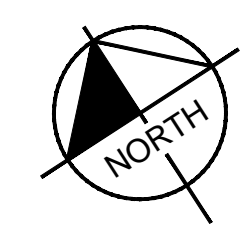


SCALE: AS SHOWN
 DRAWN BY: TWB
 DESIGNED BY: TJP
 CHECKED BY: TJP

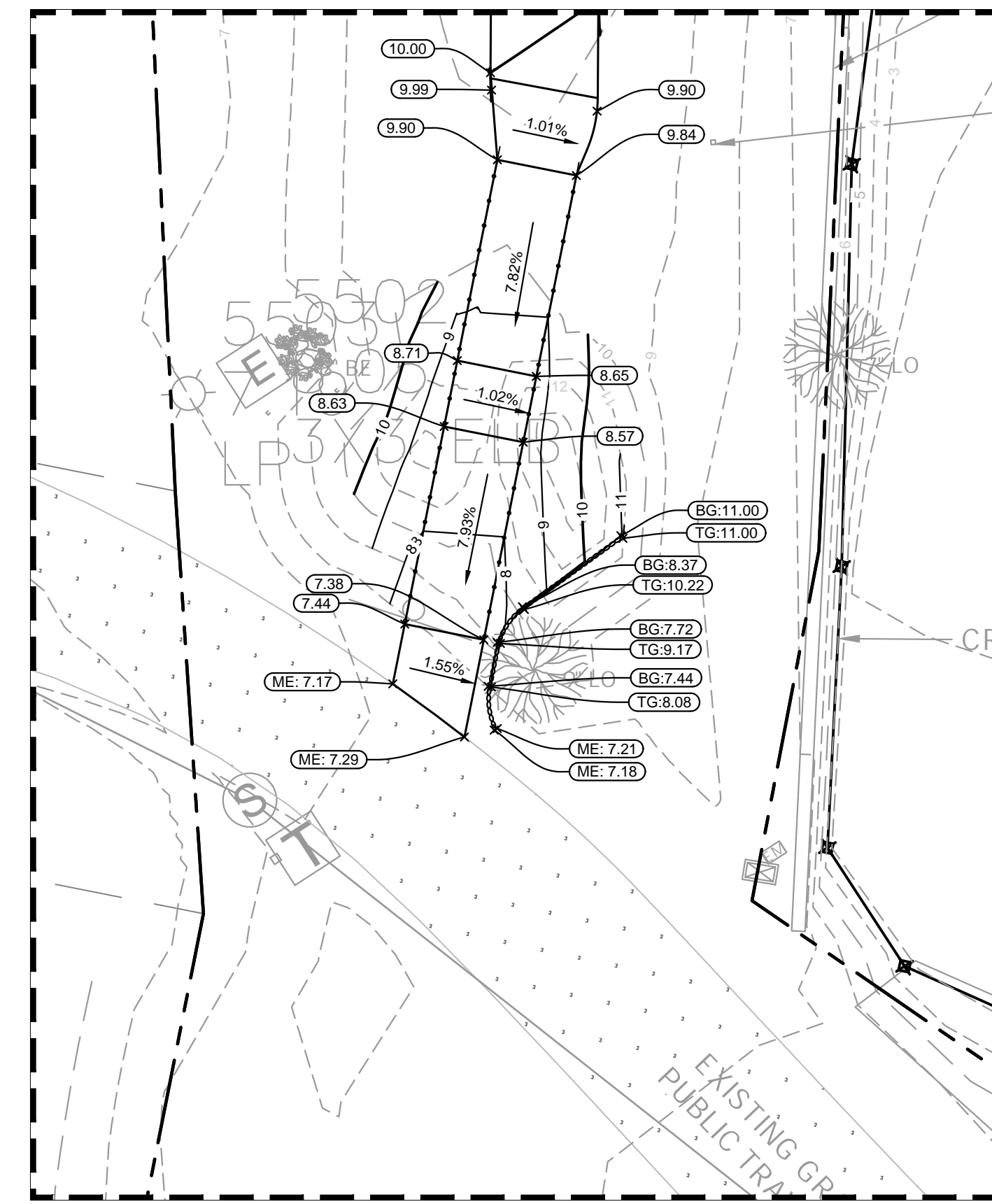
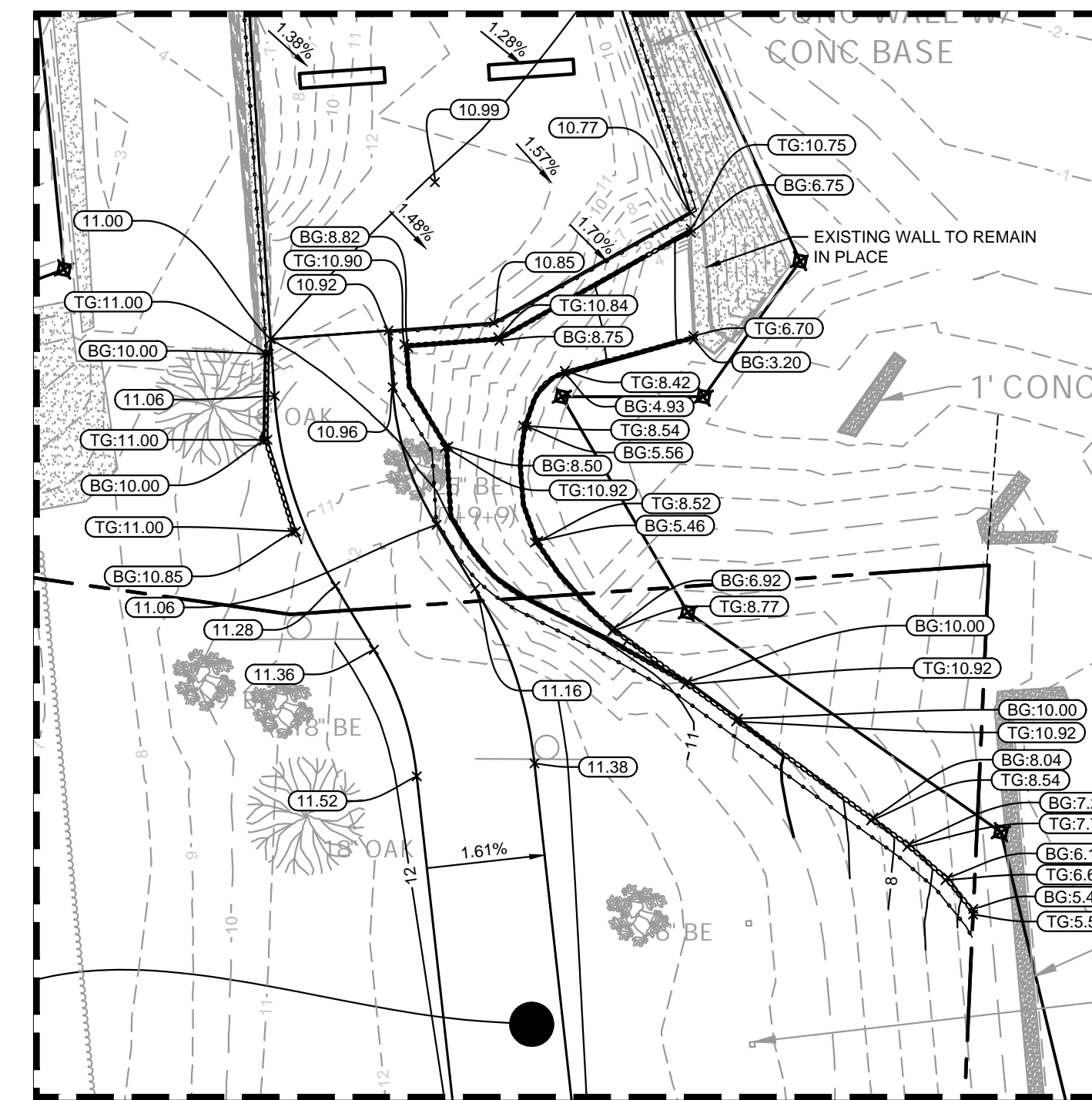
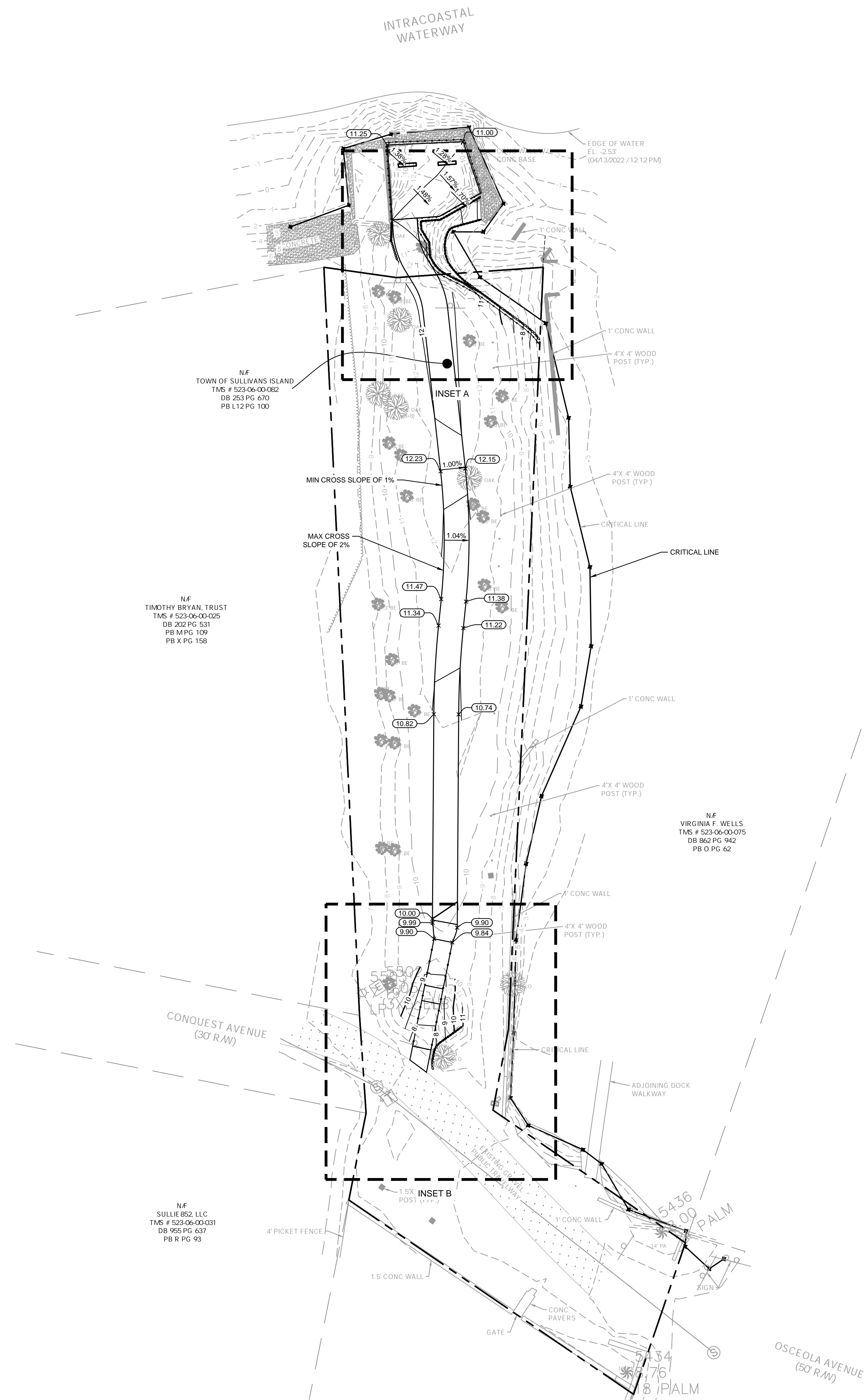
CLIENT: TOWN OF SULLIVAN'S ISLAND
 SULLIVAN'S ISLAND, SC 29462

PROJECT: OLD BRIDGE LANDING
 99-1 CONQUEST AVE. | SULLIVAN'S ISLAND | SOUTH CAROLINA
 TITLE: SITE PLAN

DATE: 02/14/2024
 PROJECT NO.: 013141004
 SHEET NUMBER: C2-00



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GRADING & DRAINAGE LEGEND:

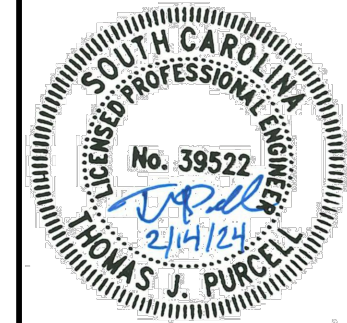
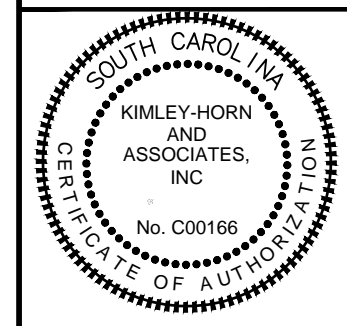
	EXISTING MAJOR CONTOUR
	EXISTING MINOR CONTOUR
	PROPOSED MAJOR CONTOUR
	PROPOSED MINOR CONTOUR
	PROPOSED STORM PIPE
	PROPOSED ROOF DRAIN
	DRAINAGE FLOW ARROW
	PROPOSED SPOT GRADE
	PROPOSED HIGH POINT GRADE
	PROPOSED LOW POINT GRADE
	PROPOSED TOP GRADE AT WALL
	PROPOSED BOTTOM GRADE AT WALL
	MEET EXISTING GRADE

- GRADING & DRAINAGE NOTES:**
- SITE AREA: 0.48 ACRES
DISTURBED AREA: 0.2 ACRES
 - CRITICAL SPOT GRADES ARE TO PAVEMENT GRADE UNLESS OTHERWISE NOTED.
 - CONTRACTOR SHALL CONSTRUCT ALL SIDEWALKS/WALKING PATHS WITH A 2.0% MAXIMUM CROSS SLOPE AND A 5.0% MAXIMUM RUNNING SLOPE, UNLESS NOTED AS A RAMP.
 - CONTRACTOR SHALL TAKE FIELD SLOPE MEASUREMENTS ON FINISHED SUBGRADE AND FORM BOARDS PRIOR TO PLACING PERVIOUS MATERIAL TO VERIFY THAT ADA SLOPE REQUIREMENTS ARE PROVIDED. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PLACING PERVIOUS MATERIAL IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR ADA SLOPE COMPLIANCE ISSUES.
 - THIS PROJECT SITE LIES WITHIN ZONE AE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 45019C0538K, DATED 01/29/2021.
 - UTILITIES MAY EXIST WHICH ARE NOT SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL UTILITY COMPANIES HAVING UTILITIES WITHIN OR ADJACENT TO THE WORK AREA. THE CONTRACTOR SHALL HAVE THE UTILITIES FIELD LOCATED AND COORDINATE WITH THE UTILITY COMPANIES TO HAVE CONFLICTS RELOCATED WHEN NECESSARY.
 - NO GRADED SLOPE SHALL EXCEED 3H:1V UNLESS OTHERWISE NOTED.

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SCALE:	AS SHOWN
DRAWN BY:	TWB
DESIGNED BY:	TJP
CHECKED BY:	TJP

CLIENT:
 TOWN OF SULLIVAN'S ISLAND
 SULLIVAN'S ISLAND, SC 29462

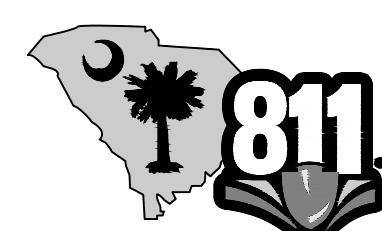
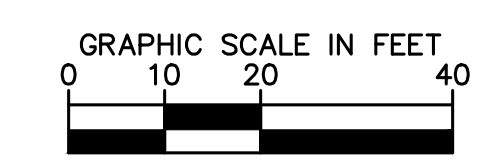
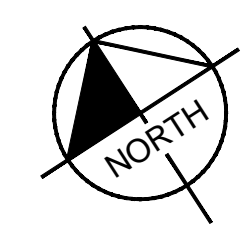
PROJECT:
 OLD BRIDGE LANDING
 99-1 CONQUEST AVE. | SULLIVAN'S ISLAND | SOUTH CAROLINA

TITLE:
 GRADING PLAN

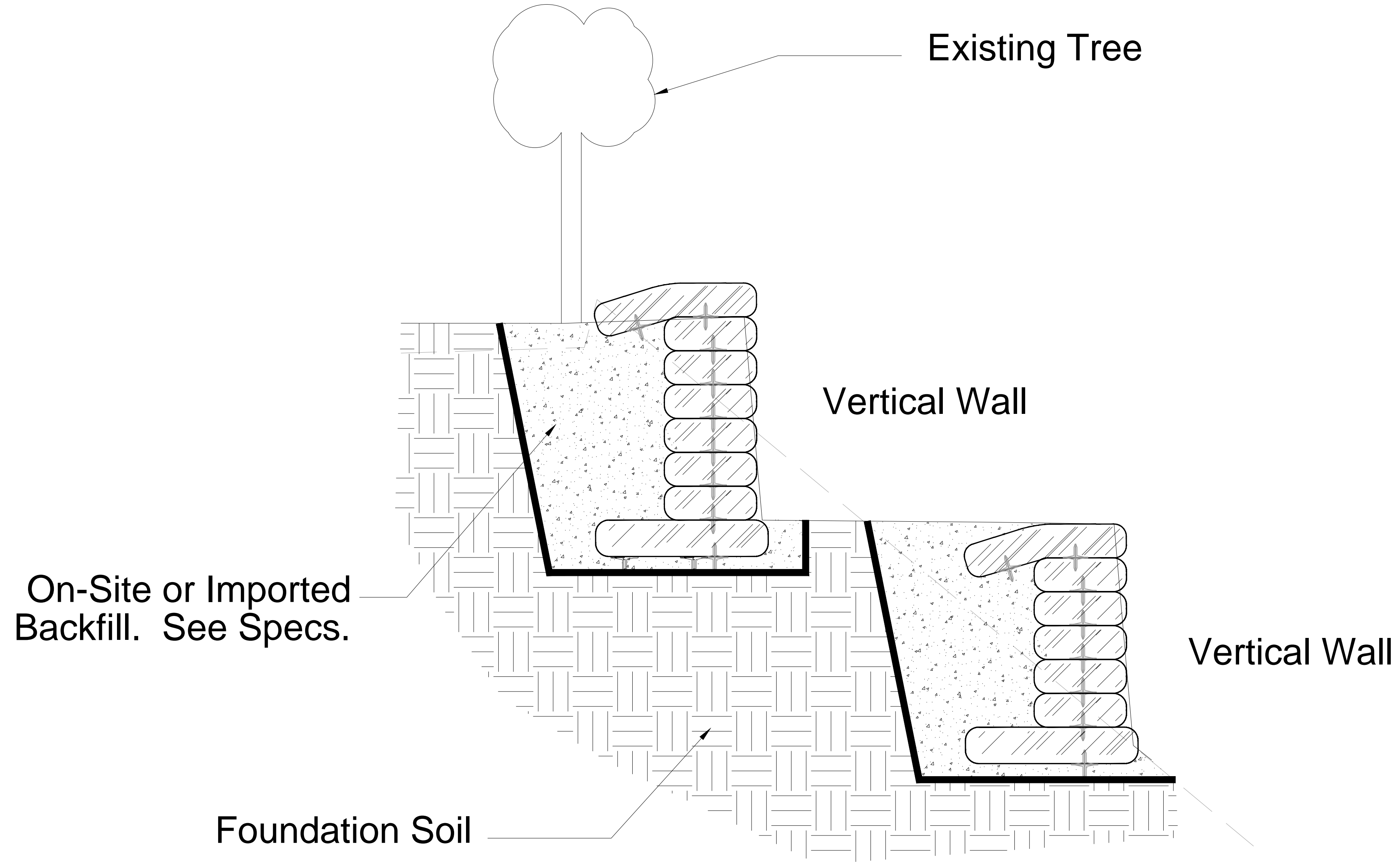
DATE
 02/14/2024

PROJECT NO.
 013141004

SHEET NUMBER
 C3-00



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0:1 SETBACK SLOPE

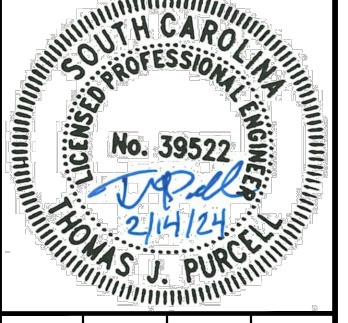


PROJECT: OLD BRIDGE LANDING
 98-1 CONQUEST AVE. | SULLIVAN'S ISLAND | SOUTH CAROLINA
 TITLE: SAMPLE WALL SECTION

DATE: 02/14/2024
 PROJECT NO.: 013141004
 SHEET NUMBER: C3-10

CLIENT: TOWN OF SULLIVAN'S ISLAND
 PO BOX 427
 SULLIVAN'S ISLAND, SC 29482

SCALE: AS SHOWN
 DRAWN BY: TWB
 DESIGNED BY: TJP
 CHECKED BY: TJP



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DISTURBED AREA:
TOTAL = 0.2 ACRES

SWPPP CERTIFICATION:
I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.

CITY APPROVAL BOX

EROSION CONTROL NOTES:

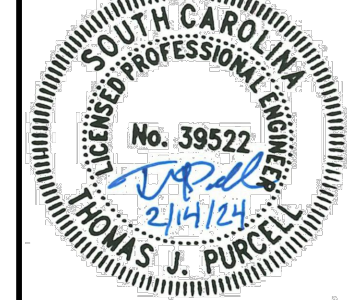
- 1. CONTRACTOR IS TO ADHERE TO THE TOWN OF SULLIVAN'S ISLAND EROSION AND SEDIMENT CONTROL REGULATIONS, THE SOUTH CAROLINA DHEC BMP HANDBOOK, AND THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP).
- 2. THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO LAND DISTURBING ACTIVITIES.
- 3. EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
- 4. ANY DISTURBED AREA LEFT EXPOSED FOR A PERIOD GREATER THAN 14 DAYS SHALL BE STABILIZED WITH MULCH OR TEMPORARY SEEDING.
- 5. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
- 6. THE CONTRACTOR SHALL INSTALL AND MAINTAIN SILT BARRIERS AROUND ALL DRAINAGE STRUCTURES UNTIL ALL CONSTRUCTION HAS BEEN COMPLETED.
- 7. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING THE PROPERTY LIMITS.
- 8. THERE ARE NO CURRENT APPARENT EROSION CONTROL PROBLEMS ON SITE. CONTRACTOR SHALL TAKE PROCEDURES AS NECESSARY TO PREVENT EROSION AND SEDIMENT TRANSPORT DURING CONSTRUCTION.
- 9. MAXIMUM EMBANKMENT SLOPES TO BE AS FOLLOWS: CUT AREAS - 2:1, FILL AREAS - 2:1.
- 10. ALL SEDIMENT AND EROSION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED PER THE SPECIFICATIONS.
- 11. ALL CUT AND FILL SLOPES MUST BE SURFACE ROUGHENED AND VEGETATED WITHIN SEVEN (7) DAYS OF THEIR CONSTRUCTION.
- 12. THE CONTRACTOR SHALL MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PERMANENT VEGETATION HAS BEEN ESTABLISHED. THE CONTRACTOR MUST CLEAN ALL SEDIMENT TRAPS AS REQUIRED BY THE OWNER'S REPRESENTATIVE OR LOCAL & STATE REQUIREMENTS.
- 13. FAILURE TO INSTALL, OPERATE AND MAINTAIN ALL EROSION CONTROL MEASURES, AS SHOWN ON THE APPROVED PLANS OR AS DIRECTED BY THE OWNER/PROJECT REPRESENTATIVE AND/OR LOCAL MUNICIPALITY AND STATE MAY RESULT IN ALL WORK ON THE CONSTRUCTION SITE BEING STOPPED UNTIL PROPER CORRECTIVE MEASURES HAVE BEEN MET AS REQUIRED AND/OR DIRECTED.
- 14. ALL SLOPES 2:1 AND SEDIMENT BASINS SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS NORTH AMERICAN GREEN SC150 OR EQUIVALENT, IN ADDITION TO GRASSING/HYDROSEEDING.
- 15. STORM DRAINAGE SYSTEM SHALL BE INSTALLED AS SOON AS POSSIBLE DURING THE CONSTRUCTION PROCESS, AND ALL RUNOFF SHALL BE DIRECTED TO THE DRAINAGE SYSTEM.
- 16. PRIOR TO STORM DRAINAGE SYSTEM INSTALLATION ALL RUNOFF LEAVING THE SITE SHALL BE FILTERED THROUGH SILT FENCES AND FILTERS PRIOR TO DISCHARGE OFFSITE. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING THIS REQUIREMENT ON-SITE DURING ALL PHASES OF CONSTRUCTION.
- 17. THIS PROJECT DOES LIE WITHIN A 100 YEAR FLOOD HAZARD ZONE AS DEFINED BY THE F.E.M.A. "FLOOD HAZARD BOUNDARY MAP" COMMUNITY PANEL NUMBER 45019C0538K, DATED 01/29/2021.
- 18. WETLANDS DO NOT EXIST ON SITE.
- 19. WASTE MATERIALS SHALL NOT BE DISCHARGED TO WATERS OF THE STATE EXCEPT AS AUTHORIZED BY A SECTION 404 PERMIT.
- 20. AMENDMENTS/REVISIONS TO THE ES&PC PLAN WHICH HAVE A SIGNIFICANT EFFECT ON BMPs WITH A HYDRAULIC COMPONENT MUST BE CERTIFIED BY THE DESIGN PROFESSIONAL.
- 21. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED IN DEEMED NECESSARY BY ON-SITE INSPECTION.
- 22. EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES TO BE INSPECTED DAILY.

SCDHEC STANDARD E&S NOTES:

- 1. IF NECESSARY, SLOPES WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- 2. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- 3. ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY, OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- 4. PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- 5. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFF-SITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- 6. THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAYS(ES) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- 7. RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION OR OBTAIN APPROVAL OF AN INDIVIDUAL PLAN IN ACCORDANCE WITH S.C. REG. 72-300 ET SEQ. AND SCR100000.
- 8. TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- 9. ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CANT BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- 10. LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- 11. A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- 12. INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- 13. MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- 14. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING. WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- 15. MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPs (SEDIMENT BASIN, FILTER BAG, ETC.).
- 16. THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS;
 - FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- 17. AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- 18. IF EXISTING BMPs NEED TO BE MODIFIED OR IF ADDITIONAL BMPs ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPs MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- 19. A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.

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SCALE:	AS SHOWN
DRAWN BY:	TWB
DESIGNED BY:	TJP
CHECKED BY:	TJP

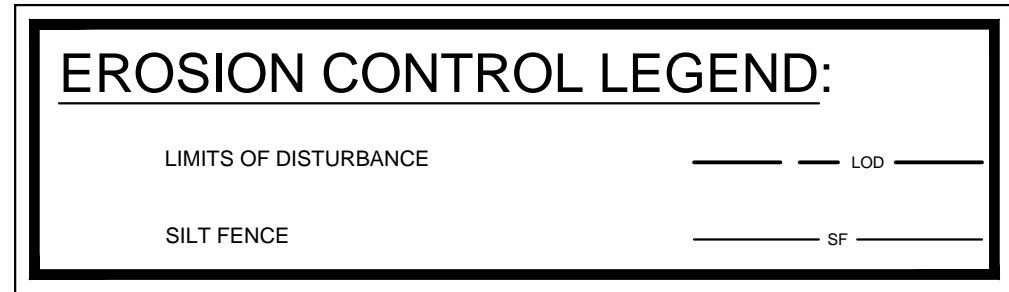
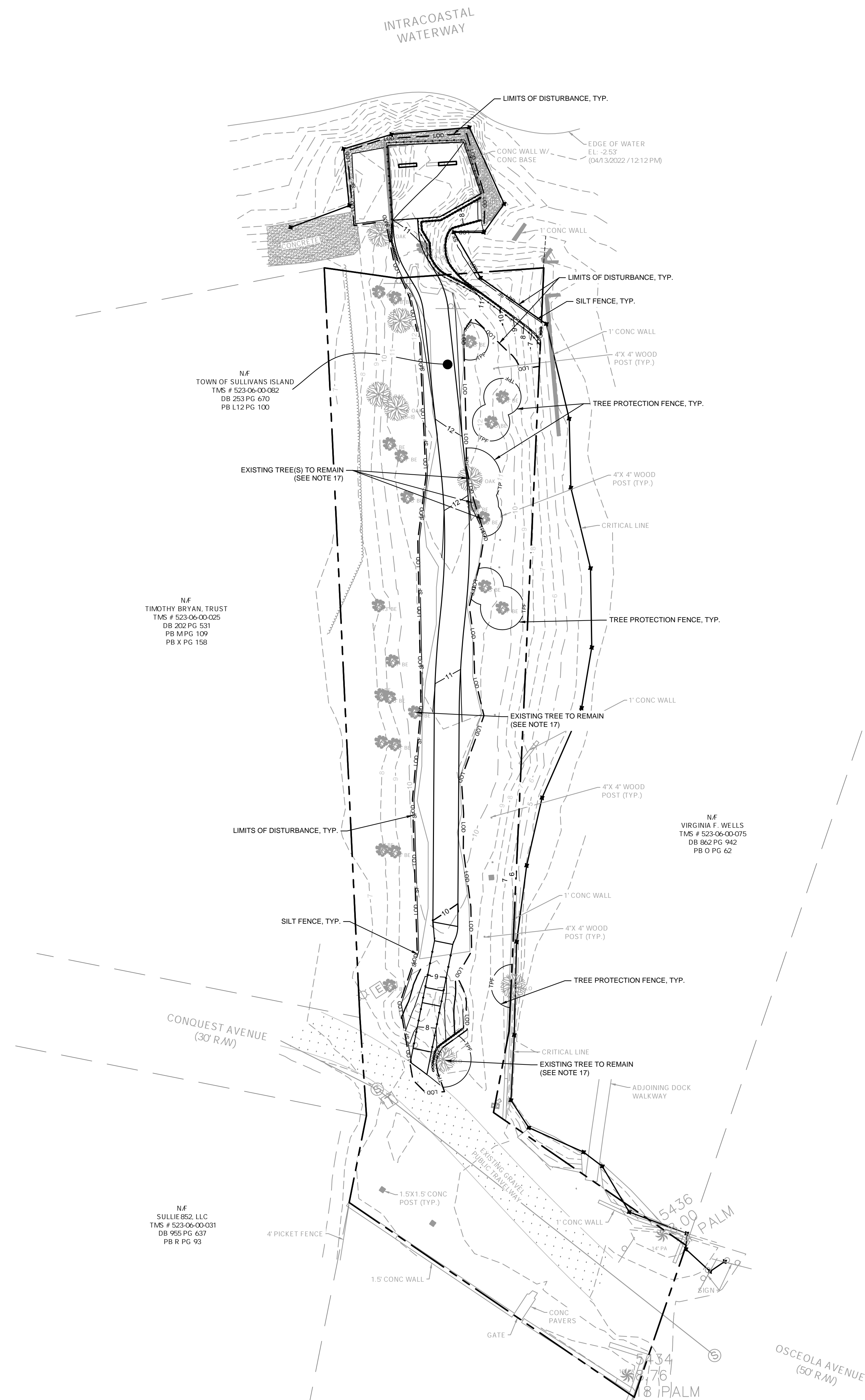
CLIENT: TOWN OF SULLIVAN'S ISLAND
PROJECT: OLD BRIDGE LANDING
99-1 CONQUEST AVE. | SULLIVAN'S ISLAND | SOUTH CAROLINA

TITLE: EROSION CONTROL NOTES

DATE	02/14/2024
PROJECT NO.	013141004
SHEET NUMBER	C5-00



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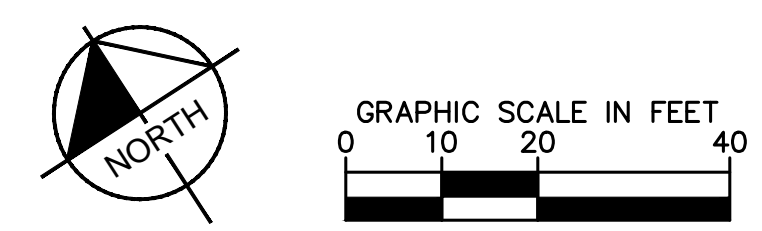
- ### EROSION CONTROL SEQUENCING:
- SCHEDULE / ATTEND PRE-CONSTRUCTION CONFERENCE WITH THE ENGINEER, TOWN AND COUNTY INSPECTOR, SITE SUBCONTRACTOR, AND 3RD PARTY EROSION CONTROL INSPECTION FIRM. PRE-CONSTRUCTION CONFERENCE TO BE HELD ON SITE.
 - ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE S.C. DEPARTMENT OF HEALTH AND ENVIRONMENTAL CONTROL, U.S. DEPARTMENT OF AGRICULTURE, AND THE CITY OF CHARLESTON CODE.
 - INSTALL TREE PROTECTION FENCE.
 - INSTALL SILT FENCE.
 - DEMOLISH EXISTING SITE FEATURES AS NOTED ON THE DEMOLITION PLAN.
 - MAINTAIN DEVICES AS NEEDED. INSPECT AND REPAIR EROSION CONTROL MEASURES AFTER EVERY RAINFALL EVENT OF 1/2" OR GREATER OR EVERY 7 CALENDAR DAYS. ALL AREAS UPON WHICH NO FURTHER LAND DISTURBING ACTIVITY WILL BE UNDERTAKEN ARE TO BE PLANTED OR PROVIDED WITH PROTECTIVE COVER WITHIN 14 CALENDAR DAYS.
 - AS AREAS ARE BROUGHT TO FINISHED GRADE, CONTRACTOR TO INSTALL FINAL GRASSING AND STABILIZE ALL SLOPES PER THE EROSION CONTROL NOTES AND DETAILS.
 - CONTRACTOR SHALL COORDINATE FILING THE NOTICE OF TERMINATION (NOT) WITH THE OWNER AND ENGINEER ONCE FINAL STABILIZATION HAS BEEN ACHIEVED IN ACCORDANCE WITH SCDHEC GUIDELINES.
 - CONTRACTOR SHALL COORDINATE WITH THE CHARLESTON COUNTY EROSION CONTROL INSPECTOR PRIOR TO REMOVAL OF EROSION CONTROL MEASURES.
 - UPON APPROVAL OF FINAL STABILIZATION FROM CHARLESTON COUNTY, THE CONTRACTOR SHALL REMOVE ALL TEMPORARY BMPs.
 - THE CONTRACTOR SHALL HAND DIG OR USE ANOTHER FORM OF CONSTRUCTION METHOD APPROVED BY THE LANDSCAPE ARCHITECT FOR ANY IMPROVEMENTS INSTALLED WITHIN OR NEAR EXISTING TREE'S ROOT ZONE.

SWPPP CERTIFICATION:

I HAVE PLACED MY SIGNATURE AND SEAL ON THE DESIGN DOCUMENTS SUBMITTED SIGNIFYING THAT I ACCEPT RESPONSIBILITY FOR THE DESIGN OF THE SYSTEM. FURTHER, I CERTIFY TO THE BEST OF MY KNOWLEDGE AND BELIEF THAT THE DESIGN IS CONSISTENT WITH THE REQUIREMENTS OF TITLE 48, CHAPTER 14 OF THE CODE OF LAWS OF SC, 1976 AS AMENDED, PURSUANT TO REGULATION 72-300 ET SEQ. (IF APPLICABLE), AND IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF SCR100000.

DISTURBED AREA:

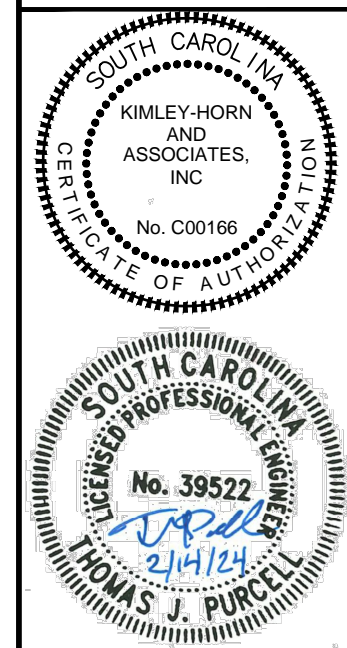
TOTAL = 0.2 ACRES



CITY APPROVAL BOX

PROJECT:	OLD BRIDGE LANDING	DATE:	02/14/2024
PROJECT:	99-1 CONQUEST AVE. SULLIVAN'S ISLAND SOUTH CAROLINA	PROJECT NO.:	013141004
TITLE:	EROSION CONTROL PLAN	SHEET NUMBER:	C5-10
CLIENT:	TOWN OF SULLIVAN'S ISLAND	PO BOX 427	SULLIVAN'S ISLAND, SC 29482
SCALE:	AS SHOWN	DRAWN BY:	TWB
DESIGNED BY:	TJP	CHECKED BY:	TJP
REVISIONS:	NO	DATE:	
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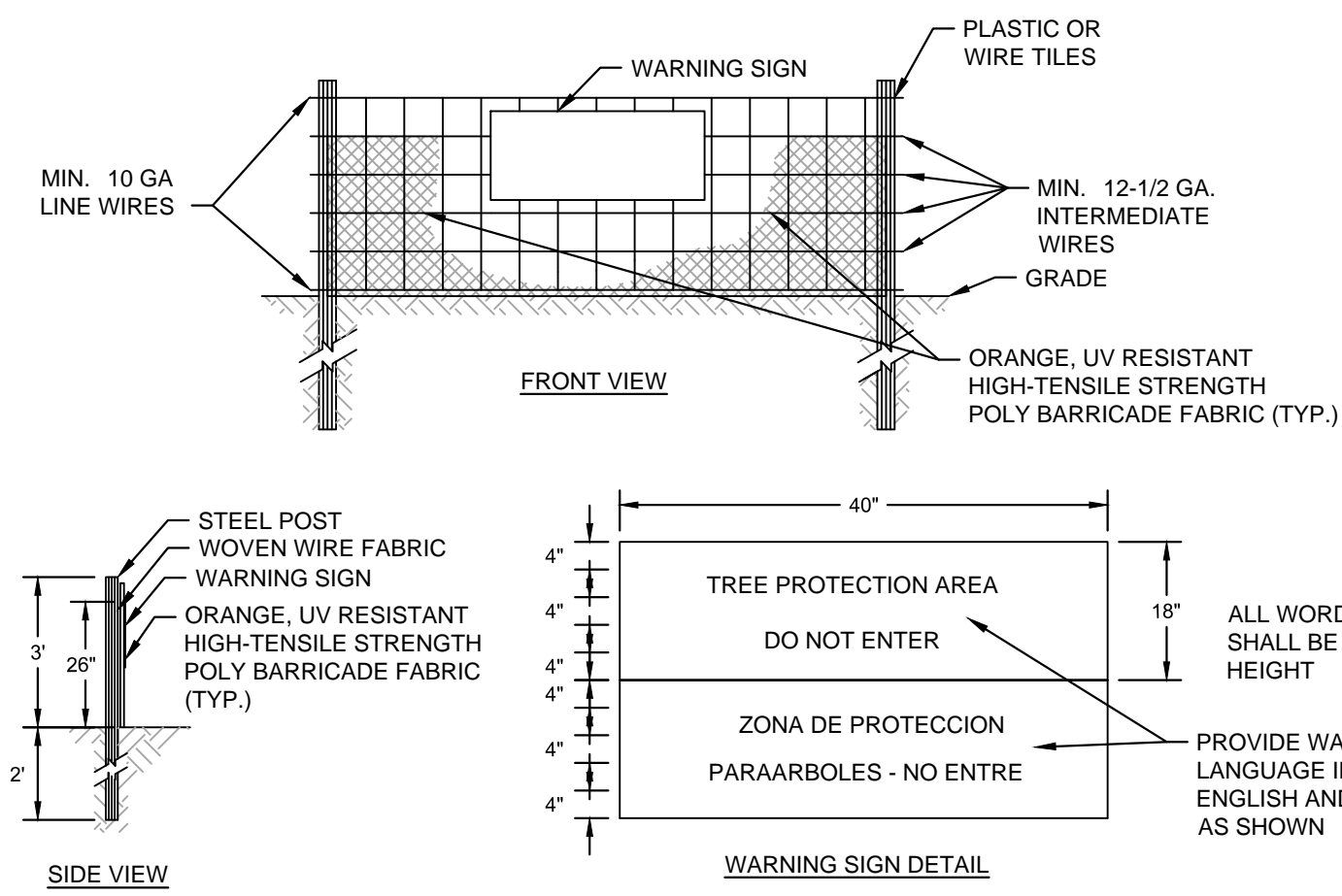
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NOTES

1. TREE PROTECTION FENCING MUST BE INSTALLED AT A MINIMUM RADIUS OF THE CRITICAL ROOT ZONE (CRZ) OF TREES. (CRZ DEFINED AS RADIUS x 1.25' (FT) PER INCH AT DBH FROM TRUNK OF TREE).
2. IF CONSTRUCTION OCCURS WITHIN THE CRZ AT LEAST 12" OF MULCH AND/OR LOGGING MATTS SHALL BE PLACED WHERE MACHINERY MANEUVERS TO REDUCE SOIL COMPACTION IN THIS ZONE.
3. THE TREE PROTECTION FENCING MUST NOT BE VIOLATED FOR THE ENTIRE DURATION OF THE PROJECT.
4. THERE WILL BE ZERO TOLERANCE FOR STORING OR PARKING VEHICLES, SUPPLIES, OR EQUIPMENT UNDER PROTECTED TREES.
5. IMPACT PROTECTION DEVICES MUST BE REMOVED AFTER CONSTRUCTION.
6. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL. LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS SHOWN.
7. SIGNS SHALL BE PLACED AT 50' MAXIMUM INTERVALS. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
8. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
9. SHOULD THE FABRIC OF A PROTECTION FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, CONTRACTOR SHALL REPLACE IT PROMPTLY.

5 TREE PROTECTION FENCE DETAIL
L-101 SCALE: NTS PLAN

SILT FENCE INSTALLATION

1.25 LB./LINEAR FT. STEEL POSTS
MINIMUM SPACING = 6 FT.
FILTER FABRIC
BACKFILL TRENCH WITH COMPACTED EARTH
RUNOFF
HEAVY DUTY PLASTIC TIE FOR STEEL POSTS (RESTRICT TO TOP 8-INCHES OF FABRIC)
BURRY FABRIC
USE EITHER FLAT-BOTTOM OR V-BOTTOM TRENCH SEE DETAILS

FLAT-BOTTOM TRENCH DETAIL
FILTER FABRIC
HEAVY DUTY PLASTIC TIES
COMPACTED EARTH
18-IN. TO 24-IN.
RUNOFF
24-IN. (MINIMUM)
6-IN.
6-IN.

V-SHAPED TRENCH DETAIL
FILTER FABRIC
HEAVY DUTY PLASTIC TIES
COMPACTED EARTH
18-IN. TO 24-IN.
RUNOFF
24-IN. (MINIMUM)
6-IN.
6-IN.
BURRY FILTER FABRIC AT LEAST 12-INCHES

SILT FENCE - GENERAL NOTES

1. Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
2. Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
3. Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
4. Silt fence joints, when necessary, shall be completed by one of the following options:
 - Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
 - Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
 - Overlap entire width of each silt fence roll from one support post to the next support post.
5. Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
6. Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanup.
7. Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 Page 1 of 2
NOT TO SCALE FEBRUARY 2014 DATE

SILT FENCE - POST REQUIREMENTS

1. Silt fence posts must be 3/8-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi;
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches;
 - Weigh 1.25 pounds per foot (± 8%).
2. Posts shall be equipped with projections to aid in fastening of filter fabric.
3. Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 1/2 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
4. Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
5. Post spacing shall be at a maximum of 6-feet on center.

SILT FENCE - INSPECTION & MAINTENANCE

1. The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
2. Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
3. Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
4. Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
5. Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
6. Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overlapping the silt fence. Install checks/tie-backs and/or re-install silt fence, as necessary.
7. Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and re-install new silt fence immediately.
8. Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

SILT FENCE - FABRIC REQUIREMENTS

1. Silt fence must be composed of seven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85K by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
2. Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
3. 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
4. Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
5. Filter Fabric shall be installed at a minimum of 24-inches above the ground.

South Carolina Department of Health and Environmental Control

SILT FENCE

STANDARD DRAWING NO. SC-03 PAGE 2 of 2
GENERAL NOTES FEBRUARY 2014 DATE

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SOUTH CAROLINA CERTIFIED PROFESSIONAL ENGINEER
KIMLEY-HORN AND ASSOCIATES, INC.
No. C00166
2/14/24
No. 39522
THOMAS J. PURCELL

SCALE: AS SHOWN
DRAWN BY: TWB
DESIGNED BY: TJP
CHECKED BY: TJP

CLIENT: TOWN OF SULLIVAN'S ISLAND
SULLIVAN'S ISLAND, SC 29462
PO BOX 427

PROJECT: OLD BRIDGE LANDING
98-1 CONQUEST AVE. | SULLIVAN'S ISLAND | SOUTH CAROLINA
TITLE: EROSION CONTROL DETAILS

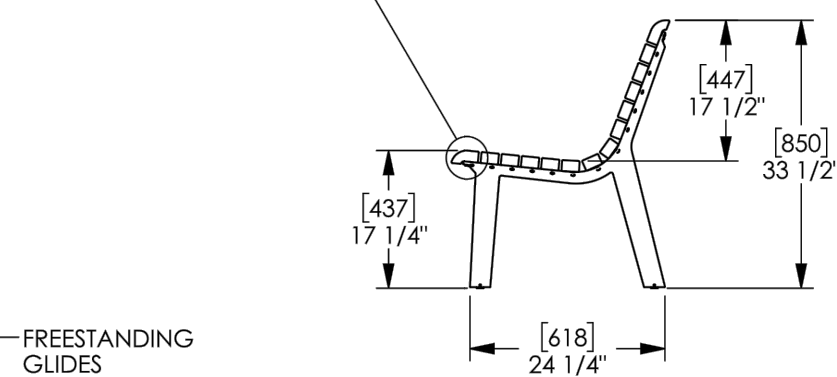
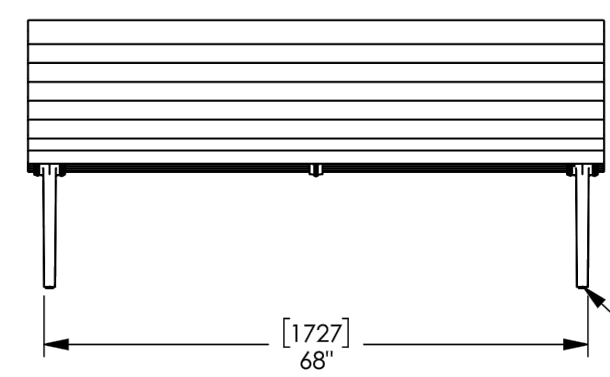
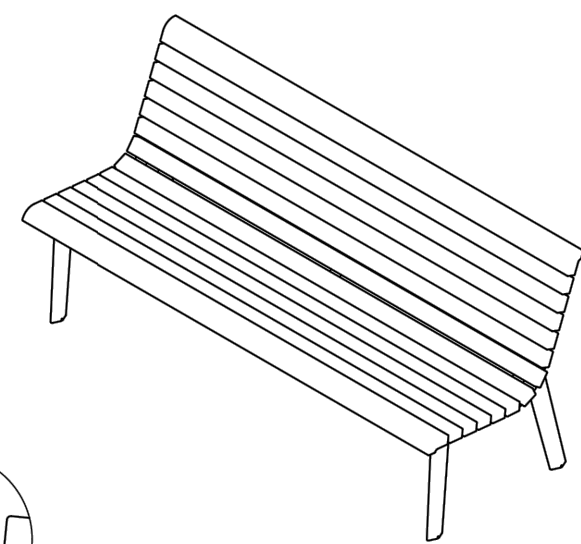
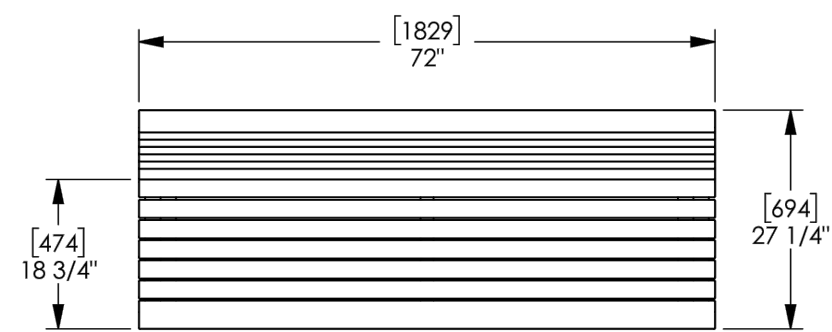


DATE: 02/14/2024
PROJECT NO.: 013141004
SHEET NUMBER: C5-80

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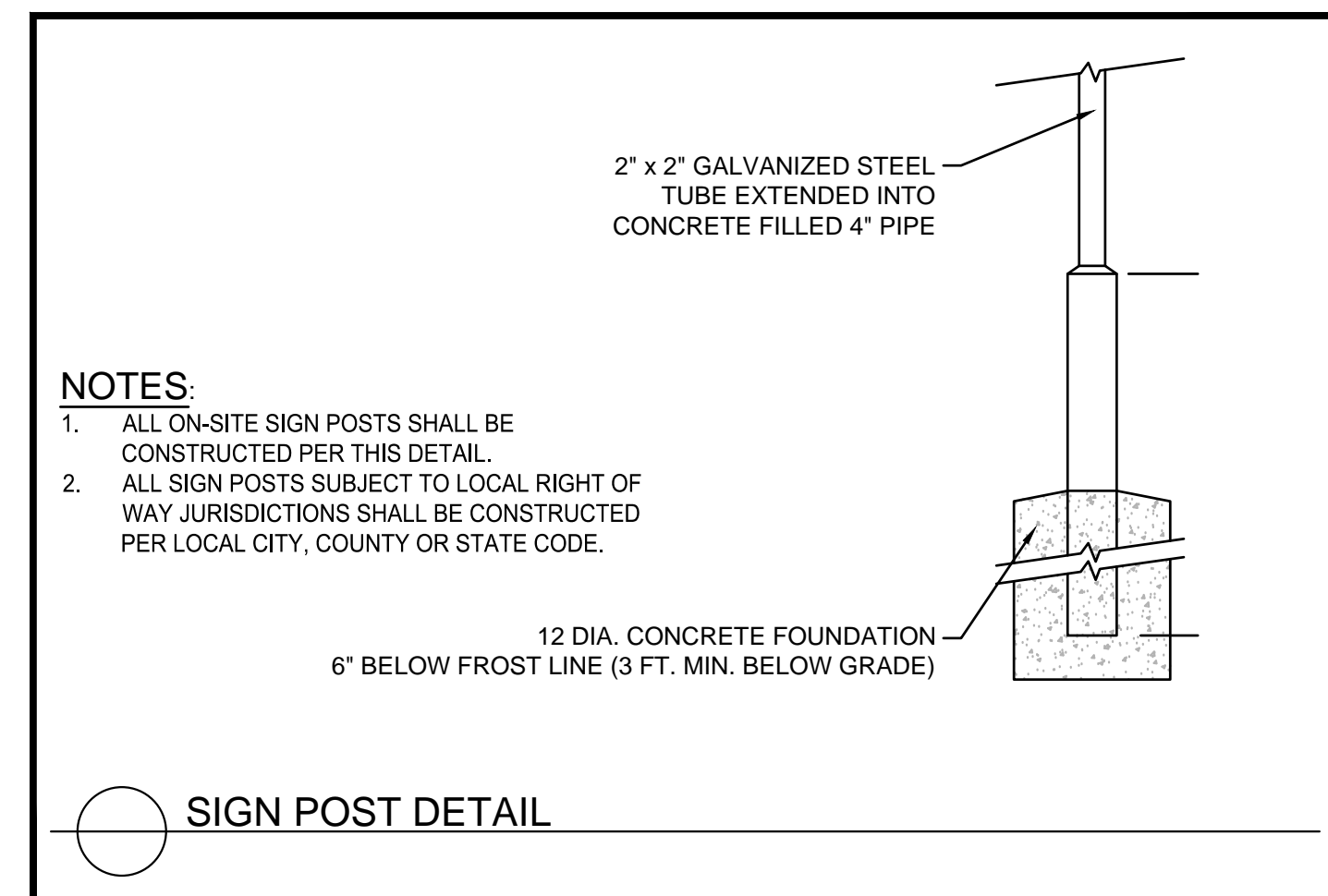
Generation 50 bench, backed, 72in length, curved cut face board, traditional support, no arms
 Product Drawing
 Date: 3/6/2019
 www.landscapeforms.com Ph: 800.521.2546

AVAILABLE WITH:
 -FREESTANDING GUIDES
 -SURFACE MOUNT, INCLUDES 1/2-13 THREADED CUSTOM BOLTS
 AND DROP-IN ANCHORS
 -EMBEDDED, INCLUDES 1/2-13 x 5" THREADED RODS



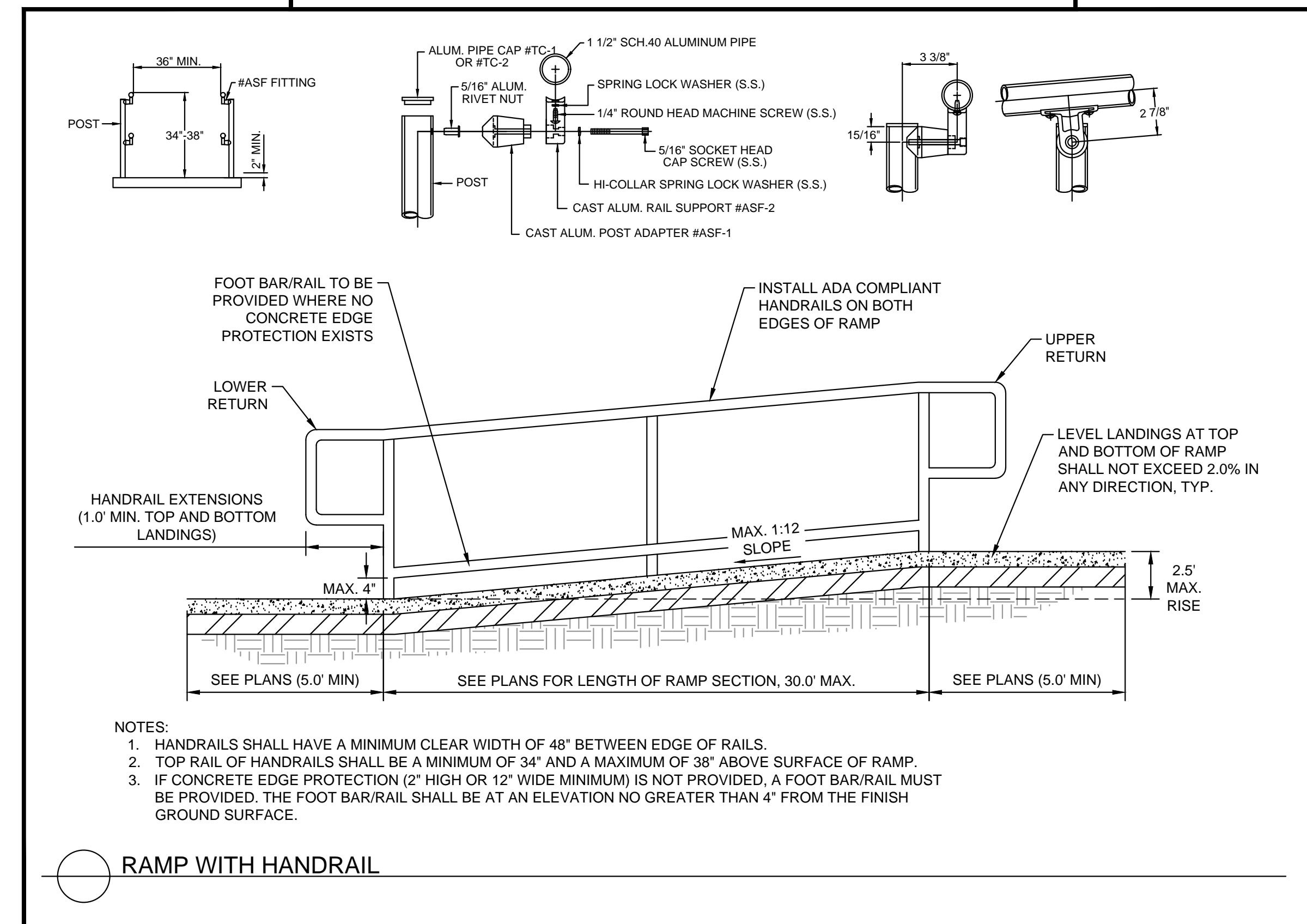
landscapeforms Drawing: EV211-01
 Dimensions are in inches (mm)
 Patent Pending

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NOTES:
 1. ALL ON-SITE SIGN POSTS SHALL BE CONSTRUCTED PER THIS DETAIL.
 2. ALL SIGN POSTS SUBJECT TO LOCAL RIGHT OF WAY JURISDICTIONS SHALL BE CONSTRUCTED PER LOCAL CITY, COUNTY OR STATE CODE.

SIGN POST DETAIL



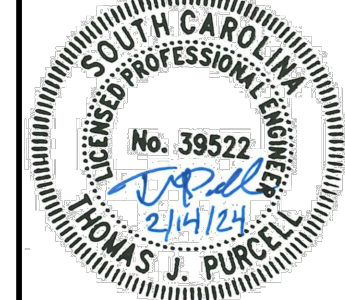
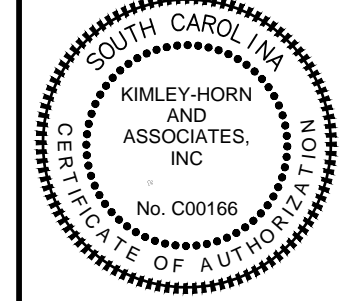
NOTES:
 1. HANDRAILS SHALL HAVE A MINIMUM CLEAR WIDTH OF 48" BETWEEN EDGE OF RAILS.
 2. TOP RAIL OF HANDRAILS SHALL BE A MINIMUM OF 34" AND A MAXIMUM OF 38" ABOVE SURFACE OF RAMP.
 3. IF CONCRETE EDGE PROTECTION (2" HIGH OR 12" WIDE MINIMUM) IS NOT PROVIDED, A FOOT BAR/RAIL MUST BE PROVIDED. THE FOOT BAR/RAIL SHALL BE AT AN ELEVATION NO GREATER THAN 4" FROM THE FINISH GROUND SURFACE.

RAMP WITH HANDRAIL

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SCALE:	AS SHOWN
DRAWN BY:	TWB
DESIGNED BY:	TJP
CHECKED BY:	TJP

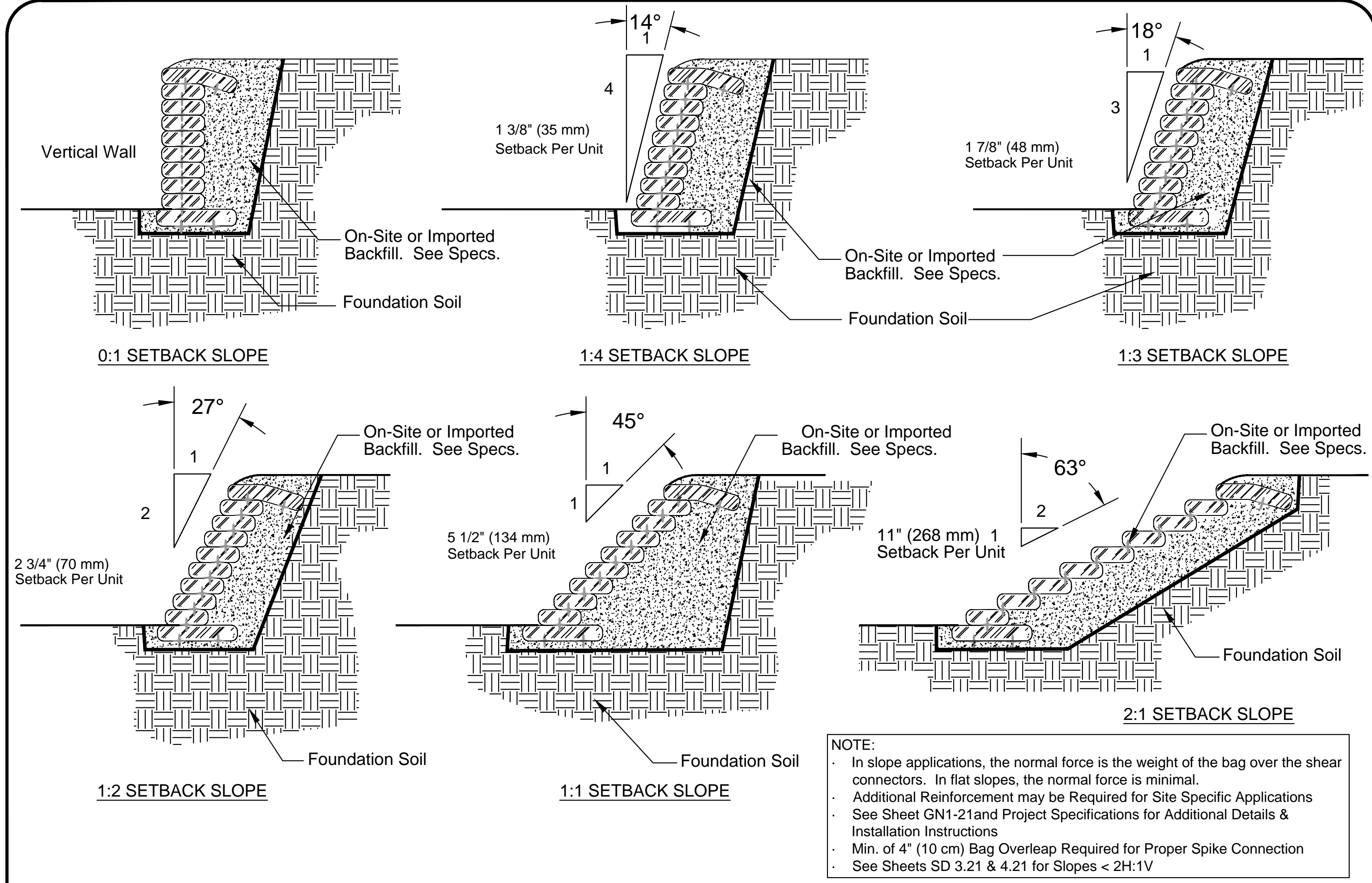
CLIENT:
 TOWN OF SULLIVAN'S ISLAND
 PO BOX 427
 SULLIVAN'S ISLAND, SC 29482

PROJECT:
 OLD BRIDGE LANDING
 99-1 CONQUEST AVE. | SULLIVAN'S ISLAND | SOUTH CAROLINA
 TITLE:
 CONSTRUCTION DETAILS

DATE	02/14/2024
PROJECT NO.	013141004
SHEET NUMBER	C6-00



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NOTE:

- In slope applications, the normal force is the weight of the bag over the shear connectors. In flat slopes, the normal force is minimal.
- Additional Reinforcement may be Required for Site Specific Applications
- See Sheet GN1-21 and Project Specifications for Additional Details & Installation Instructions
- Min. of 4" (10 cm) Bag Overlap Required for Proper Spike Connection
- See Sheets SD 3.21 & 4.21 for Slopes < 2H:1V

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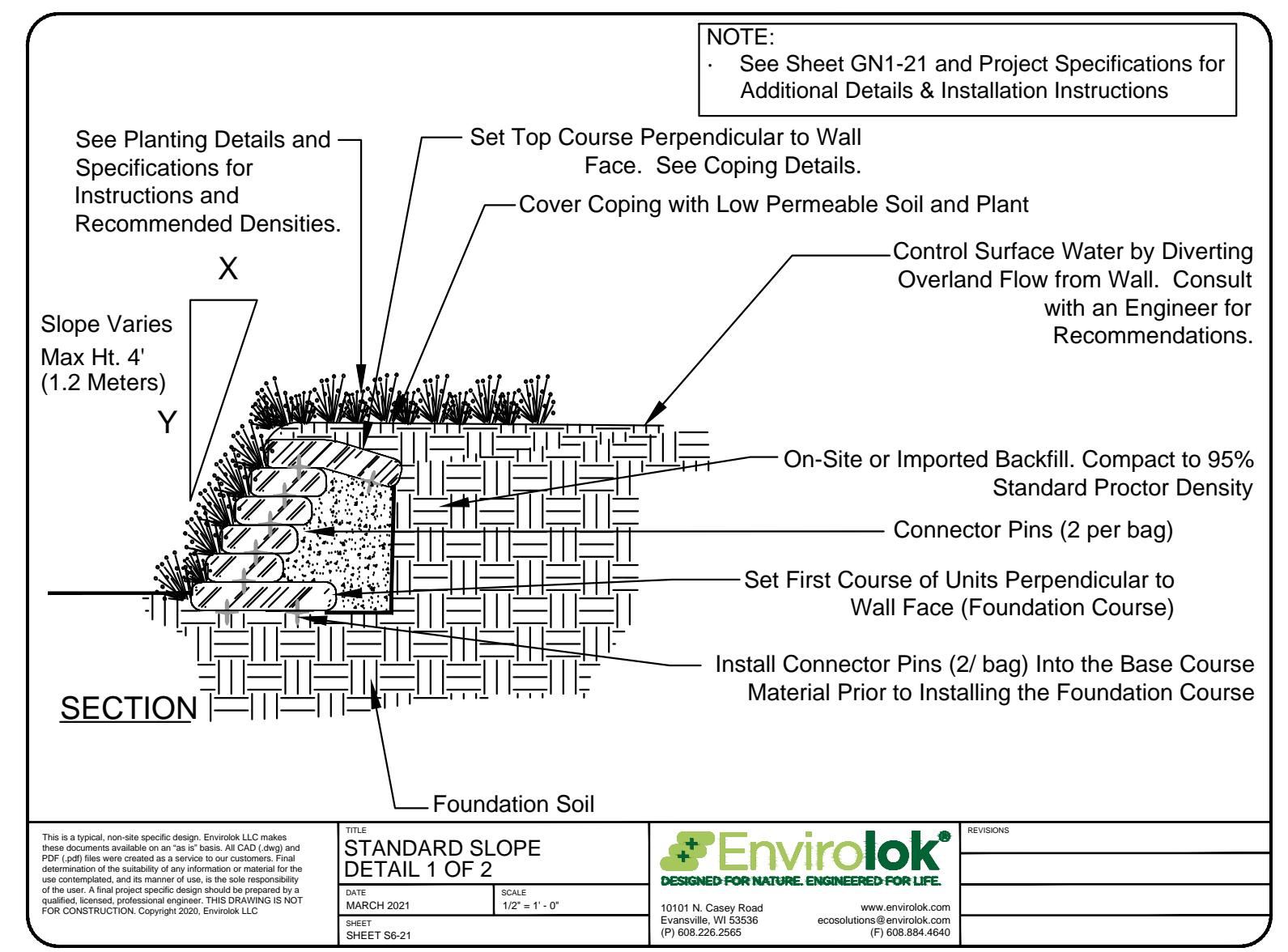
TITLE		STANDARD SETBACKS FOR SLOPE APPLICATIONS	
DATE	MARCH 2021	SCALE	1/4" = 1' - 0"
SHEET	S2.21		

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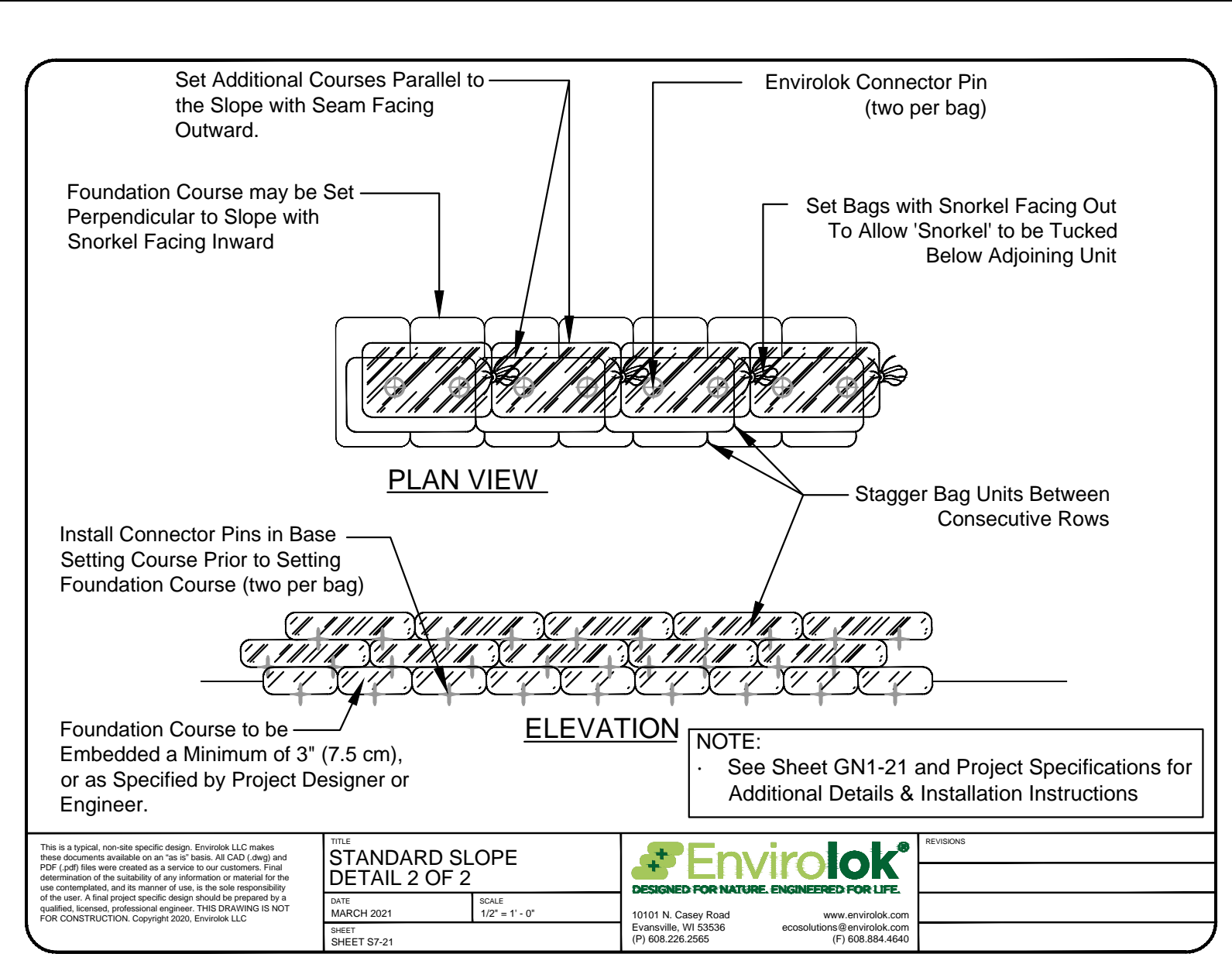


TITLE		STANDARD SLOPE DETAIL 1 OF 2	
DATE	MARCH 2021	SCALE	1/2" = 1' - 0"
SHEET	S2.21		

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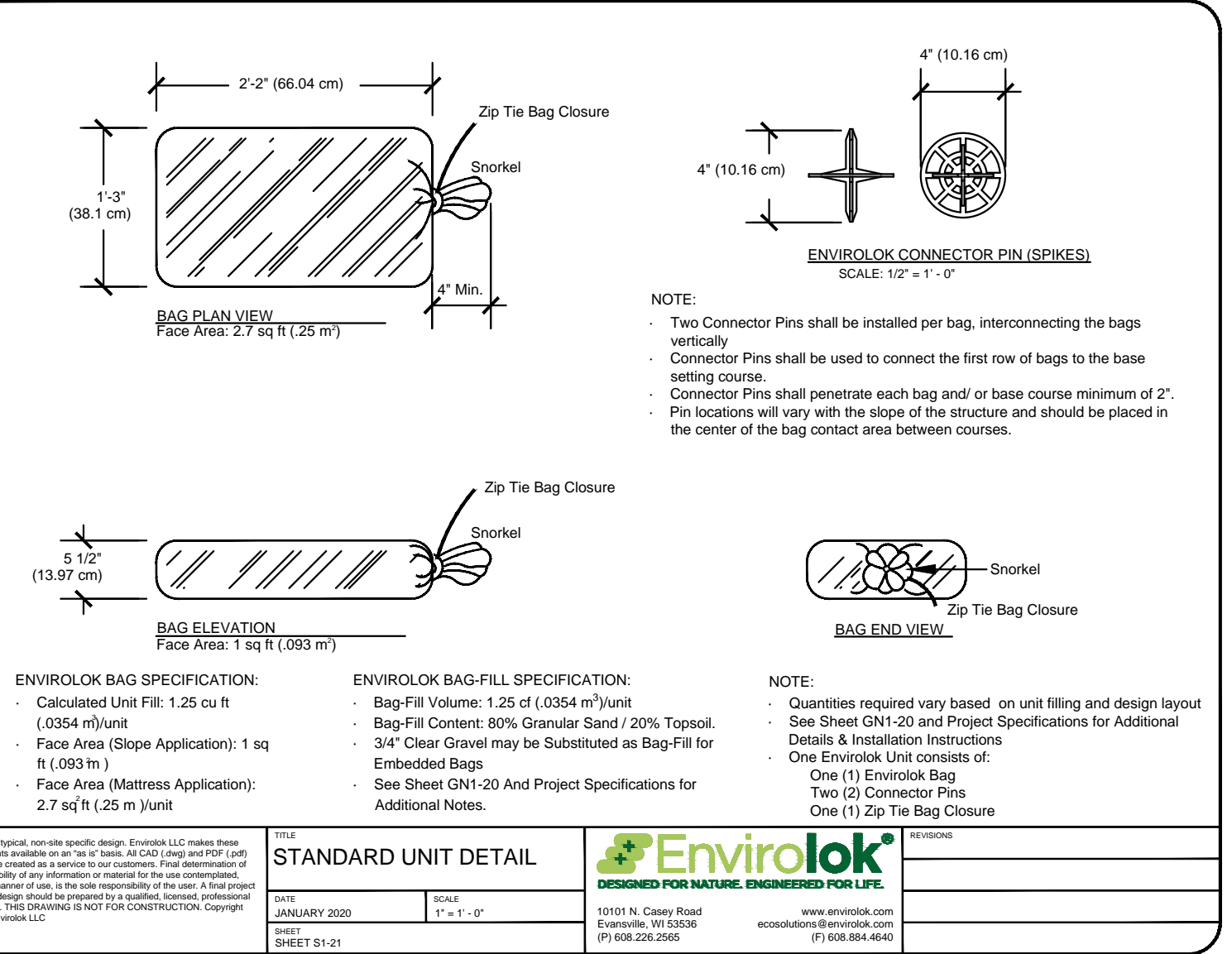


TITLE		STANDARD SLOPE DETAIL 2 OF 2	
DATE	MARCH 2021	SCALE	1/2" = 1' - 0"
SHEET	S2.21		

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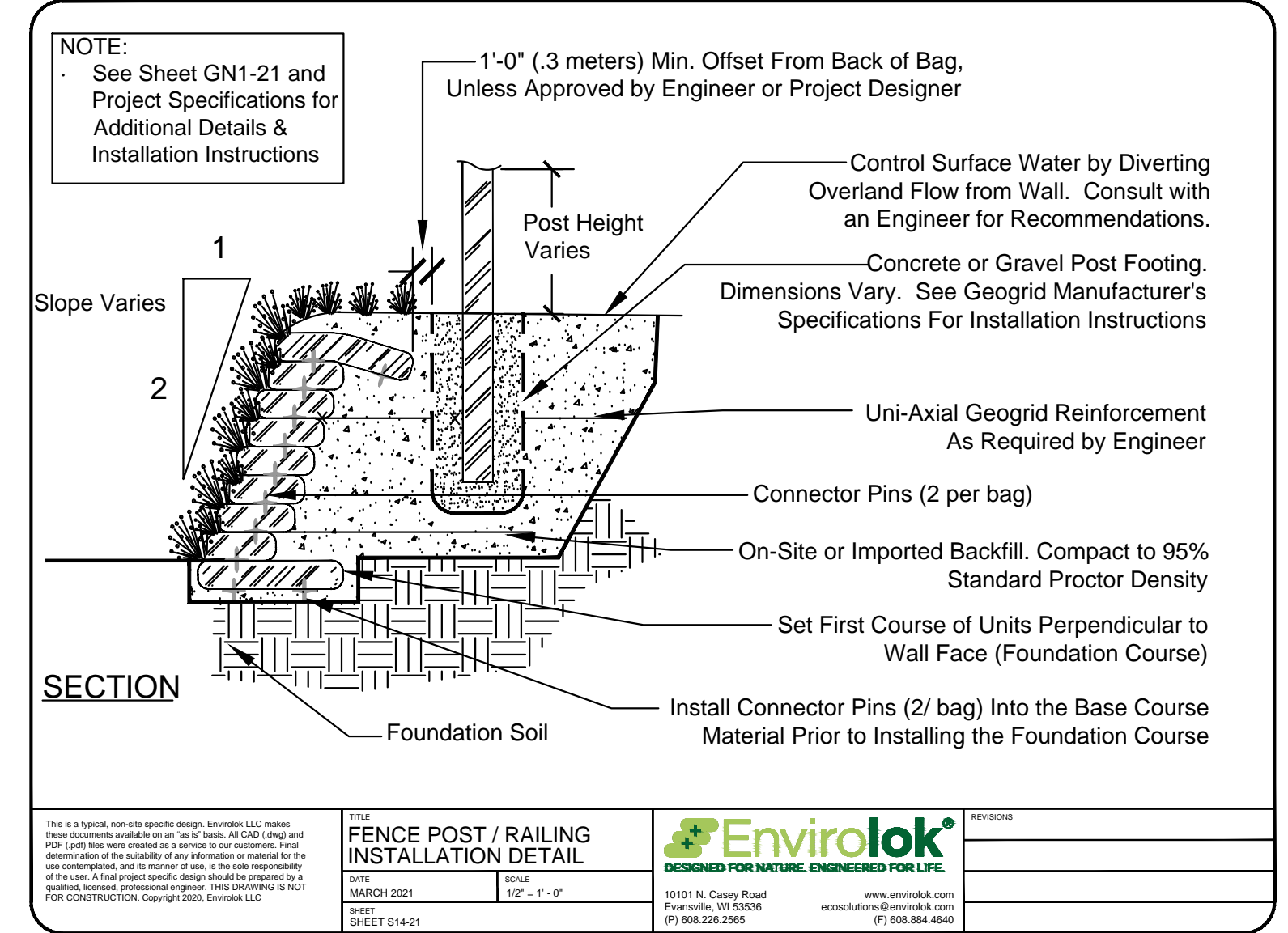


TITLE		STANDARD UNIT DETAIL	
DATE	JANUARY 2020	SCALE	1" = 1' - 0"
SHEET	S1.21		

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TITLE		FENCE POST / RAILING INSTALLATION DETAIL	
DATE	MARCH 2021	SCALE	1/2" = 1' - 0"
SHEET	S14-21		

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2			
1			

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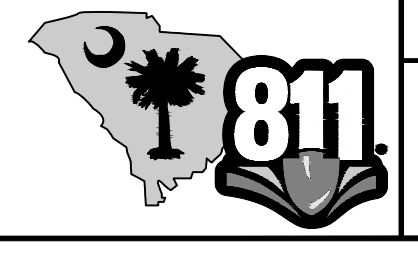
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DRAWN BY	TWB
DESIGNED BY	TJP
CHECKED BY	TJP

CLIENT: **TOWN OF SULLIVAN'S ISLAND**
PO BOX 427
SULLIVAN'S ISLAND, SC 29462

PROJECT: **OLD BRIDGE LANDING**
99-1 CONQUEST AVE. | SULLIVAN'S ISLAND | SOUTH CAROLINA

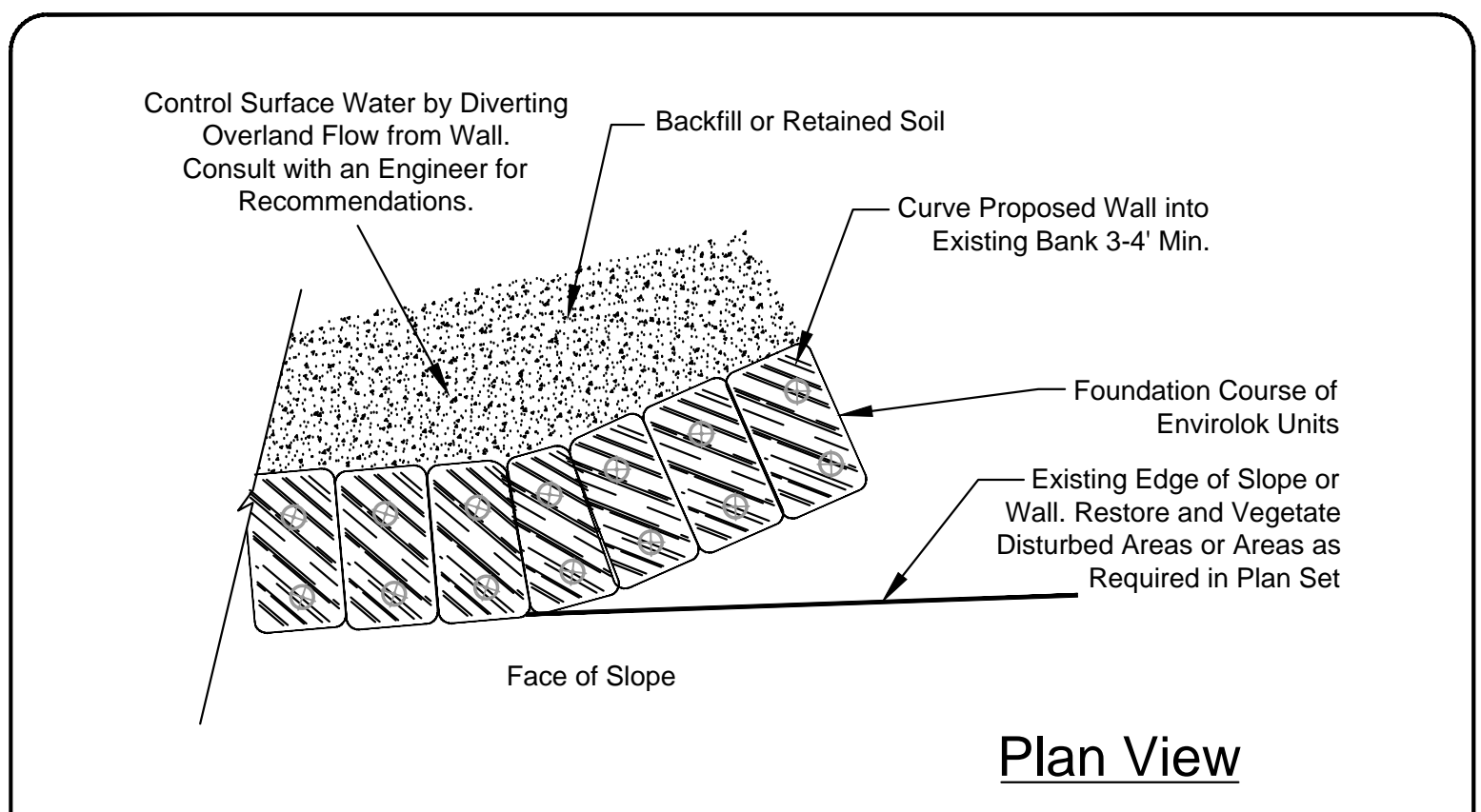
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DATE	02/14/2024
PROJECT NO.	013141004
SHEET NUMBER	C6-01



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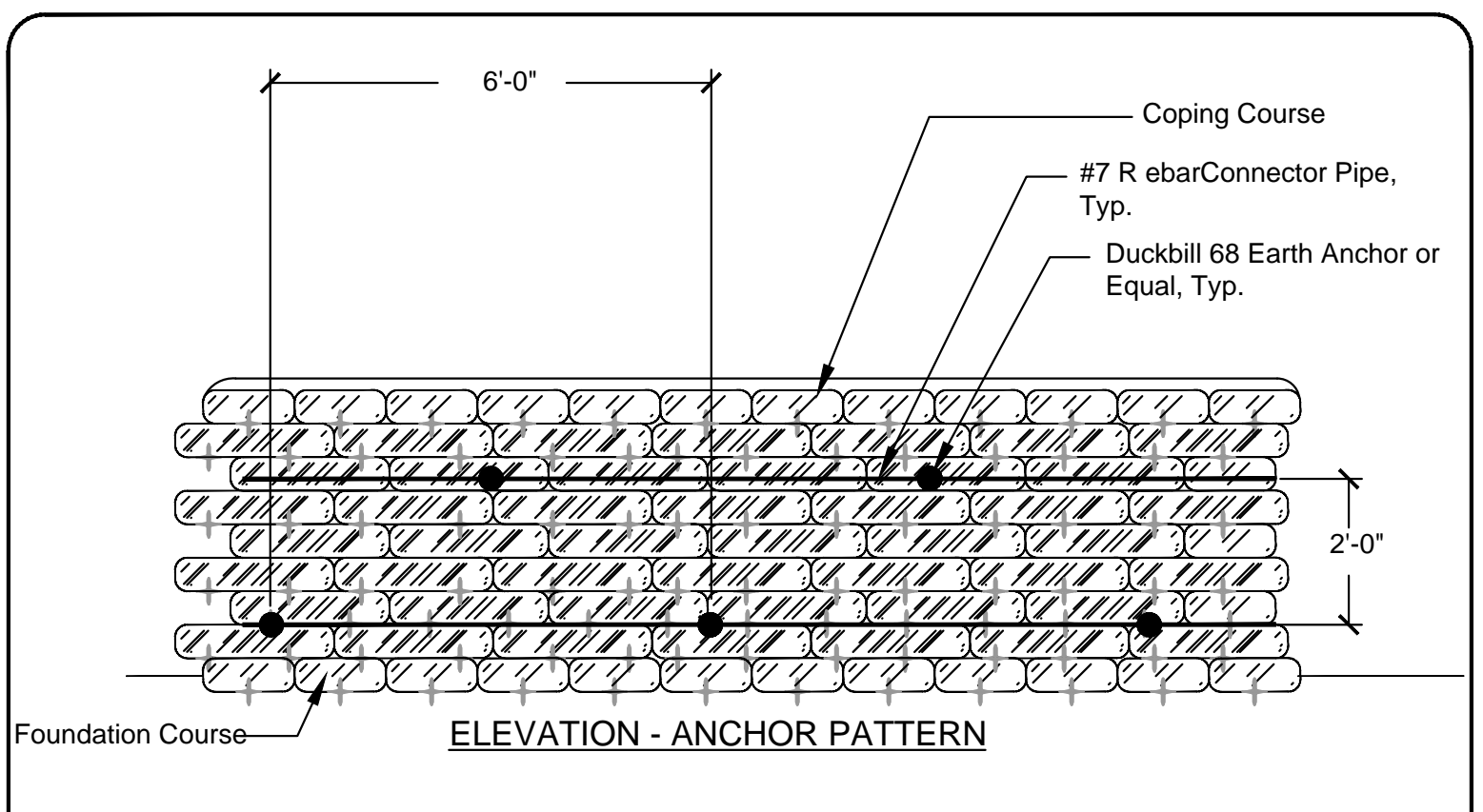
CITY APPROVAL BOX



Plan View

NOTE:
See Sheet GN1-21 and Project Specifications for Additional Details & Installation Instructions

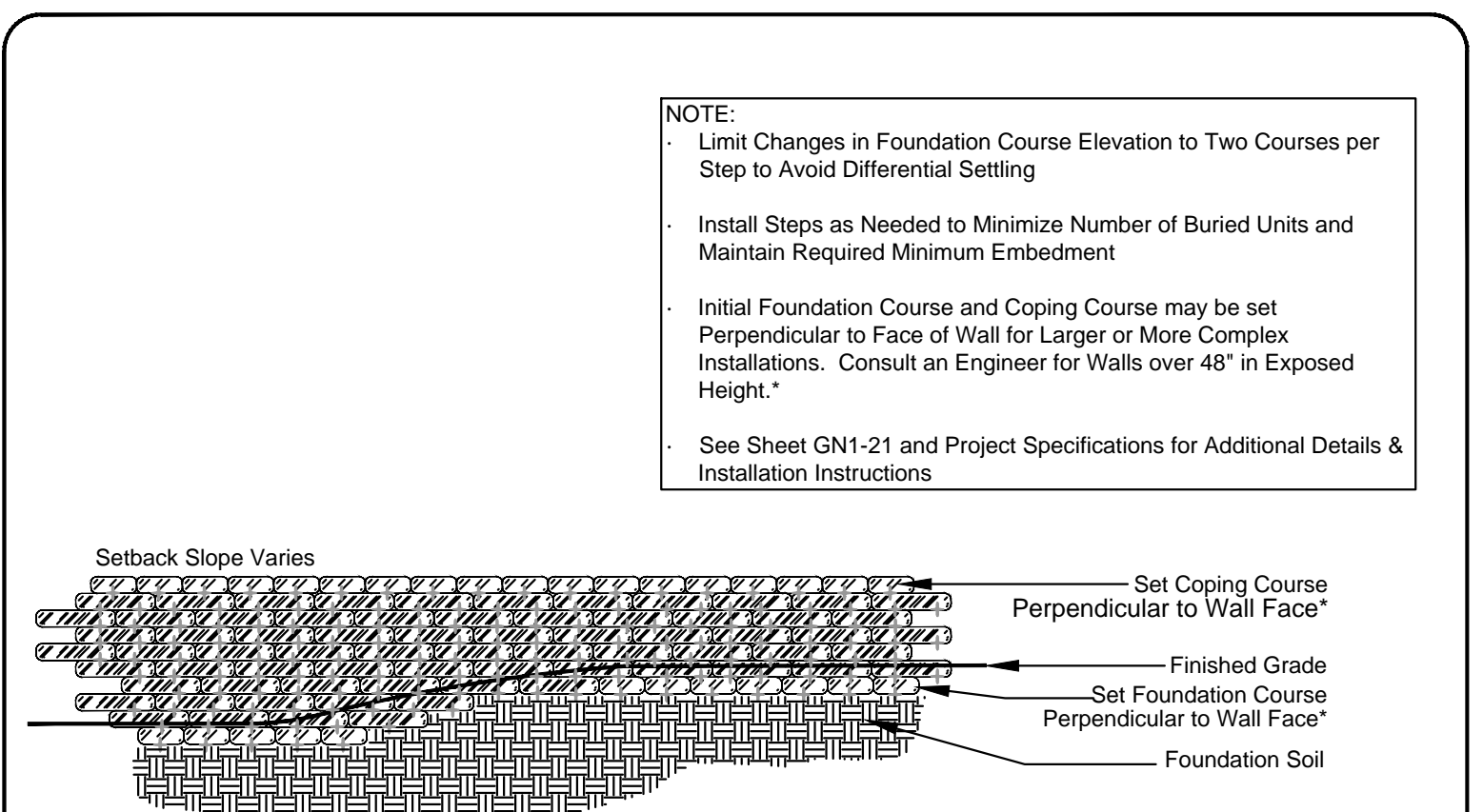
STANDARD WALL END DETAIL			10101 N. Casey Road Evansville, IN 47616 (716) 698-2263
DATE: MARCH 2021	SCALE: 1/2" = 1'-0"		
SHEET 512-21		www.envirolok.com	



ELEVATION - ANCHOR PATTERN

NOTE:
See Sheet GN1-21 and Project Specifications for Additional Details & Installation Instructions

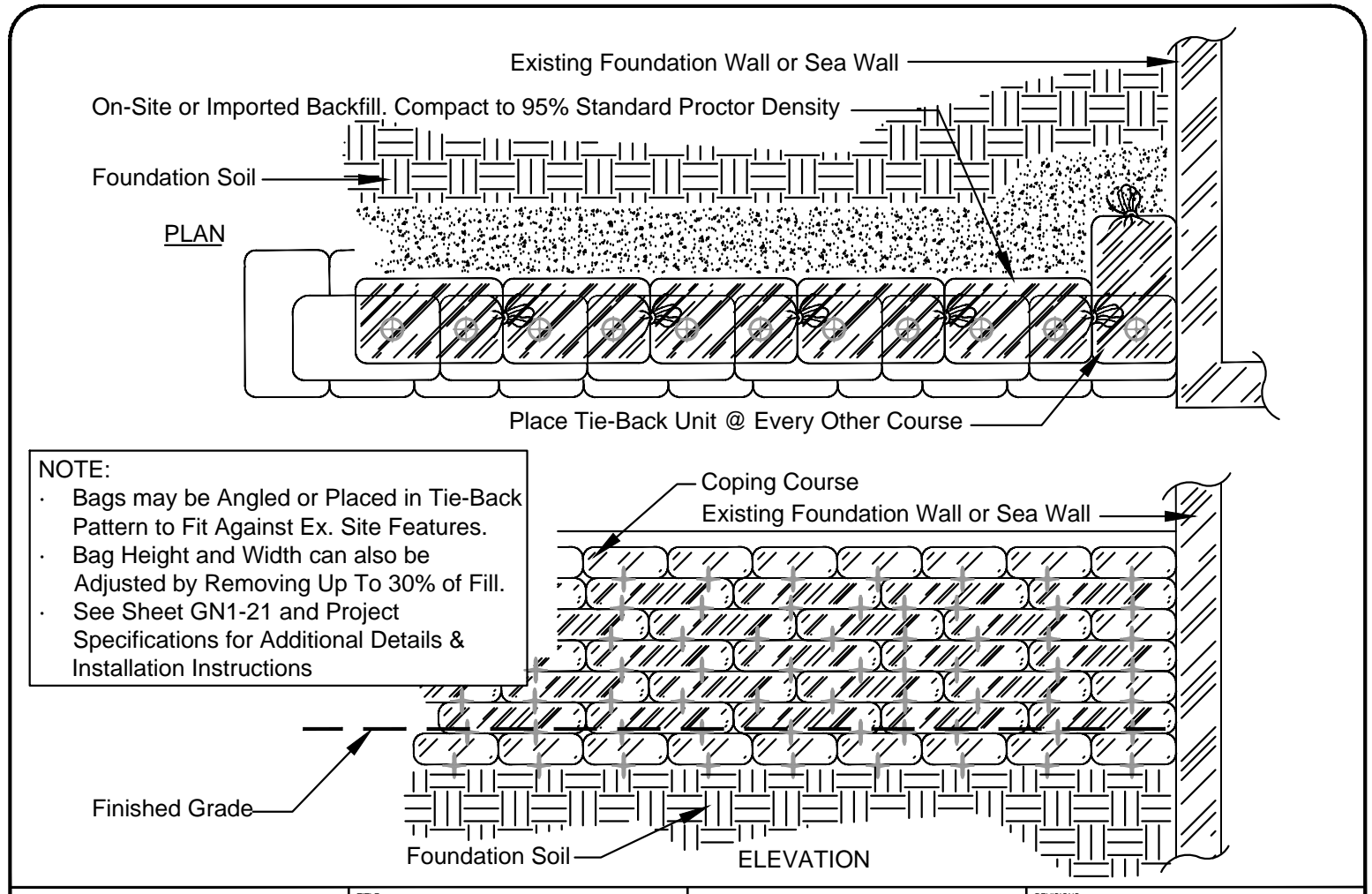
EARTH ANCHOR REINFORCEMENT 2 OF 2			10101 N. Casey Road Evansville, IN 47616 (716) 698-2263
DATE: MARCH 2021	SCALE: 1/2" = 1'-0"		
SHEET 2		www.envirolok.com	



STEPPED FOUNDATION COURSE DETAIL

NOTE:
Limit Changes in Foundation Course Elevation to Two Courses per Step to Avoid Differential Settling
Install Steps as Needed to Minimize Number of Buried Units and Maintain Required Minimum Embedment
Initial Foundation Course and Coping Course may be set Perpendicular to Face of Wall for Larger or More Complex Installations. Consult an Engineer for Walls over 48" in Exposed Height.
See Sheet GN1-21 and Project Specifications for Additional Details & Installation Instructions

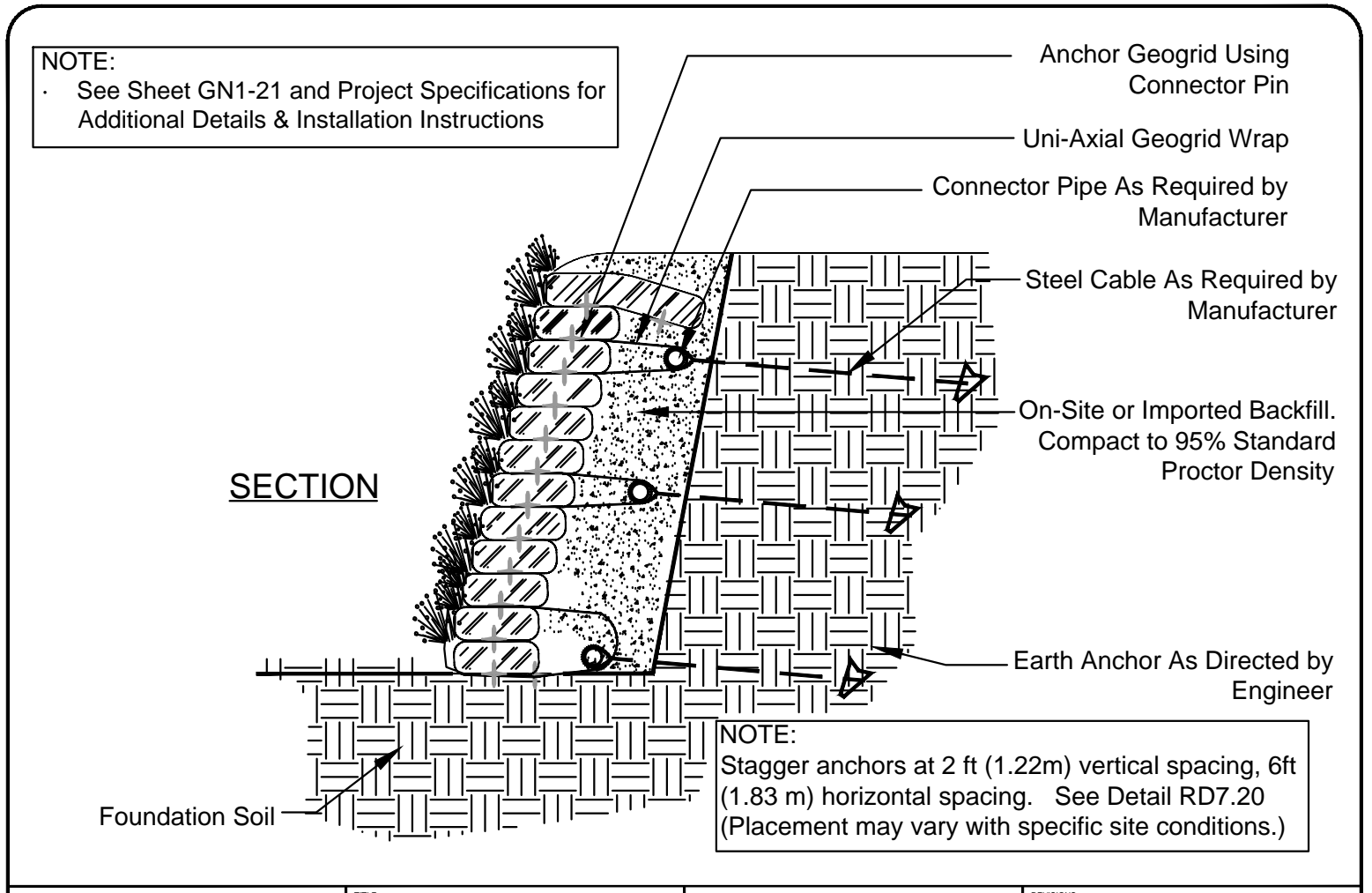
STEPPED FOUNDATION COURSE DETAIL			10101 N. Casey Road Evansville, IN 47616 (716) 698-2263
DATE: MARCH 2021	SCALE: 1/2" = 1'-0"		
SHEET 55-21		www.envirolok.com	



WALL ABUTMENT DETAIL

NOTE:
Bags may be Angled or Placed in Tie-Back Pattern to Fit Against Ex. Site Features.
Bag Height and Width can also be Adjusted by Removing Up To 30% of Fill.
See Sheet GN1-21 and Project Specifications for Additional Details & Installation Instructions

WALL ABUTMENT DETAIL			10101 N. Casey Road Evansville, IN 47616 (716) 698-2263
DATE: MARCH 2021	SCALE: 1/2" = 1'-0"		
SHEET 512-21		www.envirolok.com	



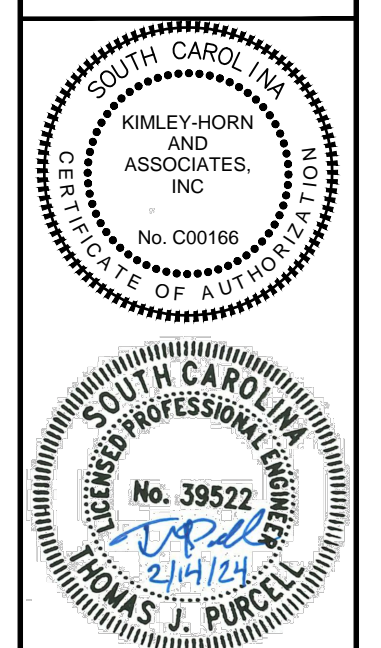
EARTH ANCHOR REINFORCEMENT 1 OF 2

NOTE:
See Sheet GN1-21 and Project Specifications for Additional Details & Installation Instructions

EARTH ANCHOR REINFORCEMENT 1 OF 2			10101 N. Casey Road Evansville, IN 47616 (716) 698-2263
DATE: MARCH 2021	SCALE: 1/2" = 1'-0"		
SHEET 101-21		www.envirolok.com	

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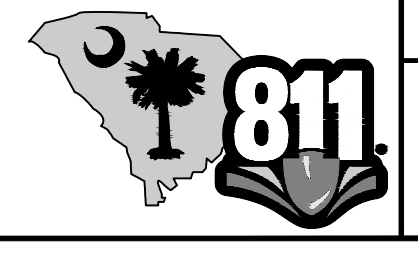
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CLIENT: TOWN OF SULLIVAN'S ISLAND
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PROJECT: OLD BRIDGE LANDING
99-1 CONQUEST AVE. | SULLIVAN'S ISLAND | SOUTH CAROLINA

TITLE: CONSTRUCTION DETAILS

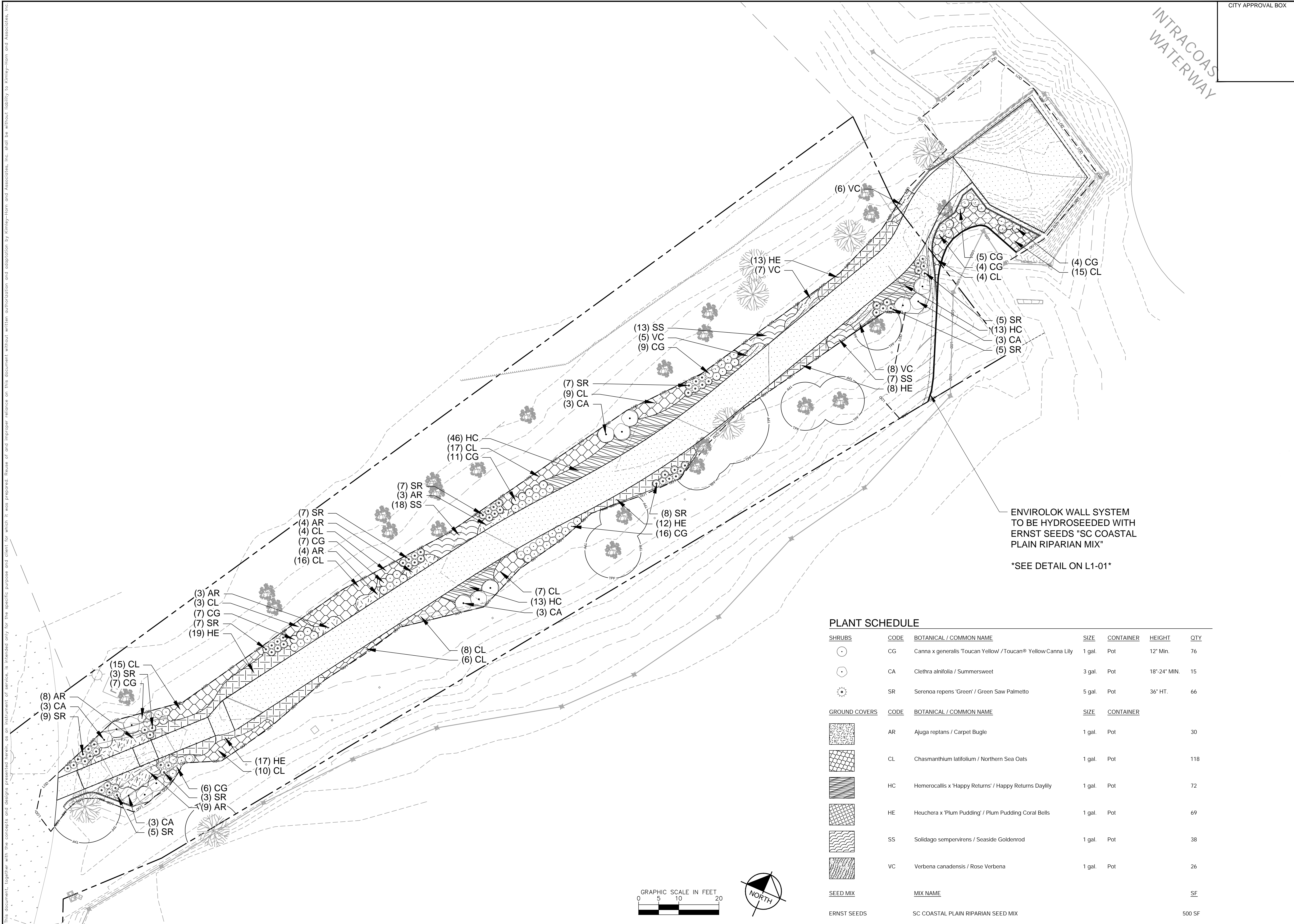
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INTRACOASTAL
WATERWAY

CITY APPROVAL BOX

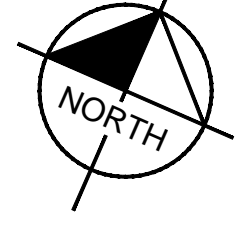
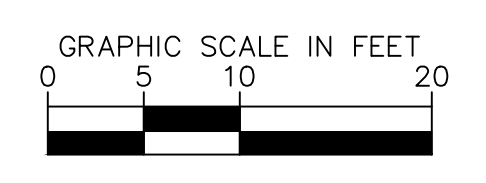


ENVIROLOK WALL SYSTEM
TO BE HYDROSEEDED WITH
ERNST SEEDS "SC COASTAL
PLAIN RIPARIAN MIX"

SEE DETAIL ON L1-01

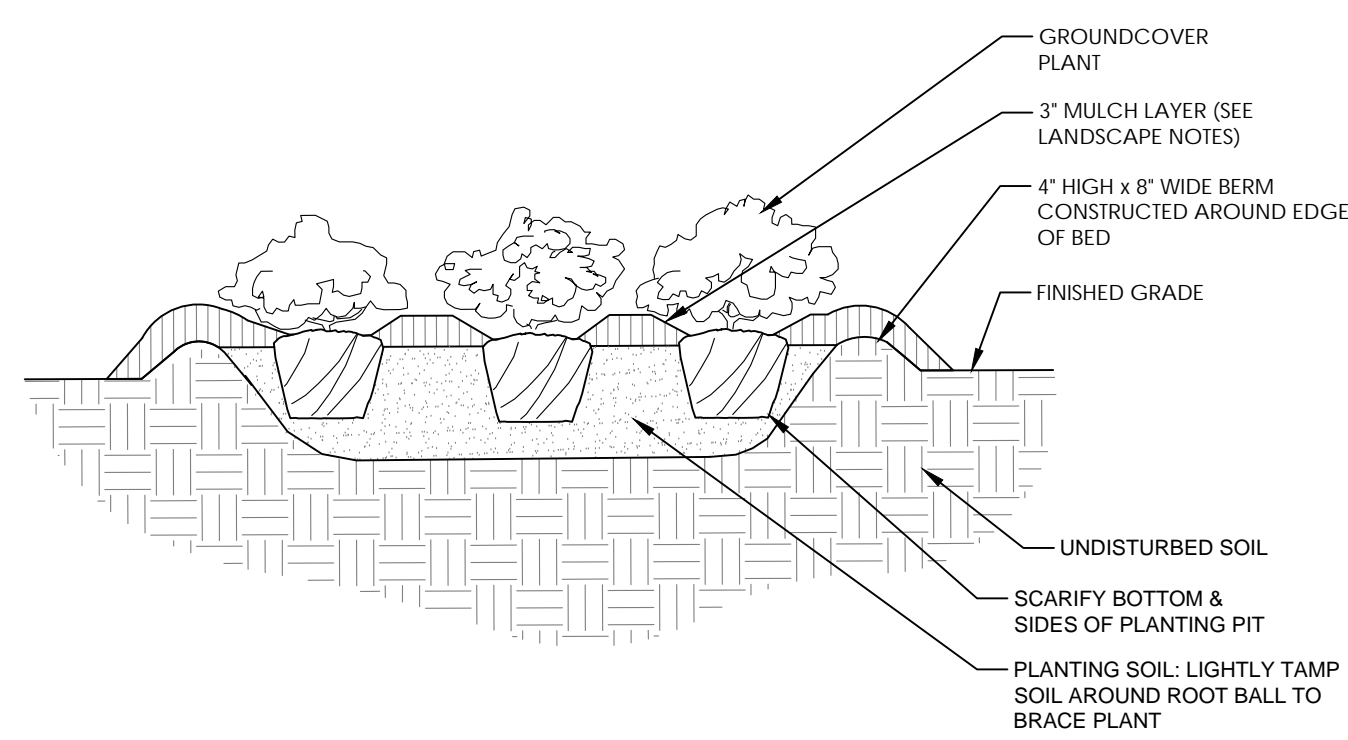
PLANT SCHEDULE

SHRUBS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER	HEIGHT	QTY
	CG	Canna x generalis 'Toucan Yellow' / Toucan® Yellow Canna Lily	1 gal.	Pot	12" Min.	76
	CA	Clethra alnifolia / Summersweet	3 gal.	Pot	18"-24" MIN.	15
	SR	Serenoa repens 'Green' / Green Saw Palmetto	5 gal.	Pot	36" HT.	66
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	CONTAINER		
	AR	Ajuga reptans / Carpet Bugle	1 gal.	Pot	30	
	CL	Chasmanthium latifolium / Northern Sea Oats	1 gal.	Pot	118	
	HC	Hemerocallis x 'Happy Returns' / Happy Returns Daylily	1 gal.	Pot	72	
	HE	Heuchera x 'Plum Pudding' / Plum Pudding Coral Bells	1 gal.	Pot	69	
	SS	Solidago sempervirens / Seaside Goldenrod	1 gal.	Pot	38	
	VC	Verbena canadensis / Rose Verbena	1 gal.	Pot	26	
SEED MIX	MIX NAME					SF
ERNST SEEDS	SC COASTAL PLAIN RIPARIAN SEED MIX					500 SF



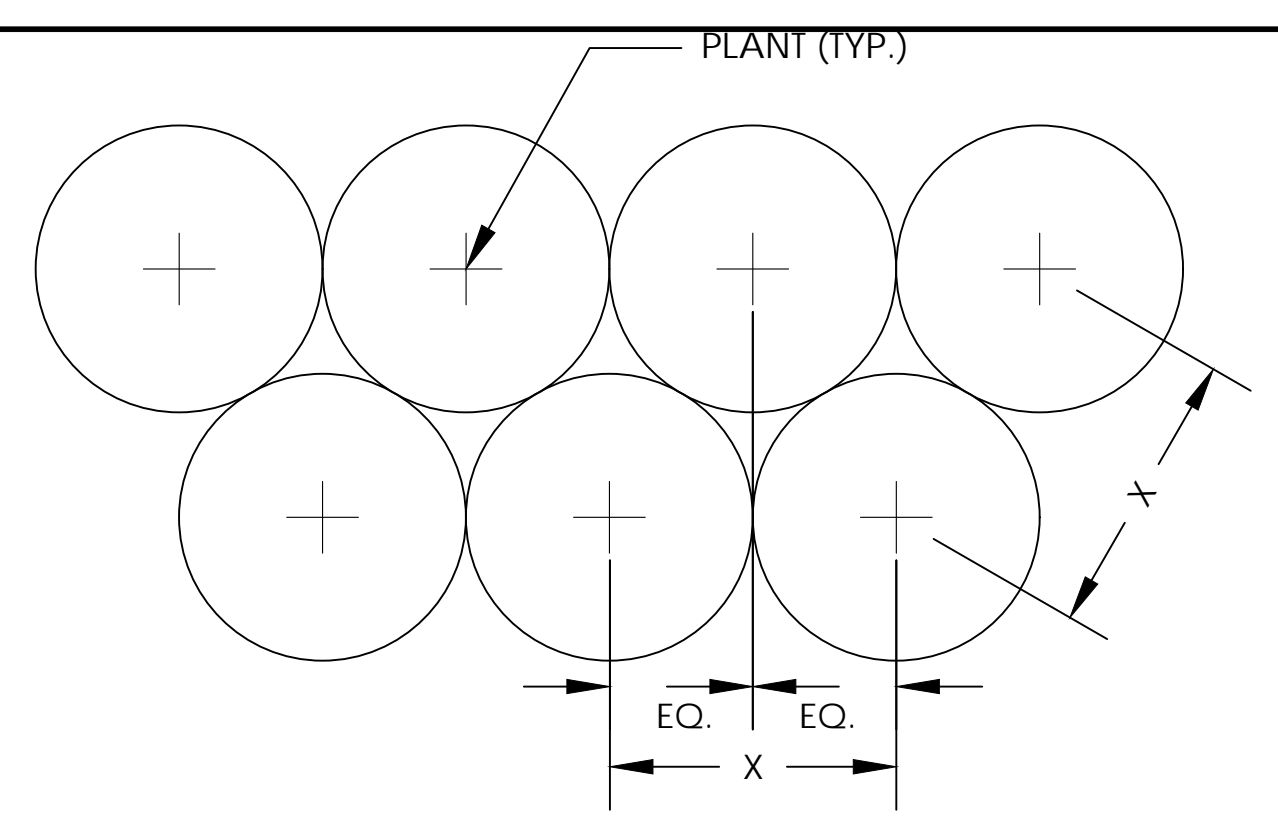
 © 2023 KIMLEY-HORN AND ASSOCIATES, INC. 115 FAIRCHILD STREET, SUITE 250 CHARLESTON, SOUTH CAROLINA 294092 PHONE (843) 737-6980 WWW.KIMLEY-HORN.COM			SCALE: AS SHOWN DRAWN BY: RJC DESIGNED BY: RJC CHECKED BY: ATB	CLIENT: TOWN OF SULLIVAN'S ISLAND SULLIVAN'S ISLAND, SC 29482	PROJECT: OLD BRIDGE LANDING 99-1 CONQUEST AVE. SULLIVAN'S ISLAND SOUTH CAROLINA	TITLE: LANDSCAPE PLAN	DATE 02/14/2024
		PROJECT NO. 013141004		SHEET NUMBER L1-00			
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							REVISIONS
							DATE
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PLANTING NOTES:
 1. SPLIT PLANT ROOTS WITH 2-3 EQUALLY-SPACED VERTICAL CUTS.

1 GROUNDCOVER PLANTING DETAIL
 SCALE: NTS SECTION



PLANT SPACING NOTES:
 1. SEE PLANTING PLAN FOR GROUNDCOVER PLANTING AREAS.
 2. PLANTS SHALL BE INSTALLED IN STRAIGHT AND PARALLEL ROWS UNLESS OTHERWISE SHOWN ON DRAWINGS.
 3. SEE PLANT SCHEDULE FOR PLANT SPACING REQUIREMENTS ("X" DIMENSION IN THIS DETAIL).

4 PLANT SPACING DETAIL
 SCALE: NTS PLAN

Install Plant Plugs at Horizontal & Vertical Joints Between Bags at a Density of 2-3 Plants per Bag or As Recommended By Landscape Architect or Project Designer. DO NOT Rupture Bags.

Apply Hydroseed or Slurry To Exposed Faces of Bags Prior to, or as an Alternative to Installing Live Plants For More Uniform and Immediate Coverage. Plants Species, Tackifier, Erosion Matting & Seeding Rate to be Determined by Landscape Architect or Project Designer.

Diagram

Section Enlargement

Notes:

- Moisten Bags prior to planting to ensure better establishment. Do Not Over-Water.
- For sites requiring or utilizing irrigation, a misting system or soaker hose is recommended.
- Plant Plugs shall be 2.5" Pots or Smaller.
- Live plants can be installed during or after wall completion.
- See Sheet GN1-21 and Project Specifications for Additional Details & Installation Instructions
- Do Not Maintain Vegetation by Mowing or Burning.
- Consult w/ Local Expert for Plant Species and Spacing.

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TITLE: LIVE PLANTING / HYDROSEEDING DETAIL

DATE: MARCH 2021

SCALE: NTS

SHEET: L1-01-23

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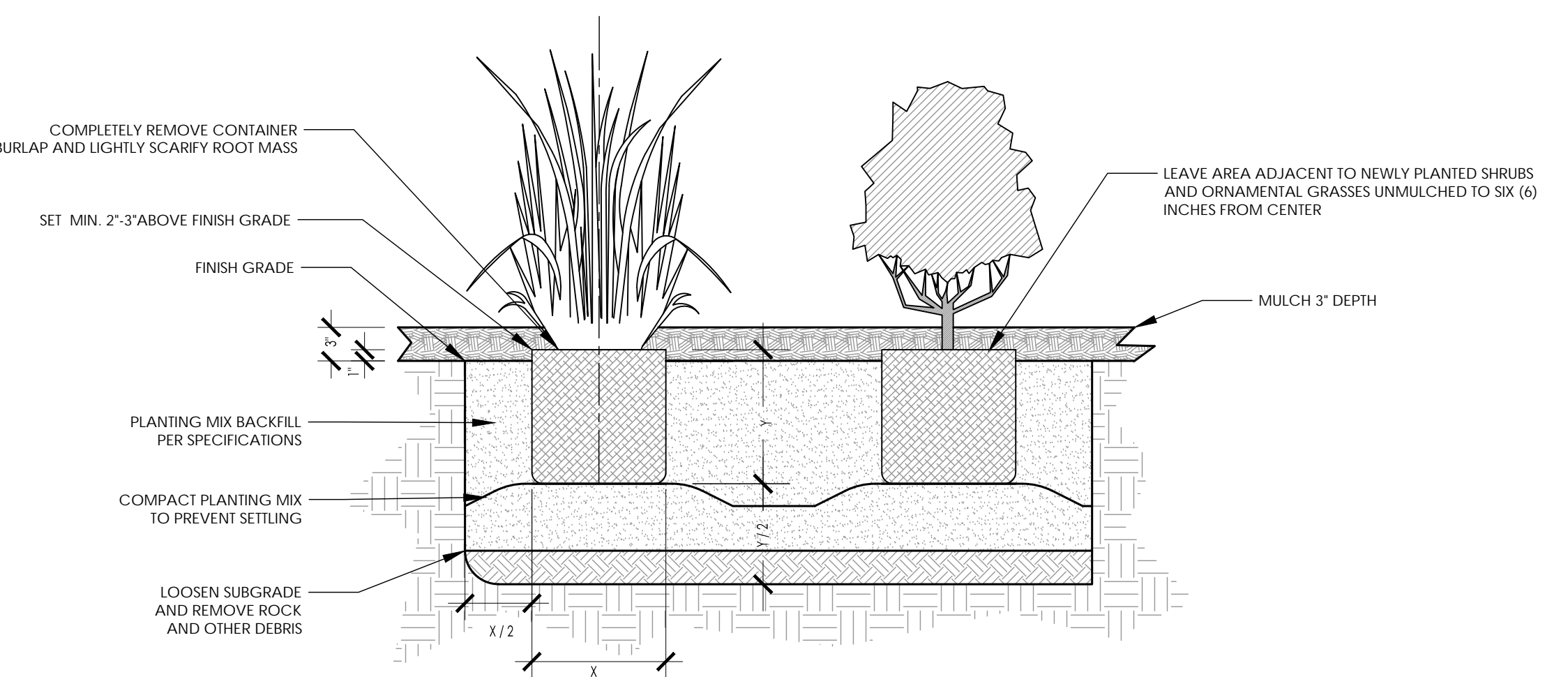
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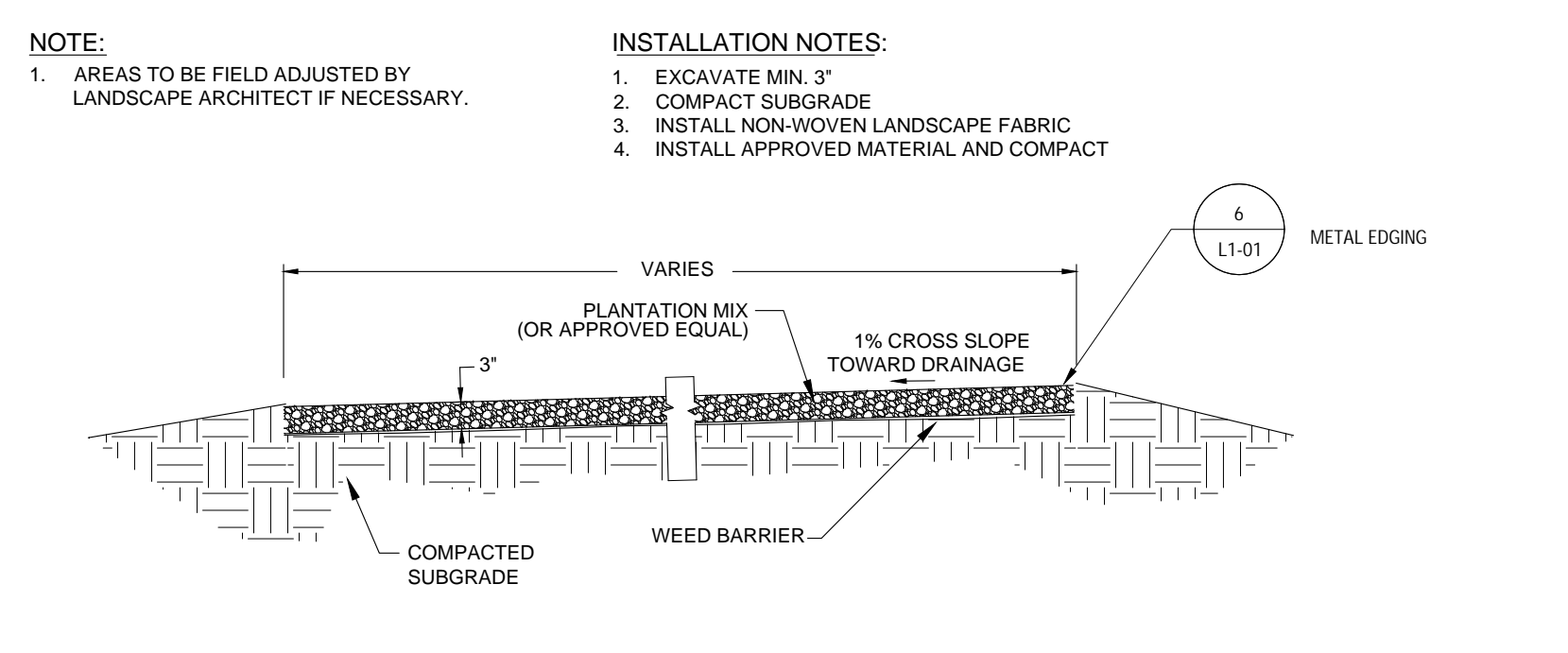
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PLANTING NOTES:
 1. ALL PLANT MATERIAL PRICING SHALL INCLUDE MULCH, BED PREPARATION, AND STAKING.
 2. ALL PLANTING BEDS SHALL RECEIVE 3" (THREE INCHES) OF NON-DYED HARDWOOD MULCH.
 3. PLANT MATERIAL SPACING SHOWN ON LANDSCAPE PLANS SHALL OVERRIDE TYPICAL PLANT SPACING INDICATED ON PLANT SCHEDULE. LANDSCAPE CONTRACTOR RESPONSIBLE FOR VERIFYING ALL PLANT SPACING AND MAKING MINOR FIELD ADJUSTMENTS DUE TO UTILITY CONFLICTS.
 4. ALL SHRUBS SHALL CONFORM TO THE STANDARDS SET FORTH IN THE MOST RECENT "AMERICAN STANDARDS FOR NURSERY STOCK" PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN (A.A.N.).
 5. SOIL ANALYSIS SHALL BE OBTAINED PRIOR TO PLANTING. SOIL SHALL BE AMENDED AS RECOMMENDED BY CERTIFIED TESTING AGENCY.
 6. SEE PLAN FOR SPACING.

2 SHRUB AND ORNAMENTAL GRASS PLANTING DETAIL
 SCALE: NTS SECTION



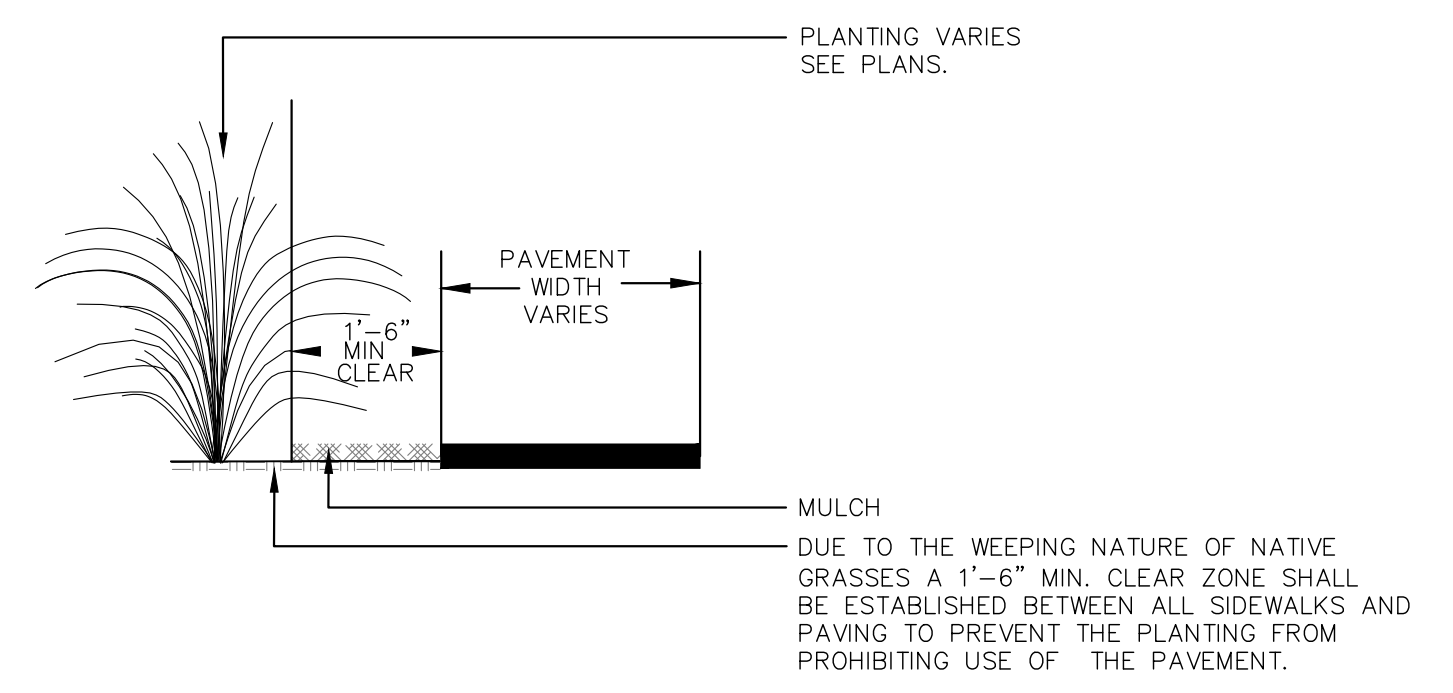
NOTE:
 1. AREAS TO BE FIELD ADJUSTED BY LANDSCAPE ARCHITECT IF NECESSARY.

INSTALLATION NOTES:
 1. EXCAVATE MIN. 3"
 2. COMPACT SUBGRADE
 3. INSTALL NON-WOVEN LANDSCAPE FABRIC
 4. INSTALL APPROVED MATERIAL AND COMPACT

5 PLANTATION MIX
 SCALE: NTS OR APPROVED EQUAL

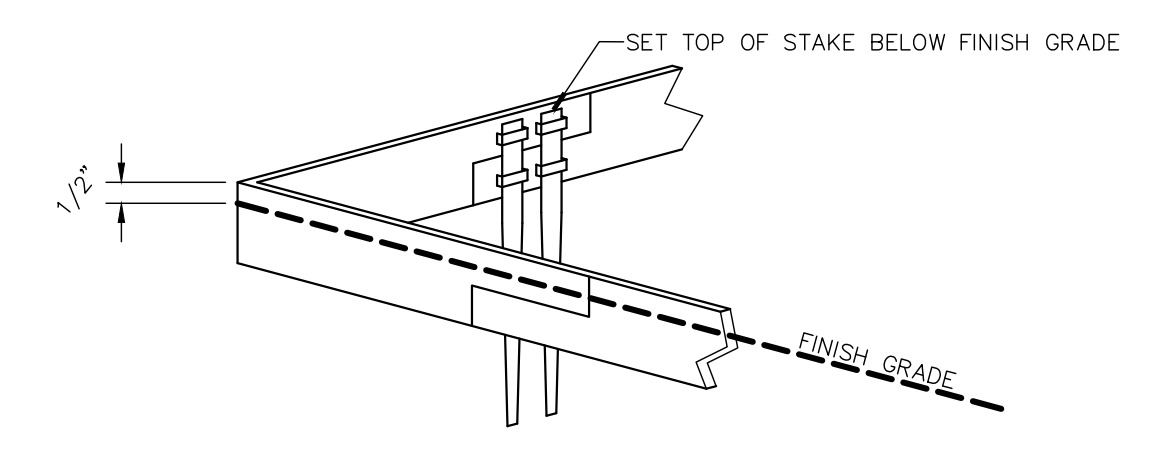
GENERAL LANDSCAPE NOTES:

- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS MUST BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION. CONTRACTOR IS ALSO RESPONSIBLE FOR COORDINATING ALL UTILITY ADJUSTMENTS WITH FINAL FINISH GRADE. ALL UTILITIES SHALL SIT FLUSH WITH FINISH GRADES (BOTH PAVED AND LANDSCAPED SURFACES).
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THE LANDSCAPE PLANS BEFORE PRICING THE WORK. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLAN AND PLANT LIST SHALL BE BROUGHT TO THE ATTENTION OF THE PROJECT LANDSCAPE ARCHITECT AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE AUTHORIZED PRIOR TO ORDERING AND PLANTING.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, WEEDING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.
- THE CONTRACTOR SHALL COMPLETELY WARRANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR, BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE WARRANTEE PERIOD.
- THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION. CONTRACTOR SHALL CONTACT THE PROJECT LANDSCAPE ARCHITECT A MINIMUM OF ONE (1) WEEK IN ADVANCE TO SCHEDULE STAKING.
- ANY PLANT MATERIAL WHICH DIES, TURNS BROWN, OR DEFOOLIATES (PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT SCHEDULE SPECIFICATIONS.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- ALL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH PINE STRAW AT A DEPTH OF 3" INCHES. ANY EXISTING LANDSCAPE BEDS THAT ARE DISTURBED MUST BE MULCHED TO MATCH EXISTING PINE STRAW FOUND WITHIN LANDSCAPE BED.
- LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.
- SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS.
- ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
- THE TOP OF ALL ROOT BALLS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE, AS BORN TO PREVIOUS GRADE AND GROWING CONDITIONS.
- ALL ROOT BALLS REMOVED FROM CONTAINERS SHALL BE SCARIFIED PRIOR TO BACKFILLING.
- FAILURE TO INSTALL PLANT MATERIAL PER THIS PLAN WILL JEOPARDIZE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY. CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING INSPECTIONS OF PLANT MATERIAL.
- CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE CODES & ORDINANCES REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS PRIOR TO FINAL INSPECTION.



MULCH:
 DUE TO THE WEEPING NATURE OF NATIVE GRASSES A 1"-6" MIN. CLEAR ZONE SHALL BE ESTABLISHED BETWEEN ALL SIDEWALKS AND PAVING TO PREVENT THE PLANTING FROM PROHIBITING USE OF THE PAVEMENT.

3 PLANTING / PAVING DETAIL
 SCALE: NTS SECTION



STEEL LANDSCAPE EDGING PRODUCT DATA:
 MANUFACTURER: BORDER CONCEPTS, INC. (SEE SPECIFICATIONS FOR CONTACT INFORMATION)
 PRODUCT: BORDER GUARD WITH STANDARD STAKES
 SIZE: 3/16" THICKNESS X 4" HEIGHT
 COLOR: BLACK
 USE UNIVERSAL CORNERS AND TREE RINGS PIECES AS NECESSARY

6 METAL EDGING
 SCALE: NTS OR APPROVED EQUAL

SCALE:	AS SHOWN	R/C	R/C	ATB
DRAWN BY:	R/C	R/C	R/C	R/C
DESIGNED BY:	R/C	R/C	R/C	R/C
CHECKED BY:	R/C	R/C	R/C	R/C

<p>CLIENT: TOWN OF SULLIVAN'S ISLAND</p>	<p>PO BOX 427 SULLIVAN'S ISLAND, SC 29462</p>
<p>PROJECT: OLD BRIDGE LANDING 99-1 CONQUEST AVE. SULLIVAN'S ISLAND SOUTH CAROLINA</p>	<p>TITLE: LANDSCAPE DETAILS</p>

DATE	02/14/2024
PROJECT NO.	013141004
SHEET NUMBER	L1-01

SC COASTAL PLAIN RIPARIAN SEED MIX NOTES

Ernst Conservation Seeds, Inc: Phone: (800) 873-3321

SC Coastal Plain Riparian Mix (ERNMX-401)

Mix Composition:

- 34.00 % Sorghastrum nutans, PA Ecotype (Indiangrass, PA Ecotype)
- 20.00 % Elymus virginicus, AR Ecotype (Virginia Wildrye, AR Ecotype)
- 15.60 % Panicum rigidulum, Coastal Plain NC Ecotype (Redtop Panicgrass, Coastal Plain NC Ecotype)
- 11.00 % Panicum virgatum, 'Carthage', NC Ecotype (Switchgrass, 'Carthage', NC Ecotype)
- 8.00 % Chasmanthium latifolium, WV Ecotype (River Oats, WV Ecotype)
- 3.00 % Rudbeckia hirta (Blackeyed Susan)
- 2.50 % Chamaecrista fasciculata, FL Ecotype (Partridge Pea, FL Ecotype)
- 2.00 % Helianthus angustifolius, Coastal Plain NC Ecotype (Narrowleaf Sunflower, Coastal Plain NC Ecotype)
- 1.00 % Agrostis hyemalis, Piedmont NC Ecotype (Winter Bentgrass, Piedmont NC Ecotype)
- 1.00 % Chamaecrista nictitans, NC Ecotype (Sensitive Pea, NC Ecotype)
- 0.70 % Eupatorium coelestinum, VA Ecotype (Mistflower, VA Ecotype)
- 0.70 % Helenium flexuosum, VA Ecotype (Purplehead Sneezeweed, VA Ecotype)
- 0.50 % Vernonia noveboracensis, PA Ecotype (New York Ironweed, PA Ecotype)

General Product Information:

Grasses & Grass-like Species - Herbaceous Perennial; Herbaceous Flowering Species - Herbaceous Perennial; Riparian Sites

Suggested Seeding Rate:

- 20 lb per acre with a cover crop.
- For a cover crop use either grain rye (30 lbs/acre; 1 Sep to 31 Apr)
- Japanese Millet (10 lbs/acre; 1 May to 31 Aug)

Planting and Seeding Notes:

- Hydroseed grass and sedge mix onto Envirolok bags (See L1-01 Planting Detail)
- Live plant perennial flowers (See L1-01 Planting Detail)
- Wood fiber erosion control mat recommended to protect seeds and plantings from waves and wildlife interference


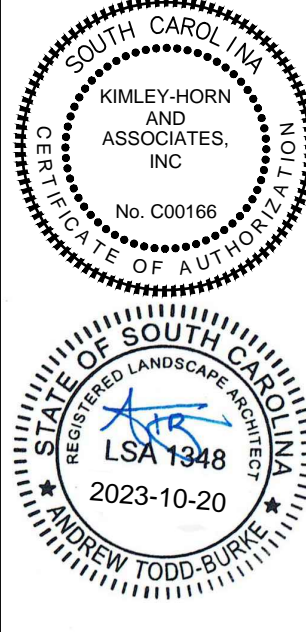
Hydroseed Notes:

- Water Envirolok bags prior to seeding.
- Increase number of seeds per square foot (2-4x) the normal range.
- Continuously run agitator to ensure smaller seeds don't fall to bottom of tank.

General Maintenance

Grassy weeds or persistent perennials can re-establish in these soils. Monitor and control weeds by hand pulling or spot spraying.

CITY APPROVAL BOX

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PROJECT:	OLD BRIDGE LANDING 99-1 CONQUEST AVE. SULLIVAN'S ISLAND SOUTH CAROLINA
TITLE:	LANDSCAPE SEEDING DETAILS
DATE	02/14/2024
PROJECT NO.	013141004
SHEET NUMBER	L1-02

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