



**IPW Construction Group, LLC**  
*Engineering & Construction Services*

March 14, 2024

Town of Sullivan's Island  
2056 Middle Street  
Sullivans Island, SC 29482

ATTN: Joe Henderson, Deputy Administrator

Subject: Request for Proposal – Interior Demolition for Old Town Hall Building

Dear Mr. Henderson,

IPW Construction Group, LLC, is pleased to submit the following proposal to furnish all labor, material, equipment, and supervision required to perform the scope of work outlined in your request for proposal. Including Addendum #1 and #2.

**Our lump sum price for this project is: \$42,857.00.**

**Our price does not include Asbestos Abatement. As requested in addendum #2 our Subcontractor is Asbestos Abatement Certified. Action Abatement – License #ASC601**

**Project Understanding and Approach (25 points)**

**Logistical understanding:** IPW will limit its project area to the side parking lot and on middle street in front of the building. The only items outside the building will be dumpsters for removal of debris.

**Technical expertise and competence and years of experience of individuals who will be assigned to this project:** IPW has 22 years of experience with interior demolition projects. Past Performance and Performance Recommendations are attached. Cyrus Sinor and Gilbert Douglas, who are assigned to the project, have over 30 years of experience in demolition projects.

**Related Experience on Similar Projects (25 points)**

Project past performance sheets are attached to this letter.

This project will be conducted systematically by first removing furnishing and other loose items and then moving to the structure of the building.

**Performance Recommendations on Past Projects - Project Schedule and Budget (25 points)**

Performance Recommendations are attached.

IPW Construction Group, LLC

**Recent, Current, and Projected Workload (25 points)**

IPW currently has the capacity to start this work immediately upon award. The RFP has an estimated award date of March 29, 2024, and we are able to meet that date.

We believe this project should take no more than 30 days to be substantially complete. This is if no asbestos is found. The RFP allows 90 days, and we can significantly expedite that timeframe.

We look forward to this project and if you have any questions or need any more information, please feel free to contact us at any time.

Sincerely,  
IPW Construction Group, LLC

A handwritten signature in black ink, appearing to read "BHR", written in a cursive style.

Bryan H. Rembert, P.E.  
VP of Operations



**IPW Construction Group, LLC**  
*Engineering & Construction Services*

**Project: CE Williams School Demolition**



**Owner:** Charleston County School District

**Owners Representative:** Robert Bryant, Senior Project Manager  
Cummings Corporation  
3820 Faber Place Drive, Suite 600,  
North Charleston, SC 29405  
[rbryant@cumming-group.com](mailto:rbryant@cumming-group.com)  
P: +1 (843) 203-2911  
C: +1 (843) 696-9873

**Project Description:** This project consisted of the complete demolition of a 40,000 sf two story school including surrounding parking areas, playground, and all underground utilities. Work included Demolition and recycling of material, erosion control, clearing and grubbing of project area, grading, drainage, and final seeding.

**Original Contract Amount:** \$599,633 **Final Contract Amount:** \$599,633

**Start Date:** November 2021

**Completion Date:** April 2022

**Project Manager:** Cyrus Sinor

**Major Subcontractors:** Action Services, Inc.

IPW Construction Group, LLC  
7623 Dorchester Rd.,  
North Charleston, SC, 29418

June 19, 2023

Subj: Capital Programs 2022 Construction "E" Award

It gives me great pleasure to present IPW Construction Group with the Charleston County School District (CCSD) 2022 "E" Award for your excellence displayed in the construction of **Lucy Beckham High School Modular Classrooms** and former **CE Williams Middle School Demolition** projects. The Army-Navy "E" Award was an honor bestowed upon companies who achieved "Excellence in Production" of equipment during World War II. In keeping with this rich history, the CCSD "E" Award is presented to a firm that has displayed excellence in the construction of one of our educational facilities.

Your construction team reacted quickly with short notice and tight working conditions to install the Lucy Beckham High School Modular Classrooms project on an occupied campus. Your team's professionalism, dedication to details, and quality were all highly recognized as you adapted to constant changes in underground utilities, electrical power, building rating elements, and egress door hardware. Your team helped the project to be fully accepted by the South Carolina Office of School Facilities (OSF) and State Fire Marshal on schedule.

Additionally, developing an excellent working relationship with the subcontractor, Action Demo Company, and various municipalities and utility companies, you achieved safe demolition of nearly 85,000 square feet for the former CE Williams ES on time and within budget. This was all achieved in lieu of weather delays and working near neighboring communities. Your team went above and beyond to provide additional 30,000 sf of sod and removal of additional building materials; including addressing issues at the adjacent community sport field, which is a testament of your commitment to the success of CCSD.

IPW is truly deserving of the Capital Programs 2022 Construction "E" Award. Thank you and congratulations on a job well done!

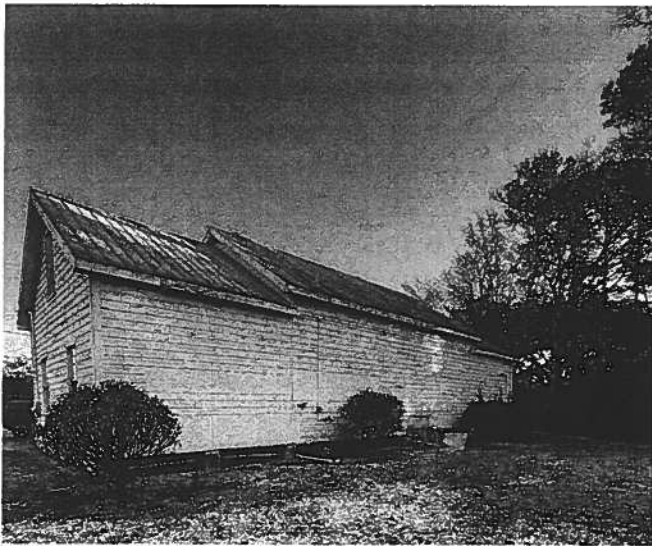


Jeffrey Borowy, P.E.  
Chief Operating Officer



**IPW Construction Group, LLC**  
*Engineering & Construction Services*

**Project:** Demolition of House on Ladson Elementary Campus



**Owner:** Charleston County School District

**Owners Representative:** Brownstone Construction Group  
John Calvin, (843) 200-7834  
4055 Faber Place Drive, Suite 100, North Charleston, SC  
[JCalvin@bstonegroup.com](mailto:JCalvin@bstonegroup.com)

**Project Description:** Work included demolition of a residential home located on property bought out by Charleston County School District. This was the first phase of preparing for a future expansion of Ladson Elementary School. After the demolition of the building the lot was graded and prepped for upcoming sitework to be performed by other contractors.

**Original Contract Amount:** \$30,431.02

**Final Contract Amount:** \$30,431.02

**Start Date:** June 2022

**Completion Date:** June 2022

**Project Manager:** Lauren Rembert

**Major Subcontractors:** Action Abatement and Demolition, Inc.



**IPW Construction Group, LLC**  
*Engineering & Construction Services*

**Project:** Hilton Head Island Abatement and Demolition Project



**Owner:** Town of Hilton Head Island

**Owners Representative:** Aaron Black (843) 342-4587  
1 Town Center Court, Hilton Head Island, SC 29928  
[aaronb@hiltonheadislandsc.gov](mailto:aaronb@hiltonheadislandsc.gov)

**Project Description:** Project consisted of 3 sites located in the Town of Hilton Head Island. Asbestos abatement was required for site B. Demolition for locations B and C included paved parking lots, curbing, and sidewalks, and 3 building structures. Site A was the old Kingfisher Restaurant on the water of the harbor. This site required extensive safety precautions due to the building's massive size and height and unstable building materials. This site had to be demolished in sections to prevent any debris from making its way into the water. Demolition for site A required a great deal of coordination and scheduling with the Town and surrounding businesses to reduce any work done during tourist seasons.



**Original Contract Amount:** \$155,179.41

**Final Contract Amount:** \$155,179.41

**Start Date:** July 2021

**Completion Date:** December 2021

**Project Manager:** Bryan Rembert  
**Superintendent:** Gil Douglas

**Assistant Project Manager:** Lauren Rembert

**Major Subcontractors:** Action Abatement and Demolition



**IPW Construction Group, LLC**  
Engineering & Construction Services

**Project Title:** Shiloh AME Church Demolition & Land Restoration

**Location:** Charleston, SC

**Owner:** City of Charleston Department of Parks

**Owners Representative:** Virginia D. Jones, P.E.,

843.973-7239, [Jonesv@charleston-sc.gov](mailto:Jonesv@charleston-sc.gov)

823 Meeting Street, Charleston, SC 29403

**Award Date:** February 2020

**Completion Date:** March 2020

**Award Amount:** \$49,460.00

**Final Amount:** \$49,460.00



**Project Description:** IPW Construction Group was responsible for complete demolition, and removal of the Shiloh AME Church in downtown Charleston. The work included the identification of all utilities and meters, and disconnections and cap off all site utilities. This included locating and marking existing roof drain system that ties into storm drain for future proposed park on this site. With this property being downtown, the demolition required site protection of the neighboring residential structures to ensure these structures were not damaged during the demolition of the church. The demolition of the church included but not limited to; the salvaging of a time capsule in the

wall of the church, demolition of all foundations, attached porches, all debris; brick, timber, drywall, roofing materials, steps, all wiring, plumbing, conduit, sprinklers, slabs, driveways and parking lot area. Upon completion of the demolition of the structure, the job required land restoration which included, backfilling the site as needed and grading to return property to its naturalized state and drains positively. Permanent seeding required to establish grassing. A 60 day follow up was required on this project to re-inspect to ensure soils have not sunken and grass has taken root.

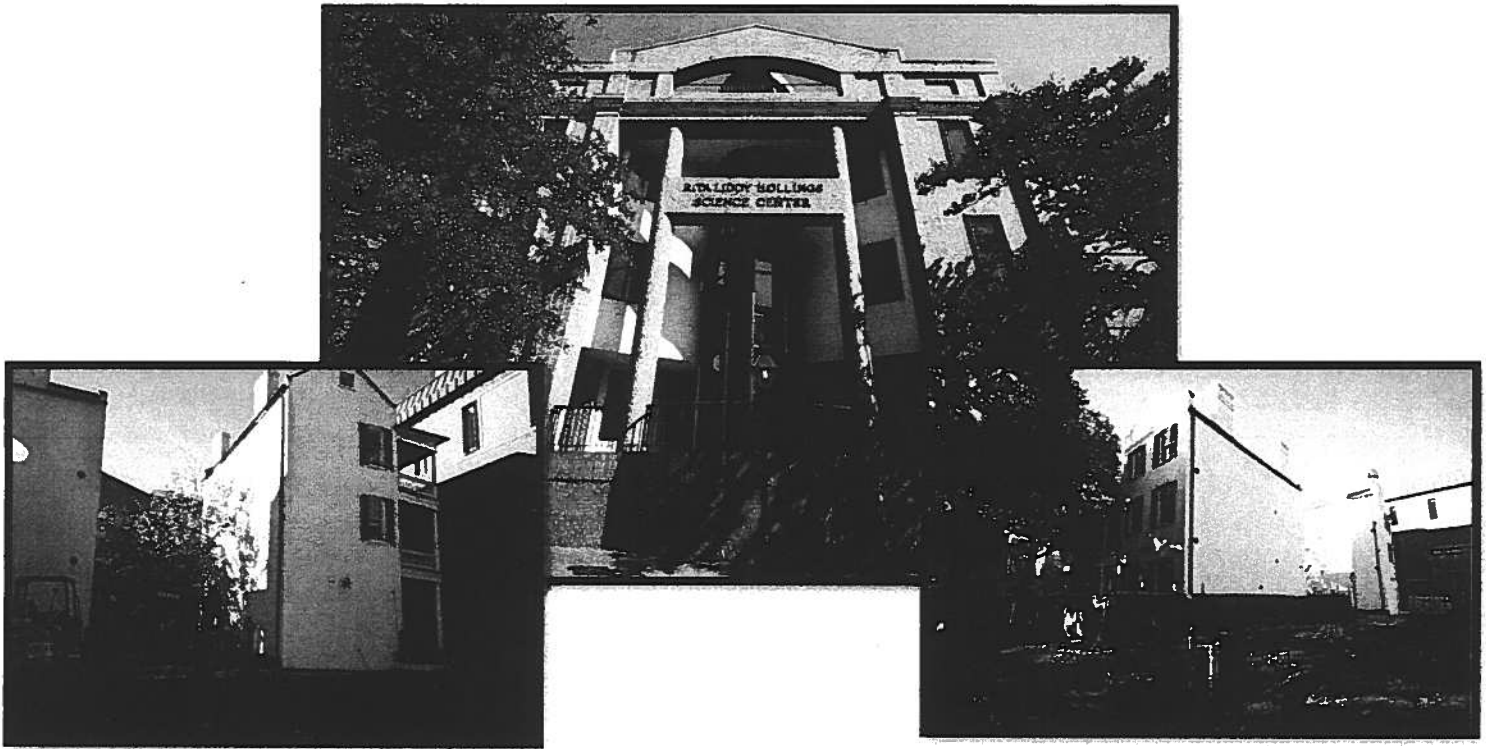


**Key Personnel:**

**Project Manager:** Bryan Rembert, P.E.

**Subcontractor:** Action Abatement and Demolition

**PROJECT: Rita Hollings Science Center Physicians Auditorium Abatement and Demolition**



**Location:** 58 Coming Street Charleston, South Carolina

**Owner:** College of Charleston

**Owner Representative:** Kevin McCray, Facilities Manager  
Email: [McCrayK@cofc.edu](mailto:McCrayK@cofc.edu)  
Phone: (843) 514-5251

**Description of Scope and Responsibility:** Complete Demolition of a 30,000 square foot masonry and steel Auditorium and 12,000 square feet of hazardous material abatement. Building was surgically removed from the existing science center with no damage to the existing building. In addition there were three historically significant buildings adjacent to the auditorium. All these buildings had vibration monitoring to ensure that vibrations from demolition did not damage these structures. Because of the sensitive nature of working down town in the middle of an active college campus the owner asked that the schedule be accelerated by over a month. IPW successfully completed this 4 month project one month early. Work also included removal of 100 timber piles and the relocation of the campus water main.

**Award Date:** June 2015      **Completion Date:** October 2015

**Contract Amount:** \$ 164,375      **Final Amount:** \$ 225,196.32

**Key Personnel:** Cyrus D. Sinor, P.E., Project Manager





John J. Tecklenburg  
Mayor

*City of Charleston*  
*South Carolina*

Edmund V. Most  
Deputy Director

*Department of Parks - Capital Projects Division*

September 4, 2020

**RE: IPW Construction Group, LLC**

To Whom It May Concern:


The City of Charleston is currently working with IPW Construction Group (IPW) on CP-1532 – Structural Retrofit of Fire Station No. 6 (Cannon Street). This project involves the construction of improvements necessary to bring this historic, unreinforced masonry building constructed in 1888 up to current code requirements for seismic and wind events. At completion, the station will retain the historic exterior and will have a mix of historic, reproduction, and modern finishes on the interior.

IPW has worked diligently to execute this project and has utilized creative approaches to working on the challenging urban site. A significant example is their proposal to remove / store / replace portions of the historic interior structure rather than work around it as indicated in the Architect's requirements. This approach was presented, discussed, and approved, and ultimately allowed for a savings to the project. When faced with an Owner-induced delay on another aspect of the project, IPW adjusted their work sequence to minimize the overall impact to the project schedule.

In recent years, the City has worked with IPW on a number of other projects. To my knowledge, they have all met or exceeded our expectations. This is my first project working the team at IPW, and I have been pleased with their performance. Moreover, I am confident that they will successfully complete the retrofit of the Cannon Street Fire Station.

If I can provide more information, please feel free to contact me. Thank you.

Sincerely,



Matthew M. Compton  
Special Projects Administrator

# CITY OF ISLE OF PALMS

South Carolina



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DEPARTMENT OF BUILDING, PLANNING AND LICENSING  
February 21, 2023

RE: City of Isle of Palms experience with IPW Construction, LLC

To whom it may concern,

On behalf of the City of Isle of Palms, it is my pleasure to recommend IPW Construction, LLC for consideration of their exemplary work and services.

The City had the pleasure of working with IPW Construction, LLC for the construction of a new 663' by 6' beach access boardwalk. This project took place in 2022 and included regrading and compacting surfaces, construction of ADA compliant parking spaces and concrete sidewalk, and construction of a wooden boardwalk at a cost of \$304,000. The City has been exceptionally pleased with the product or their work and professionalism throughout the entire process.

Considering the City's excellent experience with IPW Construction, LLC, I would highly recommend their services. Please let me know if you have any questions.

Best regards,

A handwritten signature in cursive script that reads 'Matt Simms'.

Matt Simms  
Zoning Administrator

**Michael Baker**

**I N T E R N A T I O N A L**

*We Make a Difference*

February 12, 2024

Charleston Water System  
103 St Phillips Street  
Charleston, SC 29403  
Office: 843-727-6884  
Cell: 843-296-1549

ATTN: Mike Giacomarro, Construction Manager

RE: CWS Large Contractor List

Dear Mike,

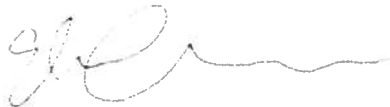
This is to confirm that IPW Construction Group, LLC contracted with Berkeley County Water and Sanitation (BCWS) and successfully completed in a professional and cooperative manner the Murray Drive Sewer Relocation project.

The project consisted of the installation of approximately 50 LF of 10" PVC gravity sewer pipe via open cut, 5 LF of 4" PVC sewer force main via open cut, 2 cut-in manholes, 1 sewer lateral, tie in of existing sewer lines and proposed sewer lines, bypass piping and pumping; pipe abandonment; sedimentation and erosion control; flowable fill; milling and re-paving portion of two lanes at intersection, and traffic control; located at the intersection of Murray Drive (S-88) and Recess Road (S-184)/Fort Drive (S-459) in Hanahan, SC.

The total dollar value of the contract for the project was \$367,627.60.

I was the project engineer for the project and also assisted BCWS in construction administration and observation.

Sincerely,  
Michael Baker International



Ellen Chassereau, P.E.  
Project Manager, Water Services  
[ellen.chassereau@mbakerintl.com](mailto:ellen.chassereau@mbakerintl.com)

**MBAKERINTL.COM**

700 Huger Street | Columbia, SC 29201  
Office: 803.254.2211 | Fax: 803.779.8749

August 18, 2016

IPW Construction Group, LLC  
7623 Dorchester Road  
North Charleston, SC29418  
ATTN: Bryan Rembert, Senior Project Manager

RE: Letter of Recommendation

Dear Bryan,

Please accept this letter as our recommendation for your company to work on all types of Airport Construction Projects. IPW Construction Group (IPW) has successfully completed numerous projects for Columbia Metropolitan Airport and has been selected to be on our Indefinite Delivery Contract to provide construction services for the next several years.


IPW is a very capable Highway/Site work Contractor and an excellent General Contractor.

- IPW was instrumental in completing a complex approach-clearing site work project
- IPW understands working within the secure area of the Airport through their work on the 2014 Lighting and Wayfinding Improvements Project.
- IPW understands the critical nature of coordinating with Airport Operations with the addition and replacement of three Passenger Boarding Bridges to the terminal.
- IPW is currently are performing a 3.2 million dollar interior building renovation project to modernize the main terminal which encompasses all the unique challenges of working in an airport setting (Working in a secure area, limited site access, and coordinating with Airport Operations).

Thank you for all your hard work over the last several years at Columbia Metropolitan Airport, we have enjoyed having a strong partnership with IPW and look forward to continuing our successful relationship.

Please feel free to contact me if you need anything else.

Sincerely,

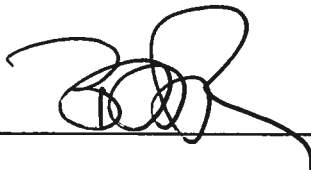
  
Frank Murray  
Manager of Planning and Development



**Attachment A**  
**TOWN OF SULLIVAN'S ISLAND**  
**NON-COLLUSION OATH**

Vendor Name: IPM CONSTRUCTION GROUP, LLC

Before me, the Undersigned, a Notary Public, for and in the County and State aforesaid, personally appeared BRYAN H. REMBERT and made oath that the Bidder herein, his agents, servants, and/or employees, to be best of his/her knowledge and belief, have not in any way colluded with anyone for and on behalf of the Bidder, or themselves, to obtain information that would give the Bidder an unfair advantage over others, nor have they colluded with anyone for and on behalf of the Bidder, or themselves, to gain any favoritism in the award of the Contract herein.

  
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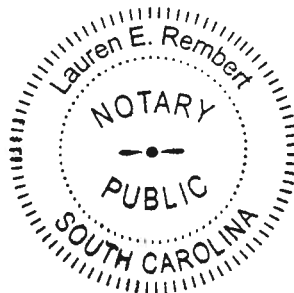
Authorized Signature for Vendor

*Sworn to and Subscribed before me*

this 14<sup>TH</sup> day of March, ~~2023~~ 2024 AR

  
\_\_\_\_\_

Notary Public in and for South Carolina My  
Commission Expires:





## Attachment B

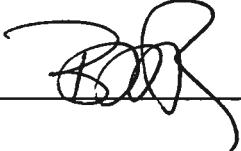
### UNDERSTANDING OF RFP PROCEDURE, TERMS AND CONDITIONS

*This page to be returned with Proposals submission*

I acknowledge that I have read and understand all procedures and requirements of the above reference RFP and have complied fully with the general terms and conditions outlined in the RFP.

Consultant Team: IPW CONSTRUCTION GROUP, LLC

Representative's Printed Name: BRYAN H. REMBERT

Representative's Signature: 

Date: 3-14-2024



# Town of Sullivan's Island

## Request for Proposals (RFP)

### Addendum #1

FOR INTERIOR DEMOLITION AND DISPOSAL

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Date: March 4, 2024

From: Town of Sullivan's Island

RE: Addendum to RFP for Interior Demolition and Disposal at 1610 Middle Street  
(Old Town Hall)

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#### 1. NOTICE TO ALL POTENTIAL RESPONDENTS

This Request for Qualifications (RFQ) is modified as set forth in the Addendum. The original RFP Document remains in full force and effect, except as modified by this addendum #1, which is hereby made part of the RFP. Respondent shall take this addendum into consideration when preparing and submitting its proposal.


#### 2. PROPOSAL SUBMITTAL DEADLINE

The submittal deadline is not changed by this addendum.

#### 3. Walk Through of 1610 Middle Street

An onsite visit and building walk through is scheduled for Thursday, March 7, 2024 for any interested respondents to this RFP. Town staff will receive respondents at 1610 Middle Street on Sullivan's Island SC, and will begin the walk through at 11:00 a.m.

An online advertisement of this walk through has been posted for the benefit of all on the Town's Website at <https://sullivanisland.sc.gov/government/current-town-projects>.

  
\_\_\_\_\_  
Joseph Henderson, AICP  
Deputy Administrator

3/4/2024  
\_\_\_\_\_  
Date:

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(End of Addendum #1)



# Town of Sullivan's Island

## Request for Proposals (RFP)

### Addendum #2

FOR INTERIOR DEMOLITION AND DISPOSAL

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Date: March 8, 2024

From: Town of Sullivan's Island

RE: Addendum to RFP for Interior Demolition and Disposal at 1610 Middle Street (Old Town Hall)

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#### 1. NOTICE TO ALL POTENTIAL RESPONDENTS

This Request for Qualifications (RFQ) is modified as set forth in the Addendum. The original RFP Document remains in full force and effect, except as modified by this addendum #2, which is hereby made part of the RFP. Respondent shall take this addendum into consideration when preparing and submitting its proposal.

#### 2. PROPOSAL SUBMITTAL DEADLINE

The submittal deadline is not changed by this addendum.

#### 3. On-Site Visit

A. Question: Is the Contractor responsible for removing all nails and screws used to attach ceiling to rafters and joists?

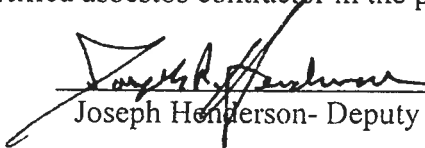
Answer: Yes

B. Can you provide any information regarding plans for the building once the demolition is complete?

Answer: There are no plans for the Town's use of the building at this time.

C. Question: Will there be an asbestos report provided or should we account for that within our scope of work as it relates with Section III.A.d of the RFP?

Answer: The Town has engaged the services of S&ME to perform required SCDHEC asbestos assessment. Any response to this RFP should be for the services described under Section III, Scope of Work and not include asbestos abatement services. Please note whether your firm is a DHEC certified asbestos contractor in the proposal.

  
\_\_\_\_\_  
Joseph Henderson- Deputy Administrator

March 8, 2024

Date

(End of Addendum #2)

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