

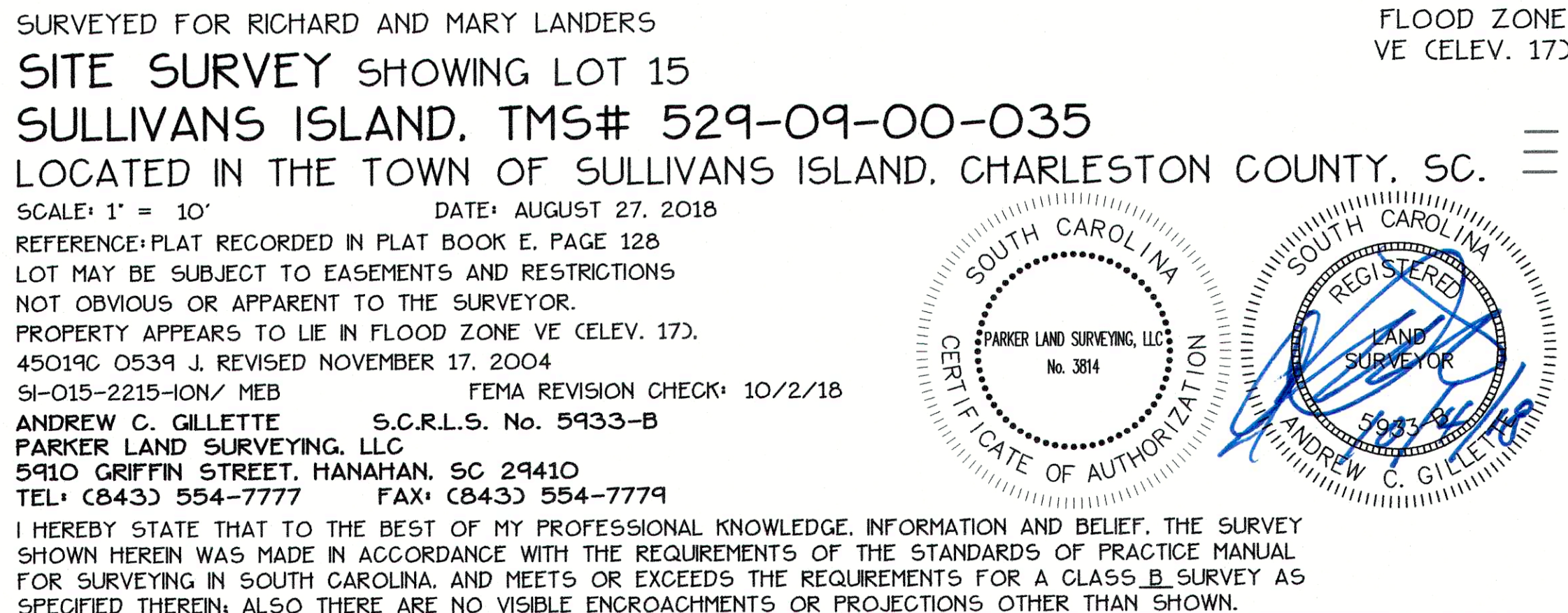


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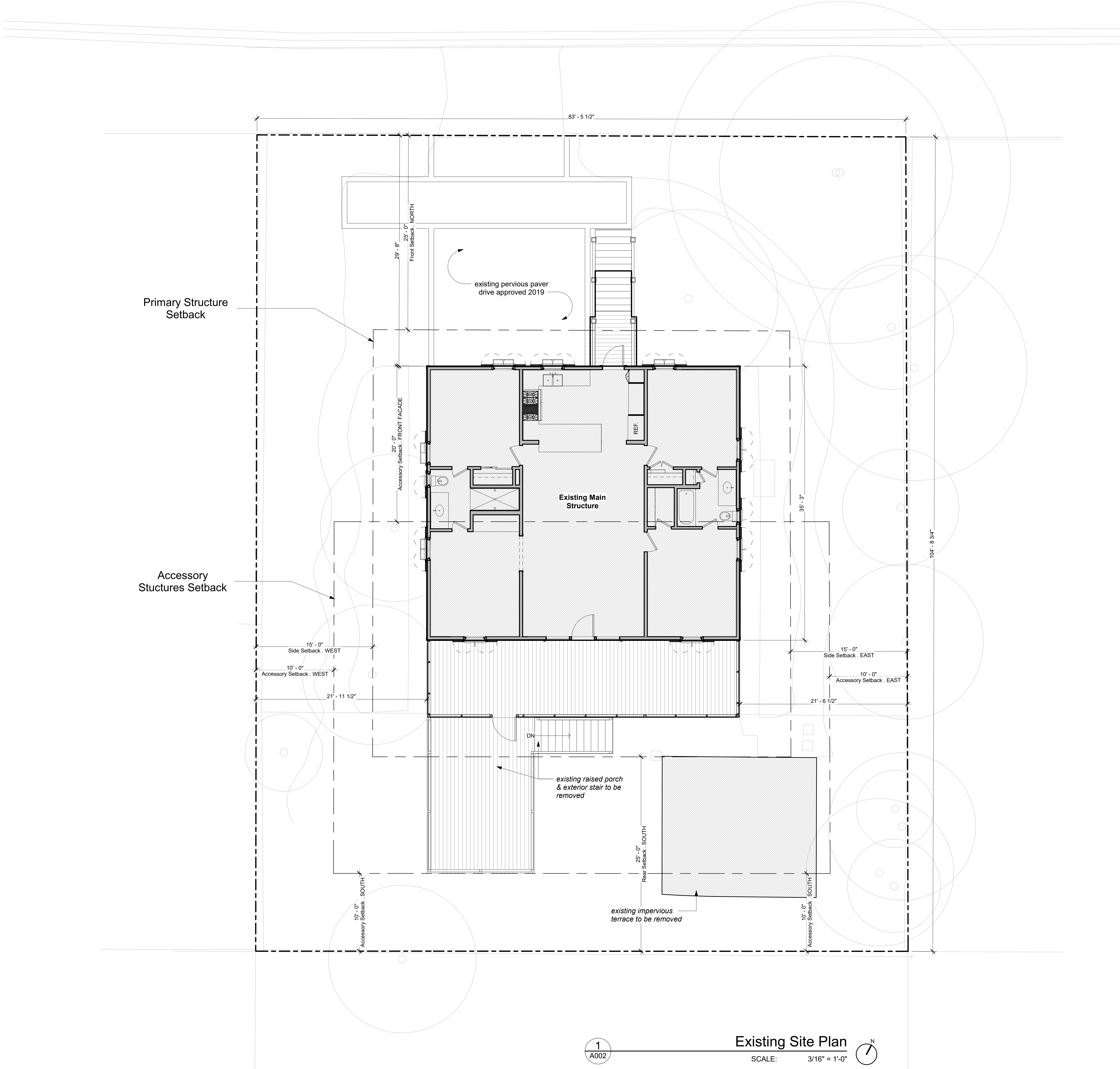
A000	Cover
PH101	Existing Exterior Photos
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A100	Ground Floor Plans
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A102	Roof Plans
A201	Front and Rear Elevations
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A203	East Side Elevations

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05/2025



Lot Size: 8,756 SF

Allowable Building Coverage

Per Zoning	1,625 SF
(per section 21-25 (B.1) (Lot Size x 15%) + [(15,000 - Lot Size) x 5%]	
Including DRB Allowable Increase	1,950 SF
(1,625 x 20%) + 1,625	

Existing Building Coverage

Existing Single Story Structure	1,421 SF
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Allowable Impervious Coverage

Per Zoning	2,939 SF
(per section 21-26 (B.1) (Lot Size x 30%) + [(15,000 - Lot Size) x 5%]	

Main Structure	1,421 SF
Covered Porch	401 SF
Open Decks and Stairs	414 SF
Patio	354 SF

Total Existing Impervious Coverage	2,590 SF
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Allowable Square Footage

Per Zoning	2,776 SF
(per section 21-27 (B.1) (Lot Size - 5000)/(100)*10 + 2400	

Total Existing Square Footage	1,421 SF
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Required Primary Setbacks

FRONT (north) (per section 21-22 (B.1))	25'
REAR (south) (per section 21-22 (E.1))	25'
SIDE (east) min & average (per section 21-22 (C.2))	10'
SIDE (west) (per section 21-22 (C.2))	13'
SIDE (overall) (per section 21-22 (C.2))	33'

Existing Setbacks

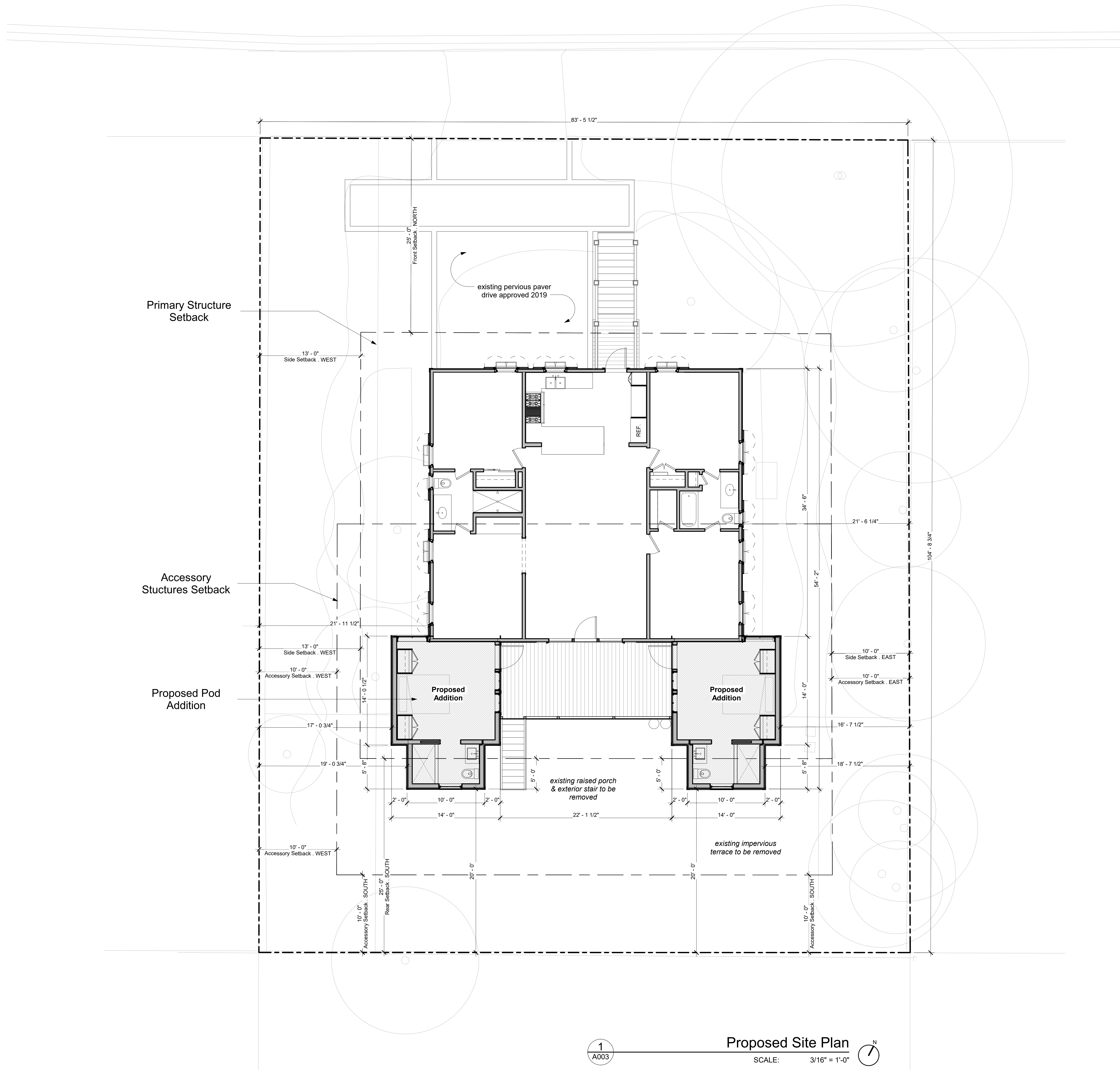
FRONT (north) (per section 21-22 (B.1))	<i>(no change)</i>	29'-8"
REAR (south) (per section 21-22 (E.1))		10'-0"
SIDE (east) (per section 21-22 (C.2))		21'-6"
SIDE (west) (per section 21-22 (C.2))		21'-11.5"
SIDE (overall) (per section 21-22 (C.2))		43'-5.25"

Required Accessory Setbacks

OFF PRIMARY FACADE (north) (per section 21-22 (B.1))	20'-0"
REAR (south) (per section 21-22 (E.1))	10'-0"
SIDE (east) (per section 21-22 (C.1))	10'-0"
SIDE (west) (per section 21-22 (C.1))	10'-0"

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		12.05.2025

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Lot Size: 8,756 SF

Allowable Building Coverage

Per Zoning	1,625 SF
(per section 21-25 (B.1) (Lot Size x 15%) + [(15,000 - Lot Size) x 5%]	
Including DRB Allowable Increase	1,950 SF
(1,625 x 20%) + 1,625	

Existing Building Coverage

Existing Single Story Structure	1,421 SF
---------------------------------	----------

Proposed Building Coverage

Existing Single Story Structure	1,421 SF
Proposed Single Story Addition	493 SF
Total Proposed Building Coverage	1,914 SF

Allowable Impervious Coverage

Per Zoning	2,939 SF
(per section 21-26 (B.1))	
(Lot Size x 30%) + [(15,000 - Lot Size) x 5%]	

Main Structure	1,421 SF
Covered Porch	401 SF
Open Decks and Stairs	414 SF
Patio	354 SF

Total Existing Impervious Coverage

Proposed Impervious Coverage

Main Structure	1,421 SF
Covered Porch and Stairs	385 SF
Addition	493 SF

Total Proposed Impervious Coverage 2,299 SF

Allowable Square Footage

Allowable Square Footage

Per Zoning 2,776 SF
(per section 21-27 (B.1)
((Lot Size - 5000)/100)*10 + 2400

Total Existing Square Footage

Proposed Square Footage

Existing House + Addition (1,421 + 493 SF)	1,914 SF
--	-----------------

Required Primary Setbacks

FRONT (north) (per section 21-22 (B.1))	25'
REAR (south) (per section 21-22 (E.1))	25'
SIDE (east) min & average (per section 21-22 (C.2))	10'
SIDE (west) (per section 21-22 (C.2))	13'
SIDE (overall) (per section 21-22 (C.2))	33'

Existing Setbacks

FRONT (north) (per section 21-22 (B.1))	<i>(no change)</i>	29'-8"
REAR (south) (per section 21-22 (E.1))		10'-0"
SIDE (east) (per section 21-22 (C.2))		21'-6"
SIDE (west) (per section 21-22 (C.2))		21'-11.5"
SIDE (overall) (per section 21-22 (C.2))		43'-5.25"

Proposed Setbacks

FRONT (north) (per section 21-22 (B.1))	<i>(no change)</i>	29'-8"
REAR (south) (per section 21-22 (E.1))		20'-0"
SIDE (east) (63.7' @ 21'-6" / 25.9' @ 16'-8" / 10.5' @ 18'-8") (per section 21-22 (C.2))		19'-11"
SIDE (west) (per section 21-22 (C.2))		17'-1"
SIDE (overall) (per section 21-22 (C.2))		37'-0"

Required Accessory Setbacks

OFF PRIMARY FACADE (north) (per section 21-22 (B.1))	20'-0"
REAR (south) (per section 21-22 (E.1))	10'-0"
SIDE (east) (per section 21-22 (C.1))	10'-0"
SIDE (west) (per section 21-22 (C.1))	10'-0"

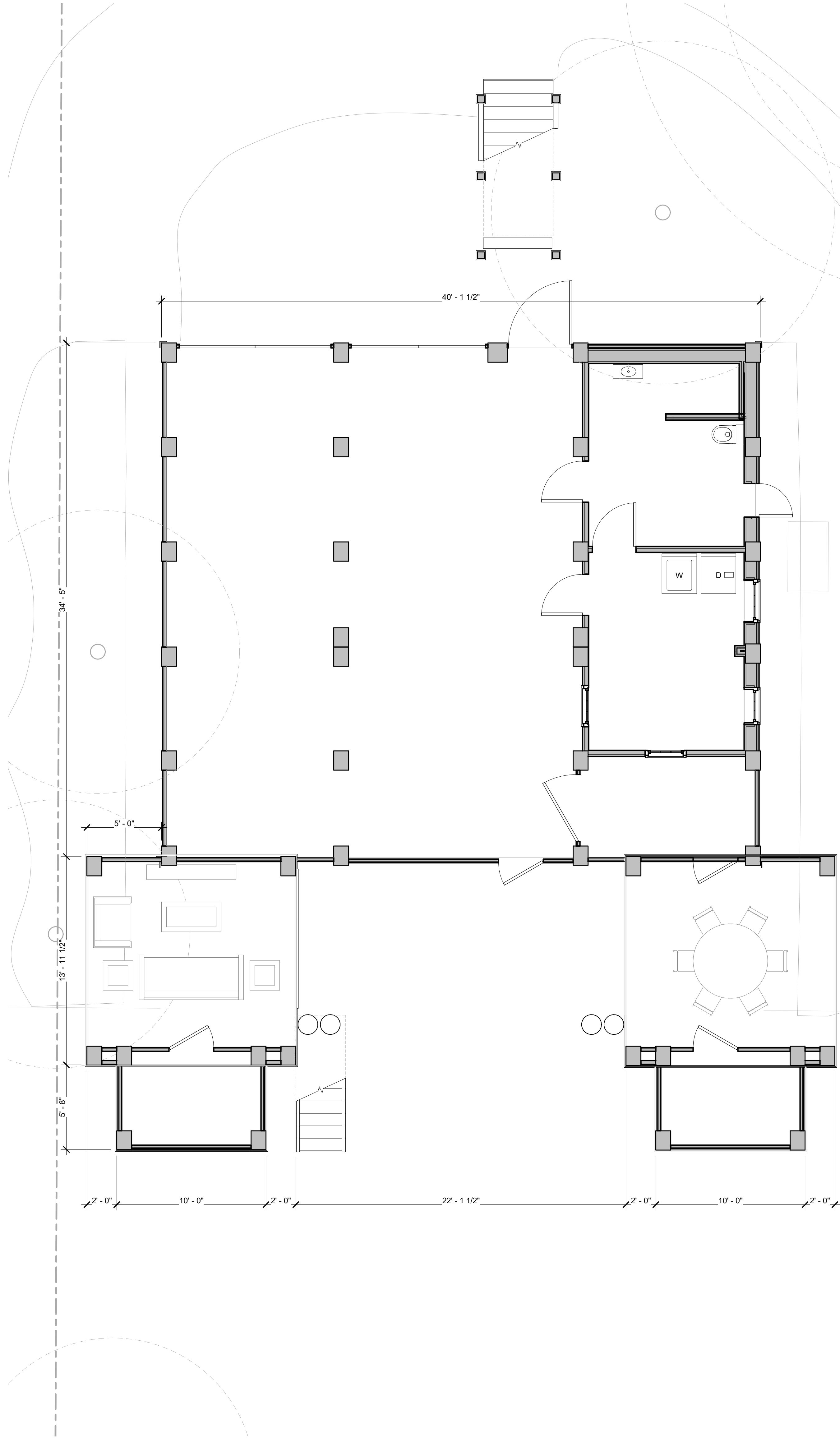
e.e. fava architects, etc.
 54 broad street
 new haven
 ct 06511
 843.723.0060
www.eefava.com

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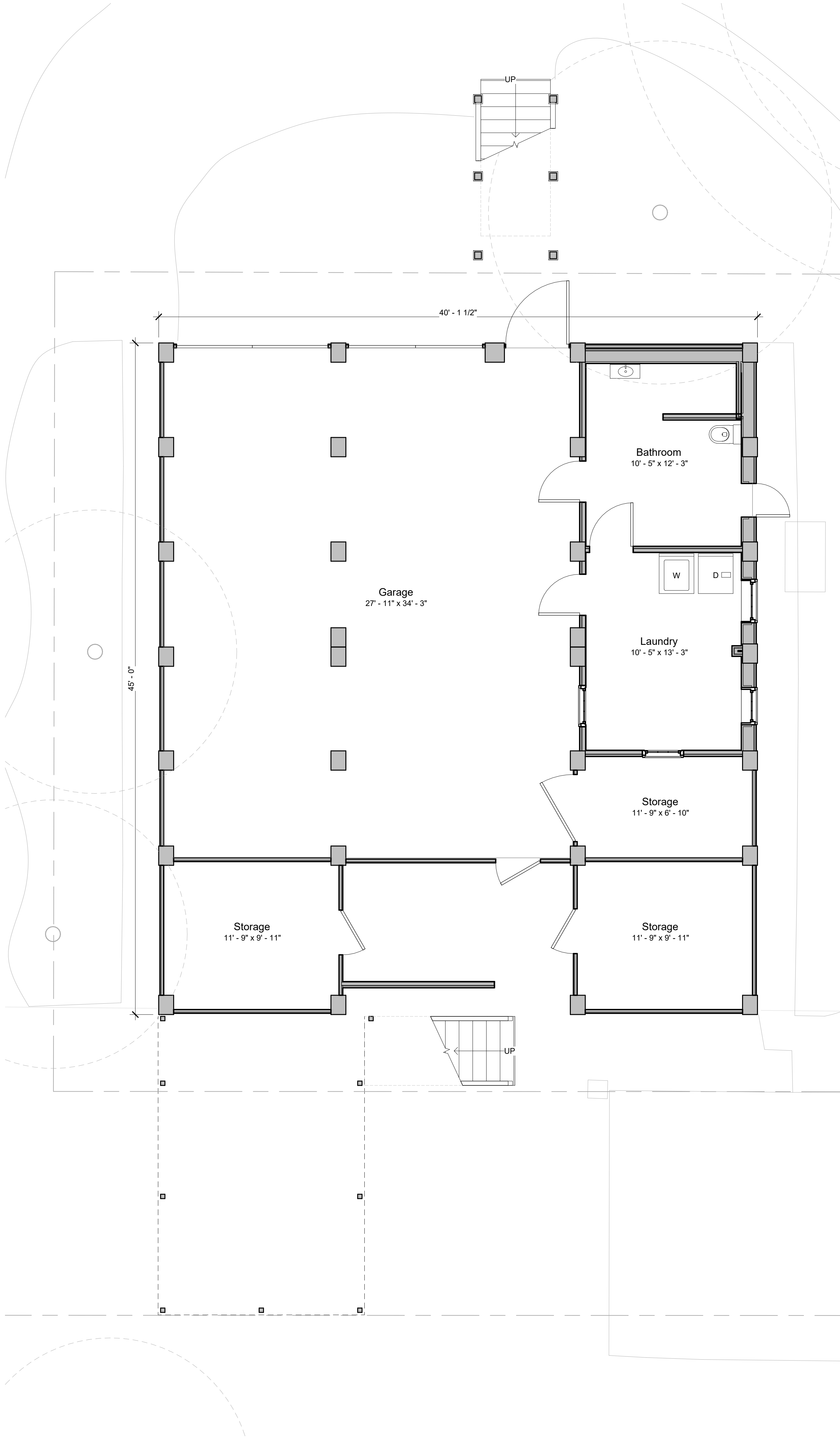


2
A100

Proposed Ground Floor Plan

SCALE: 1/4" = 1'-0"

N



1
A100

Existing Ground Floor Plan

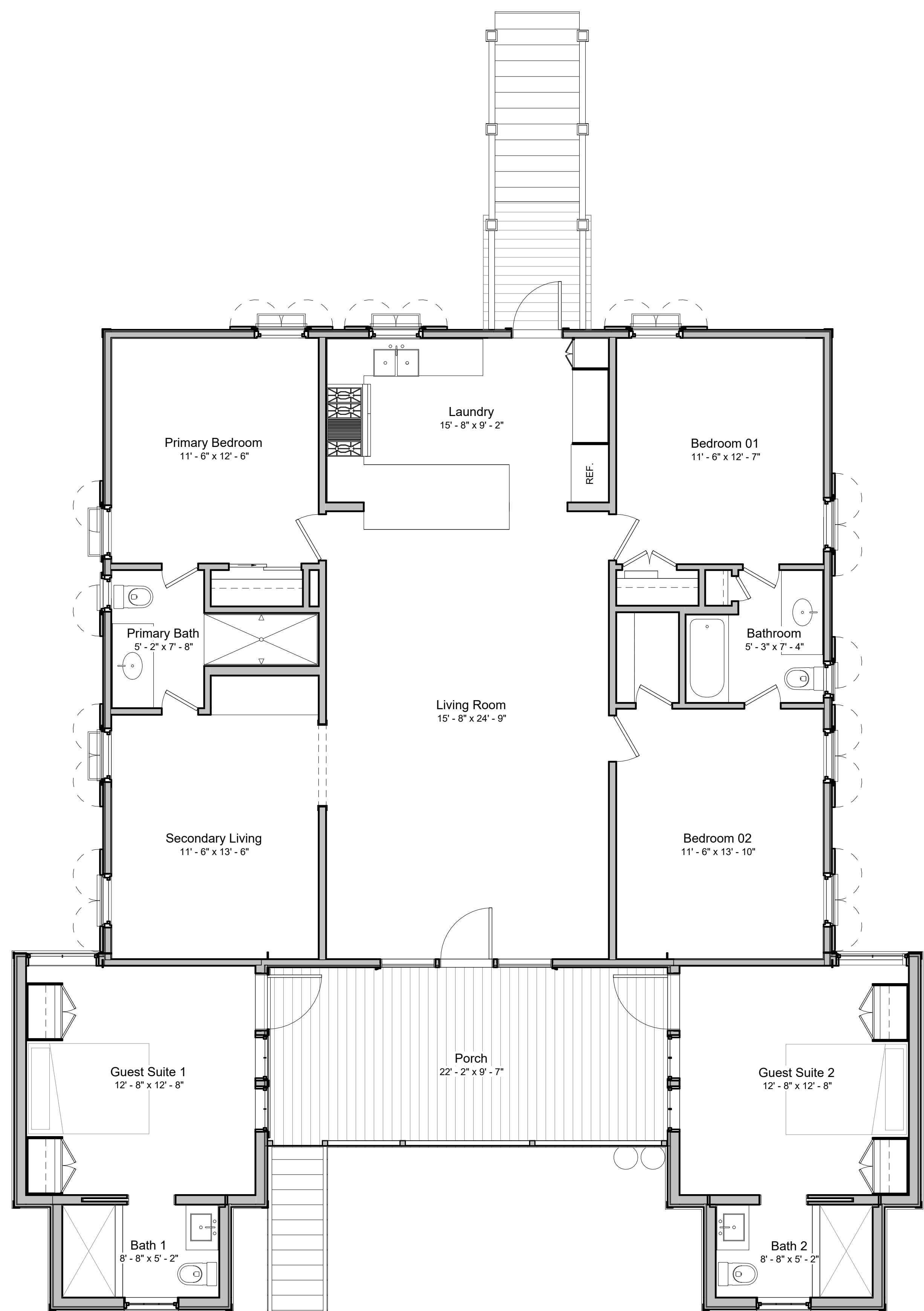
SCALE: 1/4" = 1'-0"

N

- General Notes**
- Contractor shall maintain a neat & orderly construction site at all times and shall not allow the unnecessary accumulation of construction debris. Contractor's hours, access, staging area, dumpster, and portable w.c. location to be coordinated with and approved by Owner prior to commencement of work.
 - The building shall remain secure and weather tight at all times.
 - Contractor shall be responsible for securing all required permits and approvals necessary to initiate and complete specified work.
 - All demolition and construction shall be in accordance with current applicable building codes and local regulation, including, but no limited to, the **Sullivan's Island** zoning and building inspections department as well as the State of South Carolina's Board of Adjustments and Appeals (FEMA variance).
 - Contractor shall notify Architects immediately of any problems/discrepancies due to unforeseen conditions revealed during site work & construction.
 - Contractor shall notify Architect, Engineer and Owner immediately should demolition work reveal any additional "hazmat" materials or substances that have not been previously removed. Architect waives all responsibility and liability for any work required, proposed, and/or completed with hazardous materials or substances.
 - The design adequacy & safety of all temporary supports, bracing, & shoring is the sole responsibility of the Contractor.
 - All dimensions must be verified by contractor prior to commencement of work, including installation of fixtures and/or architectural components. All fixture and architectural component sizes should be verified with Architect prior to purchase.
 - Contractor shall verify with Architect and Engineer all structural, mechanical, electrical, and plumbing conditions requiring Engineer's/Consultant's approval. Contractor shall coordinate and verify all HVAC, Plumbing, and Electrical equipment fixture specifications and locations with Architect and Engineer prior to commencement of work.
 - Contractor shall secure verification & approval in writing from the Owner for any requested change orders prior to commencing work associated with a change order.
 - Contractor shall provide documentation that structure is protected by an owner approved chemical termiticide treatment which shall include soil treatment and/or field applied wood treatment. The concentration, rate of application, and method of treatment of chemical termiticide shall be in strict accordance with the termiticide label, legally permissible regulations and standards. The Owner, Engineer, and Architect waive all responsibility & liability for Contractor's failure to follow the associated plans, specification notes, & design they convey, or for problems which arise from other's failure to obtain/follow the Owner's / Engineer's / Architect's guidance with respect to any inconsistencies, errors, omissions, ambiguities, or conflicts which are alleged.

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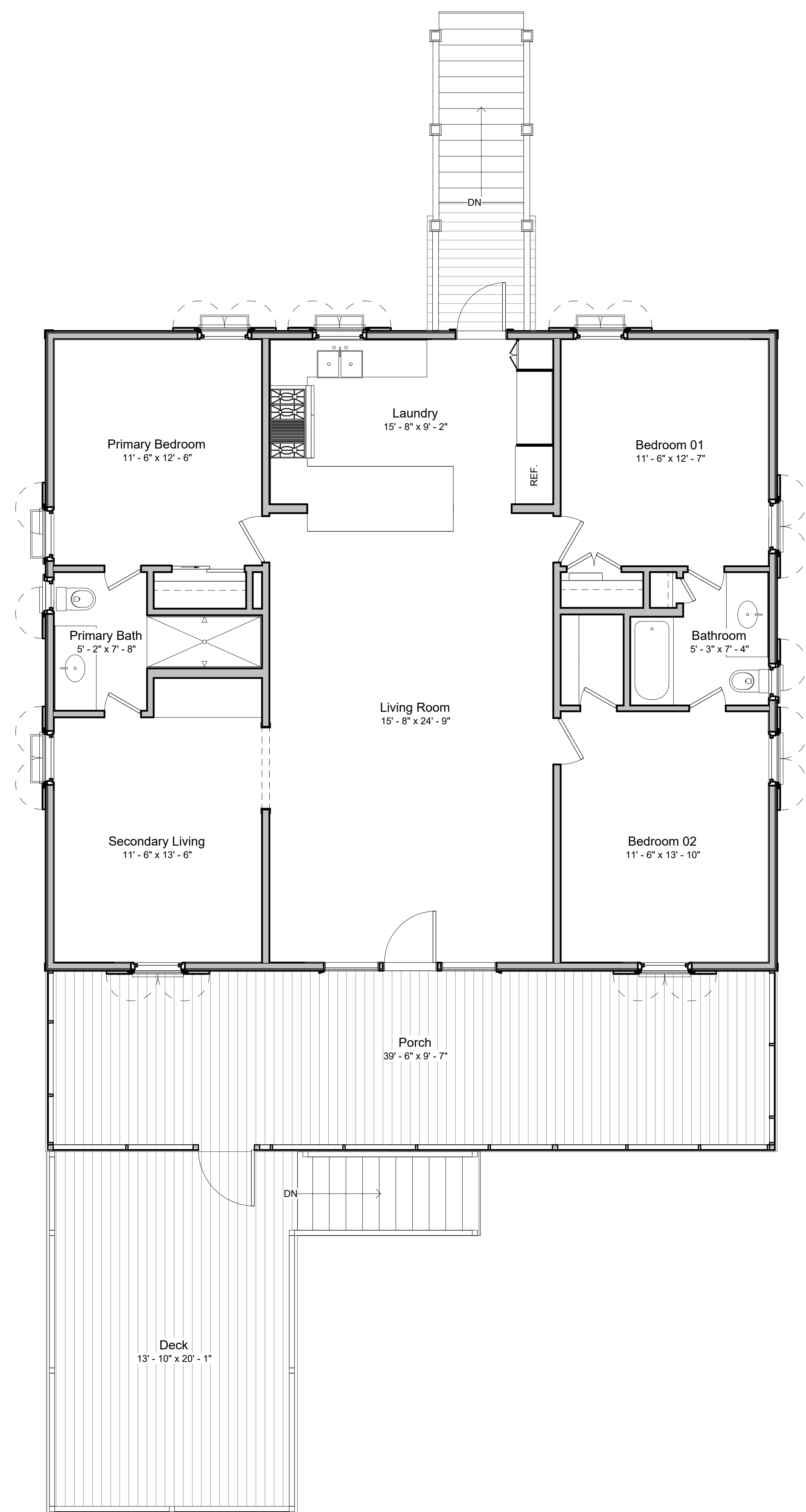


2
A101

Proposed First Floor Plan

SCALE: 1/4" = 1'-0"

N



1
A101

Existing Ground Floor Plan

SCALE: 1/4" = 1'-0"

N

General Notes

- Contractor shall maintain a neat & orderly construction site at all times and shall not allow the unnecessary accumulation of construction debris. Contractor's hours, access, staging, area, dumping and portable toilet locations shall be approved by and approved by Owner prior to commencement of work.
- The building shall remain secure and weather tight at all times. The Contractor shall be responsible for obtaining all necessary permits and approvals necessary to initiate and complete specified work.
- All demolition and construction shall be in accordance with current building codes. Building shall be demolished in accordance with, but not limited to, the **Sullivan's Island zoning** and building inspections department as well as the State of South Carolina's Board of Construction and Architectural Control.
- Contractor shall notify Architect immediately of any problems/discrepancies due to unforeseen conditions revealed during work.
- Contractor shall notify Architect, Engineer and Owner immediately should demolition work reveal any additional "hazard" materials or conditions that have the potential to cause injury or property damage. Contractor shall be responsible and liability for any work required, proposed, and/or completed with hazardous materials or substances.
- The design adequacy & safety of all temporary supports, bracing, & shoring is the sole responsibility of the Contractor.
- All dimensions must be verified by contractor prior to commencement of work. Contractor shall be responsible for all structural/architectural components. All fixture and architectural component sizes shall be verified with Architect prior to purchase.
- Contractor shall verify and certify that all structural, mechanical, electrical, and plumbing conditions requiring Engineer/Consultant's approval. Contractor shall coordinate and verify with HPLC, Planning and Zoning Department, and other agencies specifications and locations with Architect and Engineer prior to commencement of work.
- Contractor shall secure verification & approval in writing from the Owner for any requested change orders prior to commencing work associated with a change order.
- Contractor shall provide assurance that structure is protected by an owner approved chemical treatment method which shall include soil treatment and/or field applied wood treatment. The concentration, rate of application, and method of treatment of the chemical shall be verified by the contractor using the termite label, label legally permissible regulations and standards.
- The Owner, Engineer, and Architect waive all responsibility & liability to Contractor for any and all damages, claims, losses, errors, omissions, ambiguities, or conflicts which are alleged, which arise from their's failure to obtain/follow the Owner's or Engineer's guidance, instructions, or approvals. Contractor shall be responsible for any and all damages, claims, losses, errors, omissions, ambiguities, or conflicts which are alleged.

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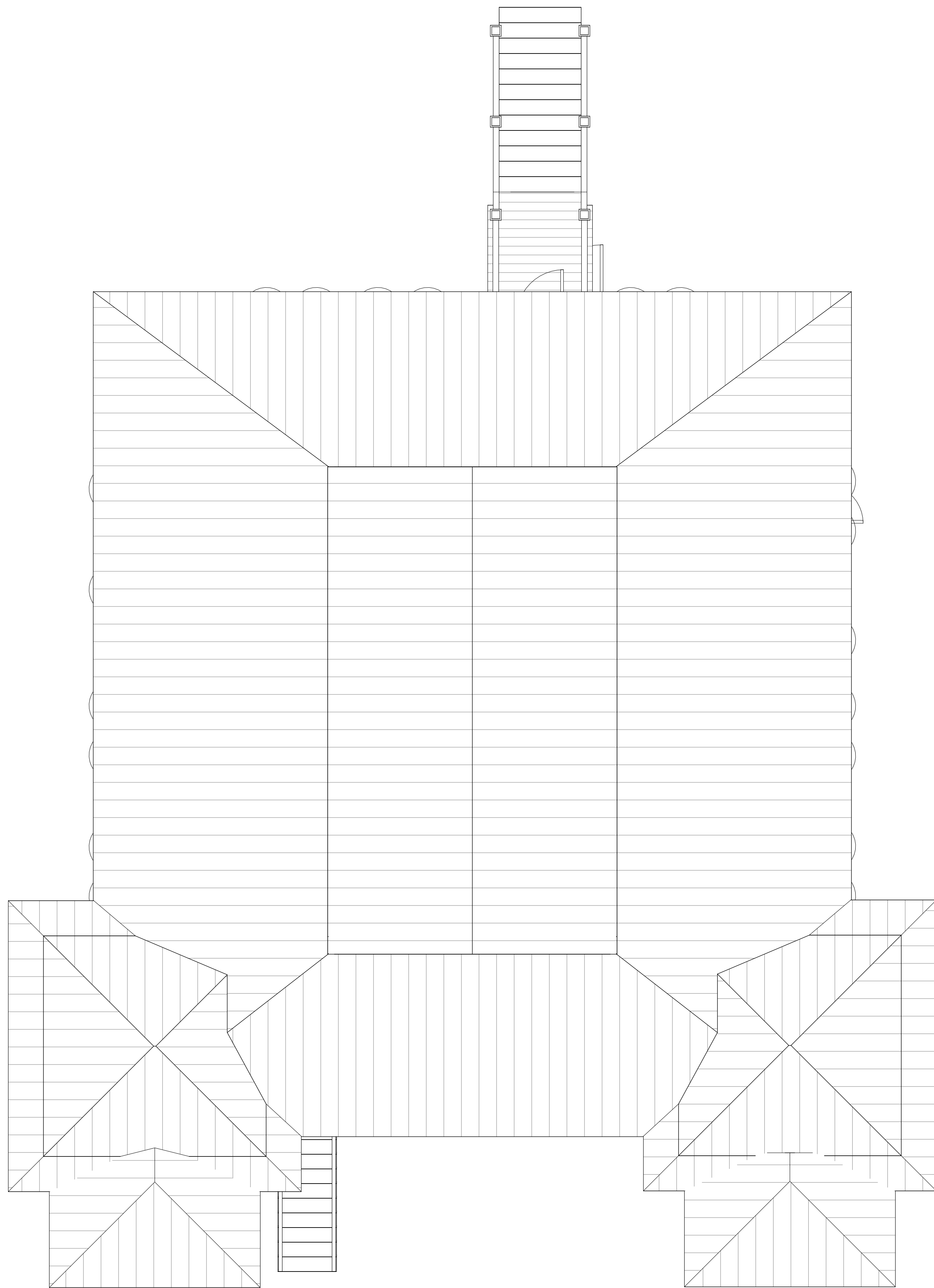
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2
A102

Proposed Roof Plan

SCALE: 1/4" = 1'-0"

N

1
A102

Existing Roof Plan

SCALE: 1/4" = 1'-0"

N

e.e. fava architects, etc.
 54 broad street
 newton, mass 02459
 617.723.0900
www.eefava.com

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3 Existing Rear Elevation . SOUTH
SCALE: 1/4" = 1'-0"



1 Existing Front Elevation . NORTH
SCALE: 1/4" = 1'-0"



4 Proposed Rear Elevation . SOUTH
SCALE: 1/4" = 1'-0"



2 Proposed Front Elevation . NORTH
SCALE: 1/4" = 1'-0"

General Notes:

- Contractor shall maintain a neat & orderly construction site at all times and shall not allow the unnecessary accumulation of construction debris. Contractor's hours, access, staging area, dumpster, and portable w.c. location to be coordinated with and approved by Owner prior to commencement of work.
- The building shall remain secure and weather tight at all times.
- Contractor shall be responsible for securing all required permits and approvals necessary to initiate and complete specified work.
- All demolition and construction shall be in accordance with current applicable building codes and local regulation, including, but no limited to, the Town of Sullivan's Island zoning and building inspections department as well as the State of South Carolina's Board of Adjustments and Appeals (FEMA variance).
- Contractor shall protect all existing doors, windows, casings, wainscoting, mantels, stair treads/rails/balusters, and floor, wall, and ceiling surfaces specified to remain, TYPICAL.
- Contractor shall reference proposed plans while performing demolition work to confirm demolition boundaries. All dimensions must be verified by Contractor prior to the commencement of work.
- Contractor shall notify Architects immediately of any problems/discrepancies due to unforeseen conditions revealed during demolition & construction.
- Contractor shall notify Architect, Engineer and Owner immediately should demolition work reveal any additional "hazmat" materials or substances that have not been previously removed. Architect waives all responsibility & liability for any work required, proposed and/or completed with hazardous materials or substances.
- Columns, exterior walls, and all other load-bearing components to remain undisturbed unless noted otherwise or approved by Licensed Structural Engineer.
- The design adequacy & safety of all temporary supports, bracing, & shoring is the sole responsibility of the Contractor.
- Contractor shall remove and properly dispose of ALL interior and exterior, obsolete electrical, and mechanical equipment, elements, piping, and building components specified for removal.
- Exterior windows/doors selected by Owner for removal or replacement shall not be removed until the openings may be sealed temporarily or finished as specified on construction documents.
- Removal of any finishes within the original structure shall be performed only after Owner approval. Contractor shall execute finish removal with greatest caution to prevent damage to adjacent components.
- All dimensions must be verified by Contractor prior to commencement of work, including installation of fixtures and/or architectural components. All fixture and architectural component sizes should be verified with Architect prior to purchase.
- Contractor shall verify with Architect and Engineer all structural, mechanical, electrical, and plumbing conditions requiring Engineer's / Consultant's approval. Contractor shall coordinate and verify all HVAC, Plumbing, and Electrical equipment fixture specifications and locations with Architect and Engineer prior to commencement of work.
- Contractor shall secure verification & approval in writing from the Owner for any requested change orders prior to commencing work associated with a change order.
- The Owner, Engineer, and Architect waive all responsibility & liability for Contractor's failure to follow the associated plans, specification notes, & design they convey, or for problems which arise from others' failure to obtain/follow the Owner's / Engineer's / Architect's guidance with respect to any inconsistencies, errors, omissions, ambiguities, or conflicts which are alleged.

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54 Broad Street
Charleston, SC 29401
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1
A202

Existing Elevation . WEST

SCALE: 1/4" = 1'-0"



2
A202

Proposed Side Elevation . WEST

SCALE: 1/4" = 1'-0"

General Notes:

- Contractor shall maintain a neat & orderly construction site at all times and shall not allow the unnecessary accumulation of construction debris. Contractor's hours, access, staging area, dumpster, and portable w.c. location to be coordinated with and approved by Owner prior to commencement of work.
- The building shall remain secure and weather tight at all times.
- Contractor shall be responsible for securing all required permits and approvals necessary to initiate and complete specified work.
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- Contractor shall protect all existing doors, windows, casings, wainscoting, mantels, stair treads/rails/balusters, and floor, wall, and ceiling surfaces specified to remain, TYPICAL.
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- Columns, exterior walls, and all other load-bearing components to remain undisturbed unless noted otherwise or approved by Licensed Structural Engineer.
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- Contractor shall remove and properly dispose of ALL interior and exterior, obsolete electrical, and mechanical equipment, elements, piping, and building components specified for removal.
- Exterior windows/doors selected by Owner for removal or replacement shall not be removed until the openings may be sealed temporarily or finished as specified on construction documents.
- Removal of any finishes within the original structure shall be performed only after Owner approval. Contractor shall execute finish removal with greatest caution to prevent damage to adjacent components.
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- Contractor shall secure verification & approval in writing from the Owner for any requested change orders prior to commencing work associated with a change order.
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1 Existing Elevation . EAST
A203 SCALE: 1/4" = 1'-0"



2 Proposed Side Elevation . EAST
A203 SCALE: 1/4" = 1'-0"

- General Notes:
1.

Contractor shall maintain a neat & orderly construction site at all times and shall not allow the unnecessary accumulation of construction debris. Contractor's hours, access, staging area, dumpster, and portable w.c. location to be coordinated with and approved by Owner prior to commencement of work.
2.

The building shall remain secure and weather tight at all times.
3.

Contractor shall be responsible for securing all required permits and approvals necessary to initiate and complete specified work.
4.

All demolition and construction shall be in accordance with current applicable building codes and local regulation, including, but no limited to, the Town of Sullivan's Island zoning and building inspections department as well as the State of South Carolina's Board of Adjustments and Appeals (FEMA variance).
5.

Contractor shall protect all existing doors, windows, casings, wainscoting, mantels, stair treads/rails/balusters, and floor, wall, and ceiling surfaces specified to remain, TYPICAL.
6.

Contractor shall reference proposed plans while performing demolition work to confirm demolition boundaries. All dimensions must be verified by Contractor prior to the commencement of work.
7.

Contractor shall notify Architects immediately of any problems/discrepancies due to unforeseen conditions revealed during demolition & construction.
8.

Contractor shall notify Architect, Engineer and Owner immediately should demolition work reveal any additional "hazmat" materials or substances that have not been previously removed. Architect waives all responsibility & liability for any work required, proposed and/or completed with hazardous materials or substances.
9.

Columns, exterior walls, and all other load-bearing components to remain undisturbed unless noted otherwise or approved by Licensed Structural Engineer.
10.

The design adequacy & safety of all temporary supports, bracing, & shoring is the sole responsibility of the Contractor.
11.

Contractor shall remove and properly dispose of ALL interior and exterior, obsolete electrical, and mechanical equipment, elements, piping, and building components specified for removal.
12.

Exterior windows/doors selected by Owner for removal or replacement shall not be removed until the openings may be sealed temporarily or finished as specified on construction documents.
13.

Removal of any finishes within the original structure shall be performed only after Owner approval. Contractor shall execute finish removal with greatest caution to prevent damage to adjacent components.
14.

All dimensions must be verified by Contractor prior to commencement of work, including installation of fixtures and/or architectural components. All fixture and architectural component sizes should be verified with Architect prior to purchase.
15.

Contractor shall verify with Architect and Engineer all structural, mechanical, electrical, and plumbing conditions requiring Engineer's / Consultant's approval. Contractor shall coordinate and verify all HVAC, Plumbing, and Electrical equipment fixture specifications and locations with Architect and Engineer prior to commencement of work.
16.

Contractor shall secure verification & approval in writing from the Owner for any requested change orders prior to commencing work associated with a change order.
17.

The Owner, Engineer, and Architect waive all responsibility & liability for Contractor's failure to follow the associated plans, specification notes, & design they convey, or for problems which arise from others' failure to obtain/follow the Owner's / Engineer's / Architect's guidance with respect to any inconsistencies, errors, omissions, ambiguities, or conflicts which are alleged.

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54 broad street
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